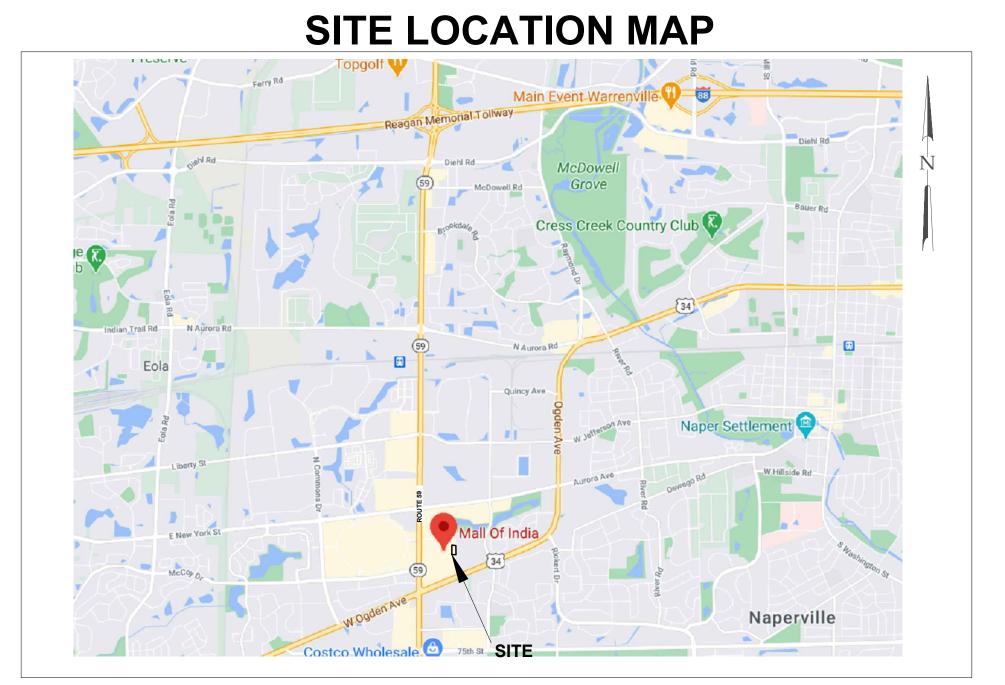
# **BENCHMARK INFO**

CITY BENCHMARK STATION #21, LOCATED AT THE southwest corner OF MCCOR DR. AND ROUTE 59. BERNSTEN 3D TOF SECURITY MONUMENT. CONSISTING OF A 9/16" DIA. STAINIESS WITH BMAC 6 ALUMINUM ACCESS COVER. ELEVATION 702.31 (NAVD 88 ,

ON SITE B, 1: FOUND MAG NAIL AT MOST SOUTHEAST PROPERT

ON SITE BM2: SET MAG NAIL SOUTHEASTERLY OF THE FIRE fydrant along the west side of the entrance drive at thi CORNER OF THE PROPERTY ELEV:701.68(NAVD88) FEMA BM: PID AA3737, ELEV.: 702.28 (NAVD88)

# **NEW PLAYGROUND TO DAY CARE** SITE IMPROVEMENT PLANS 776 S, ILLINOIS RTE 59, NAPERVILLE, DUPAGE COUNTY, IL



NOTE

The location of existing underground utilities, such as water mains, sewers, gas lines, etc., as shown on the plans, has been determined from the best available information and is given for the convenience of the Contractor. However, the Ŏwner and the Engineer do not assume responsibility in the event that during construction, utilities other than those shown may be encountered, and that the actual location of those which are shown may be different from the location as shown on the plans.

ARV Engineering, Inc. is not responsible for the safety of any party at or on the construction site. Safety is the sole responsibility of the contractor and any other person or entity performing work or services. Neither the owner nor engineer assumes any responsibility for the job site safety of persons engaged in the work or the means or methods of construction.

Current Standard Specifications of the Judicial Authority shall apply to the construction on this project.

> Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call: J.U.L.I.E. 1 (800) 892–0123

STANDARD DETAILS INDEX (SEE SHEET C-3) STORM SEWER TRENCH SECTION IN PAVED AREAS. STD. DETAIL #290.20 STORM SEWER TRENCH SECTION IN NON-PAVED AREAS. STD. DETAIL #290.21 RISER FOR SERVICE LATERAL. STD. DETAIL #390.20 WATER MAIN SECTION PROTECTION FROM EXISTING STORM SEWER. STD. DETAIL #490.14

GROUNDWATER ELEVATION: N/A.

OTHER DETAILS DRAIN TILE DETAIL STORMTECH CHAMBER INSTILLATION DETAIL

# DRAWING INDEX:

| C-1<br>C-2 | TITLE SHEET, LEGEND, SITE LOCATION, & AERIAL MAP<br>EXISTING TOPOGRAPHY, DEMOLITION PLAN, SOIL EROSION &<br>SEDIMENTATION CONTROL PLAN-PHASE I |
|------------|--|
| C-3        | PROPOSED GRADING, DRAINAGE PLAN, UTILITIES PLAN – OVERALL<br>SITE  |
| C - 4      | GEOMETRIC PLAN AND CONSTRUCTION NOTES  |
| C-5        | CITY OF NAPERVILLE STANDARD NOTES.   |
|            |  |
|            |  |

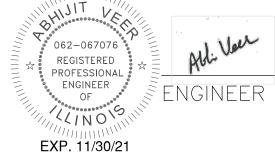
PROJEC<u>T NARRATIVE</u> GENERAL: PROPOSED NEW PLAYGROUND AND WATER FEATURES FOR A DAY CARE. AREA SUMMARY: TOTAL AREA OF SITE: 1.697 ACRES DISTURBED AREA OF SITE: 0.23 ACRES SPECIAL PROTECTION AREAS: NO FLOODPLAIN WITHIN 100' OF SITE. THERE NO ARE WETLANDS WITHIN 100' OF SITE UPSTREAM TRIBUTARY: THERE IS NO UPSTREAM TRIBUTARY AREA COMBINED/SEPARATE SEWER AREA INFO: PROPOSED PROJECT IS LOCATED IN SEPARATE SEWER AREAS. DETENTION/VOLUME CONTROL FACILITY: DETENTION IS REQUIRED PER COUNTY AND THE VILLAGE. DETENTION WAS ALREADY PROVIDED AS PART OF THE SUBDIVISION OF THE COMMERCIAL PROPERTY. SANITARY SEWERS: A FORCEMAIN WAS DESIGNED AS PART OF THE SUBDIVISION PLANS WITH A 4" DISCHARGE PIPE. THE PROPOSED BUILDING ALSO BEEN DESIGNED WITH A 4" DISCHARGE PIPE. SOILS/INFILTRATION RATE: STIFF SILTY CLAY



THEREOF. OR THAT WATER DRAINAGE WILL DRAINS WHICH THE OF SUCH WATERS INTO PUBLIC AREAS OWNER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTIES BECAUSE OF THE CONSTRUCTION OF THESE LOT IMPROVEMENTS.

04-06-21

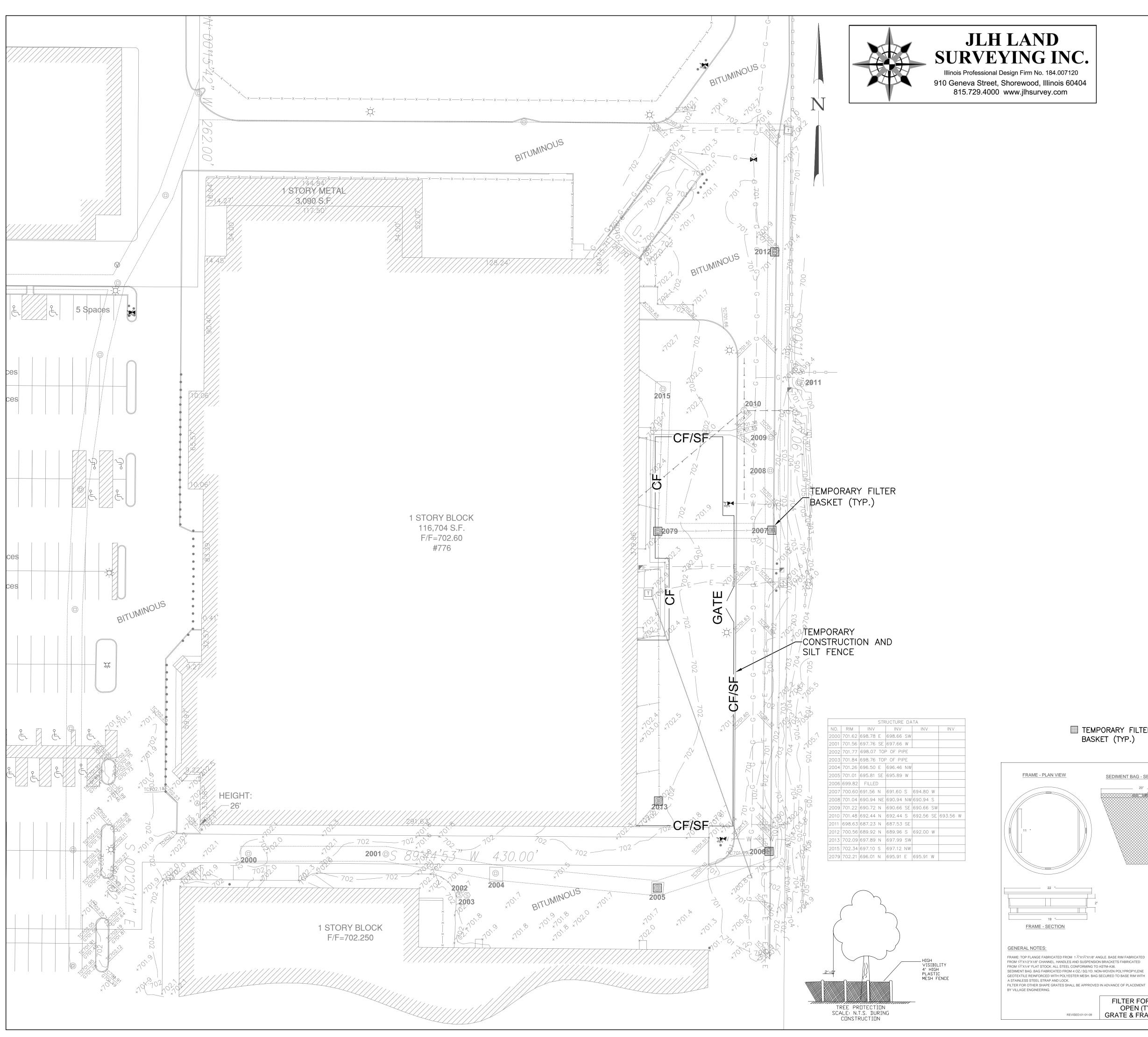
DATE



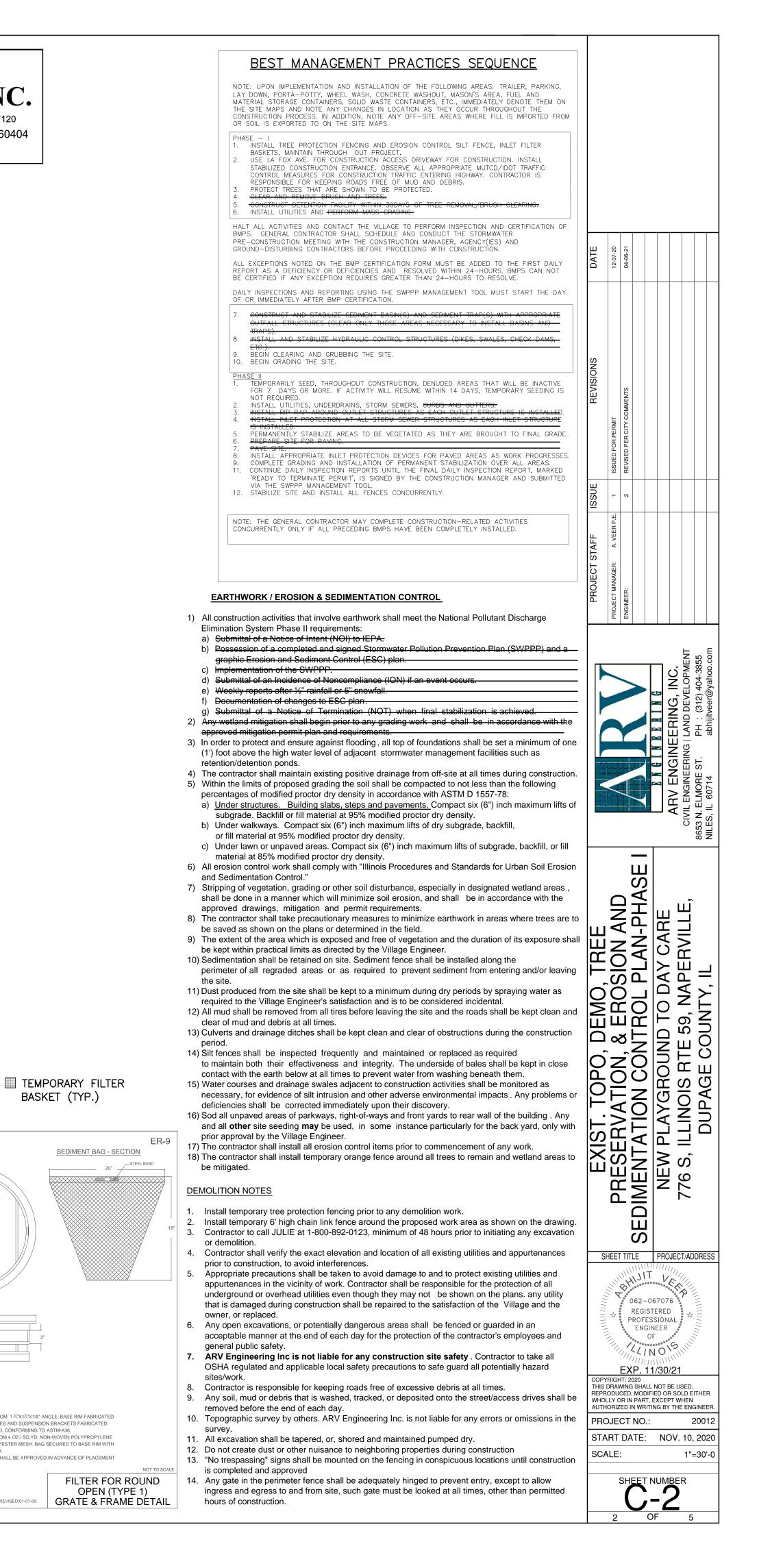
**SECTION: 22 TOWNSHIP: 38N** RANGE: 9E P.I.N. 07-22-300-038-0000 **AERIAL MAP** DISTURBED AREA OF SITE

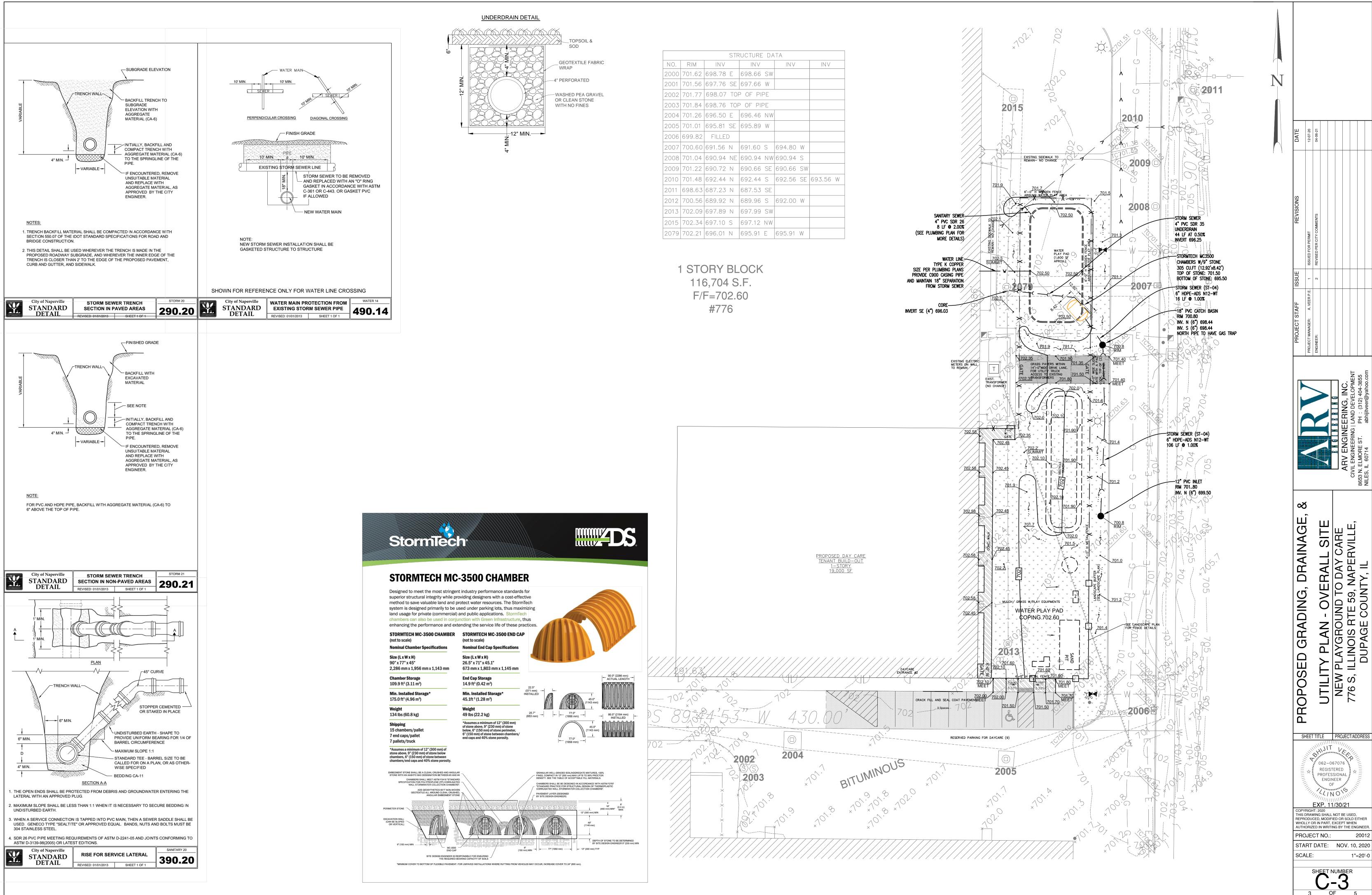
|                                     | LEGEND:<br>EXISTING  | PROPOSED                                      |
|-------------------------------------|----------------------|---|
| PROPERTY LINE                       |                      |   |
| SANITARY SEWER LINE                 | > >                  | > >   |
| WATER LINE                          | W                    | w   |
| STORM SEWER LINE                    | )                    | >   |
| STORM MANHOLE (OPEN L               | ID) ©                |   |
| STORM MANHOLE (CLOSE                | D LID)               |   |
| SANITARY MANHOLE                    | ۲                    |   |
| COMBINED SEWER                      | > >                  | >>  |
| COMBINED MANHOLE                    | ۲                    |   |
| CATCH BASIN                         |                      |   |
| INLET                               | $\bigcirc$           |   |
| WATER VALVE VAULT                   |                      | W   |
| WATER VALVE                         |                      | V   |
| GRADE                               | +597.32              | 597.55  |
| DRAINAGE DIVIDE                     |                      |   |
| CURB & GUTTER                       |                      |   |
| CLEANOUT                            |                      | Oco   |
| DOWNSPOUT (ROOF DRAI                | NS) <sup>←⊖</sup> DS | <-● <sub>DS</sub> ●- ≻                        |
| WATER B. BOX                        |                      | Овв   |
| TREE PROTECTION FENCE               | Ē                    | -000  |
| CONSTRUCTION FENCE                  |                      | CF  |
| INLET FILTER BASKET                 |                      |   |
| TRAFFIC DIRECTION PAVE<br>MARKING   | MENT 📼               |   |
| TELEPHONE LINE                      | — т —                |   |
| RETAINING WALL<br>W/RAILING         |                      | <u>, , , , , , , , , , , , , , , , , , , </u> |
| TOP OF CURB<br>BOTTOM OF CURB       |                      | T/C XXX.XX<br>B/C XXX.XX                      |
| TOP OF CURB<br>BOTTOM OF GUTTER     |                      | T/C XXX.XX<br>B/G XXX.XX                      |
| SOD GRADES                          |                      | S XXX.XX                                      |
| DESPRESSED CURB<br>BOTTOM OF GUTTER |                      | D/C XXX.XX<br>B/G XXX.XX                      |











| STRUCTURE DATA |  |  |   |   |  |   |  |   |
|----------------|--|--|---|---|--|---|--|---|
| RIM            | INV  |  | INV   |   | INV  |   | INV  |   |
| 701.62         | 698.78   | E  | 698.66  | SW  |  |   |  |   |
| 701.56         | 697.76   | SE   | 697.66  | W   |  |   |  |   |
| 701.77         | 698.07   | TOF  | P OF PI   | ⊃E  |  |   |  |   |
| 701.84         | 698.76   | TOF  | P OF PI   | PΕ  |  |   |  |   |
| 701.26         | 696.50   | Е  | 696.46  | NW  |  |   |  |   |
| 701.01         | 695.81   | SE   | 695.89  | W   |  |   |  |   |
| 699.82         | FILLE  | D  |   |   |  |   |  |   |
| 700.60         | 691.56   | Ν  | 691.60  | S   | 694.80   | W   |  |   |
| 701.04         | 690.94   | NE   | 690.94  | NW  | 690.94   | S   |  |   |
| 701.22         | 690.72   | Ν  | 690.66  | SE  | 690.66   | SW  |  |   |
| 701.48         | 692.44   | Ν  | 692.44  | S   | 692.56   | SE  | 693.56   | W   |
| 698.63         | 687.23   | Ν  | 687.53  | SE  |  |   |  |   |
| 700.56         | 689.92   | Ν  | 689.96  | S   | 692.00   | W   |  |   |
| 702.09         | 697.89   | Ν  | 697.99  | SW  |  |   |  |   |
| 702.34         | 697.10   | S  | 697.12  | NW  |  |   |  |   |
| 702.21         | 696.01   | Ν  | 695.91  | Ε   | 695.91   | W   |  |   |
|                | 701.62         701.56         701.77         701.84         701.26         701.01         699.82         700.60         701.04         701.22         701.48         698.63         700.56         702.09         702.34 | 701.62698.78701.56697.76701.77698.07701.84698.76701.26696.50701.01695.81699.82FILLEI700.60691.56701.22690.72701.48692.44698.63687.23700.56689.92702.09697.89702.34697.10 | RIM         INV           701.62         698.78         E           701.56         697.76         SE           701.77         698.07         TOF           701.84         698.76         TOF           701.26         696.50         E           701.01         695.81         SE           699.82         FILLED           700.60         691.56         N | RIMINVINV701.62698.78E698.66701.56697.76SE697.66701.77698.07TOPOFPII701.84698.76TOPOFPII701.26696.50E696.46701.01695.81SE695.89699.82FILLED690.94691.60701.04690.94NE690.94701.22690.72N690.66701.48692.44N692.44698.63687.23N687.53700.56689.92N697.99702.09697.89N697.99702.34697.10S697.12 | RIM         INV         INV           701.62         698.78         E         698.66         SW           701.56         697.76         SE         697.66         W           701.77         698.07         TOP         OF         PIPE           701.84         698.76         TOP         OF         PIPE           701.26         696.50         E         696.46         NW           701.01         695.81         SE         695.89         W           699.82         FILLED         691.60         S           700.60         691.56         N         691.60         S           701.04         690.94         NE         690.94         NW           701.22         690.72         N         690.66         SE           701.48         692.44         N         692.44         S           698.63         687.23         N         687.53         SE           700.56         689.92         N         689.96         S           702.09         697.89         N         697.99         SW           702.34         697.10         S         697.12         NW | RIMINVINVINV701.62698.78 E698.66 SW701.56701.56697.76 SE697.66 W701.77698.07 TOP OF PIPE701.84698.76 TOP OF PIPE701.84696.50 E696.46 NW701.01695.81 SE695.89 W701.01695.81 SE695.89 W700.60691.56 N691.60 S694.80701.02690.72 N690.94 NW690.94701.48692.44 N692.44 S692.56700.56689.92 N687.53 SE692.00702.09697.89 N697.99 SW702.34702.34697.10 S697.12 NW701.2 NW | RIM       INV       INV       INV         701.62       698.78       E       698.66       SW         701.56       697.76       SE       697.66       W         701.77       698.07       TOP       OF       PIPE         701.84       698.76       TOP       OF       PIPE         701.26       696.50       E       696.46       NW         701.01       695.81       SE       695.89       W         701.02       690.94       NE       690.94       W         700.60       691.56       N       691.60       S       694.80       W         701.04       690.94       NE       690.94       NW       690.94       S         701.48       692.44       N       692.44       S       692.56       SE         698.63       687.23       N       687.53       SE       5         698.63       687.23       N       689.96       692.00       W         702.09       697.89       N       697.99       SW       5         702.34       697.10       S       697.12       NW       5 | RIM         INV         INV         INV         INV           701.62         698.78 E         698.66 SW             701.56         697.76 SE         697.66 W             701.77         698.07 TOP OF PIPE              701.84         698.76 TOP OF PIPE              701.26         696.50 E         696.46 NW             701.01         695.81 SE         695.89 W             701.02         690.94 NE         690.94 NW         690.94 S            701.04         690.94 NE         690.94 NW         690.94 S            701.22         690.72 N         690.66 SE         690.66 SW            701.48         692.44 N         692.44 S         692.56 SE         693.56           698.63         687.23 N         687.53 SE             700.56         689.92 N         689.96 S         692.00 W            702.09         697.89 N         697.99 SW             702.34         697.10 S         697.12 NW |

|     | ERAL CONSTRUCTION NOTES<br>The construction shall be under the general inspection of the Village engineer and the owner's   | 26.             | 5  |
|-----|---|-----------------|--|
| 2.  | engineer.<br>All work shall be in accordance with the applicable sections of the following specifications:  |                 | waste material and accumulations, and shall keep the premises clean. The contractor shall clean premises to the satisfaction of the owner, engineer, and Village.  |
|     | <ul> <li>a. Illinois Department of Transportation (I.D.O.T.) "Standard Specifications for Road and Bridge<br/>Construction" January 1, latest edition.</li> </ul>   | 27.             | The contractor shall have appropriate equipment, including street sweepers and end loaders availa<br>on-site at all times when equipment or vehicles are using existing public or private pavement. The  |
|     | <ul><li>b. "Standard Specifications for Water and Sewer Main Construction in Illinois" latest edition.</li><li>c. "Illinois Recommended Standards for Sewage Works" as published by the I.E.P.A.</li></ul>  |                 | contractor shall immediately remove any dirt, mud, clay, sediment, concrete, gravel, sand, stones, plant matter, debris, refuse, garbage, etc. deposited on any street, sidewalk or alley by any equipmediately and equipmedia |
|     | <ul> <li>d. "Manual on Uniform Traffic Control Devices" (M.U.T.C.D.) latest edition.</li> <li>e. The Subdivision and Development Codes and Standards of the Village of South Holland.</li> </ul>  |                 | vehicles or people associated with this project. The contractor is responsible for complying with al Village ordinances including any and all assessments of cost that may result. This work shall not be  |
|     | f. "Procedures and Standards for Urban Soil Erosion and Sedimentation Control in Illinois"<br>published by the Association of Illinois Soil and Water Conservation Districts.   | 28.             | paid for separately, but shall be included in the cost of the work.<br>All trenching, shoring, and construction work performed shall be in accordance with O.S.H.A.  |
|     | Where a contradiction occurs with any part of the standard specifications, the most stringent   |                 | Standards. The contractor shall at all times maintain proper dust control at the site and shall have watering truck readily available during all working hours.  |
|     | requirement shall take precedence, as determined by the engineer.   | 29.             |  |
|     | The contract documents (Plans and Specifications/General Notes) shall supersede the standard  |                 | healthy work site as determined by the owner or engineer. Water for non-emergency use shall not obtained from any fire hydrant, unless the fire hydrant is metered in accordance with Village  |
|     | specifications. If there is a conflict between the plans and specifications, the most stringent requirement shall take precedence, as determined by the engineer.   | 20              | requirements. The cost to furnish dust control shall be incidental to the cost of construction.  |
|     | The contractor shall have at least one copy of all applicable specifications as well as one copy of the   | 30.             | repairs.   |
|     | contract documents (Plans and Specifications) available at the job site at all times that work is in progress.  | 32.             | Tree removal permit is required for removal of all trees 10" diameter or greater.<br>An inspection of the top of foundation will be required prior to pouring.   |
|     | Should any discrepancies or conflicts on the plans, quantities or specifications be discovered by the contractor, whether prior to awarding or after the award of the contract, the engineer's attention shall  | 34.             | 1 5  |
|     | be called to the same before work is begun thereon and so that proper corrections can be made.<br>Contract Documents and Drawings:  |                 | All retaining walls greater than 36" high need to be approved by a licensed structural engineer.<br>Retaining wall shop drawings to be submitted by contractor for approval.   |
|     | <ul><li>A. The engineer's drawings (The Plans) shall be included as part of the contract documents.</li><li>B. The contractor is required to review the soils report for the site.</li></ul>  |                 | Construction staking shall be provided by the contractor and shall be included in the contract price licensed surveyor must stake all grading, utility and paving work.  |
|     | C. All bidders shall carefully examine the drawings and specifications prepared for the work.<br>They shall visit the site of the work and acquaint themselves with all local conditions, codes,  | 37.             | Upon completion of the project, the contractor or engineer shall submit a sets of as-built engineerir plan and a grading certificate. These documents shall be submitted within thirty (30) days of final  |
|     | and requirements affecting the contract. If awarded the contract, they shall not be allowed extra compensation by reason of any unforeseen difficulties or obstacles which the bidder   |                 | approval to the Village. The price per this work shall be included in contractors fee.   |
|     | could have discovered or reasonably anticipated prior to the bidding.<br>D. Should it appear that the work covered by the contract documents is not sufficiently detailed or  | <u>ЕА</u><br>1. | <u>RTHWORK AND GRADING</u><br>All earthwork shall be done in accordance with the state of Illinois, "Standard Specifications for Ro  |
|     | explained, an RFI form shall be submitted to the engineer for further drawings or explanations as may be necessary to clarify the point in question prior to the contract award. It is the  |                 | and Bridge Construction," latest edition and "Supplemental Specifications and Recurring Special Provisions," latest edition. Included in this work, but not necessarily limited to the following are:  |
|     | intention of the contract documents to provide a job complete in every respect. The contractor is responsible for this result and to turn over the project in complete operating condition,   |                 | clearing, stripping and stockpiling of topsoil, mass grading and fine grading of the site and roadway excavation of unsuitable materials and excavation of detention ponds, landscape mound  |
| 5.  | irrespective of whether the contract documents cover every individual item in minute detail.<br>The Local Department of Public Works and Community Development shall be notified 24 hours in  | 2.              | construction, and miscellaneous topsoil respread and seeding.<br>Any earthwork summaries provided by the engineer are intended to be used as a guide for the   |
|     | advance to schedule inspections for sidewalk, curb and gutter driveways, aprons, paving, grading, watermain, sewer main and utility services.   |                 | contractor in determining the scope of the completed project. It is the responsibility of the contract to determine all material quantities and appraise themselves of all site conditions. The contract price   |
|     | Work shall not take place without required traffic control devices and barricades in place per the M.U.T.C.D. Any deficiency of safety or traffic control devices shall be just cause to stop the project   |                 | submitted by the contractor shall be considered as lump sum for the complete project. No claims for extra work will be recognized unless ordered in writing by the owner.  |
|     | until such time as the deficiency is corrected.<br>Village streets shall not be closed without the written permission of the Village Department of  | 3.              | The initial establishment of erosion control procedures and the placement of erosion control fence, etc. shall be installed by the contractor prior to the start of mass grading.  |
|     | Engineering and Community Development and then only after proper notification has been given to the Police and Fire Departments.  | 4.              | All grading operations are to be supervised and inspected by the owner's engineer or their representative. All testing, inspection, and supervision of soil quality, unsuitable soil removal and i   |
|     | The contractor shall immediately remove mud, soil or debris deposited on public streets. Failure to keep streets clean shall be just-cause for issuance of a Stop Work Order or citation.   |                 | replacement, and other soils related operations shall be entirely the responsibility of the soils engineer. No undercut shall be performed or claims for extra work without authorization by the   |
|     | Signs located in the public right-of-way must not be removed or damaged. If a sign needs to be moved, notify the Public Works Department.   | 5.              | owner and documentation by the soils engineer.<br>Clearing shall consist of the removal and disposal of all obstructions such as trees, hedges, fences   |
| 10. | Construction materials shall not be stored within the Village Right-Of-Way.   | -               | walls, accumulations of rubbish of whatever nature, and all logs, shrubs, brush, grass, weeds, and other vegetation and stumps. These items shall be performed whenever they occur within the stre   |
| 11. | The owner/contractor shall be responsible for obtaining all required Federal, State, County, I.E.P.A. permits.  |                 | right of ways, and within the limits of construction. Trees to be saved shall be identified by the Engineer on the construction plans. All trees, except those designated to be saved, and all stumps  |
|     | The contractor shall, at his own expense, obtain all other permits, licenses, etc., as may be required  |                 | shall be cut and legally disposed of. Trees, stumps, and hedges within the limits of construction shall be removed completely. Trees designated to be saved as indicated on the plans, or as   |
|     | for the execution of this work, give all necessary notices, pay all fees required, post all bonds, and comply with all laws, ordinances, rules and regulations relating to the work and to the preservation of  |                 | directed by the engineer, shall be protected in accordance with the procedures outlined in Article 201.05 of the "Standard Specifications for Road and Bridge Construction."   |
|     | public health and safety.   | 6.              | Strip topsoil down to firm subbase. stockpile quantity necessary for landscaping, and remove other materials from the site.  |
|     | All required insurance and/or bonds shall be provided by the contractor as may be required by the permitting agency.  | 7.              | Excavation shall consist of the excavation, removal, and satisfactorily disposal or placement and compaction of all materials taken from within the site for the construction of embankments,  |
|     | The contractor shall meet all of the requirements of any permits as might be issued for this work by other agencies, and shall pay for at their sole expense any surety or bonds as may be required by the  |                 | subgrade, subbase, shoulders, intersections, ditches, waterways, entrances, approaches and incidental work, and the removal and satisfactory disposal of unstable and unsuitable materials and   |
|     | permitting agency.  | 8.              | their replacement with satisfactory materials where required.<br>After stripping and excavating to the proposed subgrade level, as required, the building and parkin   |
| 12. | The contractor is responsible for having a set of approved engineering plans with the latest revision date on the job site at all times during the construction period.   | •               | areas should be proof-rolled with a loaded, tandem-axle dump truck or similar rubber tired vehicle, loaded with at least 9 tons per axle. Proof-rolling aids in providing a firm base for compaction of fills  |
| 13. | The contractor shall indemnify and save harmless the owner, ARV Engineering Inc., and their officers and employees; the Village and their officers, employees, agents, and engineers, and from and  |                 | and help to delineate soft, loose, or disturbed areas that may exist below subgrade level.<br>Proof-rolling is especially important to help evaluate the surficial stability of existing fill soils that may   |
|     | against all losses, claims, demands, payments, suits, actions, recoveries, and judgment of every<br>nature and description brought or recovered against them, by reason of any act or omission of said  |                 | be left in place below floor slabs and pavements. Soils which are observed to rut or deflect excessively (more than 1 inch) under the moving load should either be scarified and re-compacted  |
|     | contractor, their agents, subcontractors or employees, in the execution of the work or in the guarding of it.   |                 | with a smooth drum vibratory roller for granular soils, a sheeps foot roller for cohesive soils, or undercut and replaced with properly compacted and documented structural fill. The proof-rolling ar   |
|     | The location of existing underground utilities, such as water mains, sewers, gas lines, etc., as shown on the plans, has been determined from the best available information and is given for the   |                 | undercutting activities should be observed and documented by a representative of the geotechnical engineer and should be performed during a period of dry weather. In addition to proof-rolling, the   |
|     | convenience of the Contractor. However, the Owner and Engineer do not assume responsibility in the event that during construction, utilities other than those shown may be encountered and that the actual  |                 | subgrade soils should be scarified and compacted to at least 90 percent of the Modified Proctor maximum dry density ASTM D 698 for a depth of at least 8 inches below the surface.   |
|     | location of those which are shown may be different from the location as shown on the plans. The contractor is to verify the location of all utilities prior to the start of work and is responsible for damage  | 9.              | Where encountered, loose sands and asphalt grindings should be re-compacted with a vibratory roller. Clay subgrade soils can be easily disturbed by construction activities and are sensitive to   |
|     | to same. The contractor shall call J.U.L.I.E. 1-800-892-0123 and the Village public works department for utility locates before excavating.   |                 | moisture. Therefore, extra care should be used to avoid disturbing these soils during construction activities. If the soils become unstable during construction, or if near surface soft subgrade soils ar   |
|     | Existing utilities are shown on the plans according to information obtained from utility companies and surveys. The owner and engineer do not guarantee the accuracy or completeness of this information.   |                 | encountered, it is recommended that coarse aggregate be placed on the subgrade until a stable base for compaction of fill is achieved. Typically, 12 to 24 inches of course aggregate are required.  |
|     | The contractor shall make their own investigation to determine the existence, nature and location of all utility lines and appurtenances within the limits of the improvement. The contractor shall locate all  |                 | depending in the consistency of the subgrade. the course aggregate should consists of clean, crushed stone gravel between 1/4 and 3 inches in size. The course aggregate should be spread in   |
|     | utilities far enough in advance to avoid all conflicts in grade separation between existing utilities and proposed improvements. If the contractor encounters a conflict between the proposed improvement   | 10.             | a max. of 12-inch layers and consolidated with compaction equipment until it is "locked" in place.<br>Topsoil excavation shall consist of the removal and stockpiling, or placing on fill slopes or placing i  |
|     | and existing utility that was not located in advance by the contractor, then the contractor shall at no cost to owner, relocate the proposed improvements and/or utility to avoid the conflict.   |                 | mounds, of the uppermost layers of organic soil. Topsoil shall be stockpiled on the areas as show<br>on the plans or as directed by the engineer.  |
|     | The contractor will be required to cooperate with all utility companies involved in connection with the   |                 | Topsoil respread shall consist of placing a minimum of a four (4) inch layer of topsoil over the unpaved areas within the construction limits.   |
|     | removal, temporary relocation, reconstruction or abandonment by these companies of any and all services or facilities owned or operated by them within the limit of this improvement.   | 13.             | 4" topsoil & sod shall be placed on all disturbed areas within the right of way.<br>Refer to the landscape plans for additional information on ground cover & planting requirements.   |
|     | Before doing any work which will damage, disturb or leave unsupported or unprotected any utility lines  | 14.             | Embankment shall be placed in accordance with Section 205 of the "Standard Specifications for Road and Bridge Construction." All embankments located within structural fill areas shall be   |
|     | or appurtenances encountered, the contractor shall notify the respective owner thereof, who will make<br>all arrangements for relocating, adjusting, or otherwise maintaining or abandoning service on lines that<br>fall within the limite of the proposed construction without cost to the contractor including the removal |                 | constructed to a minimum 95% of the modified proctor density (ASTM D1557). Embankments located in non-structural fill areas shall be constructed to a minimum of 90% of the modified procto density (ASTM D1557).  |
|     | fall within the limits of the proposed construction without cost to the contractor, including the removal of all cables, manhole covers and other appurtenances which the owner desires to salvage. After such arrangements have been made, the contractor will proceed with the work as directed by the                      | 15.             | Completed grading (finished fine grade) for all proposed improvements shall be within a tolerance plus or minus one-tenth (0.1) feet of design subgrade elevations.  |
|     | such arrangements have been made, the contractor will proceed with the work as directed by the engineer. All utility lines and appurtenances which are abandoned shall be removed and legally disposed of by the contractor.  | 16.             | The subgrade for the proposed streets and pavement areas shall be proof-rolled by the contractor the presence of the Village engineer and soils engineer. Any unstable areas encountered shall be  |
|     | No extra compensation will be allowed by the contractor for any expense incurred by complying with  |                 | removed and replaced as directed by the Village engineer and soils engineer. Any unstable areas shall be documented by the soils engineer.   |
|     | these requirements or because of delays, inconvenience or interruptions in their work resulting from<br>the failure of any utility company to remove, relocate, reconstruct or abandon their services. The  | 17.             | It shall be the responsibility of the contractor to remove from the site any and all materials and deb which results from their construction operations at no additional expense to the owner.   |
|     | responsibility for prompt and timely removal, relocation, reconstruction or abandonment of their facilities by all utility companies involved, and the coordination of their own work with that of these  | 18.             | When in the opinion of the soils engineer, unsuitable soil conditions are encountered within utility trenches which require the removal of unsuitable materials below the depth of the bedding specifie  |
|     | companies to the end that work on this improvement is not delayed because of the necessary changes<br>in the existing utilities, public or private, shall rest upon the contractor.   |                 | the contractor shall obtain approval by the owner and the owner's engineer prior to removing the unsuitable soils and replace the material with granular compacted bedding material as directed by   |
|     | The flow from any field tiles draining off-site properties shall be maintained. The contractor shall notify   |                 | the soils engineer and the Village. The depth of the removal and replacement shall be documente<br>by the owner's engineer and witnessed by the contractor.  |
|     | the engineer if any such field tiles are encountered and shall show them on a set of as-built plans.<br>All existing utilities or improvements, including walks, curbs, pavements and parkways damaged or   |                 | This work, when approved by the owner and owner's engineer, will be measured and paid for at th  |
|     | removed during construction shall be promptly restored to their respective original condition.<br>All existing pavement or concrete to be removed shall be saw cut along the limits of the proposed   |                 | contract unit price per cubic yard in place for unsuitable soil which price shall include the removal<br>and off-site disposal of unsuitable soil, the additional bedding material, and all labor, materials and   |
|     | removal. Payment for sawing shall be included in the cost of the removal of each item.<br>The contractor is to verify all critical elevations prior to commencing work and if there are any   | 19.             | equipment required to perform the work as specified.<br>The contractor shall be responsible for hiring and scheduling a qualified testing firm for all soil  |
|     | discrepancies, is to notify the engineer immediately. The contractor shall call to the attention of the engineer any errors or discrepancies which may be suspected in the lines and grades which are   |                 | testing. This shall be included in the cost of work.   |
|     | established by the surveyor, and shall not proceed with the work until any lines and grades which are<br>to believed to be in error have been verified or corrected by the engineer.  |                 |  |
| 20. | No holes are to be left open in the pavement or the parkway over a holiday, weekend, or after 3 p.m. on the day preceding a holiday or weekend.   |                 |  |
|     | Any bracing, sheeting or special construction methods deemed necessary by the contractor in order to install the proposed improvements shall be considered incidental to the cost of the project. Any   |                 |  |
|     | additional soils data needed to confirm the contractor's opinions of the subsoil conditions shall be done at the contractor's expense. The contractor shall obtain the owner's written authorization to access the  |                 |  |
|     | site to conduct a supplemental soils investigation.   |                 |  |

22. Whenever the performance of work is indicated on the plans, and no item is included in the contract for payment, the work shall be considered incidental to the contract and no additional compensation will be allowed.

23. All items shown to be removed, shall be legally disposed of off-site.

24. All work performed under this contract shall be guaranteed against all defects in materials and workmanship of whatever nature by the contractor and his surety for a minimum period of 12 months from the date of final acceptance of the work by the Village, other applicable governmental agencies, and the owner.

25. No work shall be performed on adjacent private property without the written permission of the property owner.

#### IEPA NOTES: e premises, rubbish, Sewers crossing water mains shall be laid to meet the following specifications: tractor shall clean the Horizontal Separation:

A. Whenever possible, a water main must be laid at least ten feet horizontally from any

B. Should local conditions exist which would prevent a lateral separation of ten feet, a water

C. If it is impossible to obtain proper horizontal and vertical separation as described in 1 and  $^{\prime}$ 2 above, both the water main and sewer must be constructed of pipe material which would

main may be laid closer than ten feet to a storm or sanitary sewer provided that the water main invert is at least eighteen inches above the crown of the sewer, and is either in a

separate trench or in the same trench on an undisturbed earth shelf located to one side of

conform to water main standards and be pressure tested to assure water tightness before

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existing or proposed drain or sewer line.

the sewer.

backfilling. 2. Vertical Separation:

- l end loaders available e pavement. The avel, sand, stones,
- alley by any equipment, complying with all nis work shall not be
- with O.S.H.A. e and shall have a
- nhealthy due to ary to maintain a ency use shall not be with Village onstruction.
- avement openings and
- an IDOT R.O.W. ctural engineer.
- the contract price. A as-built engineering
- ecifications for Road ecurring Special e following are: e site and roadways, e mound
- a guide for the lity of the contractor s. The contract price oject. No claims
- sion control fence, eer or their soil removal and its ty of the soils
- rization by the s, hedges, fences, grass, weeds, and
- ccur within the street entified by the ved, and all stumps of construction plans, or as utlined in Article
- and remove other placement and ankments, proaches and
- itable materials and ouilding and parking bber tired vehicle,
- compaction of fills, de level. ng fill soils that may or deflect and re-compacted esive soils, or
- he proof-rolling and of the geotechnical proof-rolling, the odified Proctor with a vibratory
- are sensitive to iring construction subgrade soils are de until a stable egate are required, sists of clean, hould be spread in locked" in place.
- slopes or placing in he areas as shown osoil over the
- requirements. pecifications for eas shall be mbankments e modified proctor
- within a tolerance of by the contractor in ountered shall be
- ny unstable areas materials and debris owner.
- ered within utility e bedding specified, to removing the erial as directed by hall be documented
- and paid for at the lude the removal abor, materials and
- Whenever water mains cross house sewers, storm drains or sanitary sewers, the water main shall be laid at such an elevation that the invert of the water main is eighteen inches above the crown of the drain or sewer. This vertical separation must be -) maintained for that portion of the water main located within ten feet horizontally of any sewer or drain crossed. This must be measured as the normal distance from the water main to the drain or sewer. ( [ • Where conditions exist that the minimum vertical separation set forth in 1 above cannot \_ be maintained, or it is necessary for the water main to pass under a sewer or drain, one of the following two measures must be taken: A. The water main shall be installed within a PVC carrier pipe and the carrier pipe shall extend on each side of the crossing until the normal distance from the water main to the  $\,$ sewer or drain line is at least ten (10) feet. B. The involved sewer or drain shall be constructed of pipe material which would conform to water main standards until the normal distance from the water main to the sewer is 2015 at least ten (10) feet. In making such crossings, center a length of water main pipe over the sewer to be crossed so **2010** that the joints will be equidistant from the sewer and as remote there from as possible. Where a water main must cross under a sewer, a vertical separation of eighteen inches between the invert of the sewer and the crown of the water main shall be maintained, along with means to support the larger sized sewer lines to prevent their settling and breaking the water main. The horizontal and vertical separation between water service lines and all sanitary sewers, storm / sewers, or any drain should be the same as for water mains, as detailed above, except that when minimum horizontal and vertical separation cannot be maintained, water pipe as EXISTING SIDEWALK TO REMAIN- NO CHANGE described under Vertical Separation above, may be used for sewer service lines. 2009 6'-0" H WOODEN FENCE AROUND WATER PLAY AREA 2008 2 Z WATER PLAY PAD (1,600 SF APROX.) \*~  $\bigcirc$ -**2007** 🗐 )**20**' EXISTING ELECTRIC METERS ON WALL TO REMAIN RASS PAVERS WITHIN 14'--O"WIDE DRIVE LAN FOR UTILITY TRUCK ACCESS TO EXISTING TRANSFORMERS EXIST. TRANSFORMER (NO CHANGE) **|**→<sup>9'-0</sup>" PROPOSED DAY CARE TENANT BUILD-OUT 1-STORY 19,000 SF MULCH/ GRASS W/RLAY EQUIRMENTS -SEÉ DANDSCAPE PLA FOR FENCE DETAILS 2013 DAYCARE **-1**0.00' CRACK FILL AND SEAL COAT PAVEMENT 2006 9 Space 8.00 99.00' RESERVED PARKING FOR DAYCARE (9)

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|--|---|--|--|--|---|--|--|---|---|---|---|
| А.<br>В.<br>С.   | TE PLAN NOTES:<br>ALL WORK AND MATEF<br>STANDARDS.<br>ALL DISTURBED AREAS<br>STAND OF GRASS IS E<br>ALL CURBED RADII AR<br>TO BE 5' UNLESS OTH<br>ALL DIMENSIONS ARE<br>FOUNDATION UNLESS OF<br>BUILDING DIMENSIONS<br>ARCHITECTURAL INFOR<br>MAY EXIST, THEREFOR<br>AND EXACT UTILITY EN<br>PRIOR TO CONSTRUCTI<br>ALL PROPOSED CURB<br>EXISTING TOPOGRAPHY  | RALS SHALL COMPLY<br>SARE TO RECEIVE F<br>STABLISHED UNLESS<br>E TO BE 3' MEASUR<br>FACE OF CURB TO F<br>OTHERWISE NOTED.<br>AND ADJACENT PAR<br>MATION CURRENT AT<br>E CONTRACTOR SHAL<br>TRANCE LOCATIONS<br>ON.<br>AND GUTTER SHALL<br>SHOWN REPRESENT  | OUR INCHES OF<br>OTHERWISE NC<br>ED TO FACE OF<br>FACE OF CURB<br>KING AND UTILI<br>THE DATE OF<br>LL REFER TO AI<br>AND NOTIFY TH<br>BE B6.12 UNLE  | TOPSOIL, SE<br>DTED.<br>CURB UNLE<br>AND RADII AF<br>TY LAYOUT H<br>THIS DRAWIN<br>RCHITECTURAT<br>HE ARCHITECT<br>ESS OTHERWIS<br>ON AS PREPA   | ED, MULCH AND<br>SS OTHERWISE NO<br>RE BACK OF CURI<br>AVE BEEN PREPA<br>G. SUBSEQUENT /<br>PLANS FOR PRE<br>AND ENGINEER<br>E NOTED.<br>RED BY OTHERS.   | WATER UNTIL HE<br>DTED. STRIPED R<br>B OR BUILDING<br>ARED BASED UPC<br>ARCHITECTURAL<br>ECISE BUILDING I<br>OF ANY DISCREF<br>CONTRACTOR S  | ALTHY  ADII ARE  ADII ARE  CHANGES  CHANGES  CHANGES  ANCIES  HALL FIELD             |   |   |   |   |
| <br>Н.<br>I.<br>J.<br>–<br>К.                                  | CHECK EXISTING ELEV<br>OF ANY DISCREPANCIE<br>THE CONTRACTOR SHA<br>SHALL CONTACT THE<br>EXISTING STRUCTURES<br>ABANDONED ELSEWHEF<br>CONTRACTOR SHALL B<br>BUT NOT LIMITED TO,<br>ALL WORK SHALL BE I<br>SPECIFICATIONS AND S<br>SITE BOUNDARY, TOPOC  | S PRIOR TO STARTIN<br>ALL CONTACT J.U.L.I.I<br>OWNER SHOULD UTIL<br>WITHIN CONSTRUCTI<br>RE AS NECESSARY. 7<br>DE RESPONSIBLE FOR<br>ALL UTILITIES, STORI<br>IN ACCORDANCE WITI<br>SHALL BE APPROVED<br>OGRAPHY, UTILITY AN  | NG CONSTRUCTION<br>E. (1-800-892-<br>ITIES APPEAR T<br><del>ON LIMITS ARE<br/>ALL COST SHALL</del><br>ALL RELOCATION<br>M DRAINAGE, SI<br>H GOVERNING A<br>BY SUCH. ALL<br>ID ROAD INFORM  | ON.<br>0123) PRIOF<br>TO BE IN CON<br><del>TO BE REMO'</del><br>L BE INCLUDE<br>ONS, (UNLESS<br>IGNS, TRAFFIC<br>UTHORITIES F<br>. COST SHALL<br>MATION TAKEN  | R TO ANY WORK<br>FLICT WITH THE F<br><del>VED UNDER PROP</del><br>D IN BASE BID.<br>OTHERWISE NOTI<br>SIGNALS AND PO<br>REQUIREMENTS AN<br>BE INCLUDED IN<br>N FROM A SURVE   | TO LOCATE UTILI<br>PROPOSED IMPRO<br>OSED BUILDINGS<br>ED ON PLANS) I<br>OLES, ETC. AS F<br>ID PROJECT SITE<br>I BASE BID.<br>Y BY OTHERS.   | TIES AND<br>DVEMENT.<br>AND<br>NCLUDING<br>REQUIRED.<br>WORK                         | DATE  | 04-06-21  |   |   |
| L.<br>M.<br>N.<br>O.<br>P.<br>Q.<br>R.<br>S.<br>T.<br>U.<br>V. | IMPROVEMENTS ADJAC<br>CANOPIES, RAMPS, HA<br>APPROXIMATE LOCATIC<br>AND DIMENSIONS OF V<br>DIMENSIONS AND EXAC<br>THE CONTRACTOR SHA<br>INDICATED ON PLANS.<br>CONTRACTOR TO VERIF<br>ARCHITECTURAL PLANS<br>TOTAL LAND AREA IS<br>WETLANDS WERE NOT<br>THE SITE WORK FOR T<br>MONUMENT AND/OR P<br>ALL GENERAL CONTRA<br>MILESTONE DATE IN PL<br>ALL ROADWAY AND PA<br>SECTIONS OF THE STA<br>TRANSPORTATION, STA<br>ROUTING OF GAS, ELE<br>CHANCE BASED UPON<br>CONTRACTOR SHALL C<br>SERVICES PRIOR TO S<br>CONTRACTOR SHALL A<br>CONTINUOUS GRADE | NDICAP ACCESS, PL<br>N ONLY. CONTRACTO<br>(ESTIBULES, SLOPE F<br>T BUILDING UTILITY<br>ALL ADJUST RIM ELE<br>TY LOCATION, SIZES,<br>3.<br>11.464+/- ACRES.<br>PRESENT ON THIS S<br>THIS PROJECT SHALL<br>YLON SIGNS SHALL<br>CTOR WORK TO BE<br>ROJECT DOCUMENTS.<br>ARKING LOT IMPROVE<br>NDARD SPECIFICATION<br>TE OF ILLINOIS, LAT<br>CTRIC AND TELEPHO<br>FINAL REVIEW AND<br>CONTACT EACH UTILIT<br>TART OF CONSTRUCT | ANTERS, DUMPS<br>DR SHALL REFEI<br>PAVING, SIDEWAL<br>ENTRANCE LOC.<br>VATIONS OF ALL<br>AND ELEVATION<br>DISTURBED ARE<br>ITE.<br>MEET OR EXCE<br>BE CONSTRUCTE<br>COMPLETED (EA<br>COMPLETED (EA<br>COMPLETE | STERS AND TF<br>R TO THE AR<br>LKS, EXIT POF<br>ATIONS.<br>L EXISTING ST<br>NS OF ALL BI<br>CA IS 0.060+,<br>EED THE "SITE<br>ED BY OWNER<br>RTHWORK, FIN<br>BE COMPLETE<br>AND BRIDGE<br>SHOWN ARE<br>RESPECTIVE UND COORDINA | RANSFORMERS ETG<br>CHITECTURAL PLA<br>RCHES, TRUCK DC<br>RUCTURES TO PF<br>JILDING SERVICE<br>/- ACRES.<br>E SPECIFIC SPECIF<br>ASSIGNED CONTI<br>NAL UTILITIES, AN<br>D IN ACCORDANCE<br>CONSTRUCTION, D<br>HILITY COMPANIES<br>TE FINAL LOCATIO | C. HAVE BEEN S<br>ANS FOR EXACT<br>DCKS, PRECISE E<br>ROPOSED GRADE:<br>LOCATIONS WITH<br>FICATIONS."<br>RACTOR.<br>D FINAL GRADIN<br>E WITH THE APP<br>DEPARTMENT OF<br>DEPARTMENT OF<br>NLY AND SUBJEC<br>S AND OWNER.<br>DNS FOR ALL UT | HOWN FOR<br>LOCATIONS<br>BUILDING<br>S AS<br>G) BY THE<br>PLICABLE<br>CT TO<br>HLITY | STAFF ISSUE   | PHOJECI MANAGEH: A. VEEH P.E. 1 ISSUED FOH PEHMII<br>ENGINEER: 2 REVISED PER CITY COMMENTS  |   |   |
|  |   |  |  |  |   |  |  |   |   | ARV ENGINEERING, INC.   | CIVIL ENGINEERING   LAND DEVELOPMENT<br>8653 N. ELMORE ST. PH : (312) 404-3855<br>NILES, IL 60714 abhijitveer@yahoo.com |
|  |   | SIDEWALKS<br>5" PORTLAND (<br>4" COMPACTED   |  | ICRETE   | D<br>URSE, TYPE B   | 3  |  | SITE PLAN & GEOMETRIC PLAN                            |   | NEW PLAYGROUND TC   | 776 S, ILLINOIS RTE 59, NAPERVILLE,<br>DUPAGE COUNTY, IL  |
|  |   | GRASS PAVERS<br>UNILOCK TURFS<br>CONCRETE PAD<br>8" CONCRETE F<br>4" COMPACTED<br>*REFER TO COI  | STONE<br>1 <u>S – TRASH</u><br>PAVEMENT W<br>AGGREGATE   | //6X6 W/1.<br>E BASE CA  | 4 WWF*<br>-6, TYPE B  |  |  | COPYR<br>THIS DF<br>REPROI<br>WHOLL<br>AUTHOI<br>PROJ | OG2-<br>REGI<br>PROFI<br>ENC<br>EXP.<br>GHT: 2020<br>GHT: 2020<br>G | NO<br>11/30/21<br>LL NOT BE L<br>DIFIED OR SC<br>T, EXCEPT W<br>ITING BY TH | SED,<br>DLD EITHER  |
|  |   |  |  |  |   |  |  | SCAL  | SHEET   |   | 1"=20'-0<br>ER<br>5   |

#### Transportation, Engineering and Development Business Group Standard Construction Plan Notes for Development Projects January 2013

The City of Naperville Transportation, Engineering and Development (TED) Business Group has established Standard Notes, which should be included in the final engineering plans for private development projects. The Standard Notes are broken out by type of work. The Consultant designing the final engineering plans should review the lists below to determine which Standard Notes should be included.

Please note that the City of Naperville Department of Public Utilities – Water/Wastewater (DPU-W) has their own Standard Notes they require for water and sanitary sewer work in private development final engineering plans. Please contact DPU-W for separately for the Water/Wastewater Standard Notes.

### General Notes

The General Notes in this section should be included in all final engineering plans regardless of the type of project.

| 1 | THE OWNER OR HIS/HER/THEIR REPRESENTATIVE IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED BY APPLICABLE GOVERNMENTAL AGENCIES.   |
|---|--|
| 2 | ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF NAPERVILLE DESIGN MANUAL AND<br>STANDARD SPECIFICATIONS (CURRENT EDITION) AND WITH THE ILLINOIS DEPARTMENT OF<br>TRANSPORTATION'S "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CNSTRUCTION" (CURRENT<br>EDITION).   |
| 3 | ALL CONTRACTORS DOING WORK IN THE PUBLIC RIGHT-OF-WAY MUST BE LICENSED (WHEN APPLICABLE)<br>TO MAKE PUBLIC IMPROVEMENTS WITHIN THE NAPERVILLE CORPORATE LIMITS.  |
| 4 | THE CONTRACTOR/DEVELOPER ASSUMES ALL RESPONSIBILITY AND LIABILITY FOR ANY ACTION RESULTING FROM THEIR WORK WITHIN THE PUBLIC RIGHT-OF-WAY.   |
| 5 | THE CONTRACTOR/DEVELOPER SHALL INDEMNIFY AND HOLD HARMLESS THE CITY OF NAPERVILLE.   |
| 6 | PRIOR TO COMMENCEMENT OF ANY OFF-SITE CONSTRUCTION, THE CONTRACTOR SHALL SECURE WRITTEN AUTHORIZATION THAT ALL OFF-SITE EASEMENTS HAVE BEEN SECURED AND THAT PERMISSION HAS BEEN GRANTED TO ENTER ONTO PRIVATE PROPERTY.   |
| 7 | THE CONTRACTOR AND THEIR ON-SITE REPRESENTATIVES WILL BE REQUIRED TO ATTEND A PRE-<br>CONSTRUCTION MEETING WITH THE CITY OF NAPERVILLE PRIOR TO ANY WORK BEING STARTED. A PRE-<br>CONSTRUCTION MEETING WILL NOT BE SCHEDULED UNTIL THE PROJECT HAS BEEN APPROVED BY THE<br>CITY OF NAPERVILLE DEVELOPMENT REVIEW TEAM AND THE REQUIRED SURETY HAS BEEN POSTED. |
| 8 | A MINIMUM OF 48 HOURS NOTICE SHALL BE GIVEN TO THE CITY OF NAPERVILLE TED BUSINESS GROUP (630-420-6082) PRIOR TO STARTING WORK OR RESTARTING WORK AFTER SOME ABSENCE OF WORK FOR ANY REASON.   |

| andard N<br>nuary 20<br>age <b>6</b> of <b>1</b> |  |
|--|--|
|  | ALL STORM SEWER STRUCTURE FRAMES WITHOUT INSIDE FLANGES SHALL BE SHAPED WITH NOI<br>SHRINKING HYDRAULIC CEMENT TO FORM A FILLET TO THE STRUCTURE OR ADJUSTING RING.  |
| 12   | WHEN ADJUSTMENTS ARE NECESSARY, THEY SHALL BE PERFORMED WITH A MAXIMUM OF 2 PRECAS<br>CONCRETE RINGS SET IN A CONTINUOUS LAYER OF PREFORMED BITUMINOUS MASTIC. THE MAXIMU<br>HEIGHT OF ADJUSTMENTS SHALL BE 12 INCHES. TWO INCH CONCRETE RINGS SHALL ONLY BE USE<br>WHEN THE ADJUSTMENT IS LESS THAN 3 INCHES. |
|  | ADJUSTMENTS LESS THAN 4 INCHES MAY BE MADE USING HARD COMPOSITE RUBBER TYPE RINGS, SUC<br>AS GNR OR APPROVED EQUAL. ONLY ONE TYPE OF ADJUSTING RING MAY BE USED ON A STRUCTUR<br>COMBINING BOTH CONCRETE AND HARD COMPOSITE RUBBER RINGS ON A STRUCTURE IS NO<br>PERMITTED.                                    |
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## TED Business Group Standard Notes for Development Projects January 2013 Page **2** of **10** IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ADEQUATELY IDENTIFY AND UTILITIES PRIOR TO EXCAVATION. BEFORE STARTING CONSTRUCTION, THE 9 CONTACT JULIE FOR THE LOCATION OF ANY AND ALL UTILITIES. THE TOLL-FREE 0123. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ANY PRIVATE FA MEMBER FACILITIES. THE CONTRACTOR CAN SCHEDULE ALL NECESSARY SITE INSPECTIONS WITH THE C CALLING (630) 420-6082 BETWEEN THE HOURS OF 8:00AM AND 4:00PM (CLOSI 10 DAILY) ON WEEKDAYS WHEN THE CITY IS OPEN FOR BUSINESS. THE CONTRACTOR PROVIDE THE SITE PERMIT NUMBER FOR THE PROJECT IN ORDER TO SCHEDULE TH RECORD DRAWINGS ARE REQUIRED TO BE SUBMITTED AND APPROVED BY TH 11 PRIOR TO FINAL OCCUPANCY BEING GRANTED. FINAL ACCEPTANCE OF PUBLIC IMPROVEMENTS SHALL BE GRANTED ONLY AFTER HAS BEEN COMPLETED AND HAS REVEALED THAT ALL IMPROVEMENTS HAVE 12 COMPLETED IN ACCORDANCE WITH THE NAPERVILLE STANDARD SPECIFICATION CONSIDERED ACCEPTED UNTIL THEY ARE FORMALLY ACCEPTED BY THE CITY CO ACCORDANCE WITH THE NAPERVILLE MUNICIPAL CODE. General Notes (Project Specific) The Consultant should review the following General Notes to determine if they are ap be completed with the project. Those Notes that are applicable should be included in th TRAFFIC SIGNALS AND THEIR ASSOCIATED EQUIPMENT UNDER THE JURISDICTIO ARE NOT INCLUDED IN THE JULIE SYSTEM. THE CONTRACTOR SHALL CONTACT AND IDOT DIRECTLY REGARDING THE LOCATEION OF TRAFFIC SIGNALS (CABL SYSTEMS) UNDER DUPAGE COUNTY OR IDOT JURISDICTION.

#### TED Business Group Standara Note evelopment Projects

#### January 2013 Page **7** of **10**

Erosion Control and Drainage Notes (General) The Erosion Control and Drainage Notes in this section should be included in all f regardless of the type of work in the project.

| 1 | THE CONTRACTOR SHALL MAINTAIN PROPER DRAINAGE AT ALL TIMES DU<br>CONSTRUCTION AND PREVENT STORM WATER FROM RUNNING INTO OR ST<br>AREAS.  |
|---|--|
| 2 | DURING EXTENDED DRY PERIODS, THE CONSTRUCTION AREA(S) MAY NEED TO PREVENT THE BLOWING OF SOIL FROM THE SITE.   |
| 3 | DURING CONSTRUCTION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE UT<br>TRACKING OF DIRT ONTO THE PUBLIC STREETS. IT IS THE CONTRACTOR'S R<br>PUBLIC STREET PAVEMENT CLEAN OF DIRT AND DEBRIS. ANY DIRT THAT IS TRA |

Erosion Control and Drainage Notes (Project Specific)

The Erosion Control and Drainage Notes in this section are intended to be included w erosion control work as part of the project. The Consultant should review the following they are applicable to the work being completed.

| 1 | ALL EROSION CONTROL MEASURES SHALL BE PROPERLY INSTALLED, AS PERMITT<br>DISTURBANCE ACTIVITIES. ALL EROSION CONTROL SHALL BE MAINTAINED UNTIL             |
|---|---|
| 2 | ACCEPTABLE PERIMETER EROSION CONTROL INCLUDES SILT FENCE, SILT W<br>APPLICATION APPROVED BY THE CITY ENGINEER.  |
| 3 | ALL OPEN GRATE STRUCTURES SHALL HAVE EROSION CONTROL PROTECTION IN A APPROVED EROSION CONTROL PLANS. INLET BASKETS ARE THE PREFERRED I SHALL NOT BE USED. |
| 4 | STOCKPILES NOT BEING DISTURBED FOR MORE THAN 14 DAYS SHALL BE SEEDED.   |
| 5 | ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY, AFTER ANY MORE FREQUENTLY AS NECESSARY TO MAINTAIN THEIR FUNCTION.                                |
|   |   |

## Erosion Control and Drainage Notes (NPDES Permit)

The Erosion Control and Drainage Note in this section should be included if the project requires an NPDES permit.

| IT IS THE RESPONSIBILITY OF THE OWNER OR HIS DESIGNEE TO INSPECT ALL<br>CONTROL MEASURES PER THE REQUIREMENTS OF THE NPDES PERMIT AND COP<br>AS NEEDED. |
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| ness Group<br>Notes for Development Projects<br>013<br>1 <b>0</b>   | TED Business Group<br>Standard Notes for Development Projects<br>January 2013<br>Page <b>3</b> of <b>10</b>   | TED Business Group<br>Standard Notes for Development Projects<br>January 2013<br>Page <b>4</b> of <b>10</b>  |
|---|---|--|
| IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ADEQUATELY IDENTIFY AND LOCATE ALL EXISTING<br>UTILITIES PRIOR TO EXCAVATION. BEFORE STARTING CONSTRUCTION, THE CONTRACTOR SHALL<br>CONTACT JULIE FOR THE LOCATION OF ANY AND ALL UTILITIES. THE TOLL-FREE NUMBER IS 800-892-<br>0123. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ANY PRIVATE FACILITIES OR NON-JULIE  | Storm Sewer Notes (General)<br>The Storm Sewer Notes in this section should be included in all final engineering plans regardless of the type of<br>work in the project.  | 1c<br><u>DUCTILE IRON PIPE (DIP)</u> - DUCTILE IRON PIPE SHALL CONFORM TO AN<br>CLASS THICKNESS DESIGNED PER ANSI A 21.50 (AWWA C-150), TAR (SE<br>LINED PER ANSI A 21.4 (AWWA C-104), WITH MECHANICAL OR RUBBER<br>ON) JOINTS. ALL DUCTILE IRON PIPE SHALL BE WRAPPED WITH POLYETHY   |
| MEMBER FACILITIES.<br>THE CONTRACTOR CAN SCHEDULE ALL NECESSARY SITE INSPECTIONS WITH THE CITY OF NAPERVILLE BY<br>CALLING (630) 420-6082 BETWEEN THE HOURS OF 8:00AM AND 4:00PM (CLOSED 1:00PM TO 2:00PM<br>DAILY) ON WEEKDAYS WHEN THE CITY IS OPEN FOR BUSINESS. THE CONTRACTOR WILL BE REQUIRED TO<br>PROVIDE THE SITE PERMIT NUMBER FOR THE PROJECT IN ORDER TO SCHEDULE THE INSPECTION(S).  | 1       NO CONNECTION TO AN EXISTING PUBLIC STORM SEWER MAY BE MADE WITHOUT PERMISSION OF THE CITY ENGINEER.         2       THE CONTRACTOR SHALL REPAIR ANY EXISTING FIELD DRAINAGE TILE DAMAGED DURING CONSTRUCTION AND PROPERLY REPOUTE AND/OR CONNECT SAID TILE TO THE NEAREST STORM SEWER OUTLET. ALL LOCATIONS OF ENCOUNTERED FIELD DRAINAGE TILE SHALL BE PROPERLY INDICATED ON THE  | POLYVINYL CHLORIDE PIPE (PVC)         POLYVINYL CHLORIDE (PVC) PIPE SHA           3034, TYPE PSM.         THE MINIMUM STANDARD DIMENSION RATIO (SDR) SH           1d         BE MADE OF PVC PLASTIC HAVING A MINIMUM CELL CLASSIFICATION OF           A MINIMUM PIPE STIFFNESS OF FORTY-SIX (46) LBS. PER INCH (317 KP)           SHALL BE FLEXIBLE ELASTOMETRIC SEALS PER ASTM D 3212.  |
| RECORD DRAWINGS ARE REQUIRED TO BE SUBMITTED AND APPROVED BY THE CITY OF NAPERVILLE<br>PRIOR TO FINAL OCCUPANCY BEING GRANTED.  | CONTRACTOR'S RECORD DRAWINGS.   | 1e       HIGH DENSITY POLYETHELYNE PIPE (HDPE)       - HIGH-DENSITY POLYETH         1e       CONFORM TO THE REQUIREMENTS OF AASHTO M 252 AND M 294. PIF         MADE FROM VIRGIN PE COMPOUNDS WHICH CONFORM TO THE REQUIREMENTS OF AASHTO M 254. PIF   |
| FINAL ACCEPTANCE OF PUBLIC IMPROVEMENTS SHALL BE GRANTED ONLY AFTER A FINAL INSPECTION<br>HAS BEEN COMPLETED AND HAS REVEALED THAT ALL IMPROVEMENTS HAVE BEEN SATISFACTORILY<br>COMPLETED IN ACCORDANCE WITH THE NAPERVILLE STANDARD SPECIFICATIONS. UTLITIES ARE NOT<br>CONSIDERED ACCEPTED UNTIL THEY ARE FORMALLY ACCEPTED BY THE CITY COUNCIL AS REQUIRED IN<br>ACCORDANCE WITH THE NAPERVILLE MUNICIPAL CODE.  | Storm Sewer Notes (Storm Sewer Work in Plans)<br>The Storm Sewer Notes in this section are intended to be included when a project includes storm sewer work<br>as part of the project. The Consultant should review the following Notes to determine if they are applicable to<br>the work being completed.   | 324420C AS DEFINED AND DESCRIBED IN ASTM D 3350. RUBBER GASKET         1f         FULLY GALVANIZED CORRUGATED STEEL PIPE - FULLY GALVANIZED COR         1f       BE USED FOR RESIDENTIAL DRIVEWAY CROSSINGS ONLY WHEN A DITCH         MINIMUM CULVERT SIZE IS 12" DIAMETER.  |
| <b>I Notes (Project Specific)</b><br>Insultant should review the following General Notes to determine if they are applicable to the work to<br>Insultant should review. Those Notes that are applicable should be included in the engineering plans.  | The first note provided below includes information regarding all of the allowable storm sewer pipe materials.<br>Only those materials that are identified on the plans are required to be included. However, if the contractor<br>requests a change to the pipe material and the associated pipe material information is not included in the<br>engineering plans, the applicable Storm Sewer Note will need to be added to final engineering plans the as<br>part of the Field Change request.   | 2 BEDDING, OTHER THAN CONCRETE EMBEDMENT, SHALL CONSIST OF GRAV<br>CRUSHED STONE 1/4 INCH TO 1 INCH IN SIZE. AS A MINIMUM, THE MATERIA<br>REQUIREMENTS OF IDOT STANDARD SPECIFICATIONS. THE GRADATIC<br>GRADATION CA-7 OR CA-11 OF THE STANDARD SPECIFICATIONS.  |
| TRAFFIC SIGNALS AND THEIR ASSOCIATED EQUIPMENT UNDER THE JURISDICTION OF DUPAGE COUNTY<br>ARE NOT INCLUDED IN THE JULIE SYSTEM. THE CONTRACTOR SHALL CONTACT DUPAGE COUNTY DOT<br>AND IDOT DIRECTLY REGARDING THE LOCATEION OF TRAFFIC SIGNALS (CABLING AND ASSOCIATED  | THE FOLLOWING MATERIALS ARE PERMITTED FOR STORM SEWER AND PIPE CULVERTS. WHERE A<br>PARTICULAR MATERIAL IS SPECIFIED IN THE PLANS OR SPECIAL PROVISIONS, NO OTHER KIND OF<br>MATERIAL WILL BE PERMITTED:  | BACKFILL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF IDOT ST<br>THE GRADATION SHALL CONFORM TO GRADATION CA-6 OF THE STANDARD S<br>MATERIAL SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.  |
| SYSTEMS) UNDER DUPAGE COUNTY OR IDOT JURISDICTION.  | REINFORCED CONCRETE PIPE (RCP)- REINFORCED CONCRETE PIPE SHALL CONFORM TO ASTM<br>DESIGNATION C 76, CLASSES I, II, III, IV OR V. BITUMINOUS JOINTS SHALL CONFORM TO ASTM<br>DESIGNATIONS C 14 OR C 76 AS MAY BE APPLICABLE. BITUMINOUS MATERIAL SHALL CONSIST OF A<br>HOMOGENEOUS BLEND OF BITUMEN, INERT FILLER, AND SUITABLE SOLVENT APPROVED BY THE<br>CITY ENGINEER. RUBBER GASKET JOINTS SHALL CONFORM TO ASTM C 433. REINFORCED<br>CONCRETE PIPE SHALL ALSO BE PERMITTED AS ROUND, ELLIPTICAL, OR BOX SHAPED OR AS<br>REINFORCED CONCRETE ARCH CULVERT.   | TYPE COUPLINGS; CASCADE CSS, ROMAC LSS, FERNCO, INC. SHEAR RING, OR         AVAILABLE, A STANDARD JOINT WITH A TRANSITION GASKET MAY BE U         4       MANUFACTURER, CLASS, AND DATE OF ISSUE SHALL BE CLEARLY IDENTIFIED         THE CONTRACTOR SHALL ALSO SUBMIT BILLS OF LADING, OR OTH         DOCUMENTATION WHEN REQUESTED BY THE CITY ENGINEER. ALL NUTS AN         SHALL BE STAINLESS STEEL.         MANHOLES FOR STORM SEWERS SHALL HAVE A MINIMUM INSIDE DIAMETER  |
|   | 1b       NON-REINFORCED CONCRETE PIPE - NON-REINFORCED CONCRETE PIPE SHALL BE ALLOWED FOR PIPES WITH A 10 INCH OR SMALLER DIAMETER. NON-REINFORCED CONCRETE PIPE SHALL CONFORM TO ASTM DESIGNATION C 14, CLASS 3. BITUMINOUS JOINTS SHALL CONFORM TO ASTM DESIGNATIONS C 14 OR C 76 AS MAY BE APPLICABLE. BITUMINOUS MATERIAL SHALL CONSIST OF A  | BE CONSTRUCTED OF PRECAST CONCRETE UNITS IN ACCORDANCE WITH A<br>5 EDITION) AND SHALL CONFORM TO THE CITY OF NAPERVILLE STANDARD DET,<br>BE WATER-TIGHT. ALL VISIBLE LEAKS SHALL BE SEALED IN A MANNER<br>ENGINEER.<br>MANHOLES SHALL BE FURNISHED WITH A SELF-SEALING FRAME AND SOLID C<br>WORKS 1022 WITH TYPE A SOLID COVER, OR APPROVED EQUAL) WITH THE W  |
|   |   | SURFACES. INVERTED MANHOLE FRAMES ARE NOT ALLOWED. PICK H  |
| ness Group<br>Notes for Development Projects<br>1013  | TED Business Group<br>Standard Notes for Development Projects<br>January 2013   | TED Business Group<br>Standard Notes for Development Projects<br>January 2013  |
| Notes for Development Projects  | Standard Notes for Development Projects   | TED Business Group<br>Standard Notes for Development Projects  |
| Notes fo <sup>r</sup> Development Projects<br>1013<br>2 <b>10</b><br><u>Control and Drainage Notes (General)</u><br>Dision Control and Drainage Notes in this section should be included in all final engineering plans   | Standard Notes for Development Projects         January 2013         Page 8 of 10         Geometric and Paving Notes (General)         The Geometric and Paving Notes in this section should be included in all final engineering plans regardless of the type of work in the project.         1       THE DEVELOPER AND CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO ADEQUATELY PROTECT THE PAVEMENT AND PROPERTY, CURB AND GUTTER AND OTHER RIGHT-OF-WAY IMPROVEMENTS, WHETHER NEWLY CONSTRUCTED OR EXISTING, FROM ANY AND ALL DAMAGE. SUFFICIENT MEANS SHALL BE EMPLOYED BY THE CONTRACTOR TO PROTECT AGAINST SUCH DAMAGE TO THE SATISFACTION OF THE CITY ENGINEER.         2       ANY NEW OR EXISTING IMPROVEMENTS THAT ARE DAMAGED SHALL BE REPAIRED OR REPLACED IN A MANNER THAT IS SATISFACTORY TO THE CITY ENGINEER.         3       THE CONTRACTOR AND/OR DEVELOPER SHALL SECURE ALL NECESSARY RIGHTS AND PERMISSIONS TO PERFORM ANY WORK ON PRIVATE PROPERTY NOT WITHIN THE OWNERSHIP RIGHTS OF THE DEVELOPER. THE DEVELOPER SHALL BEAR THE SOLE RESPONSIBILITY FOR DAMAGES THAT MAY OCCUR AS A RESULT  | TED Business Group         Standard Notes for Development Projects         January 2013         Page 9 of 10         Traffic Control and Protection Notes (General)         The Traffic Control and Protection Notes (General)         The Traffic Control and Protection Notes in this section should be included in regardless of the type of work in the project.         ALL DEVELOPERS AND CONTRACTORS SHALL PROVIDE SUITABLE TRAFFI CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH PART 6 OF THE MANU CONTROL DEVICES (MUTCD), LATEST EDITION. TRAFFIC CONTROL MUST ACTIVITY THAT IMPACTS TRAFFIC FLOW. THIS INCLUDES, BUT IS NOT LIM REQUIRING DETOURS, DAILY LANE CLOSURES, LONG TERM LANE CLOSUR CONSTRUCTION VEHICLES ENTERING AND EXITING THE PUBLIC ROADWAY. A UPS MAY BE INSPECTED BY THE CITY OF NAPERVILLE TO ENSURE THAT THEY GUIDANCE TO MOTORISTS AND ARE NOT IN THEMSELVES PRESENTING A H REPRESENTATIVE OF THE DEVELOPER OR CONTRACTOR MUST PROVIDE PH THEY CAN BE REACHED 24 HOURS A DAY AND ON WEEKENDS SO THAT THEY   |
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| Notes for Development Projects         013         10         Control and Drainage Notes (General)         Dision Control and Drainage Notes in this section should be included in all final engineering plans         asso of the type of work in the project.         THE CONTRACTOR SHALL MAINTAIN PROPER DRAINAGE AT ALL TIMES DURING THE COURSE OF CONSTRUCTION AND PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.         DURING EXTENDED DRY PERIODS, THE CONSTRUCTION AREA(S) MAY NEED TO BE WATERED DOWN TO PREVENT THE BLOWING OF SOIL FROM THE SITE.         DURING CONSTRUCTION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE UTILIZED TO MINIMIZE THE TRACKING OF DIRT AND TEREFT XARWENT CLEAN OF DIRT AND DEBRIS. ANY DIRT THAT IS TRACKED ONTO THE PUBLIC STREETS. SHALL BE REMOVED THE SAME DAY. IF THE AMOUNT TRACKED ON THE PUBLIC STREET SHALL BE REMOVED THE SAME DAY. IF THE AMOUNT TRACKED ON THE PUBLIC STREET IS EXCESSIVE, CLEANING MAY BE REQUIRED MORE FREQUENTLY.         Control and Drainage Notes in this section are intended to be included when a project includes control work as part of the project. The Consultant should review the following Notes to determine if e applicable to the work being completed.         ALL EROSION CONTROL MEASURES SHALL BE PROPERLY INSTALLED, AS PERMITTED, PRIOR TO ANY LAND DISTURBANCE ACTIVITIES. ALL EROSION CONTROL SHALL BE MAINTAINED UNTIL TURF IS ESTABLISHED.         ACCEPTABLE PERIMETER EROSION CONTROL INCLUDES SILT FENCE, SILT WORM AND ANY OTHER APPLICATION APPROVED BY THE CITY ENGINEER.         ALL OPEN GRATE STRUCTURES SHALL HAVE EROSION CONTROL PROTECTION IN ACCORDANCE WITH THE APPROVED EROSION CONTROL PLANS. INLET BASKETS ARE THE PREF | Standard Notes for Development Projects         January 2013         Page 8 of 10          Geometric and Paving Notes (General)          The Geometric and Paving Notes in this section should be included in all final engineering plans regardless of       the type of work in the project.          1       THE DEVELOPER AND CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO ADEQUATELY PROTECT THE         PAVEMENT AND PROPERTY, CURB AND GUTTER AND OTHER RIGHT-OF-WAY IMPROVEMENTS, WHETHER         NEWLY CONSTRUCTED OR EXISTING, FROM ANY AND ALL DAMAGE. SUFFICIENT MEANS SHALL BE         EMPLOYED BY THE CONTRACTOR TO PROTECT AGAINST SUCH DAMAGE TO THE SATISFACTION OF THE         CITY ENGINEER.          2       ANY NEW OR EXISTING IMPROVEMENTS THAT ARE DAMAGED SHALL BE REPAIRED OR REPLACED IN A         MANNER THAT IS SATISFACTORY TO THE CITY ENGINEER.          3       THE CONTRACTOR AND/OR DEVELOPER SHALL SECURE ALL NECESSARY RIGHTS AND PERMISSIONS TO         PERFORM ANY WORK KON PRIVATE PROPERTY NOT WITHIN THE OWNERSHIP RIGHTS OF THE DEVELOPER.         THE DEVELOPER SHALL BEAR THE SOLE RESPONSIBILITY FOR DAMAGES THAT MAY OCCUR AS A RESULT         OF WORK PERFORMED UNDER CONTRACTS THEY INITIATE.          4       THE CONTRACTOR/DEVELOPER WILL BE RESPONSIBLE FOR BRINGING PAVEMENTS (STREET, CURB AND         GUTTER, SIDEWALK, DRIVEWAY) ON THE PROPERTY UP TO OT TY STANDARDS INCLUDING ANY REPAIRS TO         SUBSTANDARD PAVEMENTS THAT EXISTING CONDITIONS OTHER THAN LAWN AREAS, REGARDLESS OF         WHEREVER NEW WORK WILL MEET EXISTING CONDITIONS OTHER THAN LAWN AREAS, REGARDLESS OF         WHEREVER NEW WORK WILL MEET EXISTING CONDITIONS OTHER THAN LAWN AREAS, REGARDLESS OF         WHEREVER NEW WORK WILL MEET EXISTING SIDE MUST BE COT SAUD COT SHALL BE IN A NEAT         STRAIGHT LI | TED Business Group<br>Standard Notes for Development Projects<br>January 2013           Page 9 of 10           Traffic Control and Protection Notes (General)           The Traffic Control and Protection Notes (General)           ALL DEVELOPERS AND CONTRACTORS SHALL PROVIDE SUITABLE TRAFFIC CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH PART 6 OF THE MANU<br>CONTROL DEVICES (MUTCO), LATEST EDITION. TRAFFIC CONTROL MUSS<br>ACTIVITY THAT IMPACTS TRAFFIC FLOW. THIS INCLUDES, BUT IS NOT LIM<br>REQUIRING DETOURS, DAILY LANE CLOSURES, LONG TERM LANE CLOSURE<br>1           CONSTRUCTION VEHICLES ENTERING AND EXITING THE PUBLIC ROADWAY. /<br>UPS MAY BE INSPECTED BY THE CITY OF NAPERVILLE TO ENSURE THAT THE<br>GUIDANCE TO MOTORISTS AND ARE NOT IN THEMSELVES PRESENTING AN<br>REPRESENTATIVE OF THE DEVELOPER OR CONTRACTOR MUST PROVIDE PH<br>THEY CAN BE REACHED 24 HOURS A DAY AND ON WEEKENDS SO THAT THE<br>CONTROL DEVICES.           2         PEDESTRIANS MUST BE PROVIDED WITH A SAFE ALTERNATE ROUTE IF PEDEST<br>CLOSED AS A RESULT OF CONSTRUCTION ACTIVITIES. GUIDANCE MUST BE P<br>SO THAT THE SAFETY OF VEHICLES, AND PEDESTRIANS IS PRESERVED AT ALL TH<br>MAINTENANCE OF THE TRAFFIC CONTROL DEVICES SHALL BE TO THE COMMENT<br>THAT THE SAFETY OF VEHICLES, AND PEDESTRIANS IS PRESERVED AT ALL T<br>MAINTENANCE OF THE TRAFFIC CONTROL DEVICES SHALL   |
| Notes for Development Projects         013         10         Control and Drainage Notes (General)         Dision Control and Drainage Notes in this section should be included in all final engineering plans         sess of the type of work in the project.         THE CONTRACTOR SHALL MAINTAIN PROPER DRAINAGE AT ALL TIMES DURING THE COURSE OF CONSTRUCTION AND PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.         DURING EXTENDED DRY PERIODS, THE CONSTRUCTION AREA(S) MAY NEED TO BE WATERED DOWN TO PREVENT THE BLOWING OF SOIL FROM THE SITE.         DURING CONSTRUCTION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE UTILIZED TO MINIMIZE THE TRACKING OF DIRT ONTO THE PUBLIC STREETS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO KEEP PUBLIC STREET PAVEMENT CLEAN OF DIRT AND DEBRIS. ANY DIRT THAT IS TRACKED ONT THE PUBLIC STREET IS EXCESSIVE, CLEANING MAY BE REQUIRED MORE FREQUENTLY.         Control and Drainage Notes in this section are intended to be included when a project includes control work as part of the project. The Consultant should review the following Notes to determine if e applicable to the work being completed.         ALL EROSION CONTROL MEASURES SHALL BE PROPERLY INSTALLED, AS PERMITTED, PRIOR TO ANY LAND DISTURBANCE ACTIVITIES. ALL EROSION CONTROL INCLUDES SILT FENCE, SILT WORM AND ANY OTHER APPLICATION APRROVED BY THE CTY ENGINEER.         ALL OPEN GRATE STRUCTURES SHALL HAVE EROSION CONTROL PROTECTION IN ACCORDANCE WITH THE APROVED EROSION CONTROL INCLUDES SILT FENCE, SILT WORM AND ANY OTHER APPLICATION APRROVED BY THE CTY ENGINEER.  | Standard Notes for Development Projects         January 2013         Page 8 of 10          Geometric and Paving Notes (General)          The Geometric and Paving Notes in this section should be included in all final engineering plans regardless of       the type of work in the project.          1       THE DEVELOPER AND CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO ADEQUATELY PROTECT THE         PAVEMENT AND PROPERTY, CURB AND GUTTER AND OTHER RIGHT-OF-WAY IMPROVEMENTS, WHETHER         NEWLY CONSTRUCTED OR EXISTING, FROM ANY AND ALL DAMAGE. SUFFICIENT MEANS SHALL BE         EMPLOYED BY THE CONTRACTOR TO PROTECT AGAINST SUCH DAMAGE TO THE SATISFACTION OF THE         CITY ENGINEER.          2       ANY NEW OR EXISTING IMPROVEMENTS THAT ARE DAMAGED SHALL BE REPAIRED OR REPLACED IN A         MANNER THAT IS SATISFACTORY TO THE CITY ENGINEER.          3       THE CONTRACTOR AND/OR DEVELOPER SHALL SECURE ALL NECESSARY RIGHTS AND PERMISSIONS TO         PERFORM ANY WORK KON PRIVATE PROPERTY NOT WITHIN THE OWNERSHIP RIGHTS OF THE DEVELOPER.         THE DEVELOPER SHALL BEAR THE SOLE RESPONSIBILITY FOR DAMAGES THAT MAY OCCUR AS A RESULT         OF WORK PERFORMED UNDER CONTRACTS THEY INITIATE.          4       THE CONTRACTOR/DEVELOPER WILL BE RESPONSIBLE FOR BRINGING PAVEMENTS (STREET, CURB AND         GUTTER, SIDEWALK, DRIVEWAY) ON THE PROPERTY UP TO OT TY STANDARDS INCLUDING ANY REPAIRS TO         SUBSTANDARD PAVEMENTS THAT EXISTING CONDITIONS OTHER THAN LAWN AREAS, REGARDLESS OF         WHEREVER NEW WORK WILL MEET EXISTING CONDITIONS OTHER THAN LAWN AREAS, REGARDLESS OF         WHEREVER NEW WORK WILL MEET EXISTING CONDITIONS OTHER THAN LAWN AREAS, REGARDLESS OF         WHEREVER NEW WORK WILL MEET EXISTING SIDE MUST BE COT SAUD COT SHALL BE IN A NEAT         STRAIGHT LI | OPENINGS IN THE MANHOLE COVER.           TED Business Group<br>Standard Notes for Development Projects<br>January 2013<br>Page 9 of 10           Traffic Control and Protection Notes (General)<br>The Traffic Control and Protection Notes in this section should be included in<br>regardless of the type of work in the project.           ALL DEVELOPERS AND CONTRACTORS SHALL PROVIDE SUITABLE TRAFFI<br>CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH PART 6 OF THE MANU<br>CONTROL DEVICES (MUTCD), LATEST EDITION. TRAFFIC CONTROL MUSI<br>ACTIVITY THAT IMPACTS TRAFFIC FLOW. THIS INCLUDES, BUT IS NOT IM<br>REQUIRING DETOURS, DAILY LANE CLOSURES, LONG TERM LANE CLOSUR<br>UPS MAY BE INSPECTED BY THE CITY OF NAPERVILLE TO ENSURE THAT THEY<br>GUIDANCE TO MOTORISTS AND ARE NOT IN THEMSELVES PRESENTING A H<br>REPRESENTATIVE OF THE DEVELOPER OR CONTRACTOR MUST PROVIDE PH<br>THEY CAN BE REACHED 24 HOURS A DAY AND ON WEEKENDS SO THAT THE<br>CONTROL DEVICES.           2         PEDESTRIANS MUST BE PROVIDED WITH A SAFE ALTERNATE ROUTE IF PEDEST<br>CLOSED AS A RESULT OF CONSTRUCTION ACTIVITIES. GUIDANCE MUST BE P<br>SO THAT THEY MAY AVOID THE WORK ZONE. SAID PEDESTRIAN DETOUR PLAT<br>REVIEWED AND ACCEPTED BY THE CITY IN WRITING, PRIOR TO THE COMMENC<br>MUTH THE PLANS, SPECIFICATIONS AND THE MANUAL ON UNIFORM TRAFFIC<br>3           4         ANY TEMPORARY OPEN HOLES SHOULD BE BARRICADED AND PROTECTE<br>APPLICABLE STANDARDS.   |

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| Group<br>tes for Development Projects<br>3  | January 201   | otes for Development Projects<br>13   |   |  |   |   |
|---|---|---|---|--|---|---|
| DUCTILE IRON PIPE (DIP) - DUCTILE IRON PIPE SHALL CONFORM TO ANSI A 21.51 (AWWA C-151),         CLASS THICKNESS DESIGNED PER ANSI A 21.50 (AWWA C-150), TAR (SEAL) COATED AND CEMENT         LINED PER ANSI A 21.4 (AWWA C-104), WITH MECHANICAL OR RUBBER RING (SLIP SEAL OR PUSH         ON) JOINTS. ALL DUCTILE IRON PIPE SHALL BE WRAPPED WITH POLYETHYLENE.         POLYVINYL CHLORIDE PIPE (PVC) - POLYVINYL CHLORIDE (PVC) PIPE SHALL CONFORM TO ASTM D         3034, TYPE PSM. THE MINIMUM STANDARD DIMENSION RATIO (SOR) SHALL BE 26. THE PIPE SHALL         BE MADO EF PVC PLASTIC HAVING A MINIMUM CILL CLASSIFICATION OF 12454-C, AND SHALL HAVE         A MINIMUM PIPE STIFFNESS OF FORTY-SIX (46) LBS. PER INCH (317 KPA). JOINTS FOR PVC PIPE         SHALL BE FLEXIBLE ELASTOMETRIC SEALS PER ASTM D 3212.         HIGH DENSITY POLYETHELYNE PIPE (HDPE) - HIGH-DENSITY POLYETHYLENE (HDPE) PIPE SHALL         CONFORM TO THE REQUIREMENTS OF AASHTO M 252, AND M 294. PIPE AND FITINGS SHALL BE         MADE FROM VIRGIN PE COMPOUNDS WHICH CONFORM TO THE REQUIREMENTS OF CELL CLASS         324420C AS DEFINED AND DESCRIBED IN ASTM D 3350. RUBBER GASKET JOINTS SHALL BE USED.         FULLY GALVANIZED CORRUGATED STEEL PIPE + FULLY GALVANIZED CORRUGATED STEEL PIPE MAY         BE USED FOR RESIDENTIAL DRIVEWAY CROSSINGS ONLY WHEN A DITCH SECTION IS PRESENT. THE         MINIMUM CULVERT SIZE IS 12" DIAMETER.         BEDDING, OTHER THAN CONCRETE EMBEDMENT, SHALL CONSIST OF GRAVEL, CRUSHED GRAVEL, OR         CRUSHED STONE 1/4 INCH TO 1 SIZE. AS A MINIMUM, THE MATERIAL SHALL CONFORM TO THE  | 9   |   | PROJECT STAFF         ISSUE         REVISIONS         DATE           PROJECT MANAGER:         A. VEER P.E.         1         ISSUED FOR PERMIT         12.07-20 | ENGINEER: 2 REVISED PER CITY COMMENTS 04-06-21   |   |   |
| BE WATER-TIGHT. ALL VISIBLE LEAKS SHALL BE SEALED IN A MANNER ACCEPTABLE TO THE CITY<br>ENGINEER.<br>MANHOLES SHALL BE FURNISHED WITH A SELF-SEALING FRAME AND SOLID COVER (EAST JORDAN IRON<br>WORKS 1022 WITH TYPE A SOLID COVER, OR APPROVED EQUAL) WITH THE WORD "STORM" IMPRINTED<br>ON THE COVER IN RAISED LETTERS. ALL FRAMES AND LIDS SHALL MEET OR EXCEED AASHTO H-20<br>LOADING SPECIFICATIONS. FRAMES SHALL BE SHOP PAINTED WITH ASPHALTIC BASE PAINT. BOTH THE<br>MANHOLE FRAME AND COVER SHALL HAVE MACHINED HORIZONTAL AND VERTICAL BEARING<br>SURFACES. INVERTED MANHOLE FRAMES ARE NOT ALLOWED. PICK HOLES SHALL NOT CREATE<br>OPENINGS IN THE MANHOLE COVER.   | 10<br>11<br>TED Busines<br>Standard N<br>January 201<br>Page <b>10</b> of 1 | STORM SEWER PIPE TO PIPE CONNECTIONS SHALL BE SEALED WITH BUTYL MASTIC TO ENSURE WATER<br>TIGHTNESS. LIFT HOLES TO BE SEALED USING BUTYL MASTIC AND CONCRETE PLUGS. AT NO TIME SHALL<br>CONNECTIONS BETWEEN THE TWORM SEWER AND SANITARY SEWER BE ALLOWED.<br>FOR STRUCTURES LOCATED IN PAVED AREAS, A MINIMUM OF FOUR, 2-INCH DIAMETER HOLES SHALL BE<br>DRILLED OR PRECAST INTO THE STRUCTURE WITHIN 1 FOOT OF THE LOWEST PIPE INVERT. THE HOLES<br>SHALL BE DISTRIBUTED EQUIDISTANT AROUND THE PERIMETER OF THE STRUCTURE. A 1-FOOT BY 1-<br>FOOT SECTION OF UNDERDRAIN FILTER CLOTH MATERIAL SHALL BE SUFFICIENTLY FIXED TO THE<br>OUTSIDE OF THE MANHOLE WITH MASTIC MATERIAL TO PREVENT SLIPPAGE DURING BACKFILLING.  |   |  | ARV ENGINEERING, INC.<br>VIL ENGINEERING   LAND DEVELOPME | 8653 N. ELMORE ST. PH : (312) 404-3855<br>NILES, IL 60714 abhijitveer@yahoo.com |
| throl and Protection Notes (General)         c: Control and Protection Notes in this section should be included in all final engineering plans of the type of work in the project.         ALL DEVELOPERS AND CONTRACTORS SHALL PROVIDE SUITABLE TRAFFIC CONTROL FOR THEIR CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH PART 6 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION. TRAFFIC CONTROL MUST BE PROVIDED FOR ANY ACTIVITY THAT IMPACTS TRAFFIC FLOW. THIS INCLUDES, BUT IS NOT LIMITED TO, ROAD CLOSURES REQUIRING DETOURS, DAILY LANE CLOSURES, LONG TERM LANE CLOSURES, NARROW LANES, AND CONSTRUCTION VEHICLES ENTERING AND EXITING THE PUBLIC ROADWAY. ALL TRAFFIC CONTROL SETUPS MAY BE INSPECTED BY THE CITY OF NAPERVILLE TO ENSURE THAT THEY ARE PROVIDING POSITIVE GUIDANCE TO MOTORISTS AND ARE NOT IN THEMSELVES PRESENTING A HAZARDOUS SITUATION. A REPRESENTATIVE OF THE DEVELOPER OR CONTRACTOR MUST PROVIDE PHONE NUMBERS AT WHICH THEY CAN BE REACHED 24 HOURS A DAY AND ON WEEKENDS SO THAT THEY CAN MAINTAIN TRAFFIC CONTROL DEVICES.         PEDESTRIANS MUST BE PROVIDED WITH A SAFE ALTERNATE ROUTE IF PEDESTRIAN FACILITIES ARE TO BE CLOSED AS A RESULT OF CONSTRUCTION ACTIVITIES. GUIDANCE MUST BE PROVIDED TO PEDESTRIANS SO THAT THEY MAR YAVOID THE WORK ZONE. SAID PEDESTRIAN DETOUR PLAN (WITH SIGNAGE) IS TO BE REVIEWED AND ACCOPTED BY THE CITY IN WRITING, PRIOR TO THE COMMENCEMENT OF THE WORK.         THE CONTRACTOR SHALL EMPLOY THE APPROPRIATE METHODS OF TRAFFIC CONTROL IN ACCORDANCE WITH THE SAFETY OF VEHICLES, AND PEDESTRIANS IS PRESERVED AT ALL TIMES. THE ERECTION AND MAINTENANCE OF THE TRAFFIC CONTROL DEVICES SHALL BE TO THE SATISFACTION OF THE AGENCY OF JURISDICTION AND THE COTY ENGINEER.         ANY TEMPORARY OPEN HOLES SHOULD BE BARRICADED AND PROTECTED IN ACCORDANCE WITH APPLICABLE STANDARDS.         LANE CLOSURES ON ARTERIA | The Traff   | AT THE END OF EACH DAY OF WORK, THE ROADWAY MUST BE COMPLETELY REOPENED TO TRAFFIC.<br>ANY OPEN HOLES MUST BE PLATED OR COLD PATCHED; THE CITY WILL NOT ALLOW THE HOLES TO BE<br>FILLED WITH GRAVEL.<br><b>Introl and Protection Notes (Downtown)</b><br>ic Control and Protection Notes in this section should be included in all final engineering plans if the<br>located in downtown Naperville.<br>PEDESTRIAN TRAFFIC SHALL BE MAINTAINED IN THE DOWNTOWN. IF A PEDESTRIAN DETOUR CANNOT<br>BE ACCOMMODATED, THE CITY MAY REQUIRE THE CONTRACTOR TO PROIVDE A PROTECTED COVERED<br>WALKWAY.<br>ANY WORK IMPACTING THE PUBLIC RIGHT-OF-WAY SHALL NOT BE ALLOWED IN THE DOWNTOWN ON A<br>FRIDAY, STURDAY, SUNDAY, AND/OR HOLIDAY, UNLESS OTHERWISE PERMITTED BY THE CITY<br>ENGINEER.<br>ALL WORK IN THE DOWNTOWN SHALL BE COORDINATED WITH THE DOWNTOWN NAPERVILLE ALLIANCE<br>(DNA) TO AVOID CONFLICT WITH SPECIAL EVENTS. |   | CITY OF NAPERVILLE VID. NOTEV  | NEW PLAYGRO<br>776 S, ILLINOIS                            | DUPAGE COUNTY, IL   |
| RODOWAYS ARE DEFINED AS BOTH MAJOR AND MINOR ARTERIAL ROADWAYS AS DESIGNATED ON THE<br>CITY'S MASTER THOROUGHFARE PLAN, LATEST EDITION.<br>ANY WORK THAT IMPACTS A TRAFFIC LANE ON AN ARTERIAL ROADWAY REQUIRES AN ARROWBOARD AS<br>PART OF THE TRAFFIC CONTROL.  |   |   | COPYRIGH<br>THIS DRAW<br>REPRODUCE<br>WHOLLY C<br>AUTHORIZ<br>PROJE<br>START<br>SCALE   | CT NO.<br>CT NO. |   | THER<br>SINCER.<br>20012  |