

Proposed Interior Build-out of

KERx, LLC

8 West Jefferson Ave.
Naperville, IL 60540

Owner:

KERx, LLC

Attn Kerry Aiyash
3110 W. 35th Street
Oak Brook, IL 60523

Landlord:

Sheet List	
Sheet Number	Sheet Name
A-0.0	Coversheet
A-1.0	Floor Plans
A-2.0	First Floor Power and Lighting Plan
A-3.0	Schedules
A-4.0	Detail
A-4.1	Details

Naperville Code Information

Building Code: 2018 International Building Code w/Local Amendments
 Fuel Gas Code: 2018 International Fuel and Gas Code w/Local Amendments
 Energy Conservation Code: 2018 International Energy Conservation Code
 Mechanical Code: 2018 International Mechanical Code w/Local Amendments
 Fire Code: 2018 International Fire Code w/Local Amendments
 Electrical Code: 2017 National Electrical Code and the 2006 ICC Electrical Code w/Local Amendments
 Plumbing Code: Current State of Illinois Plumbing Code w/Local Amendments
 Accessibility Code: Current Illinois Accessibility Code, Current ADA
 Zoning Code: Current Naperville Zoning Code

Building Data

Construction Class:
Type 3A Ordinary Construction

Fire Resistance of Structural Elements:
Type 2A Construction (Table 601 & 602 W/Automatic Sprinkler System)

1. Exterior Bearing Walls	1HR
2. Interior Bearing Wall, Columns, Girder, Framing	0 HR
3. Floor Construction	0 HR
4. Roof Construction	0 HR

Code Analysis

Occupancy Classification:
Tenant space use group Business (B).

Construction Type Classification:
Type II, Protected

General Building Limitations:

Maximum Building Height Permitted	Existing
Maximum Building Area Permitted	Existing
Gross Area Lease Space	1,499 sqft

Fire Protection System:
Existing fully automatic fire sprinkler system and as required by code.

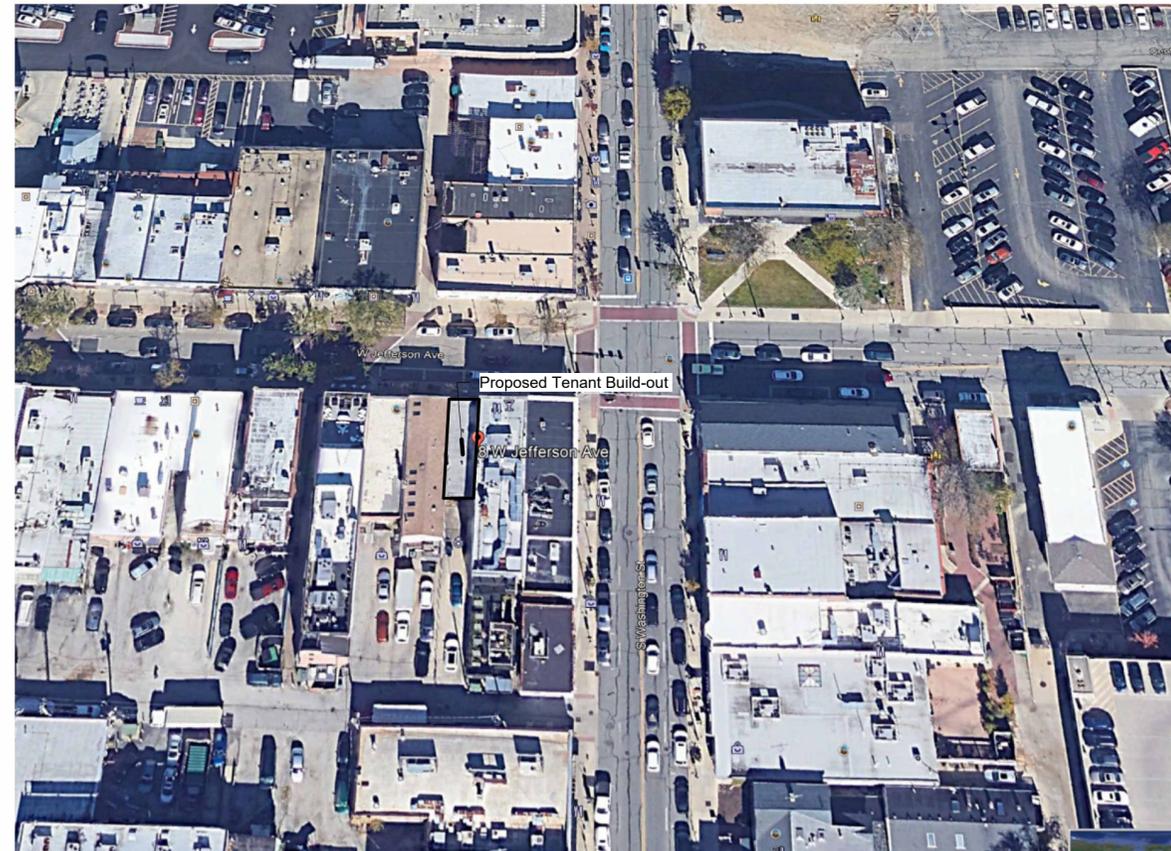
Egress Calculation (IBC):
Gross area 1450sqft / 10 = 15 Occupants Maximum

Maximum length of Egress (1004.25) Allowed	100 Feet
Calculated Actual Egress (Furthest Point)	-

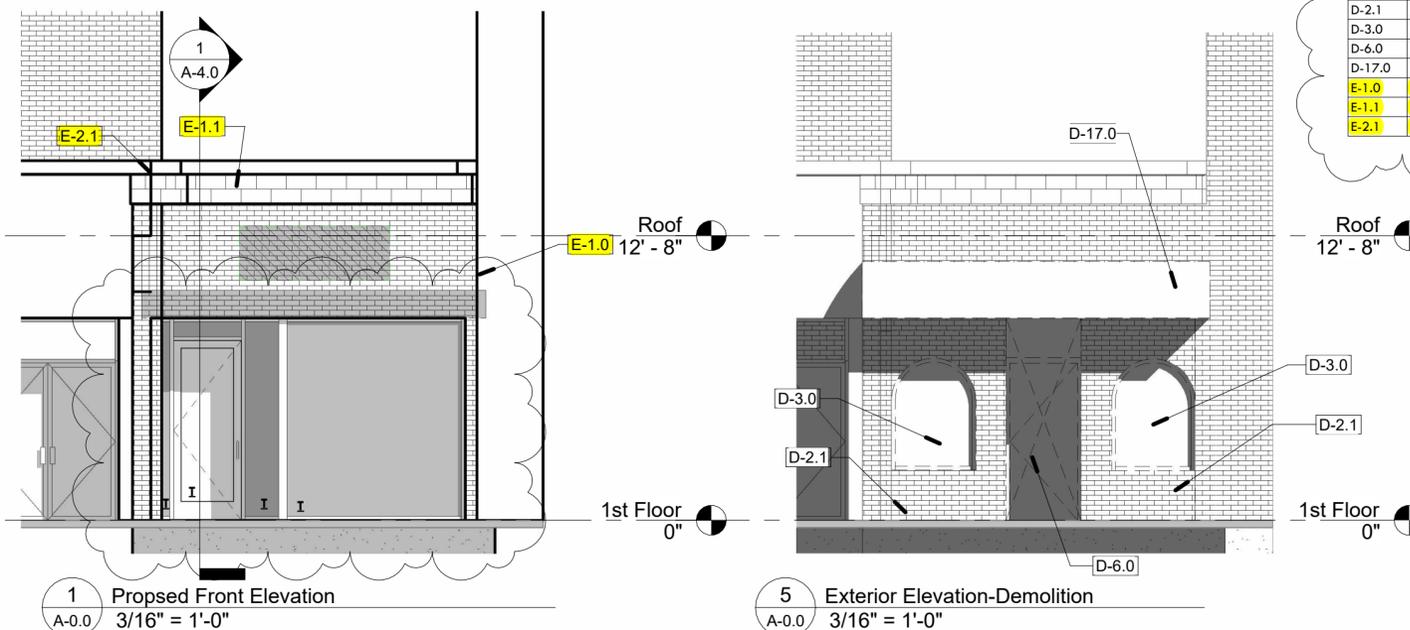
Per IBC 1004.2.1
Travel Distance <100 Feet

Egress Units Required 1
Egress Units Provided 2
(1-36" Door-Front)
(1-36" Door-Rear)

Locks and Latches (IBC Section):
All means of egress doors shall be readily openable from the side. Which egress is to be made without the use of a key or special knowledge of effort.



Location Map

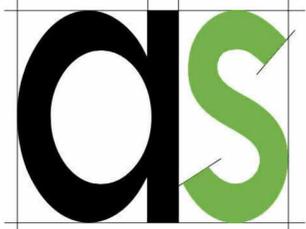


Keynote Legend	
Key Value	Keynote Text
D-2.1	Exterior wall to be removed
D-3.0	Existing window to be removed
D-6.0	Existing door and hardware to be removed
D-17.0	Remove existing vinyl awning
E-1.0	Existing brick to remain
E-1.1	Existing rock face block cornice
E-2.1	Existing coping to remain

General Requirements:

- Summary of work: commercial build out of existing commercial space as described through drawings and contracts. Complete plans and specifications.
- All contractors/subcontractors shall carefully examine the drawings and specifications, visit the site of the work, and fully inform himself as to all conditions and matter that can, in any way, affect the work or the cost thereof. Should this contractor find discrepancies in or omissions from the drawings, specifications or other documents, or should be in doubt as to their meaning, clarification is to be obtained prior to submitting any bid. No extra compensation will be allowed by reason of any matter or thing concerned with which a bidder might have fully informed himself prior to filing of his bid.
- Owner to provide allowances and/or selections for finishes including but not limited to paints, flooring, appliances, light fixtures, plumbing fixtures.
- Proposals to be entitled to consideration must be made in accordance with the following instructions. Proposals shall be made in duplicate proposals shall not contain any recapitulation of work to be done. The official signing the bid must initial all erasures or corrections on the proposal.
- Owner reserves that right to award the contracts to his best interests, to reject any or all proposals and to hold the proposals for period of 60 days.
- Successful bidders will be required to execute a construction contract in the form prescribed by the owner.
- No extra work is to be done with out a written signed change order.
- General contractor and his subs shall be responsible for notifying Julie/Digger before any excavation is to begin.
- All subcontractors shall be responsible for coordinating their work with all other trades.
- All subcontractors shall be responsible for their own daily clean up relative to their work.
- Written specifications to take precedence over drawings, a more detailed drawing will take precedence over less detail. When in conflict the more stringent will apply. Drawings and specifications are not to be taken independently.
- Dimensions are from existing finishes to new structural steel framing
- All work shall be installed level plumb and true
- All trades to comply fully with the latest safety requirements as mandated by O.S.H.A. any fines received by general contractor due to subcontractors actions will be back charged.
- Labor shall be performed rapidly, consistent with the project schedule and in a workmanlike manner to the satisfaction of the owner.
- General or owner assumes no liability for subcontractor material stored and or delivered to the site until permanently installed. Subcontractors is to be responsible to call and receive approval for his work from those having jurisdiction over his work. Any corrections, verifications of non-inspected work will be the responsibility of the subcontractor.
- General contractor and subcontractors shall hold harmless the architect, his manner from the wrong or negligent acts of the contractor, or the subcontractor and their respective employees.
- The architect is not responsible for the construction means, methods, techniques, sequences, procedures, or safety precautions in connection with the construction of this project, since these are solely the contractors responsibilities.
- All subcontractors to guarantee all work and material for one year after completion against all defects of material, equipment and workmanship.
- General contractor and subcontractors shall conform to all local and national building codes as they may apply and be responsible for the same.
- Alterations to non-structural specifications or equal or better quality will be considered with submittal of sample/specifications. Subcontractors to receive from owner written approval for substitution. Structural modifications must be submitted to the architect for written approval.

Commercial | Residential | Industrial



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 14421 Oakley Ave
 Orland Park, IL 60462
 Tel 708-933-4200
 Fax 708-966-0854
 www.archstudioitd.net

Note to Reviewer:

- No work outside all work is interior.
- All delivery of material shall be delivered to rear door.
- Interior work is separated from the exterior public space.
- Bottle water will be provided in lieu of drinking fountain per IPC 890.720.
 - Substitution. Whenever a drinking fountain is required by this Part, bottled drinking water or a water dispensing faucet (water station) may be substituted for a drinking fountain, provided that drinking water is accessible to the public. When bottled drinking water is provided in lieu of a drinking fountain, the bottled water used shall be commercially sealed in accordance with the Illinois Bottled Water Act and the Illinois Safe Bottled Water Act.
- Max. number of employees at any one time will be two (2)
- All plumbing work shall comply with the Illinois Plumbing Code and the Illinois Accessibility Code.
- Fire extinguishers shall follow NFPA 10 requirements.



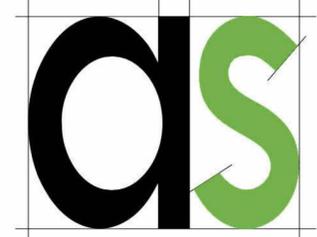
No.	Description	Date
1	Storefront	04-01-2021
2	Storefront	04-14-2021
3	Code Review Response	04-23-2021

KERx, LLC
 Tenant Build-out
 8 W. Jefferson Ave
Coversheet

Project number	2021-018
Date	03-22-2021
Drawn by	SAS
Checked by	Checker

A-0.0

Scale As indicated



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Door Schedule								
Type	Door				Fire Rating	Hardware	Comments	
	Width	Height	Thickness	Finish				
1	3' - 0"	8' - 0"		Alum/Glass		Set #1	New	
2	3' - 0"	7' - 0"	1 3/4"				<varies>	
3	3' - 0"	8' - 0"	1 3/4"				Extg-No Change	
4	3' - 0"	7' - 0"	1 3/4"				Extg-No Change	
5	3' - 0"	7' - 0"	1 3/4"			Set #6		
7	3' - 0"	7' - 0"	1 3/4"					

Room Schedule							
Room Number	Room Name	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Ceiling Height	Comments
1	Sales	PT-1	PB-1	WF-1/WF-2	SAC-1	11' - 5"	
2	Storage	VT-1	VB-1	WF-1	SAC-1	9' - 11 1/2"	
3	Restroom	CT-1	CB-1	WF-1	DW-1	8' - 0"	
4	Existing Basement	Exposed	N/A	N/A	N/A		

FRAME AND GLAZING TYPES

FRAME TYPE:

- TYPE 1 EXTERIOR ALUMINUM STOREFRONT SYSTEM**
 2"x4 1/2" THERMALLU BROKEN ALUMINUM STOREFRONT SYSTEM BY KAWNEER- TRIFAB 45IT (OR EQUAL), COLOR, DARK BRONZE SYSTEM TO MEET U-FACTOR OF 0.34.
- TYPE 2 INTERIOR HOLLOW METAL**
 2" HOLLOW METAL FRAME, COLOR, PAINTED SW6609 CAVIAR
- TYPE 3 EXTERIOR INSULATED HOLLOW METAL**
 2" HOLLOW METAL FRAME. COLOR, PAINTED TO MATCH EXTERIOR DOORS

GLAZING TYPE:

- GL-1 1" LOW E INSULATED GLAZING UNIT
 LOW-E INSULATING GLASS, "SOLARBAN" 60 (2) CLEAR + CLEAR GLASS BY VITRO. PROVIDE MIN. 0.38 SHGC

GLAZING AND FRAME NOTES:

1. GYPSUM BOARD RETURNS AT ALL WINDOWS, STOREFRONTS, AND CURTAIN WALLS, (U.N.O.), PROVIDE SUBMITTAL TO ARCHITECT FOR REVIEW.
2. GENERAL CONTRACTOR AND WINDOW CONTRACTOR TO ALLOW 1/4" MIN. SPACE BETWEEN FRAME AND OPENING, ADJUST DIMENSIONS SHOWN AS REQUIRED FOR FIELD CONDITIONS, TYPICAL ALL SIDES, VERIFY OPENINGS IN FIELD.
3. ROUGH OPENINGS SIZE INCLUDES 3/8" GAP FOR GLASS PANELS (OR 1/8" GAP FOR DOORS) FROM GYP. BD. WALL DOORS IN ELEVATION ARE INCLUDED IN ROUGH OPENING SIZE.
4. EXTERIOR SSSYSTEMS, PROVIDE MIN. U-FACTOR OF 0.38 FOR FIXED GLAZING AND 0.77 FOR ENTRANCE DOORS.
5. STOREFRONT SYSTEMS TO HAVE INTERNAL STEEL REINFORCING AS REQUIRED BY MANUFACTURER. FOR HEAD, JAMB AND SILL DETAILS REFER TO SHEET A-7.3 FOR ADDITIONAL INFORMATION.
6. INDICATES TEMPERED GLAZING PANE IS REQUIRED.

HARDWARE SCHEDULE

SET #1 EXTERIOR ALUMINUM DOORS

- (2) PAIR MANUF. STD. BUTT/PIVOT HINGES
- (1) ONLY 20-013 MORTISE CYLINDER WITH THUMBTURN.
- (1) ONLY 1460 PA CLOSER
- (1) DEAD LOCK/ LATCH COMBINATION
- (1) EXTERIOR PULL HANDLE AND INTERIOR PUSH BAR
- (1) CLEAR ALUM. THRESHOLD (1/2" HIGH MAX.)
- (1) COMPLETE PERIMETER WEATHER STRIP

SET #3 EXTERIOR INSUL. HM. ENTRY DOORS.

- (1 1/2) PAIR TA2714 NRP 4 1/2" X 4 1/2" 626 HINGES
- (1) ONLY MARKS 175AB 626 ENTRY LOCKSET
- (1) ONLY DON-JO LP-211SL LATCH PROTECTOR
- (1) ONLY CLP160ITP NORTON CLOSER
- (1) ONLY 171A X 36" ALUMINUM THRESHOLD
- (1) ONLY 303CPK 3684 PERIMETER GASKETING
- (1) ONLY 315CN X 36" DOOR SWEEP

SET #4 DOOR WITH SOUND CONTROL

- (1 1/2) PAIR TA2714 NRP 4 1/2" X 4 1/2" 626 HINGES
- (1) ONLY 70C US32D PUSH PLATE
- (1) ONLY 107 X 70C US32D PULL PLATE
- (1) ONLY CLP160ITP NORTON CLOSER
- (1) ONLY 10" X 34" KICKPLATE US32D
- (1) ONLY 303CPK 3684 PERIMETER GASKETING
- (1) ONLY 18061CNB X 36" DOOR SWEEP
- (1) ONLY 409 US26D WALL STOP
- (1) ONLY 622 PEEP SITE

SET #6 TOILET ROOM

- (1 1/2) PAIR TA2714 4 1/2" X 4 1/2" 626 HINGES
- (1) ONLY MARKS 175AB 626 PRIVACY LOCKSET
- (1) ONLY 409 US26D WALL STOP
- (1) ONLY 10" X 34" KICKPLATE US32D

SET #15 PASSAGE

- (1 1/2) PAIR TA2714 NRP 4 1/2" X 4 1/2" 626 HINGES
- (1) ONLY MARKS 175AB 626 PASSAGE LATCHSET
- (1) ONLY CLP160ITP NORTON CLOSER
- (1) ONLY 10" X 34" KICKPLATES US32D
- (1) ONLY 409 US26D WALL STOP

SET #20 JANITOR-DOUBLE DOOR

- (3) PAIR TA2714 4 1/2" X 4 1/2" 626 HINGES
- (1) ONLY MARKS 175N 626 PASSAGE LATCHSET
- (2) ONLY 555 FLUSH BOLTS US26D
- (2) ONLY 409 US26D WALL STOP



Rendering



No	Description	Date
3	Code Review Response	04-23-2021

KERx, LLC
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Schedules

Project number	2021-018
Date	03-22-2021
Drawn by	SAS
Checked by	Checker
A-3.0	
Scale	As indicated