HOME2 SUITES BY HILTON™

NORTH AMERICAN PROTOTYPE VERSION 2.3

HILTON WORLDWIDE *Memphis, Tennessee*

HOME2 SUITES BY HILTON™

Abbreviations and Definitions

Abbreviations definitions within () are content specific, or optional, depending on the note.
For example:
Content: Refer to Arch. would be read: "Refer to Architectural"
Contact Arch. would be read: "Contact Architect"
Optional: Dwg.=Drawing and Dwgs.=Drawings

NECESSARY: WORK NEEDED TO COMPLETE THE WORK. TO: "MAKE IT OPERATIONAL".
REQUIRED: WORK NEEDED TO BE IN COMPLIANCE WITH BUILDING CODE, GOVERNING CODE, OR JURISDICTION HAVING AUTHORITY.
PROVIDE: RESPONSIBLE FOR PURCHASE, DELIVERY, RECEIVING, INSPECTION, STORAGE, PREPARATION, AND INSTALLATION OF ITEM(S).
FURNISH: RESPONSIBLE FOR PURCHASE AND DELIVERY OF ITEM(S)
INSTALL: RESPONSIBLE FOR RECEIVING, INSPECTION, STORAGE, PREPARATION AND INSTALLATION OF ITEM(S).

& or	And
L or ∠	Angle
@	At
SM or S.M.	Square Meters
#	Pound(s) or Number
+/- or ±	Plus Minus
A.B.	Anchor Bolt
A/C	Air Conditioning
ACOUST.	Acoustical
ADJ.	Adjacent
AFF or A.F.F.	Above Finish Floor
AFG or A.F.G	Above Finish Grade
ALUMN. or ALUM.	Aluminum
ANGL.	Angle
APPROX.	Approximate
ARCH.	Architect(ural)
ASPH.	Asphalt
ATTN. or ATTEN.	Attention
B\xxxx	Bottom of ____
BD.	Board
BIT.	Bituminous
BLDG.	Building
BLK.	Block
BLKG.	Blocking
BM.	Beam
BOT.	Bottom
BRG.	Bearing
BRK.	Brick
BRKMTL.	Break Metal
B.U.R.	Built Up Roofing
C or CH.	Channel
CAB.	Cabinet
CB or C.B.	Cement Board
C\C or C.C	Center to Center
CCTV or C.C.T.V.	Closed Circuit Television
Cer.	Ceramic
CF or C.F.	Communication Features
CL or C.L. or	Centerline
CLG. or CLNG.	Ceiling
CMU or C.M.U.	Concrete Masonry Unit
C.O.	Closed Opening
COL.	Column
COMB.	Combination or Combine
COMP. or COMPT.	Compact(ed)
CONC.	Concrete
CONST.	Construction
CONT.	Continuous
CORR.	Corridor
C.W.	Cold Water
CJ or C.J.	Control Joint
CLR.	Clear
D, DN. DWN.	Down
DBL.	Double
DEPT.	Department
DETL. or DTL.	Detail
DIA. or	Diameter
D.F.	Drinking Fountain
DIV.	Division
DR. or DRN.	Drain
DS. or D.S.	Downspout
DWG(S).	Drawing(s)
E or E.	East
EA.	Each
EJ or EJ. or E.J.	Expansion Joint
EL. or ELE.	Elevation
ELEC. or ELECT	Electrical
ELEV.	Elevator
EMER. or EMERG.	Emergency
ENCL.	Enclosure
ENG.	Engineer
EP or E.P.	Electrical Panel
EQ.	Equal
EQUIP.	Equipment
EWC or E.W.C.	Electrical Water Cooler
E.W.	Each Way
EXIST.	Existing
EXP.	Expansion
EXT.	Exterior
F.A.	Fire Alarm
F.B.	Face Brick
FD. or F.D.	Floor Drain
FDN.	Foundation
F.E.	Fire Extinguisher
F.E.C.	Fire Extinguisher Cabinet
FIN.	Finish
FIN. E.	Finished End
FL. or FLR.	Floor
FLUOR.	Fluorescent
FRM.	Frame
F.R.	Fire Resistant
F.R.C.	Fiber Reinforced Concrete
F.R.T.	Fire Retardant Treated
F.R.P.	Fiber Reinforced Plastic
FT.	Foot (feet)
FTG.	Footing
FUT. or FUTR.	Future
FV. or F.V.	Field Verify
Ga.	Gauge
GALV.	Galvanized
G.B.	Gypsum Board
GEN.	General
GFRC	Glass Fiber Reinforced Concrete
GFRG	Glass Fiber Reinforced Gypsum
GL. or GLAZ.	Glass/Glazing
GRAN.	Granular
G.S.M.	Galvanized Sheet Metal
G.V.	Gas Valve
GYP.	Gypsum
GYP. BD.	Gypsum Board

H	High
HADG	Hilton Accessibility Design Guide
HC. or H.C.	Handicapped
H.B.	Hose Bib
HDWD.	Hardwood Floors
HDWR.	Hardware
HGT. OR HT.	Height
HM. OR H.M.	Hollow Metal
HORIZ.	Horizontal
H.P.	High Point
HTG.	Heating
HR. or Hr.	Hour
HVAC or H.V.A.C.	Heating, Ventilation and A/C
H.W.	Hot water
I.D.	Inside Diameter
IN.	Inch(es)
INCL.	Include
INFO.	Information
INSUL.	Insulation
INT.	Interior
INV.	Invert
JC or J.C.	Janitor's Closet
JAN.	Janitor(ial)
JT. or JNT.	Joint
KIT.	Kitchen
K.O.	Knock out
LAM.	Laminate
LAV.	Lavatory
LB. or LBS.	Pound(s)
LT. MTL.	Light Gauge Metal Framing
L.A.	Low Point
LT.	Light
LT. WT.	Light Weight
L.L.H. or LLH	Long Leg Horizontal
L.L.V. or LLV	Long Leg Vertical
MAS.	Masonry
MAX.	Maximum
MED.	Medium
MDO or M.D.O.	Medium Density Overlay
MECH.	Mechanical
MFR. or MANUF.	Manufacturer
M.H.	Man Hole
MIN.	Minimum
MISC.	Miscellaneous
M.O.	Masonry Opening
MR. or M.R.	Moisture Resistant
MTD.	Mounted
MTG.	Mounting
MTL.	Metal
MULL.	Mullion
N or N.	North
NA. or N.A.	Not Applicable
NEC'Y	Necessary
N.I.C.	Not in Contract
No.	Number
NOM.	Nominal
NON COMB.	Non Combustible
N.T.S.	Not to Scale
O.A.	Overall
O.C.	On Center
O.D.	Overflow Drain or Outside Dia
OFF	Office
O.H.	Overhead or Opposite Hand
OPNG	Opening
OPP.	Opposite
O.T.O.	Out to Cut
PART	Particle, Partial or Partition
PL	Plate
P. LAM or P.L.	Plastic Laminate
PLAS.	Plaster
PLBG.	Plumbing
PLWD. or PLYWD.	Plywood
PNL.	Panel
PORC.	Porcelain
PR.	Pair
P.S.F.	Pounds per Square Foot
P.T.	Pressure Treated
POST TEN.	Post Tensioned
PTN. or PARTN.	Partition
R	Riser
R.A.	Return Air
RAD.	Radius
RD. or R.D.	Roof Drain
RD	Reference Dimension
REC.	Recessed
REC'V or REC'VD	Receive or Received
REF. or RE.	Refer or Referenced
RM.	Refrigerator
REG.	Regular or Register
REINF.	Reinforce(d)
REQ'D	Required
RES.	Resilient
RM.	Room
R.O.	Rough Opening
S or S.	South
SCHED or SCHEDL.	Schedule
SECT.	Section
SHT.	Sheet
SIM.	Similar
SM. or S.M.	Surface Mounted
SPEC.	Specification
SQ.	Square
SS OR S.S.	Stainless Steel
ST.	Street
STD.	Standard
STL.	Steel
STOR.	Storage
STRUCT.	Structural
SUSP.	Suspended
SYM.	Symmetrical

T\xxxx	Top of ____
T or T.	Tread
TEL.	Telephone
TEMP.	Temporary or Tempered
T&B	Top and Bottom
T&G	Tongue and Groove
THRU	Through
TS or T.S.	Tube Steel
TV OR T.V.	Television
TYP.	Typical
U.N.O.	Unless Noted Otherwise
UR. or URNL.	Urinal
VAR.	Varies/ Variable
VCT or V.C.T.	Vinyl Composition Tile
VB or VB. or V.B.	Vertical Bracing
VERT.	Vertical
VIF. or V.I.F.	Verify in Field
W or W.	West
W/	With
W/O	Without
W.O.	Water Closet
WD.	Wood
W.F.	Wide Flange
WIN	Window
W.P.	Waterproof
W.M.	Wire Mesh
WWF or W.W.F.	Welded Wire Fabric
WWM or W.W.M.	Welded Wire Mesh
WSCT.	Wainscot
WT.	Weight
W.V.	Water Valve

Vertical Room Chart

	x01	x03	x05	x07	x09	x11	x13	x15	x17	x19	x21	x23	x25	x27	x29	x31	x02	x04	x06	x08	x10	x12	x14	x16	x18	x20	x22	x24	x26	x28	x30	x32
4	AST*	ST*	ST	ST	ST	ST	ST	ST	ST	ST	ST*	ST*	ST	ST	ST	QB	Lobby/Hkp	ST	ST	ST	ST*	ST*	ST	ST	AQB*		ST*	ST	ST	ST	ST	ST
3	AST*	ST*	ST	ST	ST	ST	ST	ST	ST	ST	ST*	ST*	ST	ST	ST	QB	Lobby/Hkp	ST	ST	ST	ST*	ST*	ST	ST	AQB*		ST*	ST	ST	ST	ST	ST
2	AST*	ST*	ST	ST	ST	ST	ST	ST	ST	ST	ST*	ST*	ST	ST	ST	QB	Lobby/Hkp	ST	ST	ST	ST*	ST*	ST	ST	AQB*		ST*	ST	ST	ST	ST	ST
1	Public and BOH Areas						ST*	ST*	ST	ST	ST*	ST*	ST	ST	ST	QB	Public and BOH Areas								AQB*		ST*	ST	ST	ST	ST	ST

ST = Queen Studio
QB = Queen One Bedroom
AST = Queen Studio - Accessible
AQB = Queen One Bedroom - Accessible
* = Adjoining Room

DISTRIBUTION OF THE ACCESSIBLE ROOMS TO INCLUDE OPTIONS FOR PREMIUM VIEWS WHEN PREMIUM VIEWS ARE AVAILABLE AT A SITE.

Guest Room Count Breakdown

	GROUND FLR	2ND FLOOR	3RD FLOOR	4TH FLOOR	TOTAL
QUEEN STUDIO:	10	21	21	21	73
QUEEN ONE BEDROOM:	1	1	1	1	4
QUEEN STUDIO - ACCESSIBLE:	--	1	1	1	3
QUEEN ONE BEDROOM - ACCESSIBLE:	1	1	1	1	4
QUEEN STUDIO - CONNECTING:	5	6	6	6	23
	17	30	30	30	107

Room Sizes

QUEEN STUDIO:	12' X 27'-6"
QUEEN ONE BEDROOM:	24'-8" X 18'
QUEEN STUDIO - ACCESSIBLE:	16' X 27'-6"
QUEEN ONE BEDROOM - ACCESSIBLE:	24'-8" X 22'-3"
QUEEN/QUEEN STUDIO (OPTIONAL):	12' X 35'
QUEEN/QUEEN STUDIO - ACCESSIBLE (OPTIONAL):	16'-1" X 35'-10"
KING STUDIO (OPTIONAL):	12' X 29'

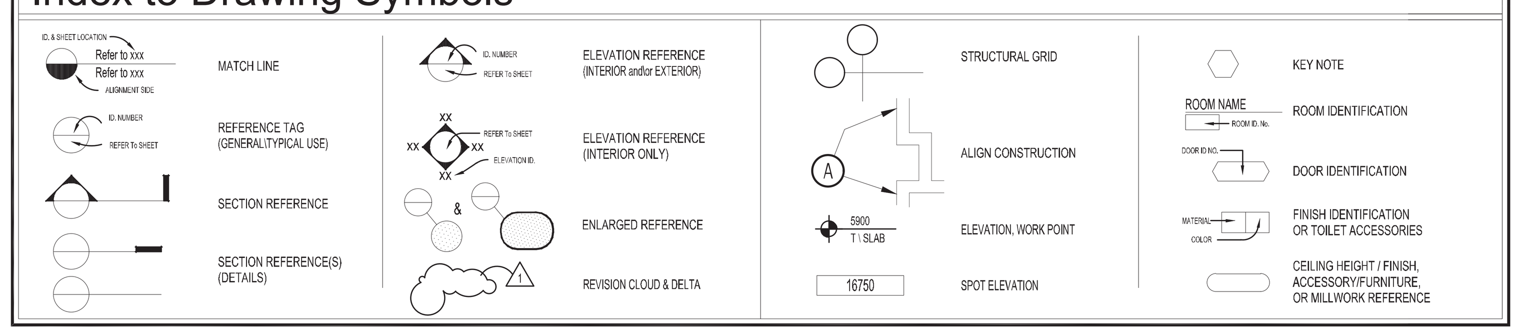
Accessible Rm. Matrix

ROOM TYPE	REQ'D COUNT	PROVIDED COUNT	REMARKS
QUEEN ONE BEDROOM-ACCESSIBLE W/ ROLL-IN SHOWER	2	2	
QUEEN ONE BEDROOM-ACCESSIBLE W/ ACCESSIBLE TUB	5	2	
QUEEN STUDIO-ACCESSIBLE W/ ACCESSIBLE TUB		3	
TOTAL		7	

ROOM TYPE	REQ'D COUNT	PROVIDED COUNT	REMARKS
C.F. QUEEN STUDIO	11	4	ROOMS 124, 214, 319, 419
C.F. QUEEN STUDIO-CONNECTING		4	ROOMS 121, 212, 312, 412
C.F. QUEEN ONE BEDROOM		3	ROOMS 131, 231, 331
C.F. QUEEN STUDIO-ACCESSIBLE	1	1	ROOM 201
TOTAL	12	12	

- C.F. DENOTES ROOMS THAT HAVE COMMUNICATING FEATURES. ONE (1) COMMUNICATION FEATURE ROOM MUST ALSO BE ACCESSIBLE, BUT NO MORE THAN 10% OF ROOMS THAT COUNT TOWARDS THE REQUIRED C.F. TOTAL ROOM

Index to Drawing Symbols



Architectural General Project Notes:

1. THESE DRAWINGS ARE PREPARED FOR THE PURPOSES OF DESIGN INTENT ONLY. THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES, AS ACTUAL CONDITIONS MAY VARY FROM THOSE SHOWN ON THESE DRAWINGS DUE TO CONSTRUCTION TECHNIQUES AND METHODS.
2. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS ARE THE ONLY ACCEPTABLE MEANS OF LOCATION.
3. ALL DIMENSIONS ARE TO FINISH FACE OF WALL BOARD AND/OR INDICATED MATERIAL U.N.O.
4. PROVIDE WALL BOARD TRIM AT ALL EXPOSED EDGES AND CORNERS OF GYPSUM WALLBOARD CONSTRUCTION. J-BEAD OR OTHER NON-DRYWALL COMPOUND TRIM PIECES PROHIBITED (U.N.O.)
5. IT IS THE INTENTION OF THE KEY NOTES LOCATED ON THE VARIOUS SHEET(S) WITHIN THIS DRAWING SET TO IDENTIFY CONSTRUCTION ELEMENTS, NOT NECESSARILY DESCRIBE ENTIRE ASSEMBLIES OR PROCESSES. THE INSTALLATION OF SAID ELEMENT SHOULD INCLUDE ALL ASSOCIATED CONSTRUCTION NECESSARY TO ACHIEVE INSTALLATION AND OPERATION (USE) OF SAID ITEM. FOR EXAMPLE, THE INSTALLATION OF CERAMIC TILE SHALL INCLUDE (BUT BE NOT LIMITED TO) THE SURFACE PREPARATION, MASTIC, GROUT, EDGE STRIPS, SEALING, CLEANING, ETC. IN ADDITION, IF THE PLUMBER INSTALLS A LAVATORY, IT MEANS HE/SHE SHALL PREPARE SURFACE(S), SET LAVATORY, SEAL AROUND BOWL, PROVIDE FAUCET, CONNECT TO PLUMBING AS NECESSARY TO ACHIEVE AN AESTHETICALLY PLEASING, ACCESSIBLE (WHERE INDICATED), OPERATIONAL LAVATORY UPON COMPLETION OF THE PROJECT.
6. ALL ELEVATIONS ARE BASED ON 0.00' REFERENCING A GRADE LEVEL OF 0.00' EXCEPT FOR ELEVATIONS THAT REFERENCE A.F.F (ABOVE FINISHED FLOOR) OR OTHER SPECIFIC INDICATOR.
7. DIMENSIONS SHOWN ARE FOR REFERENCE AND ARE TO COMMUNICATE CRITICAL AREAS FOR DESIGN INTENT. FINAL DRAWINGS MAY VARY BASED ON CONSTRUCTION PRACTICES, LOCAL CODE REQUIREMENTS OR SPECIFIC SITE REQUIREMENTS.
8. REFERENCE DIMENSION (RD) THESE DIMENSIONS ARE PROVIDED FOR GENERAL REFERENCE ONLY. ACTUAL DIMENSION MAY VARY BASED ON CONSTRUCTION METHOD.

Project Accessibility Notes:

THESE PLANS HAVE BEEN DESIGNED IN COMPLIANCE WITH THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN. ARCHITECT OF RECORD MUST NOTE THAT ADDITIONAL ACCESSIBILITY REQUIREMENTS MAY ALSO BE REQUIRED BY STATE OR LOCAL CODES. THESE PLANS HAVE NOT BEEN DESIGNED TO INCORPORATE ANY OF THE MORE STRINGENT REQUIREMENTS OF STATE OR LOCAL ACCESSIBILITY CODES OR STANDARDS AND THE PLANS MUST BE MODIFIED TO MEET ANY SUCH CODES OR STANDARDS. THE TERM "ACCESSIBLE" WILL BE USED THROUGHOUT THESE PLANS TO REFER TO THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN WHICH ARE MANDATED FOR PLACES OF PUBLIC ACCOMMODATION BY TITLE III REGULATIONS OF THE ADA AT 28 CFR PART 36, SUBPART D; AND MUST FOLLOW THE 2004 ADAAG AT 36 CFT PART 1191, APPENDICES B AND D. THE OWNER AND ARCHITECT OF RECORD ULTIMATELY ARE RESPONSIBLE FOR ADA COMPLIANCE AND MUST ENSURE THAT THE CONSTRUCTION DOCUMENTS MEET OR EXCEED THE ADA AND ANY STATE OR LOCAL ACCESSIBILITY CODES THAT ARE MORE STRINGENT. OWNER MUST ALSO ENSURE THAT THE FACILITY IS CONSTRUCTED AND MAINTAINED IN COMPLIANCE WITH THE ADA STANDARDS.

THESE PLANS IDENTIFY ACCESSIBLE MINIMUM, MAXIMUM AND DIMENSIONAL RANGES. ARCHITECTS ARE STRONGLY ENCOURAGED TO SPECIFY DIMENSIONS THAT ARE BELOW THE MAXIMUM, ABOVE THE MINIMUM OR IN THE MIDDLE OF RANGES TO ACCOUNT FOR DEVIATIONS THAT MAY OCCUR DURING THE CONSTRUCTION PROCESS.

ADDITIONAL INFORMATION REGARDING THE ADA REQUIREMENTS IS PROVIDED IN THE HILTON ACCESSIBILITY DESIGN MANUAL (**HADG**). REFERENCES TO THE DIFFERENT CHAPTERS OF THE **HADG** ARE INCLUDED WHERE APPROPRIATE.

Building Area Statistics

AREA: 107 ROOM PROTOTYPE	UNIT	SF	HOTEL PROGRAM
GROSS AREA:			
GROUND LEVEL	1	15407	15407
UPPER LEVELS	3	13748	41244
TOTAL GROSS AREA			**56651**
GUEST ROOMS			
QUEEN STUDIO	73	323	23579
QUEEN ONE BEDROOM	4	491	1964
QUEEN STUDIO - CONNECTING	23	323	7429
QUEEN STUDIO - ACCESSIBLE	3	451	1353
QUEEN ONE BEDROOM - ACCESSIBLE	4	544	2176
SUBTOTAL GUEST ROOM	**107**		**36501**
GUEST ROOM SUPPORT			
GROUND LEVEL CORRIDOR	1	676	676
UPPER LEVEL CORRIDORS	3	1147	3441
MECHANICAL ROOM	1	440	440
ENGINEER'S OFFICE	1	74	74
HOUSEKEEPING	3	247	741
ICE	3	10	30
STAIR #1 (GROUND LEVEL)	1	98	98
STAIR #1 (UPPER LEVEL)	3	142	426
STAIR #2 (GROUND LEVEL)	1	102	102
STAIR #2 (UPPER LEVEL)	3	143	429
ELEVATOR	4	136	544
ELEVATOR LOBBY	3	201	603
SUBTOTAL GUEST ROOM SUPPORT			**7604**
PUBLIC SPACE:			
ENTRY VESTIBULE 1	1	75	75
GATHERING ROOM	1	844	844
BREAKFAST SERVING COUNTER	1	222	222
COMMUNITY TABLE SEATING	1	271	271
ENTRY VESTIBULE 2	1	81	81
LUGGAGE CART STORAGE	1	29	29
PUBLIC LAUNDRY	1	81	81
WOMEN'S RESTROOM	1	56	56
MEN'S RESTROOM	1	56	56
PUBLIC CIRCULATION	1	480	480
RETAIL	1	76	76
SUBTOTAL PUBLIC SPACE			**2271**
PUBLIC SUPPORT:			
FRONT DESK	1	120	120
MANAGER'S OFFICE	1	93	93
SALES OFFICE	1	115	115
EMPLOYEE WORK STATION	1	83	83
PBX ROOM	1	112	112
PANTRY	1	188	188
MECHANICAL ROOM 1	1	34	34
MECHANICAL ROOM 2	1	22	22
LAUNDRY	1	349	349
EMPLOYEE BREAK ROOM	1	198	198
STORE ROOM	1	59	59
POOL EQUIPMENT	1	38	38
POOL MECHANICAL	1	70	70
ELEVATOR EQUIPMENT	1	97	97
ELEVATOR VESTIBULE	1	177	177
SUBTOTAL PUBLIC SUPPORT			**1755**
RECREATIONAL FACILITIES:			
INDOOR (SALINE) POOL	1	1581	1581
POOL RESTROOM	1	61	61
FITNESS	1	526	526
SUBTOTAL RECREATIONAL			**2168**
TOTALS			
WALL SQUARE FOOTAGE			**6352**
TOTAL USEABLE SQUARE FOOTAGE			**50299**
TOTAL FLOOR AREA			**56651**

NOTE: ALL INTERIOR AREAS ARE CALCULATED TO FACE OF INTERIOR FINISH (DRYWALL).

Special Prototype Note:

THESE PROTOTYPE DRAWINGS ARE TO BE USED TO CONVEY THE DESIGN INTENT OF THE HOME 2 PRODUCT. THEY ARE NOT TO BE USED FOR PERMITTING, BIDDING NOR CONSTRUCTION PURPOSES. THEY ARE INTENDED TO BE USED BY AN ARCHITECT OF RECORD AND THE DESIGN TEAM TO COMPLETE A BUILT PROJECT WITHIN A SPECIFIC LOCAL MUNICIPALITY. THE DRAWINGS REFLECT A GENERAL APPROACH TO A CODE COMPLIANT BUILDING PER THE IBC AND OTHER COMPANION CODES, INCLUDING ACCESSIBLE AND BARRIER FREE DESIGN. AN ENDEAVOR HAS BEEN MADE TO COORDINATE THE ARCHITECTURE WITH STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DESIGNS THAT WILL NEED FURTHER DEVELOPMENT BASED ON SPECIFIC LOCAL AND SITE CONSTRAINTS.

THIS PROTOTYPE ASSUMES:
- -USE GROUPS R-1 & A-2
- -CONSTRUCTION TYPE: VA
- -A FULLY SPRINKLERED SUPPRESSION SYSTEM
- -A COMPLETE FIRE ALARM SYSTEM

THE INTERPRETATION OF THESE CODES, AS DENOTED WITHIN THE PROTOTYPE, CANNOT BE GUARANTEED TO CONFORM TO ALL LOCAL JURISDICTIONS. SUBSEQUENT DESIGN TEAMS SHALL VERIFY WITH APPLICABLE ENFORCEABLE LOCAL CODES AND ZONING ENFORCEMENT AGENCIES AND MAKE PROPER MODIFICATIONS AS REQUIRED FOR CONFORMATION. THE OWNER OF THE PROJECT CONTROLS THE ULTIMATE DESIGN, COMPLIANCE WITH BRAND STANDARDS AND CONSTRUCTION AND IS URGED TO SEEK APPROPRIATE COUNCIL TO ENSURE SUCH COMPLIANCE.

FF& E/ COLOR & MATERIALS:
REFER TO SEPARATE FF&E COLOR & MATERIAL SPECIFICATIONS, AND EQUIPMENT SCHEDULE MANUALS FOR SPECIFIC MODEL NUMBERS OF PLUMBING FIXTURES, DECORATIVE LIGHTING, ACCESSORIES, MATERIAL FINISHES, FURNISHINGS, ETC. NOT IDENTIFIED WITHIN THIS SET.

STANDARDS MANUAL:
REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR PLAN REVIEW AND REQUIRED APPROVALS, LIFE SAFETY REQUIREMENTS, ACCESSIBILITY REQUIREMENTS, ENERGY CONSERVATION RECOMMENDATIONS, SIGNAGE REQUIREMENTS, BUILDING REQUIREMENTS, AND SITE REQUIREMENTS. WHILE SPECIFIC REFERENCES TO THESE STANDARDS OCCUR THROUGHOUT THE DRAWING SET, THESE REFERENCES ARE NOT ALL INCLUSIVE. REFER TO STANDARDS' TABLE OF CONTENTS FOR FULL SCOPE OF MANUAL. ANY DISCREPANCIES FOUND BETWEEN THE DRAWING SET AND THE STANDARDS MANUAL SHALL BE BROUGHT TO THE BRAND TEAM FOR CLARIFICATION.

FIXTURES & EQUIPMENT:
REFER TO THE APPENDICES OF THE STANDARDS MANUAL FOR FIXTURE & EQUIPMENT SCHEDULES

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ARCHITECTURAL			
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A 0.02	AREA DEVELOPMENT ENLARGED PLANS & DETAILS	2.3	JAN 2019
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PROJECT INFORMATION

PROTOTYPE PACKAGE

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GENERAL INFORMATION

A0.00

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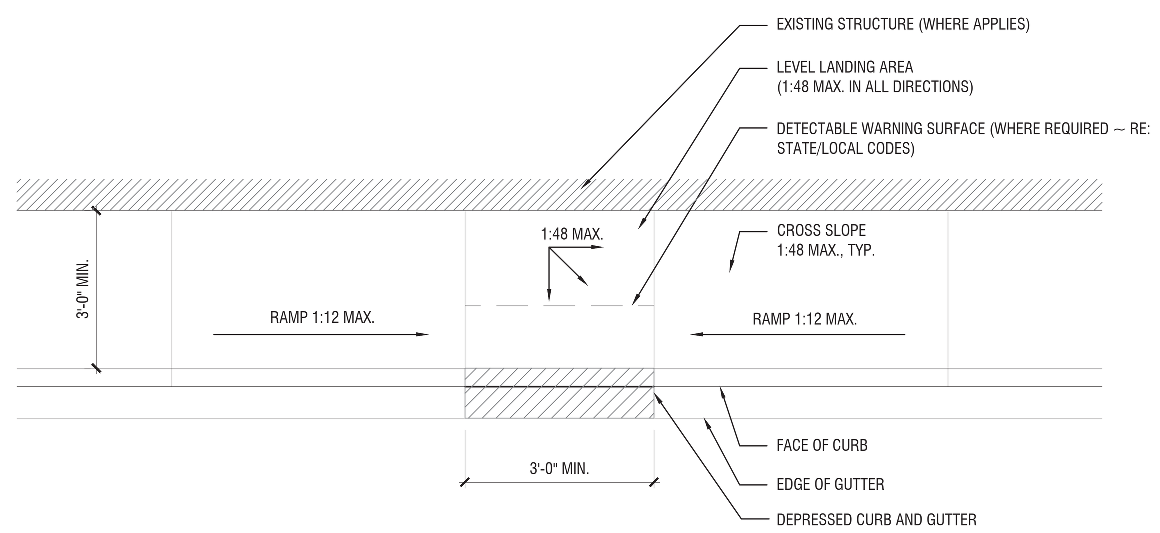
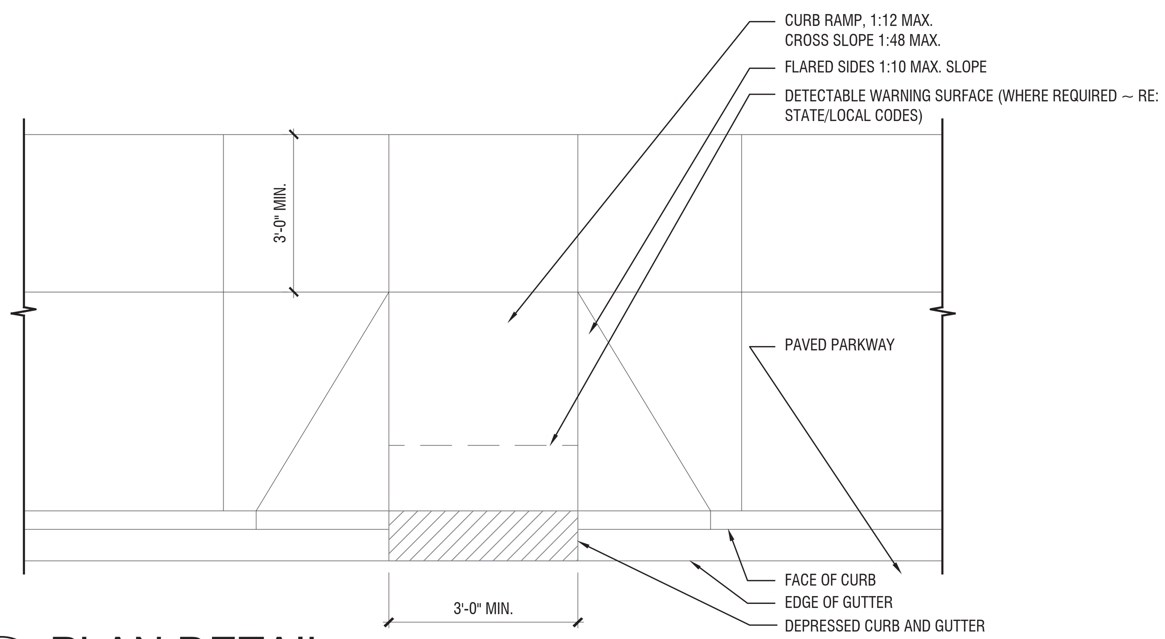


1M A0.01 PLAN DETAIL

SCALE: 1/4"=1'-0"

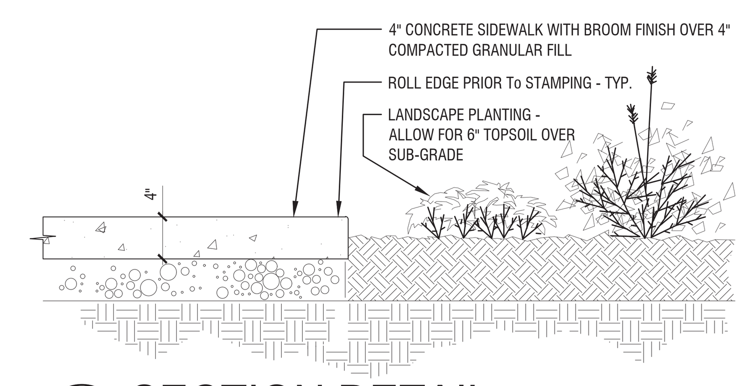
CURB RAMP WITH NO PARKWAY



7M A0.01 PLAN DETAIL

SCALE: 1/4"=1'-0"

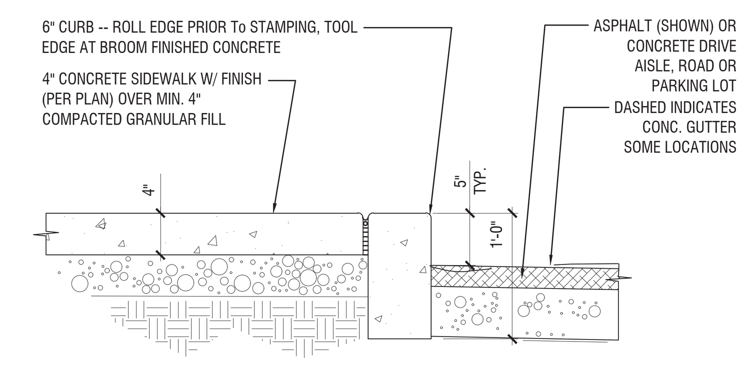
TYP. CURB RAMP WITH PAVED PARKWAY



12N A0.01 SECTION DETAIL

SCALE: 1"=1'-0"

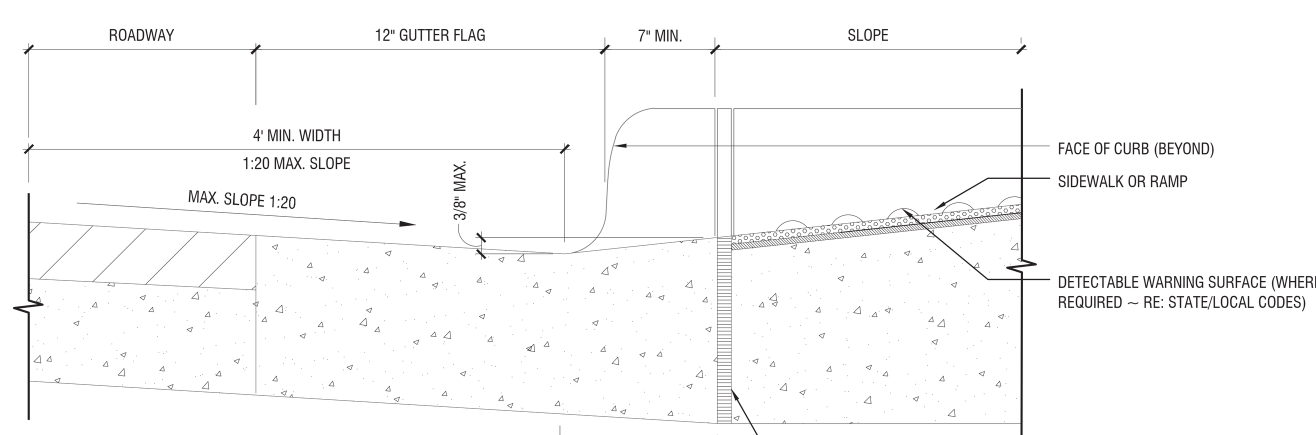
TYP. SIDEWALK TO LANDSCAPE BED



12L A0.01 SECTION DETAIL

SCALE: 1"=1'-0"

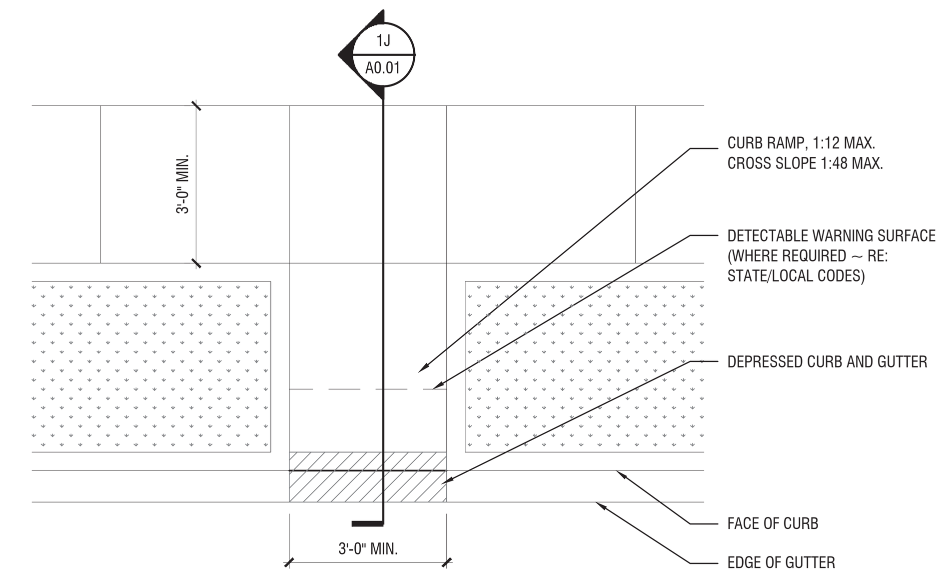
TYP. SIDEWALK TO DRIVE AISLE / PARKING LOT / ROAD



1J A0.01 SECTION DETAIL

SCALE: 1 1/2"=1'-0"

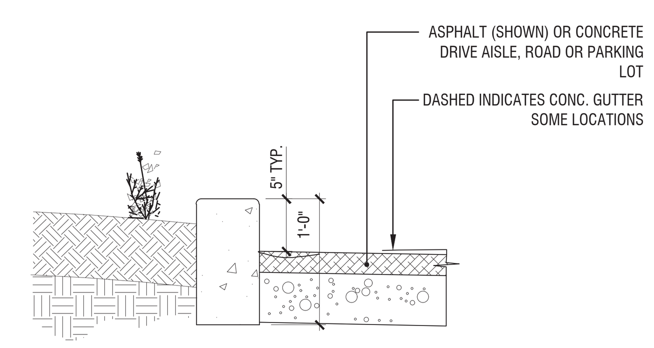
TYP. CURB RAMP



7J A0.01 PLAN DETAIL

SCALE: 1/4"=1'-0"

CURB RAMP WITH PARKWAY



12J A0.01 SECTION DETAIL

SCALE: 1"=1'-0"

TYP. CURB TO LANDSCAPE / DRIVE

MATERIAL LEGEND:

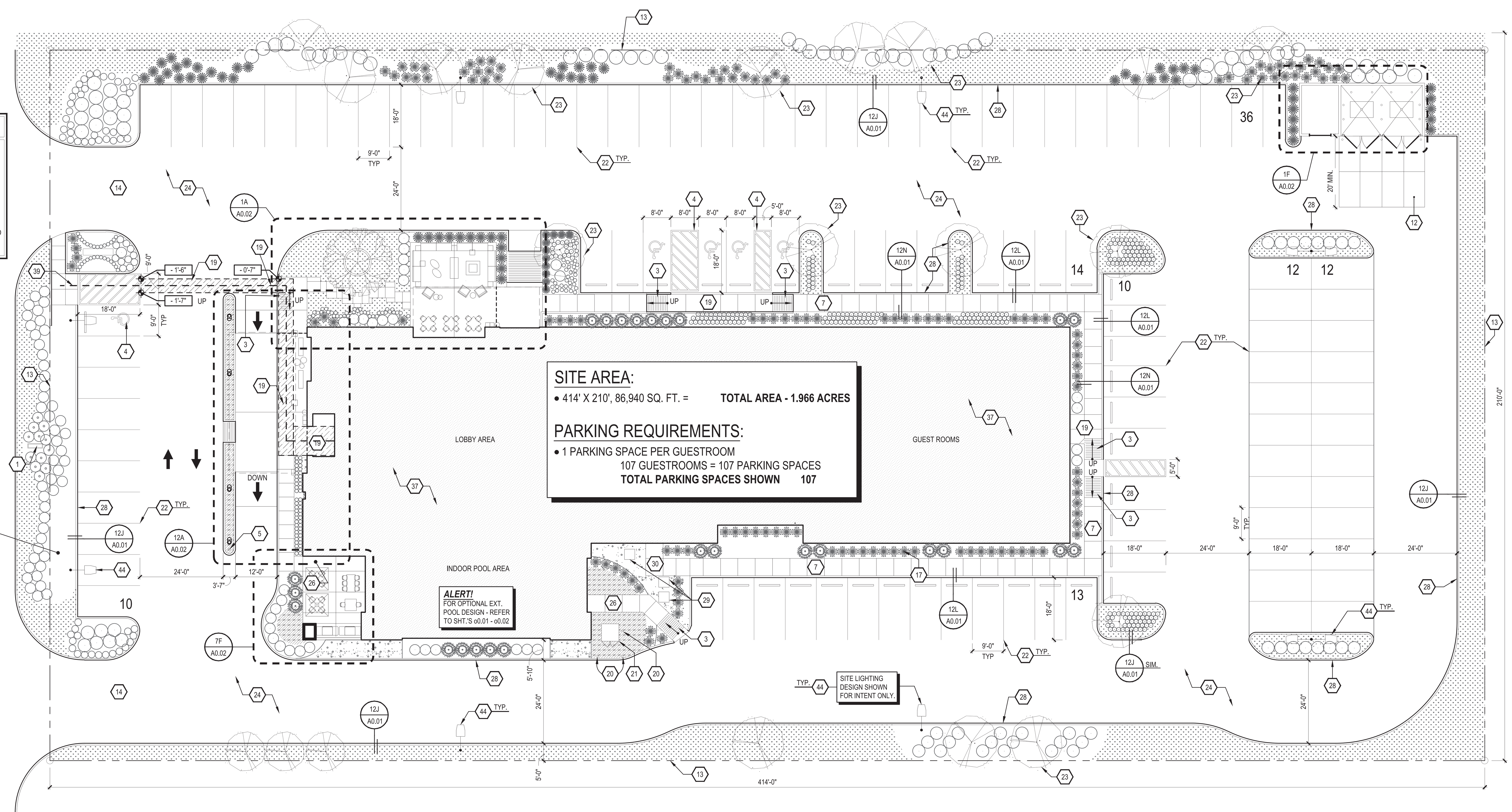
	GRASS
	DECORATIVE CRUSHED LANDSCAPE STONE
	MULCHED AREA
	PAVING #1: COLORED CONCRETE WITH EXPOSED AGGREGATE FINISH
	PAVING #2: STAMPED CONCRETE, COLORED TO MATCH PAVING #1

Site Parking Matrix

ROOM COUNT	REQUIRED TOTAL PARKING SPACES	REQUIRED ACCESSIBLE PARKING SPACES	NOTE: PARKING REQUIREMENTS BASED ON ACCESSIBILITY STANDARDS PER CURRENT SITE LAYOUT. COORDINATE PARKING REQUIREMENTS FOR SPECIFIC SITE WITH ACCESSIBILITY REQUIREMENTS AND LOCAL JURISDICTION AND PROVIDE WHICHEVER IS STRICTER.
107	107	4 + 1 VAN	
	PROVIDED PARKING SPACES		
	STANDARD SPACES	102	
	ACCESSIBLE SPACES	4	
	VAN ACCESSIBLE SPACES	1	
	TOTAL PARKING SPACES	107	

ALERT!
SPOT ELEVATIONS SHOWN INDICATE GENERAL CROSS/RUNNING SLOPE REQUIREMENTS AT ACCESSIBLE AREAS ONLY. ARCHITECT OF RECORD SHALL DETERMINE ACTUAL REQUIRED ELEVATIONS PER SPECIFIC PROJECT SITE CONDITIONS AND LOCAL GOVERNING CODES.

NOTE:
EACH SITE ARRIVAL POINT, I.E. BUS STOPS, SIDEWALKS, MUST BE CONNECTED BY AN ACCESSIBLE ROUTE TO AN ACCESSIBLE BUILDING ENTRANCE.
-IF OWNER IS RESPONSIBLE FOR ANY WALKS ON PUBLIC RIGHT OF WAY THEN THESE WALKS MUST PROVIDE AN ACCESSIBLE ROUTE TO ADJOINING WALKWAYS OR AMENITIES.



SITE AREA:
- 414' X 210', 86,940 SQ. FT. = **TOTAL AREA - 1.966 ACRES**

PARKING REQUIREMENTS:
- 1 PARKING SPACE PER GUESTROOM
  107 GUESTROOMS = 107 PARKING SPACES
  TOTAL PARKING SPACES SHOWN 107

3A A0.01 AREA DEVELOPMENT PLAN

SCALE: 1/16" = 1'-0"

PLAN NORTH N

KEY NOTES:

1. MONUMENT SIGN LOCATION
2. ACCESSIBLE PASSENGER DROP OFF AREA W/ ADJACENT CLEAR ACCESS AISLE - DROP OFF & ACCESS AISLE SHALL BE @ THE SAME LEVEL & SHALL HAVE A SLOPE NOT TO EXCEED 1:48 (1:64 RECOMMENDED) - DRIVE AISLES SHALL RAMP UP TO LEVEL OF WALK AT DROP-OFF AREA -- REFER TO MATERIAL LEGEND FOR SPECIFIC PAVING OF THIS AREA. REFER TO THE **HADG** FOR MORE INFORMATION REGARDING ACCESSIBLE PASSENGER LOADING ZONES.
3. ACCESSIBLE CURB RAMP TO MEET ALL ACCESSIBILITY REQUIREMENTS, MAXIMUM SLOPE OF RUN 1:12 (1:14 RECOMMENDED), MAXIMUM CROSS SLOPE OF 1:48 (1:64 RECOMMENDED), REFER TO THE **HADG** FOR FURTHER INFORMATION.
4. ACCESSIBLE PARKING SPACES, SIGNAGE, LOGOS, WHEEL STOPS & ACCESS AISLES MUST MEET ALL ACCESSIBILITY REQUIREMENTS - PROVIDE SPACES IN SIZE, QUANTITY & LOCATIONS REQ'D BY ACCESSIBILITY AND BY APPLICABLE CODES AS DETERMINED BY LOCAL JURISDICTION . PROVIDE A MAXIMUM SLOPE IN EITHER DIRECTION OF 1:48 (1:64 RECOMMENDED). REFER TO **HADG** FOR FURTHER INFORMATION.
5. FLAGPOLE WITH IN-GROUND UPLIGHT
6. SPECIMEN TREE - REFER TO LANDSCAPE DESIGN INTENT PLAN
7. PAVED WALKWAY- SLOPE AWAY FROM BLDG. (MAX 2% CROSS SLOPE) -- SILICA-BASED AGGREGATE
8. DECORATIVE NON-SLIP PAVING
9. LINE OF CANOPY ROOF ABOVE
10. DUMPSTER ENCLOSURE WITH GATE AND LOCKING HARDWARE - PROVIDE AREA DRAIN
11. EXTERIOR GARDEN STORAGE AREA
12. REINFORCED CONCRETE PAD
13. PROPERTY LINE
14. CURB CUT & DRIVEWAY ACCESS - SIZE & LOCATE CURB CUTS & DRIVE AISLES PER LOCAL REQUIREMENTS - MAINTAIN APPROPRIATE SIGHT LINES
15. OUTDOOR LOUNGE - REFER TO FF&E SPEC'S FOR LOOSE FURNISHINGS
16. POOL PATIO - REFER TO FF&E SPEC'S FOR LOOSE FURNISHINGS
17. ACCENT PLANTINGS - SPECIES DETERMINED BY LOCAL CLIMATE CONDITIONS - REFER TO LANDSCAPE DESIGN INTENT PLAN FOR LANDSCAPING GUIDELINES
18. NOT USED
19. ACCESSIBLE ROUTE FROM ACCESSIBLE PARKING TO BUILDING ENTRANCE. PROVIDE A RUNNING SLOPE OF MAXIMUM 1:20 AND A CROSS SLOPE OF MAXIMUM 1:48 (1:64 RECOMMENDED). REFER TO **HADG** FOR FURTHER INFORMATION.
20. 48" HIGH 6" DIA. CONC. FILLED STL. BOLLARDS
21. PROPOSED TRANSFORMER & CONCRETE PAD LOCATION - ADJUST LOCATION AS REQUIRED TO MEET LOCAL CODES & UTILITY ACCESS
22. PAINTED PARKING STRIPE ON PAVEMENT SURFACE, TYP.
23. TREES - SPECIES DETERMINED BY LOCAL CLIMATE COND. - TREES SHALL NOT INTERFERE W/ PARKING OR PEDESTRIAN ACTIVITY-REFER TO LANDSCAPE DESIGN INTENT PLAN FOR LANDSCAPING GUIDELINES
24. ASPHALT OR CONC. PAVING SHALL COMPLY W/ LOCAL REQUIREMENTS - PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. -- COORDINATE SITE DRAINAGE & DETENTION W/ CIVIL ENGINEER
25. PARTIAL HEIGHT WALL @ GRILLS
26. ACCESSIBLE WALKWAY: RUNNING SLOPE OF MAXIMUM 1:20 AND CROSS SLOPE OF MAXIMUM 1:48 (1:64 RECOMMENDED). REFER TO HADG FOR FURTHER INFORMATION. SCORE DECORATIVE CONC.
27. NOT USED
28. CONTINUOUS CONCRETE CURB - TYP.
29. CONDENSING UNIT LOCATION
30. ACCESSIBLE PATH AWAY FROM BUILDING
31. EXTERIOR FIRE PIT WITH MANUAL EMERGENCY SHUT-OFF VALVE, SECURE IN PLACE TO RESIST MOVEMENT. FEED WITH UNDERGROUND LINE FROM BUILDING GAS SERVICE. PROVIDE APPROPRIATELY SIZED SAFETY SCREEN
32. EXPANSION JOINT
33. CONTROL JOINT
34. NOT USED
35. LANDSCAPED AREA -- REFER TO MATERIAL LEGEND
36. HOSE BIB LOCATION
37. REFER TO FLOOR PLANS FOR HATCHED AREA
38. PRIMED AND PAINTED TUBE STEEL CANOPY COLUMNS
39. ACCESSIBLE ROUTE TO PUBLIC RIGHT OF WAY (1 REQUIRED). MAX. RUNNING SLOPE OF 1:20 AND MAX. CROSS SLOPE OF 1:48 (1:64 RECOMMENDED). ALL PAVED SURFACES, CURB RAMPS AND TRANSITIONS ALONG PATH TO MEET ACCESSIBILITY REQ'S
40. EXTERIOR GAS GRILL
41. BENCH - REFER TO SHEET A4.52
42. IN-GROUND BUILDING UPLIGHT (P-3)
43. WORKSURFACE B/T GRILLS. CONCRETE TOPS @ COUNTER HEIGHT. SIDES TO BE TILED TO MATCH BUILDING BASE. COUNTER TO BE BELOW PARTIAL HEIGHT WALLS
44. PARKING LOT & DRIVEWAY LIGHTING (P-1)
45. FLUSH CURB ALONG ENTIRE LENGTH OF ACCESSIBLE DROP OFF
46. PLANTERS - REFER TO SHEET A4.52
47. TRASH, RECYCLING, AND ASH BINS - REFER TO SHEET A4.52

GENERAL NOTES: THIS SHEET

1. BLDG. LIMITATIONS, AREA REQUIREMENTS, & SETBACKS ARE TO CONFORM TO APPLICABLE CODES AS DETERMINED BY LOCAL JURISDICTION
2. PROVIDE FIRE ACCESS LANE AS REQUIRED BY APPLICABLE CODES AS DETERMINED BY LOCAL JURISDICTION.
3. PROVIDED APPROPRIATE NUMBER OF CURB CUTS AND DRIVEWAY ACCESS WIDTHS TO SITE AS REQUIRED BY APPLICABLE CODES AS DETERMINED BY LOCAL JURISDICTION.
4. TYP. PARKING SPACE SIZES SHALL BE AS REQ'D BY APPLICABLE CODES AS DETERMINED BY LOCAL JURISDICTION. 9'x18' MIN.
5. COORDINATE LIGHTING LOCATIONS WITH LANDSCAPE PLANTINGS - PROVIDE PHOTOMETRIC ANALYSIS AS REQ'D BY APPLICABLE CODES.
6. REFER TO BRAND'S SIGNAGE STANDARDS FOR ADDITIONAL INFORMATION AND PRECISE SIGNAGE REQUIREMENTS.
7. IRRIGATE ALL LANDSCAPED AREAS WITH AUTOMATIC UNDERGROUND SPRINKLER SYSTEM EXCEPT THOSE IMMEDIATELY ADJACENT TO EXTERIOR WALL OF THE HOTEL.
8. ALL AREAS NOT WITHIN PLANTING BEDS TO RECEIVE SOD OR OTHER APPROVED GROUND COVER.
9. ALL EQUIP. MUST BE SCREENED W/ LANDSCAPING OR OTHER MEANS.
10. ALL SITE DIMENSIONS ARE MINIMUM REQUIREMENTS. COMPLY WITH APPLICABLE CODES AS DETERMINED BY LOCAL JURISDICTION.
11. PROVIDE HOSE BIBS AROUND MAIN BUILDING PERIMETER AND AT DUMPSTER ENCLOSURE.
12. REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQUIREMENTS.
13. PROVIDE AN ACCESSIBLE MEANS OF TRAVEL TO SITE PROPERTY LINE THAT MEETS ALL ACCESSIBILITY REQUIREMENTS.
14. CATCH BASINS ARE TO BE PLACED SO AS NOT TO INTERFERE WITH DESIGNATED ACCESSIBLE ROUTES, THEIR CLEARANCES & MAX. SLOPES.
15. PARKING LOT STRIPES MUST BE WHITE, EXCEPT WHERE OTHER COLORS ARE REQUIRED FOR FIRE LANES & NO PARKING ZONES.

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AREA DEVELOPMENT PLAN

A0.01

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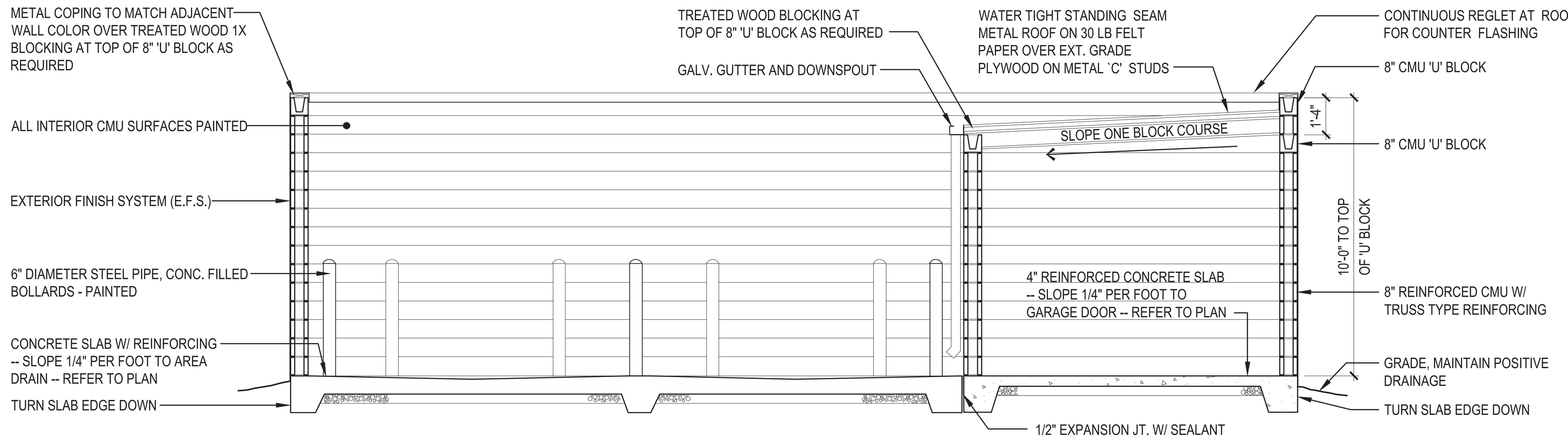
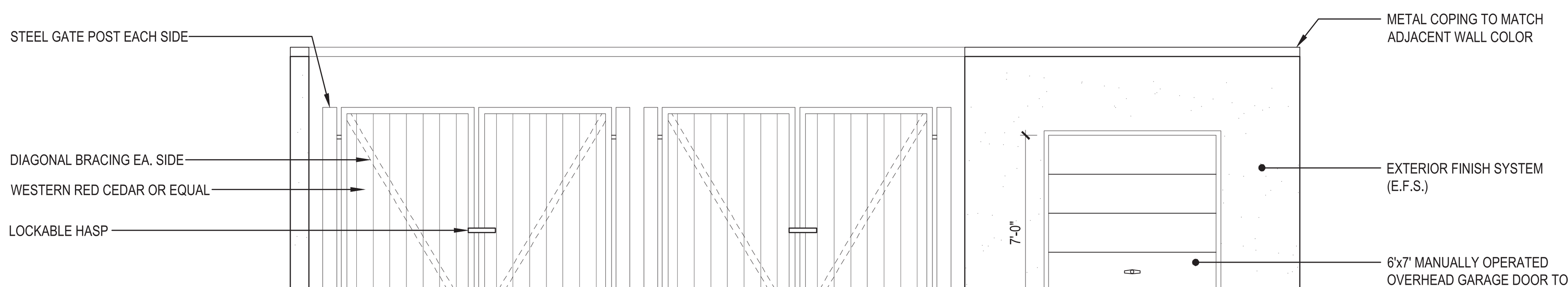


NOTES:

1. VERIFY DRAINAGE REQUIREMENTS WITH HEALTH INSPECTOR
2. PROVIDE CEILING MOUNTED LIGHT AND DUPLEX OUTLET IN STORAGE
3. DUMPSTER ENCLOSURE EXTERIOR FINISH TO MATCH FINISH OF MAIN HOTEL / TOWER
4. ADDITIONAL SPACE MAY BE NEEDED FOR RECYCLING. DESIGNER TO COORDINATE REQUIREMENTS WITH LOCAL SERVICE
5. INTERIOR WALLS AND CEILINGS PAINTED FINISH AT MINIMUM

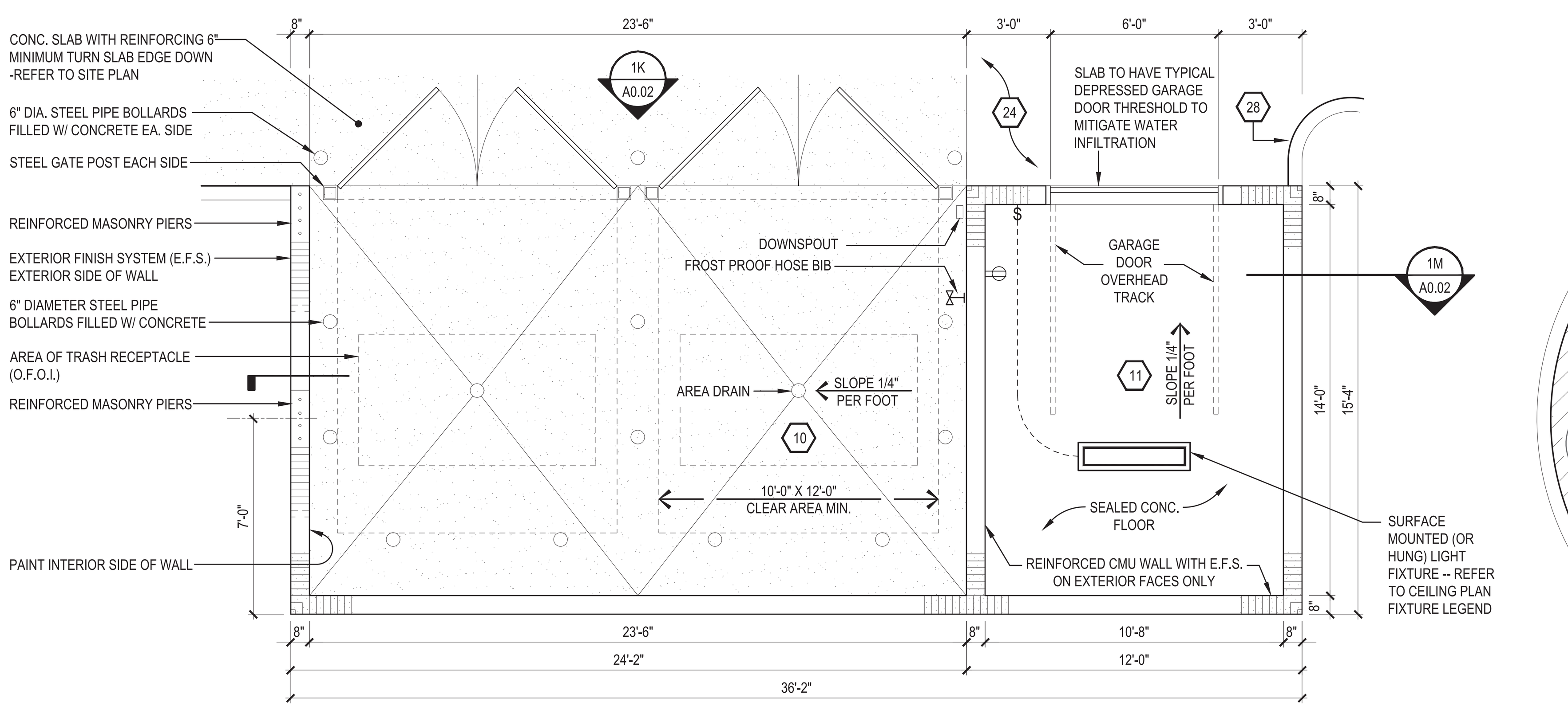
1M / A0.02 STORAGE & TRASH ENCLOSURE SECTION

SCALE: 1/4" = 1'-0"



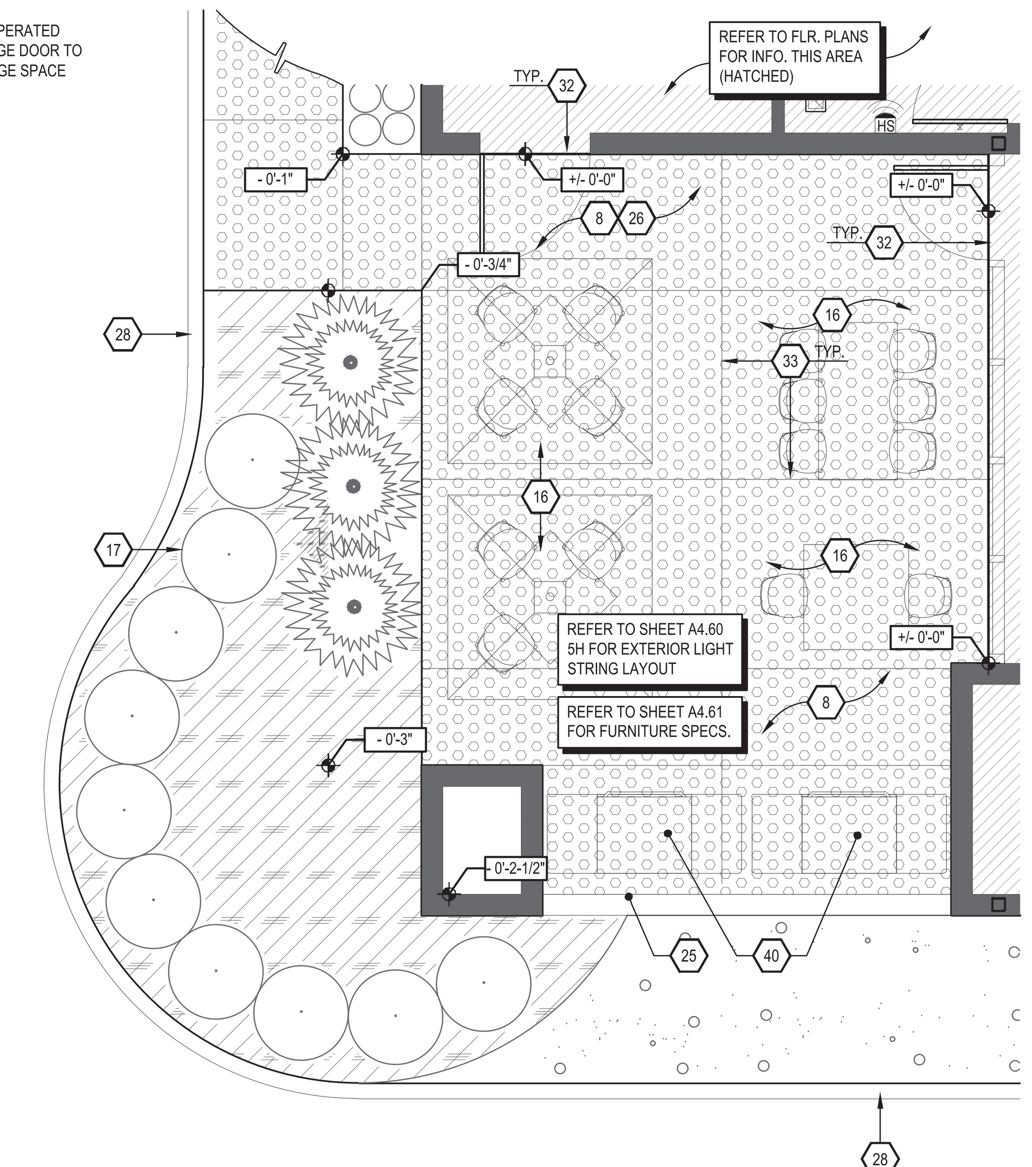
1K / A0.02 STORAGE & TRASH ENCLOSURE ELEVATION

SCALE: 1/4" = 1'-0"



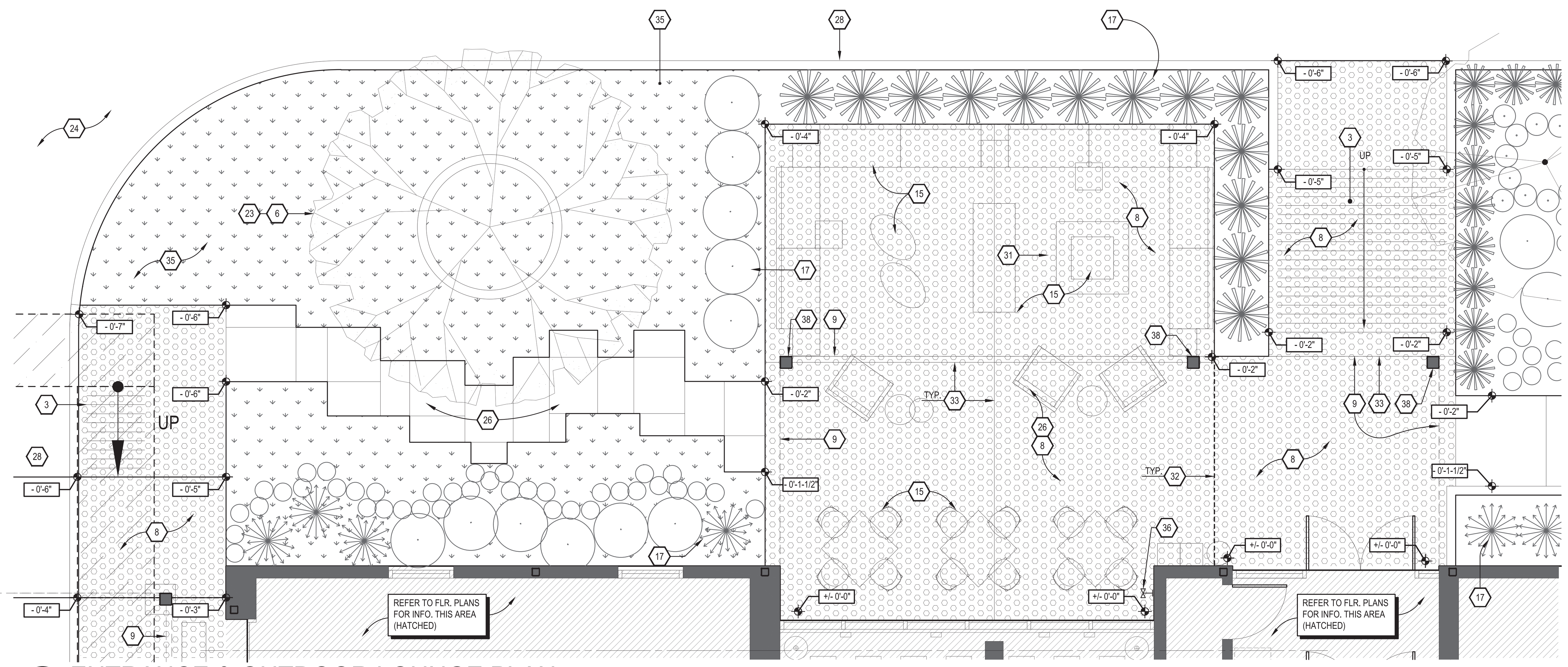
1F / A0.02 STORAGE & TRASH ENCLOSURE PLAN

SCALE: 1/4" = 1'-0"



7F / A0.02 PATIO PLAN

SCALE: 1/4" = 1'-0"



1A / A0.02 ENTRANCE & OUTDOOR LOUNGE PLAN

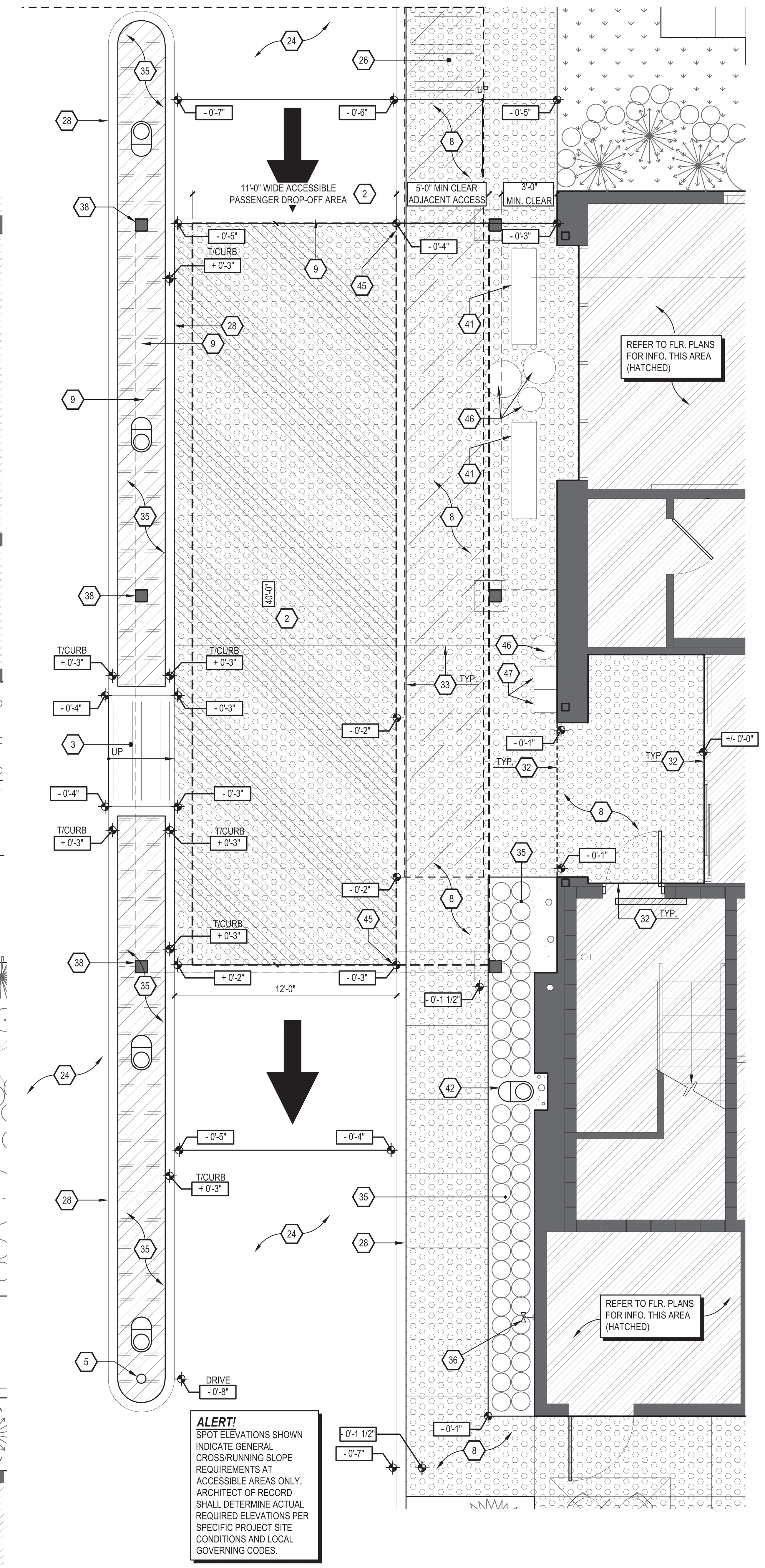
SCALE: 1/4" = 1'-0"

RECOMMENDED LIGHTING

SITE LIGHTING:
(P-1) EXTERIOR POLE LIGHT
(P-2) IN-GROUND FLAG UPLIGHT (EQUIVALENT TO 175 WATT METAL HALIDE)
(P-3) IN-GROUND AMBIENT UPLIGHT

MATERIAL LEGEND:

- GRASS
- DECORATIVE CRUSHED LANDSCAPE STONE
- MULCHED AREA
- PAVING #1: COLORED CONCRETE WITH EXPOSED AGGREGATE FINISH
- PAVING #2: STAMPED CONCRETE, COLORED TO MATCH PAVING #1



ALERT!
SPOT ELEVATIONS SHOWN INDICATE GENERAL CROSS/RUNNING SLOPE REQUIREMENTS AT ACCESSIBLE AREAS ONLY. ARCHITECT OF RECORD SHALL DETERMINE ACTUAL REQUIRED ELEVATIONS PER SPECIFIC PROJECT SITE CONDITIONS AND LOCAL GOVERNING CODES.

12A / A0.02 ENTRANCE & DROP OFF CANOPY

SCALE: 1/4" = 1'-0"

KEY NOTES:

1. MONUMENT SIGN LOCATION
2. ACCESSIBLE PASSENGER DROP OFF AREA W/ ADJACENT CLEAR ACCESS AISLE - DROP OFF & ACCESS AISLE SHALL BE @ THE SAME LEVEL & SHALL HAVE A SLOPE NOT TO EXCEED 1:48 (1:64 RECOMMENDED) - DRIVE AISLES SHALL RAMP UP TO LEVEL OF WALK AT DROP-OFF AREA -- REFER TO MATERIAL LEGEND FOR SPECIFIC PAVING OF THIS AREA. REFER TO THE **HADG** FOR MORE INFORMATION REGARDING ACCESSIBLE PASSENGER LOADING ZONES.
3. ACCESSIBLE CURB RAMP TO MEET ALL ACCESSIBILITY REQUIREMENTS, MAXIMUM SLOPE OF RUN 1:12 (1:14 RECOMMENDED), MAXIMUM CROSS SLOPE OF 1:48 (1:64 RECOMMENDED), REFER TO THE **HADG** FOR FURTHER INFORMATION.
4. ACCESSIBLE PARKING SPACES, SIGNAGE, LOGOS, WHEEL STOPS & ACCESS AISLES MUST MEET ALL ACCESSIBILITY REQUIREMENTS - PROVIDE SPACES IN SIZE, QUANTITY & LOCATIONS REQ'D BY ACCESSIBILITY AND BY APPLICABLE CODES AS DETERMINED BY LOCAL JURISDICTION . PROVIDE A MAXIMUM SLOPE IN EITHER DIRECTION OF 1:48 (1:64 RECOMMENDED). REFER TO **HADG** FOR FURTHER INFORMATION.
5. FLAGPOLE WITH IN-GROUND UPLIGHT
6. SPECIMEN TREE - REFER TO LANDSCAPE DESIGN INTENT PLAN
7. PAVED WALKWAY- SLOPE AWAY FROM BLDG. (MAX 2% CROSS SLOPE) -- SILICA-BASED AGGREGATE
8. DECORATIVE NON-SLIP PAVING
9. LINE OF CANOPY ROOF ABOVE
10. DUMPSTER ENCLOSURE WITH GATE AND LOCKING HARDWARE - PROVIDE AREA DRAIN
11. EXTERIOR GARDEN STORAGE AREA
12. REINFORCED CONCRETE PAD
13. PROPERTY LINE
14. CURB CUT & DRIVEWAY ACCESS - SIZE & LOCATE CURB CUTS & DRIVE AISLES PER LOCAL REQUIREMENTS - MAINTAIN APPROPRIATE SIGHT LINES
15. OUTDOOR LOUNGE - REFER TO FF&E SPEC'S FOR LOOSE FURNISHINGS
16. POOL PATIO - REFER TO FF&E SPEC'S FOR LOOSE FURNISHINGS
17. ACCENT PLANTINGS - SPECIES DETERMINED BY LOCAL CLIMATE CONDITIONS - REFER TO LANDSCAPE DESIGN INTENT PLAN FOR LANDSCAPING GUIDELINES
18. NOT USED
19. ACCESSIBLE ROUTE FROM ACCESSIBLE PARKING TO BUILDING ENTRANCE. PROVIDE A RUNNING SLOPE OF MAXIMUM 1:20 AND A CROSS SLOPE OF MAXIMUM 1:48 (1:64 RECOMMENDED). REFER TO **HADG** FOR FURTHER INFORMATION.
20. 48" HIGH 6" DIA. CONC. FILLED STL. BOLLARDS
21. PROPOSED TRANSFORMER & CONCRETE PAD LOCATION - ADJUST LOCATION AS REQUIRED TO MEET LOCAL CODES & UTILITY ACCESS
22. PAINTED PARKING STRIPE ON PAVEMENT SURFACE, TYP.
23. TREES - SPECIES DETERMINED BY LOCAL CLIMATE COND. - TREES SHALL NOT INTERFERE W/ PARKING OR PEDESTRIAN ACTIVITY-REFER TO LANDSCAPE DESIGN INTENT PLAN FOR LANDSCAPING GUIDELINES
24. ASPHALT OR CONC. PAVING SHALL COMPLY W/ LOCAL REQUIREMENTS - PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. -- COORDINATE SITE DRAINAGE & DETENTION W/ CIVIL ENGINEER
25. PARTIAL HEIGHT WALL @ GRILLS
26. ACCESSIBLE WALKWAY: RUNNING SLOPE OF MAXIMUM 1:20 AND CROSS SLOPE OF MAXIMUM 1:48 (1:64 RECOMMENDED). REFER TO HADG FOR FURTHER INFORMATION. SCORE DECORATIVE CONC.
27. NOT USED
28. CONTINUOUS CONCRETE CURB - TYP.
29. CONDENSING UNIT LOCATION
30. ACCESSIBLE PATH AWAY FROM BUILDING
31. EXTERIOR FIRE PIT WITH MANUAL EMERGENCY SHUT-OFF VALVE, SECURE IN PLACE TO RESIST MOVEMENT. FEED WITH UNDERGROUND LINE FROM BUILDING GAS SERVICE. PROVIDE APPROPRIATELY SIZED SAFETY SCREEN
32. EXPANSION JOINT
33. CONTROL JOINT
34. NOT USED
35. LANDSCAPED AREA -- REFER TO MATERIAL LEGEND
36. HOSE BIB LOCATION
37. REFER TO FLOOR PLANS FOR HATCHED AREA
38. PRIMED AND PAINTED TUBE STEEL CANOPY COLUMNS
39. ACCESSIBLE ROUTE TO PUBLIC RIGHT OF WAY (1 REQUIRED). MAX. RUNNING SLOPE OF 1:20 AND MAX. CROSS SLOPE OF 1:48 (1:64 RECOMMENDED). ALL PAVED SURFACES, CURB RAMPS AND TRANSITIONS ALONG PATH TO MEET ACCESSIBILITY REQ'S
40. EXTERIOR GAS GRILL
41. BENCH - REFER TO SHEET A4.52
42. IN-GROUND BUILDING UPLIGHT (P-3)
43. WORKSURFACE B/T GRILLS. CONCRETE TOPS @ COUNTER HEIGHT. SIDES TO BE TILED TO MATCH BUILDING BASE. COUNTER TO BE BELOW PARTIAL HEIGHT WALLS
44. PARKING LOT & DRIVEWAY LIGHTING (P-1)
45. FLUSH CURB ALONG ENTIRE LENGTH OF ACCESSIBLE DROP OFF
46. PLANTERS - REFER TO SHEET A4.52
47. TRASH, RECYCLING, AND ASH BINS - REFER TO SHEET A4.52

GENERAL NOTES: THIS SHEET

1. BLDG. LIMITATIONS, AREA REQUIREMENTS, & SETBACKS ARE TO CONFORM TO APPLICABLE CODES AS DETERMINED BY LOCAL JURISDICTION
2. PROVIDE FIRE ACCESS LANE AS REQUIRED BY APPLICABLE CODES AS DETERMINED BY LOCAL JURISDICTION.
3. PROVIDED APPROPRIATE NUMBER OF CURB CUTS AND DRIVEWAY ACCESS WIDTHS TO SITE AS REQUIRED BY APPLICABLE CODES AS DETERMINED BY LOCAL JURISDICTION.
4. TYP. PARKING SPACE SIZES SHALL BE AS REQ'D BY APPLICABLE CODES AS DETERMINED BY LOCAL JURISDICTION. 9'x18' MIN.
5. COORDINATE LIGHTING LOCATIONS WITH LANDSCAPE PLANTINGS - PROVIDE PHOTOMETRIC ANALYSIS AS REQ'D BY APPLICABLE CODES.
6. REFER TO BRAND'S SIGNAGE STANDARDS FOR ADDITIONAL INFORMATION AND PRECISE SIGNAGE REQUIREMENTS.
7. IRRIGATE ALL LANDSCAPED AREAS WITH AUTOMATIC UNDERGROUND SPRINKLER SYSTEM EXCEPT THOSE IMMEDIATELY ADJACENT TO EXTERIOR WALL OF THE HOTEL.
8. ALL AREAS NOT WITHIN PLANTING BEDS TO RECEIVE SOD OR OTHER APPROVED GROUND COVER.
9. ALL EQUIP. MUST BE SCREENED W/ LANDSCAPING OR OTHER MEANS.
10. ALL SITE DIMENSIONS ARE MINIMUM REQUIREMENTS. COMPLY WITH APPLICABLE CODES AS DETERMINED BY LOCAL JURISDICTION.
11. PROVIDE HOSE BIBS AROUND MAIN BUILDING PERIMETER AND AT DUMPSTER ENCLOSURE.
12. REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQUIREMENTS.
13. PROVIDE AN ACCESSIBLE MEANS OF TRAVEL TO SITE PROPERTY LINE THAT MEETS ALL ACCESSIBILITY REQUIREMENTS.
14. CATCH BASINS ARE TO BE PLACED SO AS NOT TO INTERFERE WITH DESIGNATED ACCESSIBLE ROUTES, THEIR CLEARANCES & MAX. SLOPES.
15. PARKING LOT STRIPES MUST BE WHITE, EXCEPT WHERE OTHER COLORS ARE REQUIRED FOR FIRE LANES & NO PARKING ZONES.

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AREA DEVELOPMENT ENLARGED PLANS & DETAILS

A0.02

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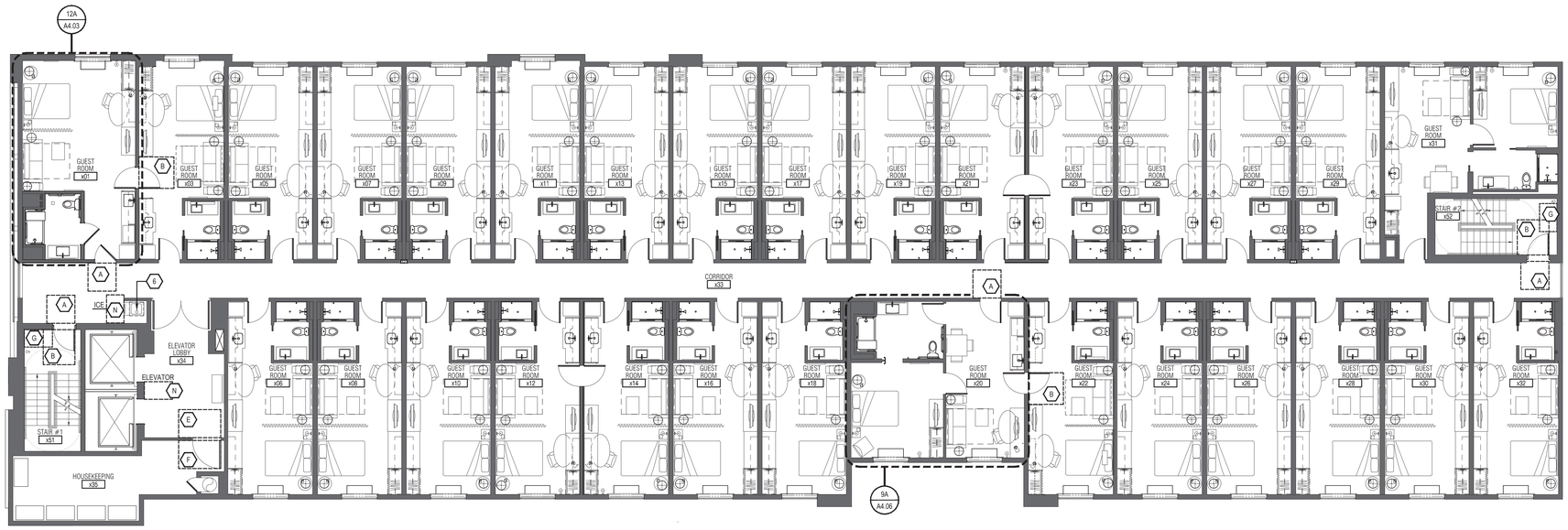
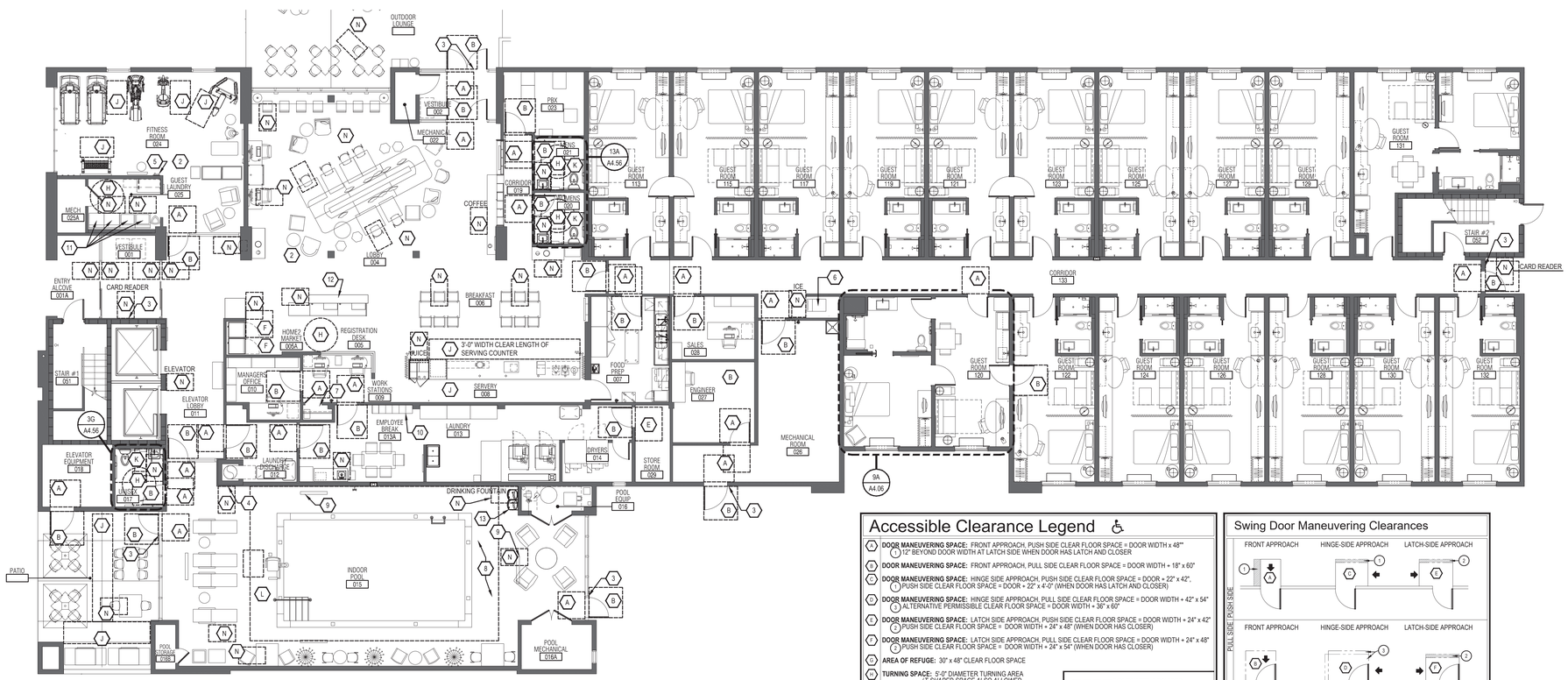


1J A2.00 TYPICAL FLOOR PLAN (LEVELS 02-04) - ACCESSIBILITY PLAN

SCALE: 1/8" = 1'-0"



1A A2.00 FIRST FLOOR PLAN - ACCESSIBILITY PLAN

SCALE: 1/8" = 1'-0"

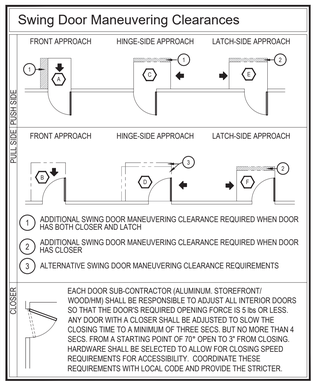
Accessible Clearance Legend

- **DOOR MANEUVERING SPACE:** FRONT APPROACH, PUSH SIDE CLEAR FLOOR SPACE = DOOR WIDTH x 48"" (1) 1/2" BEYOND DOOR WIDTH AT LATCH SIDE WHEN DOOR HAS LATCH AND CLOSER
- **DOOR MANEUVERING SPACE:** FRONT APPROACH, PULL SIDE CLEAR FLOOR SPACE = DOOR WIDTH + 18" x 60"
- **DOOR MANEUVERING SPACE:** HINGE SIDE APPROACH, PUSH SIDE CLEAR FLOOR SPACE = DOOR + 22" x 42", (1) PUSH SIDE CLEAR FLOOR SPACE = DOOR + 22" x 4'-0" (WHEN DOOR HAS LATCH AND CLOSER)
- **DOOR MANEUVERING SPACE:** HINGE SIDE APPROACH, PULL SIDE CLEAR FLOOR SPACE = DOOR WIDTH + 42" x 54" (3) ALTERNATIVE PERMISSIBLE CLEAR FLOOR SPACE = DOOR WIDTH + 36" x 60"
- **DOOR MANEUVERING SPACE:** LATCH SIDE APPROACH, PUSH SIDE CLEAR FLOOR SPACE = DOOR WIDTH + 24" x 42" (2) PUSH SIDE CLEAR FLOOR SPACE = DOOR WIDTH + 24" x 48" (WHEN DOOR HAS CLOSER)
- **DOOR MANEUVERING SPACE:** LATCH SIDE APPROACH, PULL SIDE CLEAR FLOOR SPACE = DOOR WIDTH + 24" x 48" (2) PUSH SIDE CLEAR FLOOR SPACE = DOOR WIDTH + 24" x 54" (WHEN DOOR HAS CLOSER)
- **AREA OF REFUGE:** 30" x 48" CLEAR FLOOR SPACE
- **TURNING SPACE:** 5'-0" DIAMETER TURNING AREA *(T-SHAPED SPACE ALSO ALLOWED PER ACCESSIBILITY REQUIREMENTS)*
- **ACCESSIBLE ROUTE:** 36" WIDE AISLE x LENGTH OF ACCESSIBLE PIECE OF EQ. OR FURNITURE (48" MIN.)
- **WATER CLOSET CLEARANCE:** 56" x 60"
- **CLEAR DECK SPACE:** PARALLEL TO POOL LIFTS 36" X 48"
- **WATER CLOSET CLEARANCE:** 59" x 60" (FLOOR MOUNTED IN A COMPARTMENT)
- **CLEAR FLOOR SPACE:** FRONT OR SIDE APPROACH 30" x 48"

FOR ALL FIXTURES DESIGNATED REQUIRED SPACE CLEAR FLOOR SPACE (CFS) PER ACCESSIBILITY REQUIREMENTS. REFER TO DIAGRAM ON THIS SHEET IN REFERENCE TO APPROACH CLEARANCES. VERIFY REQ. CLEAR FLOOR SPACE FOR ALL ACCESSIBLE EQUIPMENT, FURNITURE AND AREAS REQUIRED TO BE ACCESSIBLE. REFER TO **HADG** FOR FURTHER INFORMATION.

DOOR SIZES TO BE 3'-0" WIDE (UNLESS NOTED OTHERWISE) OR DOOR WITH 2'-8" CLEAR WHEN DOOR IS OPEN AT 90°. INFORMATION ON THIS SHEET IS INTENDED TO DEMONSTRATE CLEAR FLOOR AREA AND DOOR CLEARANCE REQUIREMENTS FOR ACCESSIBILITY AS DESIGNED IN THIS PROTOTYPE SET. THE ARCHITECT OF RECORD IS REQUIRED TO CONFORM TO ALL STATE AND LOCAL CODES IN ADDITION TO THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN. REFER ALSO TO SHEET A10.01 FOR DOOR CLEARANCE REQUIREMENTS. ENLARGED PLAN REFERENCES CONTAIN CLEAR FLOOR AREA INFORMATION ON THOSE SHEETS, INCLUDING REQUIREMENTS FOR PLUMBING FIXTURE CLEARANCES.

Swing Door Maneuvering Clearances



1. ADDITIONAL SWING DOOR MANEUVERING CLEARANCE REQUIRED WHEN DOOR HAS BOTH CLOSER AND LATCH
2. ADDITIONAL SWING DOOR MANEUVERING CLEARANCE REQUIRED WHEN DOOR HAS CLOSER
3. ALTERNATIVE SWING DOOR MANEUVERING CLEARANCE REQUIREMENTS

EACH DOOR SUB-CONTRACTOR (ALUMINUM, STOREFRONT/ WOOD/HM) SHALL BE RESPONSIBLE TO ADJUST ALL INTERIOR DOORS SO THAT THE DOOR'S REQUIRED OPENING FORCE IS 5 lbs OR LESS. ANY DOOR WITH A CLOSER SHALL BE ADJUSTED TO SLOW THE CLOSING TIME TO A MINIMUM OF THREE SECS. BUT NO MORE THAN 4 SECS. FROM A STARTING POINT OF 70° OPEN TO 3° FROM CLOSING. HARDWARE SHALL BE SELECTED TO ALLOW FOR CLOSING SPEED REQUIREMENTS FOR ACCESSIBILITY. COORDINATE THESE REQUIREMENTS WITH LOCAL CODE AND PROVIDE THE STRICTER.

KEY NOTES:

1. 36" MIN. WIDE ACCESSIBLE ROUTE
2. ARRANGE/MAINTAIN MOVABLE FURNITURE SO AS TO PROVIDE AN ACCESSIBLE ROUTE THROUGH ALL AREAS USED BY GUESTS
3. CARD READER AND/OR AFTER-HOURS INTERCOM. MOUNTED WITHIN ACCESSIBLE REACH RANGE. MUST BE ON AN ACCESSIBLE ROUTE AND HAVE CLEAR FLOOR SPACE FOR FRONT OR PARALLEL APPROACH
4. AN EMERGENCY BUTTON OR HOUSE PHONE MUST BE PROVIDED AT THE POOL. IT MUST BE IN A WEATHER TIGHT ENCLOSURE. WHEN THE RECEIVER IS LIFTED OR THE BUTTON IS PUSHED, THE FRONT DESK OR THE LOCAL EMERGENCY AUTHORITY, IF REQUIRED BY THE LOCAL AUTHORITY, MUST BE DIALED IMMEDIATELY. MOUNT WITHIN ACCESSIBLE REACH RANGE. PHONE MUST BE EQUIPPED WITH VOLUME CONTROL AND A MIN. 29" LONG CORD. AN ACCESSIBLE ROUTE MUST BE PROVIDED TO THE EMERGENCY HOUSE PHONE OR EMERGENCY BUTTON WITH A CLEAR FLOOR SPACE FOR FRONT OR SIDE APPROACH
5. EMERGENCY PHONE OR BUTTON. LOCATED WITHIN ACCESSIBLE REACH RANGE, ON AN ACCESSIBLE ROUTE AND WITH CLEAR FLOOR SPACE FOR FRONT OR SIDE APPROACH. PHONE MUST BE EQUIPPED WITH VOLUME CONTROL AND A MIN. 29" LONG CORD
6. ACCESSIBLE ICE MACHINE WITH REQUIRED 30"x48" CLEAR FLOOR SPACE. ALL CONTROLS INTENDED FOR GUEST USE TO BE WITHIN REQUIRED ACCESSIBLE REACH RANGE. PROVIDE FLOOR DRAIN CENTERED UNDER ICE MACHINE AND PROVIDE POSITIVE SLOPE (1:48 MAX) TOWARDS DRAIN WITHOUT AFFECTING ACCESSIBLE REQUIREMENTS. INSULATE DRAIN PIPES
7. 5% OF COAT STORAGE TO BE WITHIN ACCESSIBLE REACH RANGE - 15" TO 48" A.F.F.
8. SLOPE OF POOL DECK AREA MUST NOT EXCEED 1:48 IN ANY DIRECTION
9. FLOOR TRENCH DRAIN GRATING TO ALLOW ACCESSIBLE TRAVEL IN EACH DIRECTION - GRATE OPENINGS MUST BE 1/2" MAX IN EITHER DIRECTION
10. EMPLOYEE LOCKERS: PROVIDE QUANTITY OF ACCESSIBLE LOCKERS AS REQUIRED BY ACCESSIBILITY REQUIREMENTS OR LOCAL JURISDICTION'S CODE, WHICHEVER IS MORE STRICT. ACCESSIBLE LOCKER MUST BE LOCATED WHERE THERE IS A CLEAR FLOOR SPACE TO REACH THE SHELVES, LOCK, ETC.
11. ELEMENTS FOR OPTIONAL GUEST LAUNDRY SHOWN -IF LAUNDRY IS PROVIDED , PROVIDE REQUIRED ACCESSIBLE EQUIPMENT, COUNTERS, STORAGE, HOUSE PHONE, AND TURNING SPACE
12. REFER TO FRONT DESK MILLWORK FOR ADDITIONAL ACCESSIBILITY REQUIREMENTS
13. PROVIDE A SIDE PANEL ON STANDING DRINKING FOUNTAIN TO ENSURE IT IS NOT A PROTRUDING OBJECT.

SYMBOL / FIXTURES KEY:

- ACCESSIBLE ROOM
- ROOM WITH COMMUNICATIONS FEATURE
- MAGNETIC DOOR HOLD OPENER TIED TO BUILDING ALARM SYSTEM -- REFER TO DOOR SCHEDULE

GENERAL NOTES:

1. ALL CONTROLS FOR USE BY GUESTS MUST BE MOUNTED BETWEEN 15" AND 48" WHERE THE REACH DEPTH IS LESS THAN 20" AND MUST HAVE A 30"x48" MINIMUM CLEAR FLOOR SPACE FOR FORWARD OR PARALLEL APPROACH. WHERE THE REACH DEPTH EXCEEDS 20" THE HIGH FORWARD REACH SHALL BE 44". REACH DEPTH SHALL BE 25" MAXIMUM. CONTROLS MUST NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
2. COMMON EMPLOYEE AREAS SUCH AS BREAK ROOMS, LOCKER/TOILET/SHOWER ROOMS MUST BE ACCESSIBLE AND HAVE ACCESSIBLE FEATURES AND FIXTURES. EMPLOYEE WORK AREAS LESS THAN 1000 SQFT AS DEFINED BY PERMANENTLY INSTALLED PARTITIONS, COUNTERS, CASEWORK OR FURNISHINGS ARE NOT REQUIRED TO HAVE AN ACCESSIBLE PATH OF CIRCULATION THROUGHOUT THE SPACE BUT ARE REQUIRED TO BE CONSTRUCTED SO AN INDIVIDUAL CAN APPROACH, ENTER AND EXIT THE SPACE.
3. IN COMMON SPACES WITHIN EMPLOYEE AREAS AT LEAST ONE OF EACH TYPE OF STORAGE OR WORK COUNTER, 5% OR LOCKERS, AND CONTROLS (EM PHONES, CARD READERS, ETC.) MUST BE ON AN ACCESSIBLE ROUTE, WITHIN REACH RANGE AND MUST COMPLY WITH STANDARDS FOR CONTROLS AS DEFINED IN THE GOVERNING ACCESSIBILITY STANDARDS OR LOCAL CODE WHICHEVER IS STRICTER.
4. FIRE ALARM SYSTEM SHALL HAVE PERMANENTLY INSTALLED AUDIBLE AND VISIBLE ALARMS COMPLYING WITH NFPA 72 (1999 OR 2010 ADDITION) AND AS REQUIRED BY LOCAL AUTHORITIES. ALARMS MUST BE LOCATED IN PUBLIC AND COMMON USE AREAS AND GUEST ROOMS DESIGNATED AS "GUEST ROOMS WITH COMMUNICATIONS FEATURES" AT A MINIMUM. WHERE EMPLOYEE AREAS HAVE AUDIBLE ALARMS, THE WIRING SHALL BE DESIGNED SO VISIBLE ALARMS CAN BE INTEGRATED INTO THE SYSTEM, UNLESS GREATER STANDARDS ARE REQUIRED BY LOCAL AUTHORITIES.
5. OPERABLE PORTION OF CARD READER TO BE MOUNTED AT 48" OR BELOW WITH CLEAR FLOOR SPACE FOR FRONT OR PARALLEL APPROACH.
6. ALL SIGNS IDENTIFYING PERMANENT ROOMS OR SPACES ARE REQUIRED TO HAVE VISUAL AND RAISED CHARACTERS AND BRAILLE. SIGNAGE TO BE MOUNTED ON LATCH SIDE OF DOOR WITH THE LOWEST TACTILE CHARACTERS NO LOWER THAN 48" AND THE BOTTOM OF THE HIGHEST TACTILE CHARACTERS NO HIGHER THAN 60" AFF.
7. ANY PORTION OF A WALL SCONCE OR OTHER OBJECT THAT PROTRUDES INTO A CIRCULATION PATH ABOVE 27" AND BELOW 80" IS LIMITED TO A 4" MAXIMUM PROJECTION
8. REFER TO **HADG** FOR ADDITIONAL REQUIREMENTS FOR PUBLIC SPACES & EQUIPMENT
9. IN PUBLIC AREAS INTENDED FOR DINING, AT LEAST 5% OF THE TABLES MUST BE ACCESSIBLE WITH COMPLIANT KNEE AND TOE CLEARANCE AND LOCATED ON AN ACCESSIBLE ROUTE AND DISTRIBUTED THROUGHOUT THE SPACE
10. ALL EQUIPMENT, FURNITURE AND MILLWORK INTENDED FOR GUEST USE MUST MEET ALL CLEARANCES AND REACH RANGES AS DEFINED BY THE GOVERNING ACCESSIBILITY CODE OR LOCAL CODE; WHICHEVER IS STRICTER
11. ALL OPERABLE WINDOWS PROVIDED IN PUBLIC GUEST ACCESSIBLE SPACES AND IN ACCESSIBLE GUEST ROOM TYPES MUST MEET ALL ACCESSIBILITY REQUIREMENTS PERTAINING TO REACH RANGE, OPERATING CONTROLS AND CLEAR FLOOR SPACE - HARDWARE AND WINDOW OPERATION MUST BE NO GREATER THAN 5 LBS.
12. PROVIDE ACCESSIBLE FLOOR TRANSITIONS AT ALL LOCATIONS WHERE THERE IS A CHANGE IN FLOORING MATERIAL OR AT DOOR THRESHOLDS. THE CHANGE OF LEVEL BETWEEN MATERIALS MUST BE NO MORE THAN 1/4" OR UP TO 1/2" IF SLOPED AT 1:2
13. ALL DATA AND POWER RECEPTACLES INTENDED FOR GUEST ACCESSUSE MUST BE INSTALLED WITHIN ACC. REACH RANGES -- REFER TO GENERAL NOTE #1

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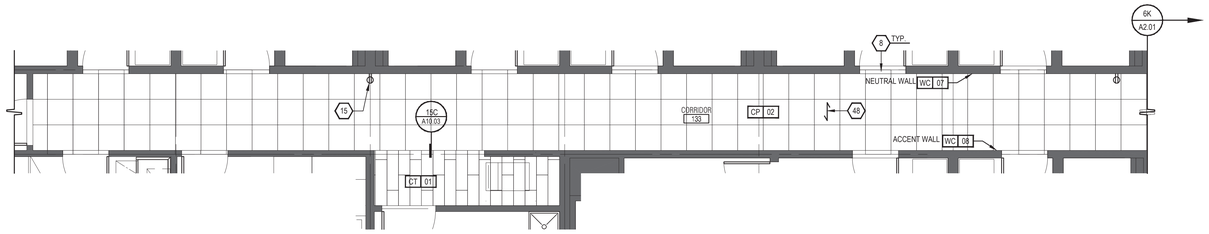
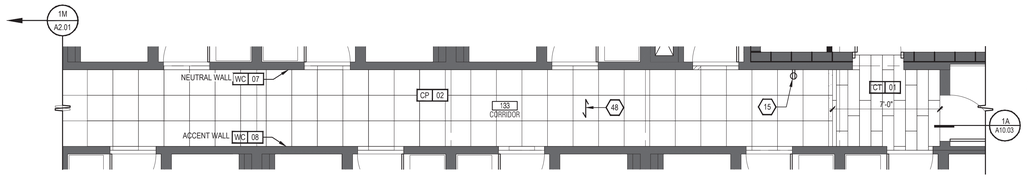
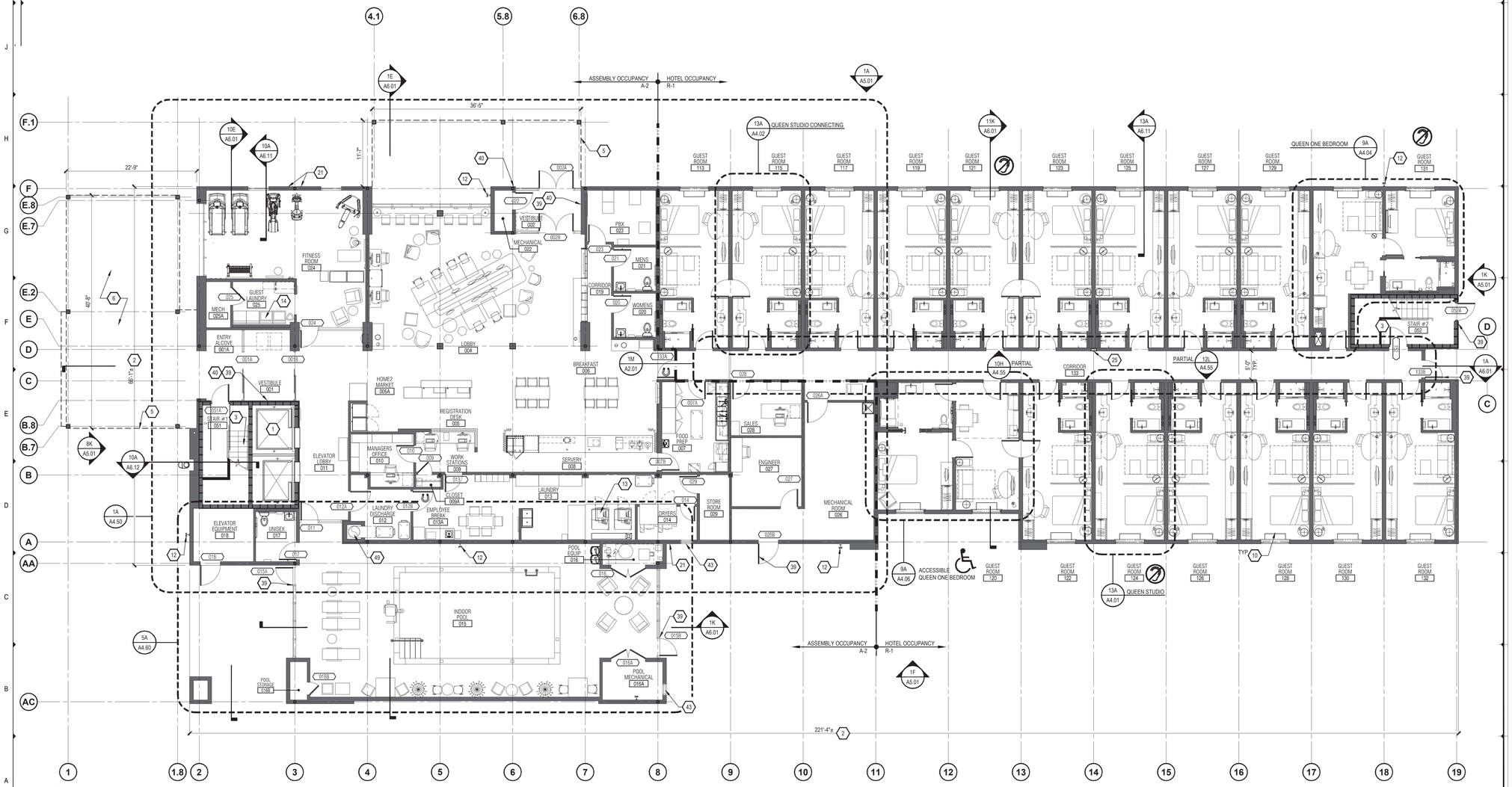


1M A2.01 FIRST FLOOR CORRIDOR FINISH AND POWER PLAN
SCALE: 1/4" = 1'-0"



6K A2.01 FIRST FLOOR CORRIDOR FINISH AND POWER PLAN
SCALE: 1/4" = 1'-0"



1A A2.01 OVERALL FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

FINISH LEGEND:

PT	PAINT
PL	PLASTIC LAMINATE
ST	STONE
SS	SOLID SURFACE
SF	SPECIAL FINISH
CO	CONCRETE
CP	CARPET
CT	TILE
G	GLASS
QT	QUARRY TILE
VB	VINYL BASE
VF	VINYL FLOORING

KEY NOTES:

1. THIS ELEVATOR CAR SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS AND BE LARGE ENOUGH TO ACCOMMODATE AN AMBULANCE STRETCHER
2. OVERALL BUILDING DIMENSIONS BASED ON WOOD FRAME CONSTRUCTION. OVERALL DIMENSION WILL VARY BASED ON FINAL BUILDING CONSTRUCTION
3. EGRESS STAIR IN CONCRETE MASONRY STAIR ENCLOSURE
4. ALTERNATING TREAD STAIR FROM FOURTH FLOOR STAIR LANDING TO ROOF
5. LINE OF ROOF/ CANOPY ABOVE
6. VEHICULAR DROP OFF – REFER TO SITE PLAN AND DETAILS
7. MECHANICAL. ELECTRICAL AND PLUMBING CHASE
8. CARRY CARPET PATTERN INTO DOOR TO TRANSITION STRIP AS INDICATED – REFER TO SHEET A10.03 FOR TRANSITION DETAIL
9. FLOOR DRAIN
10. PTAC UNIT
11. STAND PIPE MUST NOT ENCROACH INTO AREA OF REFUGE
12. HOSE BIB -FROST FREE WHERE REQUIRED
13. HOTEL LAUNDRY EQUIPMENT – REFER TO ENLARGED PLAN
14. GUEST LAUNDRY EQUIPMENT – REFER TO ENLARGED PLAN
15. PROVIDE CONVENIENCE OUTLETS IN CORRIDORS FOR HOUSEKEEPING EQUIPMENT AT MINIMUM EVERY 50'
16. DASHED LINE INDICATES PATH OF FULLY CONCEALED ROOF LEADER FROM CANOPY ROOF TO EXTERIOR WALL CAVITY.
17. CANOPY ROOF OVERFLOW SCUPPER
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SCALE: 1/8" = 1'-0"

2' 8'
0
1' 4' 16'

HOME2 SUITES BY HILTON

NORTH AMERICAN PROTOTYPE

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PROJECT INFORMATION
PROTOTYPE PACKAGE

SHEET INFORMATION
FIRST FLOOR PLAN

A2.01

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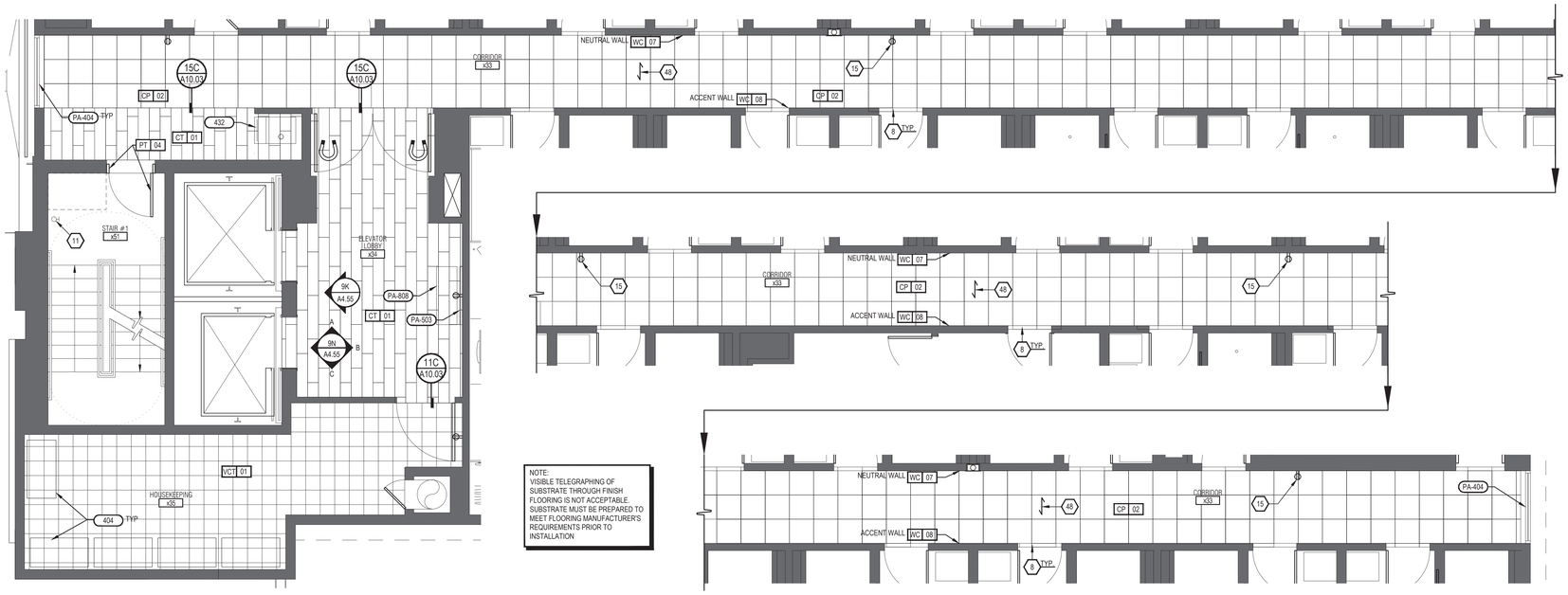
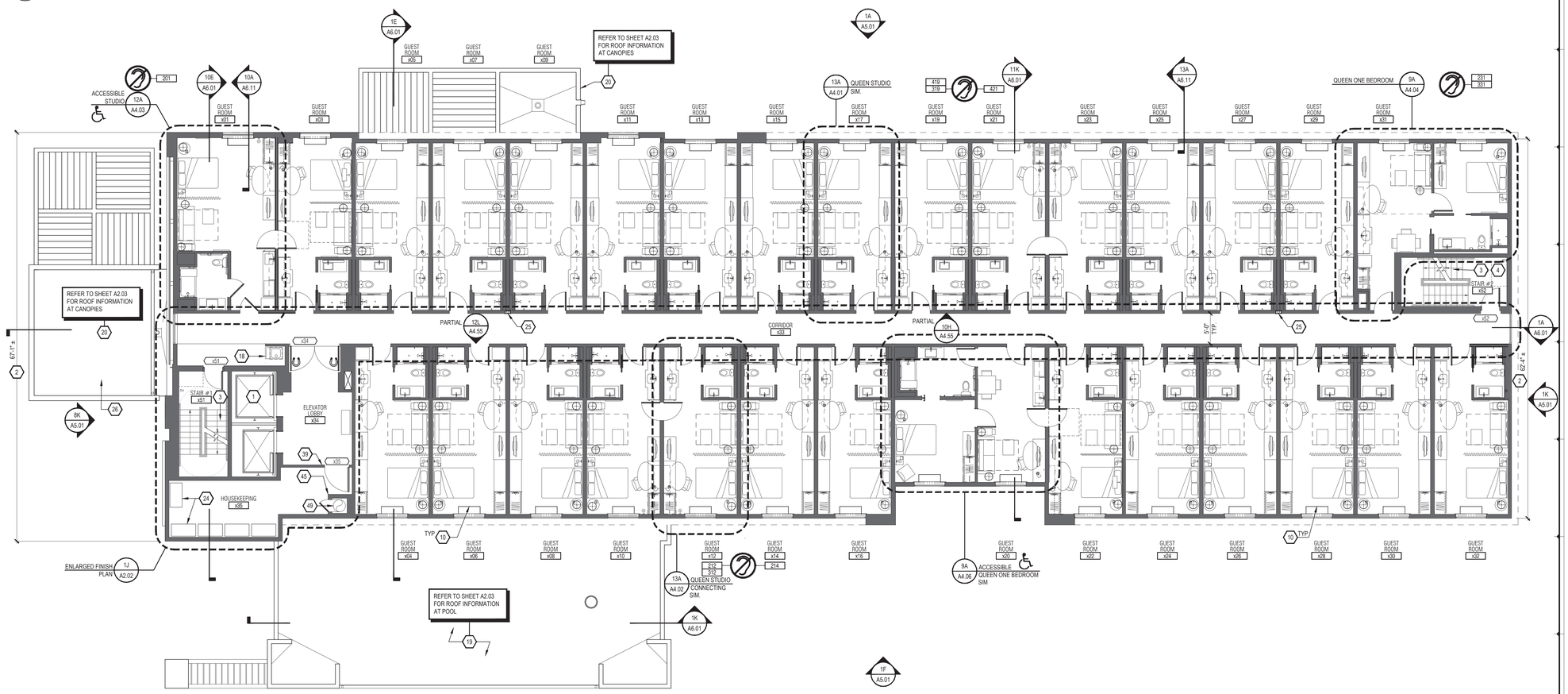


1J A2.02 ENLARGED UPPER FLOOR FINISH AND POWER PLAN

SCALE: 1/4" = 1'-0"



1A A2.02 TYPICAL FLOOR PLAN (LEVELS 02-04)

SCALE: 1/8" = 1'-0"

XXX	FURNISHINGS LEGEND:
PA-404	ROMAN SHADE
PA-503	ART WORK
PA-808	CONSOLE TABLE
404	WIRE SHELVING
432	ICE MAKER

	FINISH LEGEND:
PT	PAINT
PL	PLASTIC LAMINATE
ST	STONE
SS	SOLID SURFACE
SF	SPECIAL FINISH
CO	CONCRETE
CP	CARPET
CT	TILE
G	GLASS
QT	QUARRY TILE
VB	VINYL BASE
VF	VINYL FLOORING

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10. PTAC UNIT
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12. HOSE BIB -FROST FREE WHERE REQUIRED
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TYPICAL FLOOR PLAN

A2.02

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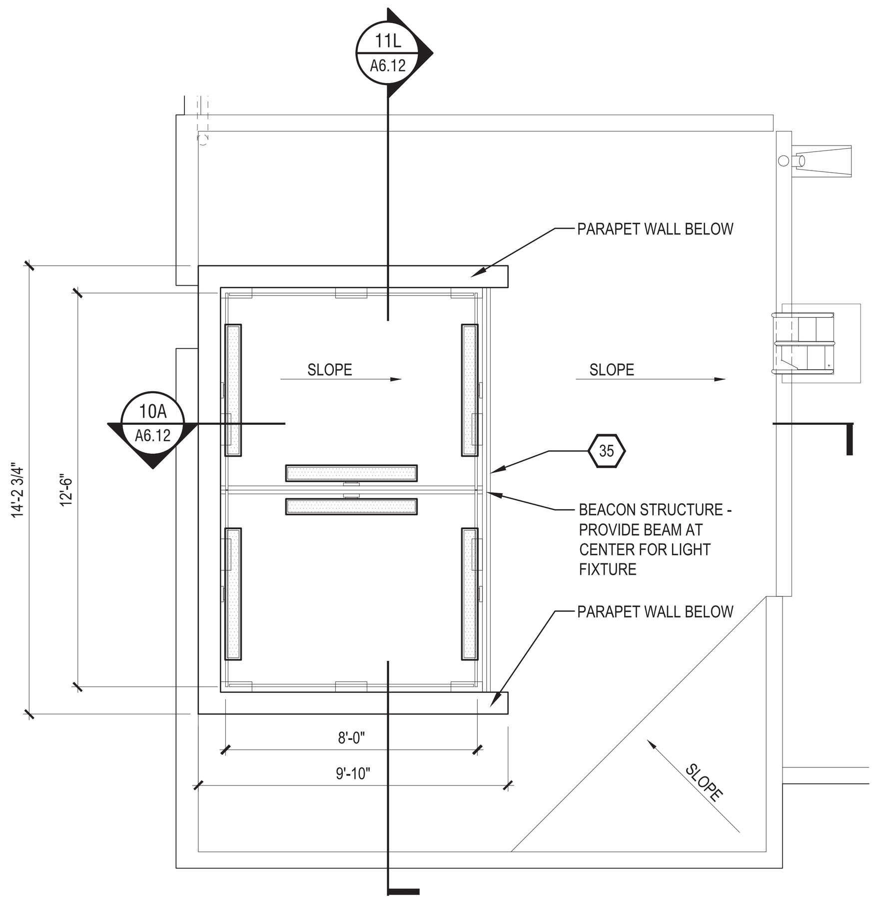
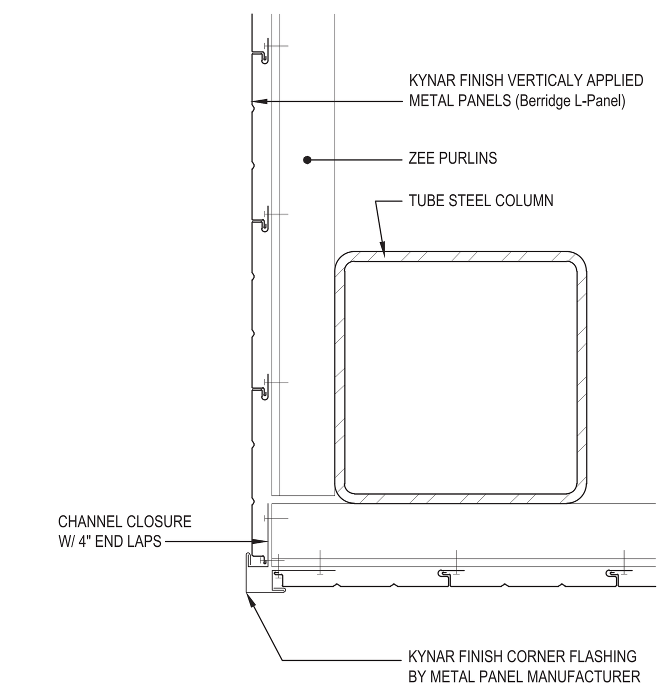
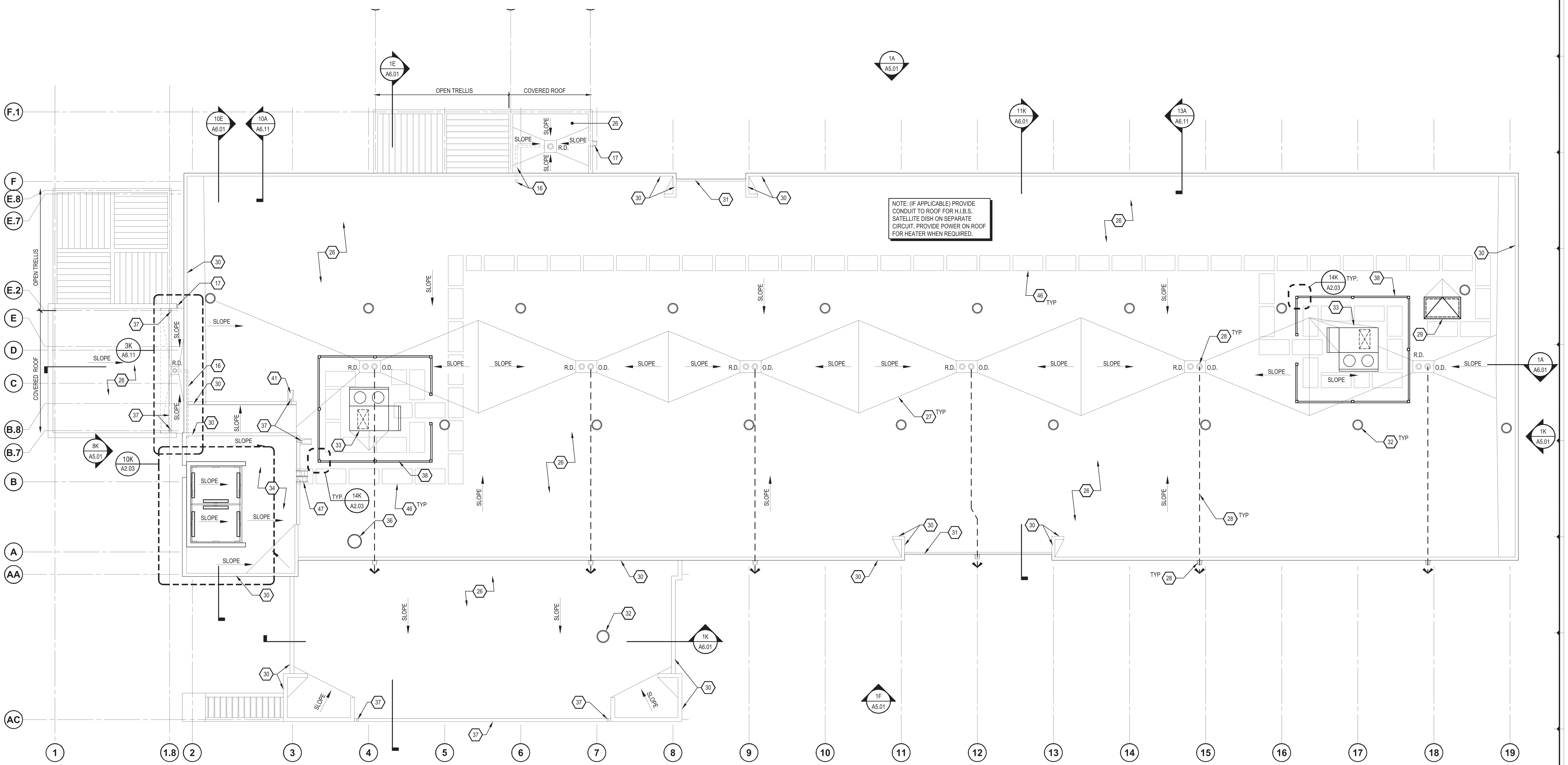


10K A2.03 ROOF PLAN - AT BEACON
SCALE: 1/4" = 1'-0"



14K A2.03 PLAN DETAIL
SCALE: 1 1/2" = 1'-0"
MECHANICAL ROOF SCREEN



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ROOF PLAN

A2.03

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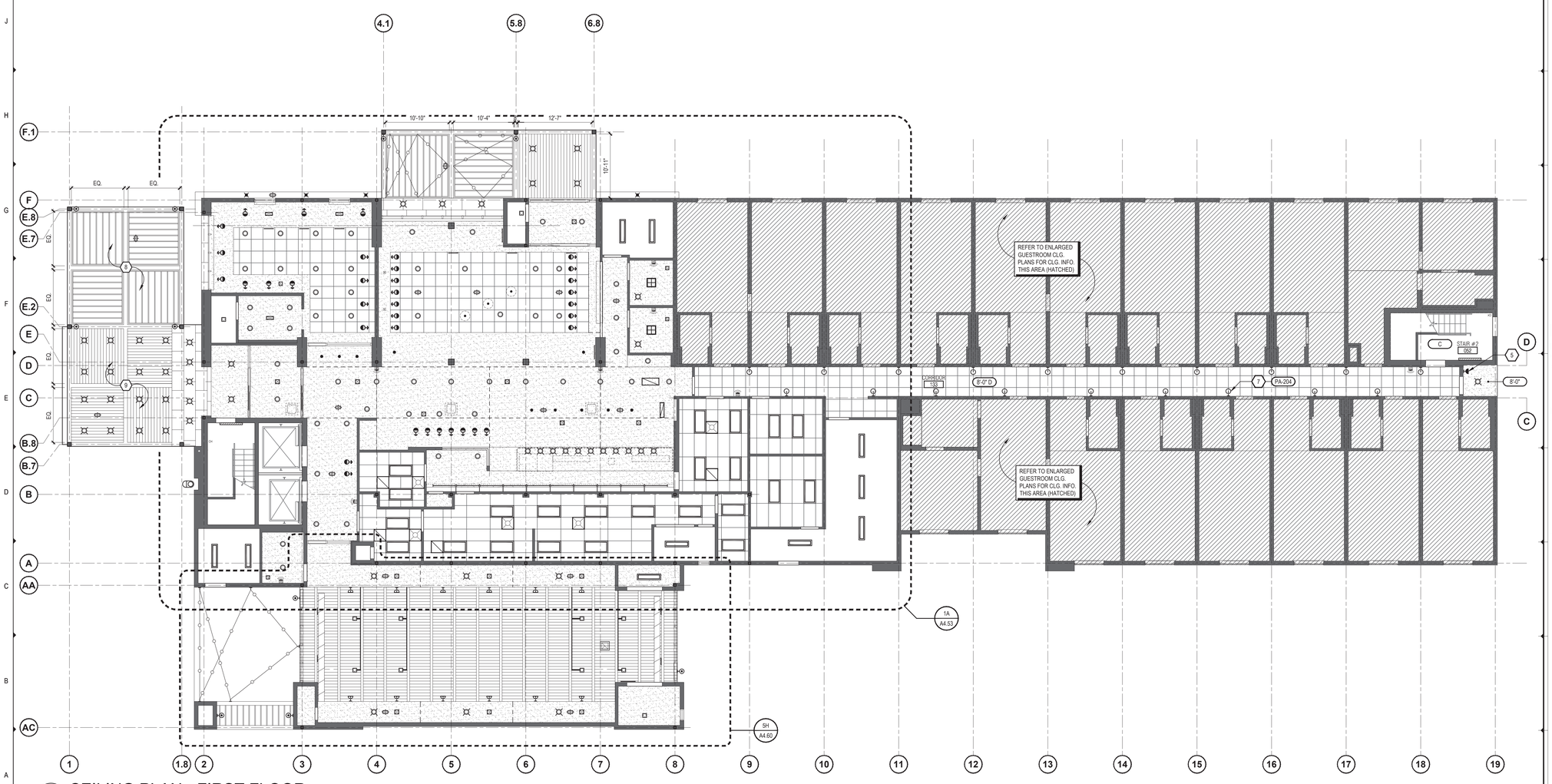

1A A3.01 CEILING PLAN - FIRST FLOOR

SCALE: 1/8" = 1'-0"

KEY NOTES:

1. GYP. BD. 'VEE' REVEAL
2. LAUNDRY CHUTE – SHAFT OPEN TO VENT AT ROOF
3. CORNICE BEYOND
4. ALUMINUM ACCENT BAND/ TUBE – REFER TO ELEVATIONS
5. EXTERIOR SCONCE(S) – REFER TO FIXTURE LEGEND & ELEVATIONS FOR PLACEMENT & QUANTITY
6. FLUSH ACCESS PANEL W/ DROP IN DOOR – MFR. ISC STYLEMARK Ms # CAP-1818 - CONFIRM SIZE WITH ENGINEER OF RECORD –TEXTURE & PAINT TO MATCH ADJ. CEILING
7. REFER TO ELEVATIONS FOR SCONCE PLACEMENT DESIGN INTENT
8. OPEN-AIR TRELLIS
9. T&G WOOD DECKING AT UNDERSIDE OF COVERED CANOPY - REFER TO STYLE GUIDE FOR FINISH REQUIREMENTS

XXX FURNISHINGS LEGEND:

PA-204	WALL SCONCE

CEILING LEGEND:

8'-0" C — CEILING HEIGHT / CEILING FINISH

A.	PRIMED & PAINTED GYPSUM BOARD
B.	PRIMED & PAINTED GYPSUM BOARD - MOISTURE RESISTANT
C.	OPEN TO UNDERSIDE OF FLOOR / ROOF SYSTEM ABOVE – PAINT ALL ELEMENTS - ELEVATION INDICATED MAY BE "APPROXIMATE" & FOR GENERAL REFERENCE ONLY – REFER TO SECTIONS
D.	2x2 LAY-IN ACOUSTICAL CLG. TILE SUSPENDED FROM STRUCT.
E.	2X4 LAY-IN CLG. GRID SYSTEM SUSPENDED FROM STRUCT. – INFILLED W/ 1/2" VINYL FACED GYPSUM BOARD PANELS
F.	UNDERSIDE OF FLOOR / ROOF SYSTEM – PRIMED & PAINTED TO RECEIVE FINAL FINISH

CEILING - FIXTURE LEGEND: SYMBOLS ARE NOT TO SCALE

- DECORATIVE WALL SCONCE – REFER TO FF&E PACKAGE
- DECORATIVE ROUND SUSPENDED LIGHT FIXTURE – REFER TO FF&E PACKAGE
- DECORATIVE SQUARE SURFACE MOUNT LIGHT FIXTURE– REFER TO FF&E PACKAGE
- DECORATIVE SUSPENDED LIGHT FIXTURE – REFER TO FF&E PACKAGE
- (R-1): RECESSED DOWNLIGHT
- (R-2): RECESSED WALL WASH
- (R-3): RECESSED DOWNLIGHT W/ LENS (FLUORESCENT LAMP) –UL WET LABELED
- (R-4): SMALL RECESSED DOWNLIGHT (HALOGEN LAMP) NARROW BEAM SPREAD
- (R-6): SURFACE MOUNTED FIXTURE
- (R-7): EXT. RECESSED DOWNLIGHT WALL WASHER- (UL WET LABEL)
- (T-1): 2X2 LAY-IN FLUORESCENT FIXTURE
- (T-2): 2X4 LAY-IN FLUOR. FIXTURE
- (T-3): 1X4 SURFACE MOUNTED FLUORESCENT FIXTURE
- (C-1): RECESSED FLUORESCENT COVE FIXTURE - 4FT
- (W-1): WALL MOUNTED STRIP LIGHT - 4FT
- (S-1): WALL SCONCE @ POOL AREA (UL WET LABEL)
- (S-2): WALL SCONCE @ REAR ENTRY (UL WET LABEL)
- (S-3): EXTERIOR SCONCE (UPLIGHT)
- (S-5): EXTERIOR FLOODLIGHT
- (G-1): EXTERIOR HEAVY DUTY LIGHT STRING
- SPEAKER
- MECHANICAL EXHAUST GRILLE
- 2X2 MECHANICAL RETURN GRILLE
- 2X2 MECHANICAL SUPPLY GRILLE
- MECHANICAL SUPPLY GRILLE
- MECHANICAL RETURN GRILLE
- SMOKE DETECTOR
- SPRINKLER HEAD
- SIDE WALL SPRINKLER HEAD
- "VEE" CONTROL JOINT
- (P-3) IN-GROUND UPLIGHT
- FIRE HORN/STROBE

* PROVIDE EMERGENCY LIGHTING AS REQUIRED BY LOCAL CODE

GENERAL NOTES:

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SCALE: 1/8" = 1'-0"

0 1' 2' 4' 8' 16'

HOME 2 SUITES BY HILTON

NORTH AMERICAN PROTOTYPE

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FIRST FLOOR CEILING PLAN

A3.01

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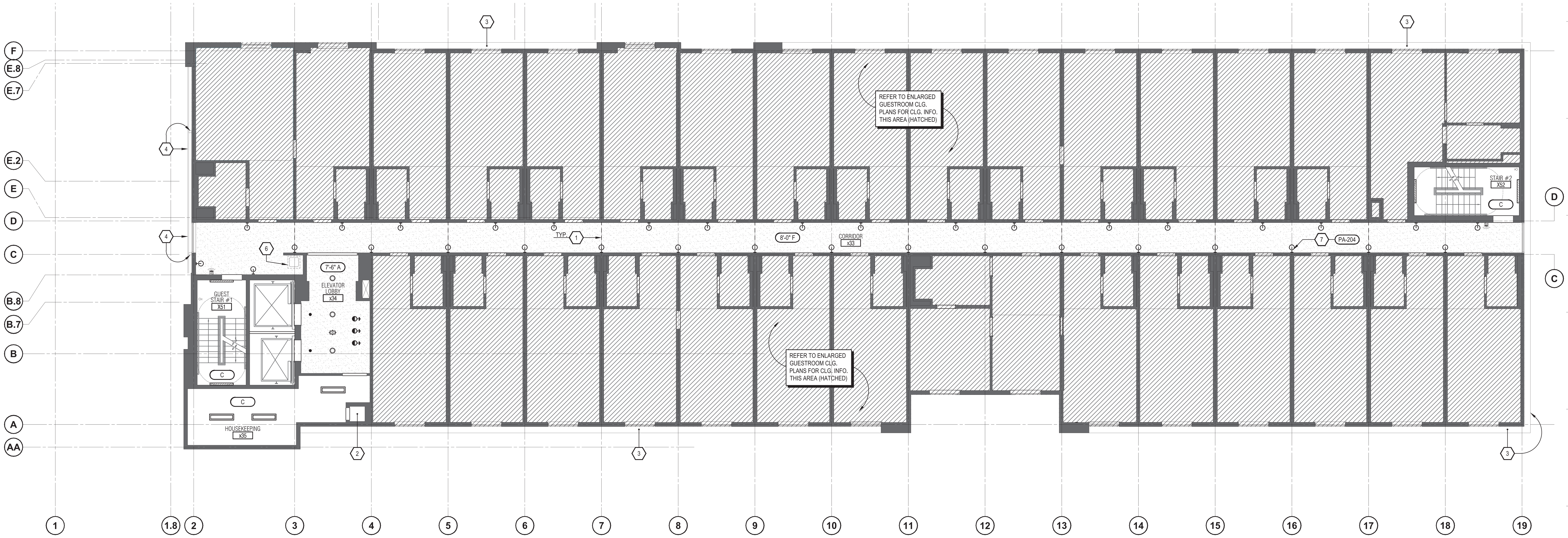

1A A3.02 CEILING PLAN - UPPER FLOORS (LEVELS 02-04)

SCALE: 1/8" = 1'-0"

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3. CORNICE BEYOND
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8. OPEN-AIR TRELLIS
9. T&G WOOD DECKING AT UNDERSIDE OF COVERED CANOPY - REFER TO STYLE GUIDE FOR FINISH REQUIREMENTS

XXX FURNISHINGS LEGEND:

PA-204 WALL SCONCE

CEILING LEGEND:

8'-6" C — CEILING HEIGHT / CEILING FINISH

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- B. PRIMED & PAINTED GYPSUM BOARD - MOISTURE RESISTANT
- C. OPEN TO UNDERSIDE OF FLOOR / ROOF SYSTEM ABOVE -- PAINT ALL ELEMENTS -- ELEVATION INDICATED MAY BE "APPROXIMATE" & FOR GENERAL REFERENCE ONLY -- REFER TO SECTIONS
- D. 2x2 LAY-IN ACOUSTICAL CLG. TILE SUSPENDED FROM STRUCT.
- E. 2X4 LAY-IN CLG. GRID SYSTEM SUSPENDED FROM STRUCT. -- INFILLED W/ 1/2" VINYL FACED GYPSUM BOARD PANELS
- F. UNDERSIDE OF FLOOR / ROOF SYSTEM -- PRIMED & PAINTED TO RECEIVE FINAL FINISH

CEILING - FIXTURE LEGEND: SYMBOLS ARE NOT TO SCALE

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- (S-5): EXTERIOR FLOODLIGHT
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- * PROVIDE EMERGENCY LIGHTING AS REQUIRED BY LOCAL CODE

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HOME 2 SUITES BY HILTON

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TYPICAL FLOOR CEILING PLAN

A3.02

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Hampton Inn & Suites by HILTON™

VERSION 6.2

UNITED STATES AND CANADA PROTOTYPE

HILTON WORLDWIDE *Memphis, Tennessee*

Center Loaded-Guest Room Count Breakdown

	GROUND FL.	2ND FLOOR	3RD FLOOR	4TH FLOOR	TOTAL
KING	3	6	6	6	**21**
DOUBLE QUEEN	0	12	15	15	**42**
KING STUDIO	7	8	8	8	**31**
ACCESSIBLE KING	0	1	1	1	**3**
ACCESSIBLE DOUBLE QUEEN	0	1	1	1	**3**
ACCESSIBLE KING STUDIO	1	0	0	0	**1**
TOTAL	**11**	**28**	**31**	**31**	**101**

Room Sizes

KING:	14'-0" x 23'-8"
DOUBLE QUEEN:	12'-0" x 26'-8"
DOUBLE QUEEN EXTENDED:	12'-0" x 27'-8"
DOUBLE QUEEN EXTENDED & WIDE:	14'-0" x 27'-8"
KING STUDIO:	18'-1" x 20'-3"
WIDE KING STUDIO:	18'-1" x 22'-0"
(OPT.) DOUBLE QUEEN STUDIO:	22'-0" x 23'-8"
ACCESSIBLE KING:	14'-0" x 26'-8"
ACCESSIBLE DOUBLE QUEEN	16'-0" x 26'-8"
ACCESSIBLE KING STUDIO:	22'-0" x 23'-8"
(OPT.) ACCESSIBLE DOUBLE QUEEN STUDIO:	22'-0" x 25'-0"

DISTRIBUTE ACCESSIBLE AND COMMUNICATION FEATURE (C.F.) ROOMS TO INCLUDE OPTIONS FOR PREMIUM VIEWS WHEN PREMIUM VIEWS ARE AVAILABLE AT A SITE.

Center Loaded-Accessible Room Matrix

NOTE: ONE (1) COMMUNICATION FEATURE (C.F.) ROOM MUST ALSO BE ACCESSIBLE, BUT NO MORE THAN 10% OF ROOMS THAT COUNT TOWARDS THE REQUIRED C.F. TOTAL ROOMS MAY BE ACCESSIBLE.

ROOM TYPE	REQ'D COUNT	PROVIDED COUNT	REMARKS
ACCESSIBLE KING STUDIO W/ ROLL-IN SHWR.	1	1	RM. # 129
ACCESSIBLE DBL QUEEN W/ ROLL-IN SHWR.	1	1	RM. # 214 W/ C.F.
ACCESSIBLE DBL QUEEN W/ TUB	5	2	RM. # 314, 414
ACCESSIBLE KING W/ TUB		3	RM. # 223, 323, 423
TOTAL	**7**	**7**	

ROOM TYPE	REQ'D COUNT	PROVIDED COUNT	REMARKS
ACCESS. DBL. QN. W/ C.F.	12	1	RM. # 214
KING W/ C.F.		3	RM. # 126, 225, 326
DOUBLE QUEEN W/ C.F.		4	RM. # 207, 307, 408, 422
KING STUDIO W/ C.F.		4	RM. # 102, 201, 301, 428
TOTAL	**12**	**12**	

Building Area Statistics - Center Loaded

CENTER LOADED - 101 GUESTROOMS, 4 STORIES

Main Area	Sub Area	Units	SF	Hotel Program
GROSS AREA				
	GROUND LEVEL	1	17029	17029
	SECOND LEVEL	1	14922	14922
	UPPER LEVELS	2	14869	29738
TOTAL GROSS AREA		**4**		**61689**
GUEST ROOMS				
	KING	21	331	6951
	DOUBLE QUEEN	35	320	11200
	DOUBLE QUEEN EXTENDED	4	332	1328
	DOUBLE QUEEN EXTENDED & WIDE	3	387	1161
	KING STUDIO	24	366	8784
	WIDE KING STUDIO	7	397	2779
	ACCESSIBLE KING	3	373	1119
	ACCESSIBLE DOUBLE QUEEN	3	427	1281
	ACCESSIBLE KING STUDIO	1	521	521
SUBTOTAL GUEST ROOM		**101**		**35124**
GUEST ROOM SUPPORT				
	ELEVATOR LOBBY (UPPER LEVELS)	3	105	315
	GROUND LEVEL CORRIDOR	COMB.	744	744
	LINEN CHUTE ROOM	3	33	99
	LINEN STORAGE (GROUND LEVEL)	1	121	121
	LINEN STORAGE (UPPER LEVELS)	6	166	996
	STAIR #1	4	172	688
	STAIR #2	4	172	688
	UPPER LEVEL CORRIDOR	3	1674	5022
	VENDING / ICE (GROUND LEVEL)	1	79	79
	2VENDING / ICE (UPPER LEVELS)	3	70	210
SUBTOTAL GUEST ROOM SUPPORT				**8962**

Main Area	Sub Area	Units	SF	Hotel Program
PUBLIC SPACE				
	BREAKFAST AREA	1	1021	1021
	BUSINESS CENTER	1	109	109
	ELEVATOR	1	134	134
	ELEVATOR LOBBY	1	195	195
	FITNESS CENTER	1	677	677
	LOBBY	1	500	500
	MEETING ROOM	1	557	557
	PANTRY	1	355	355
	POOL	1	1403	1403
	PUBLIC RESTROOMS	2	66	132
	SUITE SHOP	1	109	109
	VESTIBULES	COMB.	392	392
SUBTOTAL PUBLIC SPACE				**5584**
PUBLIC SUPPORT				
	CART STORAGE	1	29	29
	CORRIDOR	COMB.	875	875
	COMPUTERS / PBX	1	95	95
	DRYERS	1	96	96
	ELECTRICAL	1	157	157
	ELEVATOR EQUIPMENT	1	113	113
	EMPLOYEE LOUNGE	1	243	243
	EMPLOYEE LOUNGE RESTROOM	1	43	43
	FOOD PREP	1	321	321
	NOT USED		0	0
	FRONT DESK	1	146	146
	LAUNDRY	1	631	631
	LINEN / GUEST LAUNDRY	1	172	172
	ENGINEER / MAINTENANCE	1	126	126
	MANAGER	1	110	110
	MECHANICAL	COMB.	174	174
	MEETING ROOM STORAGE	1	84	84
	POOL BATH	1	46	46
	POOL EQUIPMENT	1	111	111
	PATIO STORAGE	1	46	46
	SALES	1	75	75
	STORAGE	COMB.	176	176
	WATER HEATERS	1	154	154
	WORK AREA	1	343	343
SUBTOTAL PUBLIC SUPPORT				**4366**
TOTAL FLOOR AREA				**54036**

NOTE:

ALL INTERIOR AREAS ARE CALCULATED TO FACE OF INTERIOR FINISH

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HILTON WORLDWIDE - HAMPTON INN AND SUITES

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End Loaded-Guest Room Count Breakdown

	GROUND FL.	2ND FLOOR	3RD FLOOR	4TH FLOOR	TOTAL
KING	2	3	3	3	**11**
DOUBLE QUEEN	1	16	19	20	**56**
KING STUDIO	7	8	8	8	**31**
ACCESSIBLE KING	1	1	1	0	**3**
ACCESSIBLE DOUBLE QUEEN	0	1	1	1	**3**
ACCESSIBLE KING STUDIO	1	0	0	0	**1**
TOTAL	**12**	**29**	**32**	**32**	**105**

Room Sizes

KING:	14'-0" x 23'-8"
DOUBLE QUEEN:	12'-0" x 26'-8"
DOUBLE QUEEN EXTENDED:	12'-0" x 27'-8"
DOUBLE QUEEN WIDE:	14'-0" x 26'-8"
DOUBLE QUEEN EXTENDED & WIDE:	14'-0" x 27'-8"
KING STUDIO:	18'-1" x 20'-3"
WIDE KING STUDIO:	18'-1" x 22'-0"
(OPT.) DOUBLE QUEEN STUDIO:	22'-0" x 23'-8"
ACCESSIBLE KING:	14'-0" x 26'-8"
ACCESSIBLE DOUBLE QUEEN	16'-0" x 26'-8"
ACCESSIBLE KING STUDIO:	22'-0" x 23'-8"
(OPT.) ACCESSIBLE DOUBLE QUEEN STUDIO:	22'-0" x 25'-0"

DISTRIBUTE ACCESSIBLE AND COMMUNICATION FEATURE (C.F.) ROOMS TO INCLUDE OPTIONS FOR PREMIUM VIEWS WHEN PREMIUM VIEWS ARE AVAILABLE AT A SITE.

End Loaded-Accessible Room Matrix

NOTE: ONE (1) COMMUNICATION FEATURE (C.F.) ROOM MUST ALSO BE ACCESSIBLE, BUT NO MORE THAN 10% OF ROOMS THAT COUNT TOWARDS THE REQUIRED C.F. TOTAL ROOMS MAY BE ACCESSIBLE.

ROOM TYPE	REQ'D COUNT	PROVIDED COUNT	REMARKS
ACCESSIBLE KING W/ ROLL-IN SHOWER.	1	1	RM. # 121
ACCESSIBLE KING STUDIO W/ ROLL-IN SHWR.	1	1	RM. # 129 W/ C.F.
ACCESSIBLE DBL QUEEN W/ TUB	5	3	RM. # 212, 312, 412
ACCESSIBLE KING W/ TUB		2	RM. # 221, 321
TOTAL	**7**	**7**	

ROOM TYPE	REQ'D COUNT	PROVIDED COUNT	REMARKS
ACCESS. KING STUDIO W/ C.F.	12	1	RM. # 129
KING W/ C.F.		2	RM. # 123, 323
DOUBLE QUEEN W/ C.F.		5	RM. # 203, 220, 306, 407, 416
KING STUDIO W/ C.F.		4	RM. # 226, 227, 329, 428
TOTAL	**12**	**12**	

Building Area Statistics - End Loaded

END LOADED - 105 GUESTROOMS, 4 STORIES

Main Area	Sub Area	Units	SF	Hotel Program
GROSS AREA				
	GROUND LEVEL	1	17677	17456
	SECOND LEVEL	1	15656	15369
	UPPER LEVELS	2	15656	31312
TOTAL GROSS AREA		**4**		**64137**
GUEST ROOMS				
	KING	11	331	3641
	DOUBLE QUEEN	42	320	13440
	DOUBLE QUEEN EXTENDED	5	332	1660
	DOUBLE QUEEN WIDE	5	373	1865
	DOUBLE QUEEN EXTENDED & WIDE	4	387	1548
	KING STUDIO	24	366	8784
	WIDE KING STUDIO	7	397	2779
	ACCESSIBLE KING	3	373	1119
	ACCESSIBLE DOUBLE QUEEN	3	427	1281
	ACCESSIBLE KING STUDIO	1	521	521
SUBTOTAL GUEST ROOM		**105**		**36638**
GUEST ROOM SUPPORT				
	GROUND LEVEL CORRIDOR	1	733	733
	SECOND LEVEL CORRIDOR	1	1743	1743
	UPPER LEVEL CORRIDOR	2	1694	3388
	LINEN STORAGE (GROUND LEVEL)	1	120	120
	LINEN STORAGE (UPPER LEVELS)	COMB.	870	870
	LINEN CHUTE ROOM (UPPER LEVELS)	3	33	99
	VENDING / ICE (GROUND FLOOR)	1	79	79
	VENDING / ICE (GROUND FLOOR)	3	70	210
	STAIR #1	4	163	652
	STAIR #2	4	172	688
	ELEVATOR LOBBY (UPPER LEVELS)	3	105	315
SUBTOTAL GUEST ROOM SUPPORT				**8897**

Main Area	Sub Area	Units	SF	Hotel Program
PUBLIC SPACE				
	BREAKFAST AREA	1	1041	1041
	BUSINESS CENTER	1	100	100
	ELEVATOR	1	134	134
	ELEVATOR LOBBY	1	195	195
	FITNESS CENTER	1	653	653
	INDOOR POOL	1	1403	1403
	LOBBY	1	413	413
	MEETING ROOM	1	627	627
	PANTRY	1	301	301
	PUBLIC RESTROOMS	2	60	120
	TREATS SHOP	1	116	116
	VESTIBULES	COMB.	388	388
SUBTOTAL PUBLIC SPACE				**5491**
PUBLIC SUPPORT				
	COMPUTERS / PBX	1	149	149
	CORRIDOR	1	1033	1033
	DRYERS	1	81	81
	ELECTRICAL	1	157	157
	ELEVATOR EQUIPMENT	1	113	113
	EMPLOYEE LOUNGE	1	243	243
	EMPLOYEE LOUNGE RESTROOM	1	43	43
	FOOD PREP	1	322	322
	NOT USED	1	0	0
	FRONT DESK	1	146	146
	LAUNDRY	1	643	643
	ENGINEER / MAINTENANCE	1	88	88
	MANAGER	1	157	157
	MECHANICAL	COMB.	227	227
	MEETING ROOM STORAGE	1	96	96
	POOL EQUIPMENT	1	111	111
	POOL STORAGE	1	46	46
	POOL TOILET	1	46	46
	SALES	1	91	91
	STORAGE	COMB.	173	173
	WATER HEATERS	1	146	146
	WORK AREA	1	378	378
SUBTOTAL PUBLIC SUPPORT				**4489**
TOTAL FLOOR AREA				**55515**

NOTE:

ALL INTERIOR AREAS ARE CALCULATED TO FACE OF INTERIOR FINISH

Project Accessibility Notes:

THESE PLANS HAVE BEEN DESIGNED IN COMPLIANCE WITH THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN. ARCHITECT OF RECORD MUST NOTE THAT ADDITIONAL ACCESSIBILITY REQUIREMENTS MAY ALSO BE REQUIRED BY STATE OR LOCAL CODES. THESE PLANS HAVE NOT BEEN DESIGNED TO INCORPORATE ANY OF THE MORE STRINGENT REQUIREMENTS OF STATE OR LOCAL ACCESSIBILITY CODES OR STANDARDS AND THE PLANS MUST BE MODIFIED TO MEET ANY SUCH CODES OR STANDARDS. THE TERM "ACCESSIBLE" WILL BE USED THROUGHOUT THESE PLANS TO REFER TO THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN WHICH ARE MANDATED FOR PLACES OF PUBLIC ACCOMMODATION BY TITLE III REGULATIONS OF THE ADA AT 28 CFR PART 36, SUBPART D; AND MUST FOLLOW THE 2004 ADAAG AT 36 CFT PART 1191, APPENDICES B AND D. SECTION 207 OF THE 2010 ADA STANDARDS REQUIRES MEANS OF EGRESS TO COMPLY WITH SECTION 1003.2.13 OF THE INTERNATIONAL BUILDING CODE (2000 EDITION AND 2001 SUPPLEMENT) OR SECTION 1007 OF THE INTERNATIONAL BUILDING CODE (2003 EDITION). THE OWNER AND ARCHITECT OF RECORD ULTIMATELY ARE RESPONSIBLE FOR ADA COMPLIANCE AND MUST ENSURE THAT THE CONSTRUCTION DOCUMENTS MEET OR EXCEED THE ADA AND ANY STATE OR LOCAL ACCESSIBILITY CODES THAT ARE MORE STRINGENT. OWNER MUST ALSO ENSURE THAT THE FACILITY IS CONSTRUCTED AND MAINTAINED IN COMPLIANCE WITH THE ADA STANDARDS.

THESE PLANS IDENTIFY ACCESSIBLE MINIMUM, MAXIMUM AND DIMENSIONAL RANGES. ARCHITECTS ARE STRONGLY ENCOURAGED TO SPECIFY DIMENSIONS THAT ARE BELOW THE MAXIMUM, ABOVE THE MINIMUM OR IN THE MIDDLE OF RANGES TO ACCOUNT FOR DEVIATIONS THAT MAY OCCUR DURING THE CONSTRUCTION PROCESS.

ADDITIONAL INFORMATION REGARDING ADA REQUIREMENTS IS PROVIDED IN THE HILTON ADA DESIGN GUIDE (**HADG**).

Abbreviations and Definitions

WHERE ADDITIONAL ABBREVIATIONS, OR WORD DEFINITIONS, ARE DEFINED BY ANOTHER DISCIPLINE AND A CONFLICT OCCURS, THEIR DEFINITION SHALL TAKE PRECEDENCE OVER THE FOLLOWING.

NECESSARY: WORK NEEDED TO COMPLETE THE WORK. TO: "MAKE IT OPERATIONAL".

REQUIRED: WORK NEEDED TO BE IN COMPLIANCE WITH BUILDING CODE, GOVERNING CODE, OR JURISDICTION HAVING AUTHORITY.

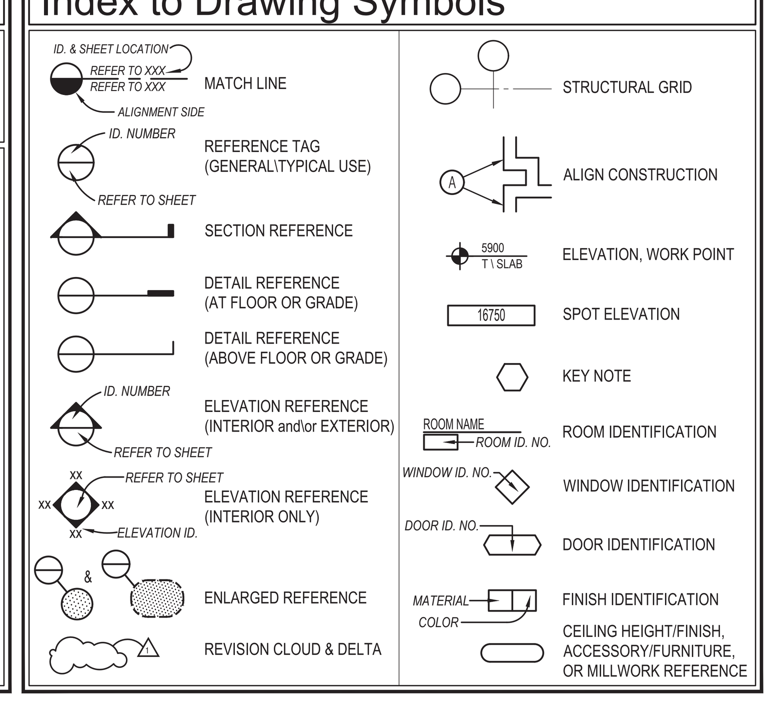
PROVIDE: RESPONSIBLE FOR PURCHASE, DELIVERY, RECEIVING, INSPECTION, STORAGE, PREPARATION, AND INSTALLATION OF ITEM(S).

FURNISH: RESPONSIBLE FOR PURCHASE AND DELIVERY OF ITEM(S)

INSTALL: RESPONSIBLE FOR RECEIVING, INSPECTION, STORAGE, PREPARATION AND INSTALLATION OF ITEM(S).

Abbreviation	Definition
& or	And
L or ∠	Angle
@	At
SF or S.F.	Square Feet
#	Pound(s) or Number
+/- or ±	Plus Minus
A.B.	Anchor Bolt
A/C	Air Conditioning
ACC.	Accessible/Accessibility
ACOUST.	Acoustical
ADJ.	Adjacent
AFF or A.F.F.	Above Finish Floor
AFG or A.F.G	Above Finish Grade
ALUMN. or ALUM.	Aluminium
ANGL.	Angle
APPROX.	Approximate
ARCH.	Architect(ural)
ASPH.	Asphalt
ATTN. or ATTEN.	Attention
B\xxxx	Bottom of _____
BD.	Board
BIT.	Bituminous
BLDG.	Building
BLK.	Block
BLKG.	Blocking
BM.	Beam
BOT.	Bottom
BRG.	Bearing
BRK.	Brick
BRKMTL.	Break Metal
B.U.R.	Built Up Roofing
C or CH.	Channel
C.F.	Communication Features
CAB.	Cabinet
CB or C.B.	Cement Board
C\C or C.C	Center to Center
CCTV or C.C.T.V.	Closed Circuit Television
Cer.	Ceramic
CFS	Clear Floor Space
CL or C.L. or ℄	Centerline
CLG. or CLNG.	Ceiling
CMU or C.M.U.	Concrete Masonry Unit
C.O.	Closed Opening
COL.	Column
COMB.	Combination or Combine
COMP. or COMPT.	Compact(ed)
CONC.	Concrete
CONST.	Construction
CONT.	Continuous
CORR.	Corridor
C.W.	Cold Water
CJ or C.J.	Control Joint
CLR.	Clear
D, DN. DWN.	Down
DBL.	Double
DEPT.	Department
DETL. or DTL.	Detail
DIA. or	Diameter
D.F.	Drinking Fountain
DIV.	Division
DR. or DRN.	Drain
DS. or D.S.	Downspout
DWG(S).	Drawing(s)
E or E.	East
EA.	Each
EJ or EJ. or E.J.	Expansion Joint
EL. or ELE.	Elevation
ELEC. or ELECT	Electrical
ELEV.	Elevator
EMER. or EMERG.	Emergency
ENCL.	Enclosure
ENG.	Engineer
EP or E.P.	Electrical Panel
EQ.	Equal
EQUIP.	Equipment
ERD	Emergency Roof Drain
EWC or E.W.C.	Electrical Water Cooler
E.W.	Each Way
EXIST.	Existing
EXP.	Expansion
EXT.	Exterior
F.A.	Fire Alarm
FD. or F.D.	Floor Drain
FDN.	Foundation
F.E.	Fire Extinguisher
F.E.C.	Fire Extinguisher Cab.
FIN.	Finish
FL. or FLR.	Floor
FLUOR.	Fluorescent
FRM.	Frame
F.R.	Fire Resistant
F.R.C.	Fiber reinforced concrete
F.R.T.	Fire Retardant Treated
F.R.P.	Fiber Reinforced Plastic
FT.	Foot (feet)
FTG.	Footing
FUT. or FUTR.	Future
FV. or F.V.	Field Verify
Ga.	Gauge
GALV.	Galvanized
G.B.	Gypsum Board
GEN.	General
GFRC	Glass Fiber Reinforced Concrete
GFRG	Glass Fiber Reinforced Gypsum
GL. or GLAZ.	Glass/Glazing
GRAN.	Granular
G.S.M.	Galvanized Sheet Metal
G.V.	Gas Valve
GYP.	Gypsum
GYP. BD.	Gypsum Board
HADG	Hilton Accessibility Design Guide
HC. or H.C.	Handicapped
H.B.	Hose Bib
HDWD.	Hardwood Floors
HDWR.	Hardware
HGT. OR HT.	Height
HM. OR H.M.	Hollow Metal
HORIZ.	Horizontal
H.P.	High Point
HTG.	Heating
HR. or Hr.	Hour
HVAC or H.V.A.C.	Heating, Ventilation and A/C
H.W.	Hot water
ID.	Inside Diameter
IN.	Inch(es)
INCL.	Include
INSUL.	Insulation
INT.	Interior
INV.	Invert
JC or J.C.	Janitor's Closet
JAN.	Janitor(ial)
JT. or JNT.	Joint
KIT.	Kitchen
K.O.	Knock out
LAV.	Lavatory
LAM.	Laminate
LB. or LBS.	Pound(s)
LT. MTL.	Light Gauge Metal Framing
LT. WT.	Light Weight
L.L.H or LLH	Long Leg Horizontal
L.L.V. or LLV	Long Leg Vertical
MAS.	Masonry
MAX.	Maximum
MED.	Medium
MDO or M.D.O.	Medium Density Overlay
MECH.	Mechanical
MFR. or MANUF.	Manufacturer
M.H.	Man Hole
MIN.	Minimum
MISC.	Miscellaneous
M.O.	Masonry Opening
MR. or M.R.	Moisture Resistant
MTD.	Mounted
MTG.	Meeting
MTL.	Metal
MULL.	Mullion
N or N.	North
NA. or N.A.	Not Applicable
NEC'Y	Necessary
NIC.	Not in Contract
No.	Number
NOM.	Nominal
NON COMB.	Non Combustible
N.T.S.	Not to Scale
O.A.	Overall
O.C.	On Center
O.D.	Overflow Drain or Outside Dia
OFF	Office
O.H.	Overhead or Opposite Hand
OPNG.	Opening
OPP.	Opposite
PART	Particle, Partial or Partition
PL	Plate
P. LAM or P.L.	Plastic Laminate
PLAS.	Plaster
PLBG.	Plumbing
PLWD. or PLYWD.	Plywood
PNL.	Panel
PORC.	Porcelain
PR.	Pair
P.S.F.	Pounds per Square Foot
P.T.	Pressure Treated
POST TEN.	Post Tensioned
PTN. or PARTN.	Partition
PWR.	Power
R	Riser
R.A.	Return Air
RAD.	Radius
RD. or R.D.	Roof Drain
RD	Reference Dimension
REC.	Recessed
REC'V or REC'VD	Receive or Received
REF. or RE.	Refer or Referenced
RF.	Refrigerator
RM.	Regular or Register
REINF.	Reinforce(d)
REQ'D	Required
REQ'S	Requirments
RES.	Resillient
RM.	Room
R.O.	Rough Opening
R.S.	Roof Scupper
S or S.	South
SCHED or SCHEDL.	Schedule
SECT.	Section
SHT.	Sheet
SIM.	Similar
S or S.	South
SCHED or SCHEDL.	Schedule
SECT.	Section
SHT.	Sheet
SIM.	Similar
SM. or S.M.	Surface Mounted
SPEC.	Specification
SQ.	Square
SS OR S.S.	Stainless Steel
STD.	Standard
ST.	Steel
STOR.	Storage
STRUCT.	Structural
SUSP.	Suspended
SYM.	Symmetrical
T\xxxx	Top of ____
T or T.	Tread
TEL.	Telephone
TEMP.	Temporary or Tempered
T&B	Top and Bottom
T&G	Tongue and Groove
THRU	Through
TS or T.S.	Tube Steel
TV OR T.V.	Television
TYP.	Typical
U.N.O.	Unless Noted Otherwise
UR. or URNL.	Urinal
VAR.	Varies/ Variable
VCT or V.C.T.	Vinyl Composition Tile
VB or VB. or V.B.	Vertical Bracing
VERT.	Vertical
VIF. or V.I.F.	Verify in Field
W or W.	West
W/	With
W/O	Without
W.O.	Water Closet
WD.	Wood
W.F.	Wide Flange
WIN	Window
W.P.	Waterproof
W.M.	Wire Mesh
WWF or W.W.F.	Welded Wire Fabric
WWM or W.W.M.	Welded Wire Mesh
WSCT.	Wainscot
WT.	Weight
W.V.	Water Valve

Index to Drawing Symbols



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THIS PROTOTYPE ASSUMES:
- -USE GROUPS R-1 & A-2
- -CONSTRUCTION TYPE: IIA
- -A FULLY SPRINKLERED SUPPRESSION SYSTEM
- -A COMPLETE FIRE ALARM SYSTEM

THE INTERPRETATION OF THESE CODES, AS DENOTED WITHIN THE PROTOTYPE, CANNOT BE GUARANTEED TO CONFORM TO ALL LOCAL JURISDICTIONS. SUBSEQUENT DESIGN TEAMS SHALL VERIFY WITH APPLICABLE ENFORCEABLE LOCAL CODES AND ZONING ENFORCEMENT AGENCIES AND MAKE PROPER MODIFICATIONS AS REQUIRED FOR CONFORMATION. THE OWNER OF THE PROJECT CONTROLS THE ULTIMATE DESIGN, COMPLIANCE WITH BRAND STANDARDS AND CONSTRUCTION AND IS URGED TO SEEK APPROPRIATE COUNCIL TO ENSURE SUCH COMPLIANCE.

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FIXTURES & EQUIPMENT:

REFER TO THE STANDARDS MANUAL FOR ADDITIONAL INFORMATION.

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UNITED STATES AND CANADA PROTOTYPE DRAWINGS HAMPTON INN & SUITES

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REVISIONS

V 6.2 MAY 2019

GENERAL INFORMATION

A0.00

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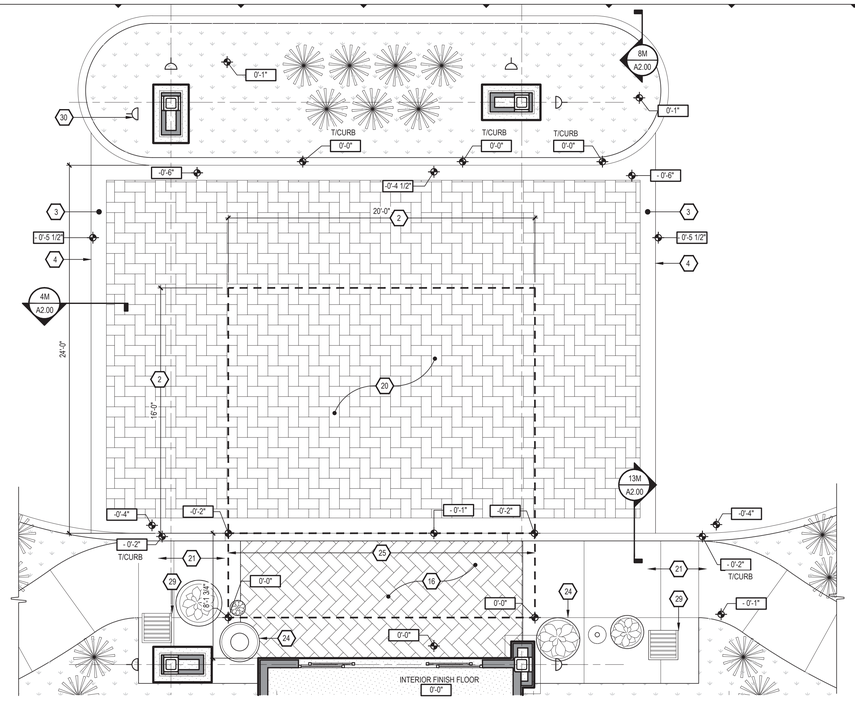
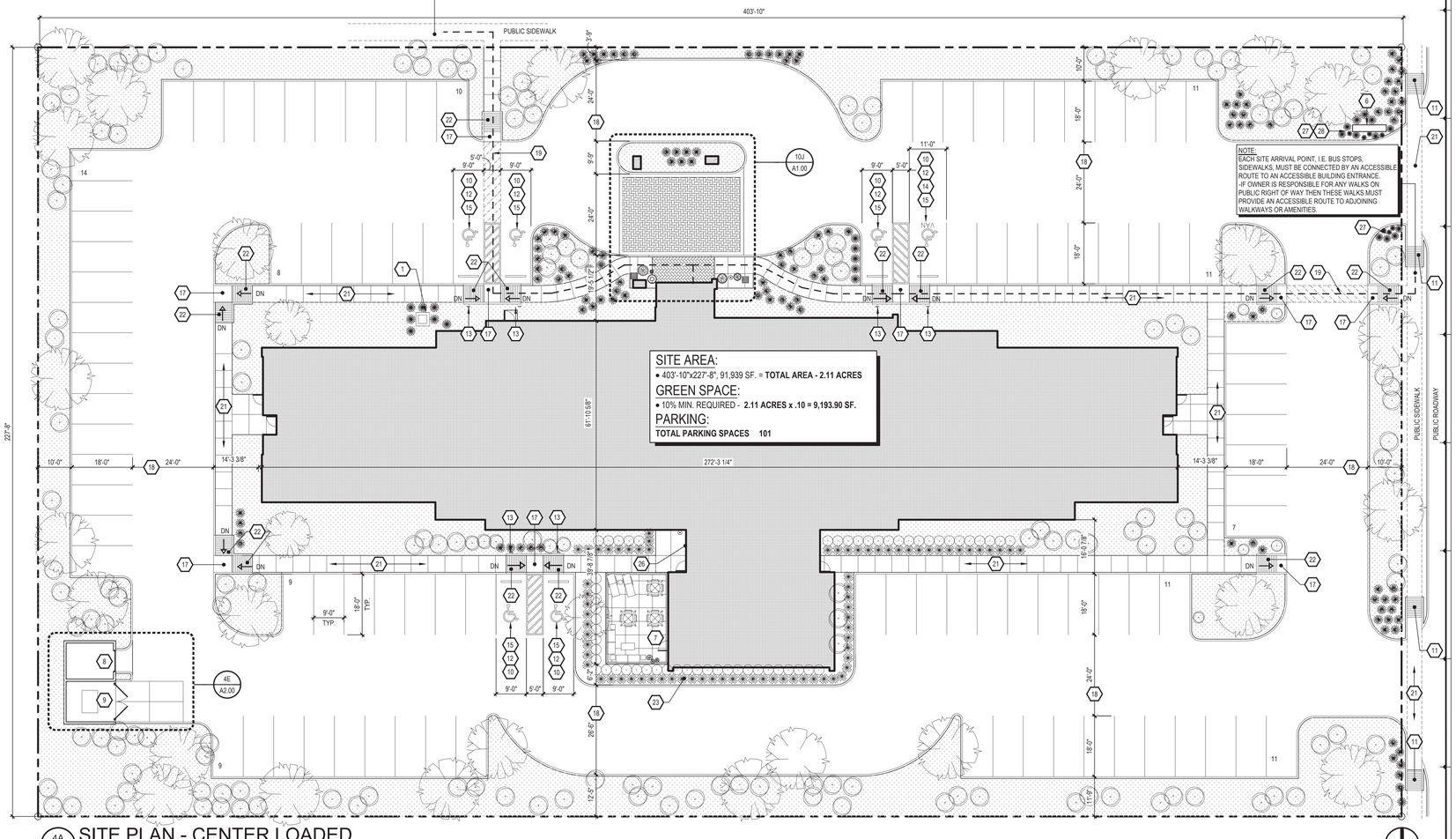
Site Parking Matrix

ROOM COUNT	REQUIRED TOTAL PARKING SPACES	REQUIRED ACCESSIBLE PARKING SPACES	
101	101	5 + 1 VAN	NOTE: PARKING REQUIREMENTS BASED ON ACCESSIBILITY STANDARDS PER CURRENT SITE LAYOUT. COORDINATE PARKING REQUIREMENTS FOR SPECIFIC SITE WITH ACCESSIBILITY REQUIREMENTS AND LOCAL JURISDICTION AND PROVIDE WHICHEVER IS STRICTER.
	PROVIDED PARKING SPACES		
	STANDARD SPACES	95	
	ACCESSIBLE SPACES	5	
	VAN ACCESSIBLE SPACES	1	
	TOTAL PARKING SPACES	101	



10J A1.00 PORTE COCHERE AND VESTIBULE ENTRY
SCALE: 1/4" = 1'-0"



4A A1.00 SITE PLAN - CENTER LOADED
SCALE: 1/16"=1'-0"

PROJECT NORTH

KEY NOTES:

1. PAD-MOUNTED TRANSFORMER LOCATION
2. ACCESSIBLE PASSENGER DROP OFF AREA WITH ADJACENT CLEAR ACCESS AISLE - DROP OFF & ACCESS AISLE SHALL BE AT THE SAME LEVEL & SHALL HAVE A SLOPE NOT TO EXCEED 1:48 (1:64 RECOMMENDED) - REFER TO MATERIAL LEGEND FOR SPECIFIC PAVING OF THIS AREA. REFER TO THE **HADG** FOR MORE INFORMATION REGARDING ACCESSIBLE PASSENGER LOADING ZONES
3. 1'-0" WIDE CONCRETE APRON / BORDER
4. EDGE OF CONCRETE APRON
5. NOT USED
6. MONUMENT SIGN LOCATION
7. EXTERIOR DECK. MUST COMPLY WITH ACCESSIBILITY REQUIREMENTS. REFER TO GENERAL NOTES
8. EXTERIOR STORAGE
9. TRASH ENCLOSURE
10. PROVIDE PAINTED "UNIVERSAL SYMBOL OF ACCESSIBILITY" ON PAVEMENT
11. PROVIDE ACCESSIBLE CURB RAMP TO EXISTING PUBLIC SIDEWALK AT CURB-CUT. PROVIDE MIN. 36" LANDING AT TOP AND BOTTOM OF CURB RAMP WITH MAX. SLOPE IN EITHER DIRECTION TO BE 1:48 (1:64 RECOMMENDED)
12. ACCESSIBLE PARKING SPACES, SIGNAGE, LOGOS, WHEEL STOPS & ACCESS AISLES MUST MEET ALL OF THE 2010 ADA STANDARDS REQUIREMENTS - PROVIDE SPACES IN SIZE, QUANTITY & LOCATIONS REQ'D BY THE 2010 ADA STANDARDS & APPLICABLE CODES AS DETERMINED BY LOCAL JURISDICTION . PROVIDE A MAXIMUM SLOPE IN EITHER DIRECTION OF 1:48 (1:64 RECOMMENDED). REFER TO **HADG** FOR FURTHER INFORMATION
13. ACCESSIBLE PARKING SIGNAGE ON POST. BOTTOM OF SIGN TO BE A MINIMUM OF 60" ABOVE GRADE. VERIFY ALL REQUIREMENTS WITH ACCESSIBILITY REQUIREMENTS AND LOCAL ZONING CODES
14. ACCESSIBLE VAN PARKING SPACE
15. CONCRETE WHEEL STOP TYP. ALL ACCESSIBLE SPACES -LOCATE FIXED WHEEL STOP SO AS NOT TO REDUCE THE WIDTH OF THE ADJOINING ACCESSIBLE ROUTE.
16. CLEAR ACCESS AISLE ADJACENT TO DROP OFF AREA - DROP OFF & ACCESS AISLE SHALL BE AT THE SAME LEVEL & SHALL HAVE A SLOPE NOT TO EXCEED 1:48 (1:64 RECOMMENDED) - REFER TO THE **HADG** FOR MORE INFORMATION
17. WALKWAY SLOPE NOT TO EXCEED 1:48 IN ANY DIRECTION (1:64 RECOMMENDED)
18. DRIVE AISLE MIN. 24'-0" WIDE REQUIRED PER STANDARDS - COORDINATE WITH LOCAL ZONING REQUIREMENTS
19. ACCESSIBLE ROUTE TO PUBLIC RIGHT OF WAY (1 REQUIRED). MAX. RUNNING SLOPE OF 1:20 AND MAX. CROSS SLOPE OF 1:48 (1:64 RECOMMENDED). ALL PAVED SURFACES, CURB RAMPS AND TRANSITIONS ALONG PATH TO MEET ACCESSIBILITY REQ'S
20. DECORATIVE NON-SLIP SURFACE. REFER TO STANDARDS.
21. ACCESSIBLE PATH/WALKWAY, MIN. 5'-0" WIDE, MAX. RUNNING SLOPE 1:20, MAX. CROSS SLOPE 1:48, SLOPE AWAY FROM BLDG. - BROOM FINISH CONCRETE
22. CURB RAMP TO MEET ALL ACCESSIBILITY REQUIREMENTS, MAXIMUM SLOPE OF RUN 1:12 (1:14 RECOMMENDED), MAXIMUM CROSS SLOPE OF 1:48 (1:64 RECOMMENDED). REFER TO THE **HADG** FOR FURTHER INFORMATION. REFER TO SITE DETAILS SHEET FOR ADDITIONAL INFORMATION. PROVIDE MIN. 36" LONG LANDING AT TOP AND MIN. 60" LANDING AT BOTTOM OF CURB RAMP WITH MAX. SLOPE IN EITHER DIRECTION OF LANDING TO BE 1:48 (1:64 RECOMMENDED)
23. PROVIDE PLANTED BUFFER FROM PARKING AND DRIVES AT EXTERIOR DECK AREA
24. PLANTERS & ACCESSORIES AT ENTRY MUST BE LOCATED IN A WAY THAT MAINTAINS A 36" WIDE (5'-0" WIDE AT VEHICLE DROP-OFF) ACCESSIBLE ROUTE MINIMUM
25. TRANSITION BETWEEN WALK AND DRIVE MUST EXTEND FULL LENGTH OF ACCESS NOTED. MAX. SLOPE OF 1:48 (1:64 RECOMMENDED)
26. COVERED SMOKING AREA - PROVIDE SMOKING URN - MAINTAIN A 6'-0" MIN. CLEARANCE FROM VESTIBULE DOOR
27. FEATURE PLANTING AREA - PROVIDE LOW PLANTINGS AT TURN-IN THAT REFLECT LOCAL COLOR AND SEASONALITY
28. PROVIDE LIGHTING AT ENTRY LANDSCAPE ELEMENTS
29. OUTDOOR ENTRY SEATING
30. GROUND-MOUNTED UP LIGHTING

GENERAL NOTES:

1. COORDINATE LIGHTING LOCATIONS WITH LANDSCAPE PLANTINGS. BUILDING UPLIGHTING SHALL NOT BE OBSTRUCTED BY LANDSCAPE PLANTINGS
2. REFER TO HAMPTON SIGNAGE STANDARDS FOR ADDITIONAL INFORMATION AND PRECISE SIGNAGE REQUIREMENTS. ELECTRICAL FOR BUILDING SIGNAGE AND MONUMENT SIGNAGE SHALL BE PROVIDED AND CONNECTED BY THE CONTRACTOR
3. IRRIGATE ALL LANDSCAPED AREAS WITH AUTOMATIC UNDERGROUND SPRINKLER SYSTEM
4. SOD ALL AREAS NOT WITHIN PLANTING BEDS
5. INSTALL ACCENT PLANTINGS OF ANNUALS AND PERENNIALS AT MAIN ENTRANCE, BUILDING ENTRY, AND SIGNAGE AREAS
6. THE DRAWINGS ARE DESIGNED TO MEET ACCESSIBILITY STANDARDS AT A MINIMUM. LOCAL AND STATE REQUIREMENTS OR CODES MAY HAVE ADDITIONAL STANDARDS
7. MAINTAIN APPROPRIATE SIGHT-LINES AT DRIVEWAY ENTRANCE AND EXITS
8. 10% OF NON-PAVED, NON-COVERED AREA OF PROJECT SITE TO BE LANDSCAPED. REFER TO STANDARDS.
9. PROVIDE DENSE LANDSCAPE SCREENING AT TRANSFORMER PAD PER LOCAL UTILITY COMPANY STANDARDS
10. ALL EQUIPMENT (INCLUDING DRYER VENTS) MUST BE SCREENED WITH LANDSCAPING OR OTHER MEANS
11. NOT USED
12. CATCH BASINS ARE TO BE PLACED SO AS NOT TO INTERFERE WITH CLEARANCES AND MAXIMUM SLOPES ALONG DESIGNATED ACCESSIBLE ROUTES
13. SURFACE CONDITIONS AT ACCESSIBLE WALKWAYS AND ACCESSIBLE AREAS (PAVER SYSTEMS AND/OR CONC. SURFACES) SHALL NOT INCLUDE GAPS GREATER THAN 1/2" OR VERTICAL LEVEL CHANGES AT JOINTS OR BETWEEN UNITS GREATER THAN 1/4" - UNLESS THE OVERALL LEVEL CHANGE DOES NOT EXCEED 1/2" AND THE LEVEL CHANGE IS BEVELED AT 1:2
14. QUANTITY AND SIZE OF ACCESSIBLE PARKING SHALL BE DETERMINED BY THE ACCESSIBILITY REQUIREMENTS OR THE LOCAL JURISDICTION. WHICHEVER IS STRICTER

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REVISIONS

V 6.2 MAY 2019

AREA DEVELOPMENT PLAN, ENLARGED SITE PLANS CENTER LOADED

A1.00

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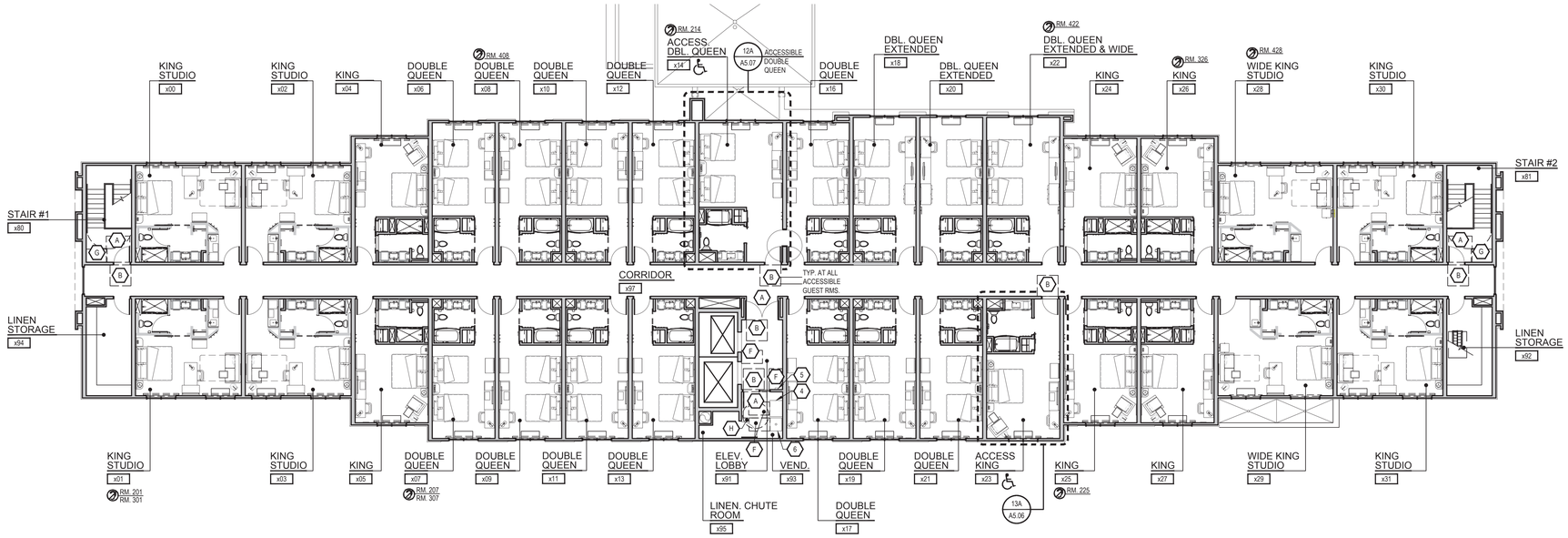
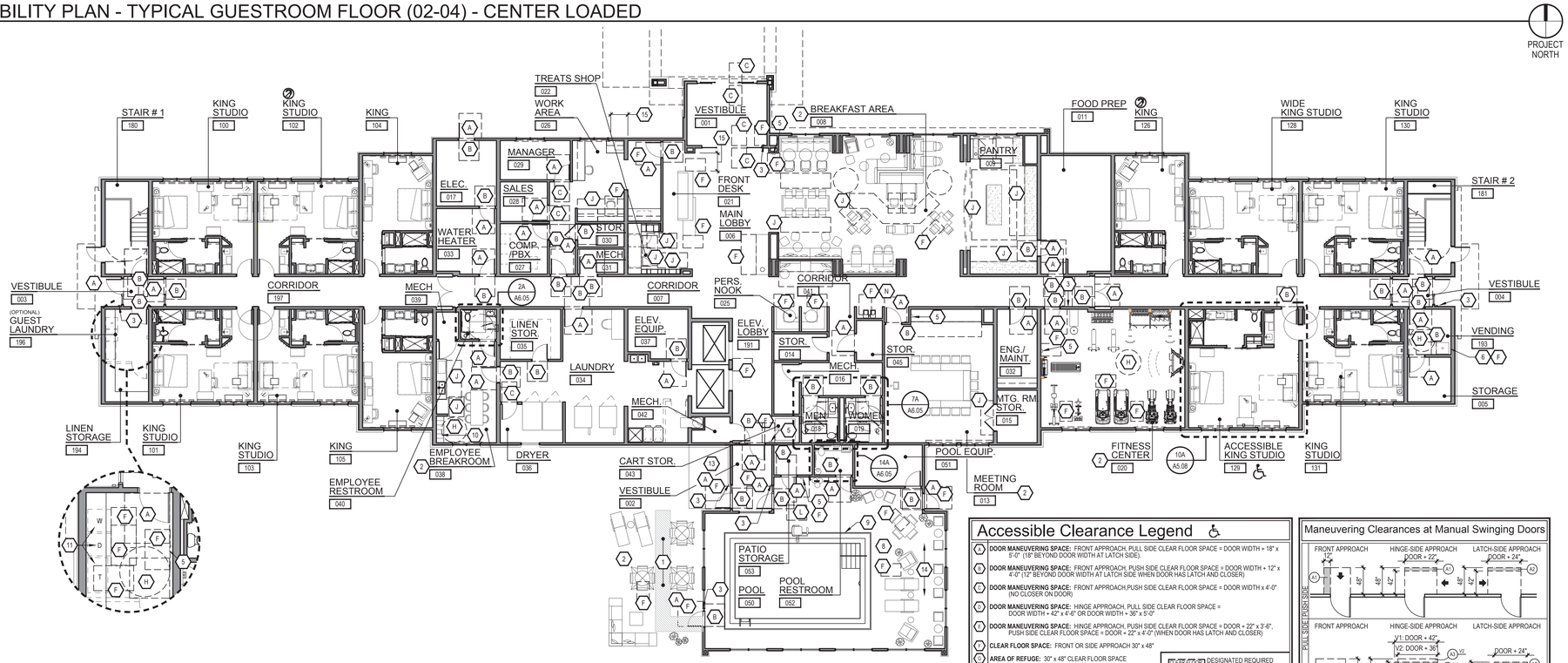


1J A1.01 ACCESSIBILITY PLAN - TYPICAL GUESTROOM FLOOR (02-04) - CENTER LOADED

SCALE: 3/32" = 1'-0"

PROJECT NORTH



1A A1.01 ACCESSIBILITY PLAN GROUND FLOOR - CENTER LOADED

SCALE: 3/32" = 1'-0"

PROJECT NORTH

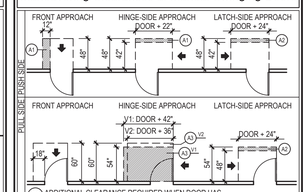
Accessible Clearance Legend

- **DOOR MANEUVERING SPACE:** FRONT APPROACH, PULL SIDE CLEAR FLOOR SPACE = DOOR WIDTH + 18" x 5'-0" (18" BEYOND DOOR WIDTH AT LATCH SIDE).
- **DOOR MANEUVERING SPACE:** FRONT APPROACH, PUSH SIDE CLEAR FLOOR SPACE = DOOR WIDTH + 12" x 4'-0" (12" BEYOND DOOR WIDTH AT LATCH SIDE WHEN DOOR HAS LATCH AND CLOSER)
- **DOOR MANEUVERING SPACE:** FRONT APPROACH,PUSH SIDE CLEAR FLOOR SPACE = DOOR WIDTH x 4'-0" (NO CLOSER ON DOOR)
- **DOOR MANEUVERING SPACE:** HINGE APPROACH, PULL SIDE CLEAR FLOOR SPACE = DOOR WIDTH + 42" x 4'-6" OR DOOR WIDTH + 36" x 5'-0"
- **DOOR MANEUVERING SPACE:** HINGE APPROACH, PUSH SIDE CLEAR FLOOR SPACE = DOOR + 22" x 3'-6", PUSH SIDE CLEAR FLOOR SPACE = DOOR + 22" x 4'-0" (WHEN DOOR HAS LATCH AND CLOSER)
- **CLEAR FLOOR SPACE:** FRONT OR SIDE APPROACH 30" x 48"
- **AREA OF REFUGE:** 30" x 48" CLEAR FLOOR SPACE
- **CLEAR FLOOR TURNING SPACE:** 5'-0" DIAMETER TURNING AREA (*T-SHAPED SPACE ALSO ALLOWED PER ACCESSIBILITY REQUIREMENTS*)
- **CLEAR FLOOR AREA:** 36" WIDE AISLE x LENGTH OF ACCESSIBLE PIECE OF EQ. OR FURNITURE (48" MIN.)
- **WATER CLOSET CLEARANCE:** 56" x 60"
- **CLEAR DECK SPACE:** PARALLEL TO POOL LIFTS 36" X 48"
- **WATER CLOSET CLEARANCE:** 59" x 60" (FLOOR MOUNTED IN A COMPARTMENT)
- **DRINKING FOUNTAIN:** SEE DETAIL 11C/A5.50

FLOOR AND/OR SPACE — DESIGNATED REQUIRED CLEAR FLOOR SPACE (CFS) PER ACCESSIBILITY REQUIREMENTS. REFER TO DIAGRAM ON THIS SHEET IN REFERENCE TO APPROACH CLEARANCES. VERIFY REQ. CLEAR FLOOR SPACE FOR ALL ACCESSIBLE EQUIPMENT, FURNITURE AND AREAS REQUIRED TO BE ACCESSIBLE. REFER TO **HADG** FOR FURTHER INFORMATION.

DOOR SIZES TO BE 3'-0" WIDE (UNLESS NOTED OTHERWISE) OR DOOR WITH 2'-8" CLEAR WHEN DOOR IS OPEN AT 90°. INFORMATION ON THIS SHEET IS INTENDED TO DEMONSTRATE CLEAR FLOOR AREA AND DOOR CLEARANCE REQUIREMENTS FOR ACCESSIBILITY AS DESIGNED IN THIS PROTOTYPE SET. THE ARCHITECT OF RECORD IS REQUIRED TO CONFORM TO ALL STATE AND LOCAL CODES IN ADDITION TO THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN. ENLARGED PLAN REFERENCES CONTAIN CLEAR FLOOR AREA INFORMATION ON THOSE SHEETS, INCLUDING REQUIREMENTS FOR PLUMBING FIXTURE CLEARANCES.

Maneuvering Clearances at Manual Swinging Doors



A1 ADDITIONAL CLEARANCE REQUIRED WHEN DOOR HAS BOTH CLOSER AND LATCH

A2 ADDITIONAL CLEARANCE REQUIRED WHEN DOOR HAS CLOSER

A3 ALTERNATIVE CLEARANCE REQUIRED BASED ON APPROACH

CLOSER — EACH DOOR SUB-CONTRACTOR (ALUMN. STOREFRONT/ WOOD/HM) SHALL BE RESPONSIBLE TO ADJUST ALL INTERIOR DOORS SO THAT THE DOOR'S REQUIRED OPENING FORCE IS 5 lbs OR LESS. ANY DOOR WITH A CLOSER SHALL BE ADJUSTED TO SLOW THE CLOSING TIME TO A MINIMUM OF THREE SECS. BUT NO MORE THAN 4 SECS. FROM A STARTING POINT OF 70° OPEN TO 3° FROM CLOSING. HARDWARE SHALL BE SELECTED TO ALLOW FOR CLOSING SPEED REQUIREMENTS FOR ACCESSIBILITY. COORDINATE THESE REQUIREMENTS WITH LOCAL CODE AND PROVIDE THE STRICTER.

KEY NOTES:

1. 36" MIN. WIDE ACCESSIBLE ROUTE
2. ARRANGE/MAINTAIN MOVABLE FURNITURE SO AS TO PROVIDE AN ACCESSIBLE ROUTE THROUGH ALL AREAS USED BY GUESTS
3. CARD READER AND/OR AFTER-HOURS INTERCOM, MOUNTED WITHIN ACCESSIBLE REACH RANGE, MUST BE ON AN ACCESSIBLE ROUTE AND HAVE CLEAR FLOOR SPACE FOR FRONT OR PARALLEL APPROACH.
4. VENDING MACHINE WITH REQUIRED 30"x48" CLEAR FLOOR SPACE. ALL CONTROLS INTENDED FOR GUEST USE TO BE WITHIN REQUIRED ACCESSIBLE REACH RANGE.
5. HOUSE PHONE LOCATED WITHIN ACCESSIBLE REACH RANGE, ON AN ACCESSIBLE ROUTE AND WITH CLEAR FLOOR SPACE FOR FRONT OR SIDE APPROACH. PHONE MUST BE EQUIPPED WITH VOLUME CONTROL AND A MIN. 28" LONG CORD.
6. ACCESSIBLE ICE MACHINE WITH REQUIRED 30"x48" CLEAR FLOOR SPACE. ALL CONTROLS INTENDED FOR GUEST USE TO BE WITHIN REQUIRED ACCESSIBLE REACH RANGE. PROVIDE FLOOR DRAIN CENTERED UNDER ICE MACHINE AND PROVIDE POSITIVE SLOPE (1:48 MAX) TOWARDS DRAIN WITHOUT AFFECTING ACCESSIBLE REQUIREMENTS. INSULATE DRAIN PIPES.
7. 5% MIN. OF COAT STORAGE TO BE WITHIN ACCESSIBLE REACH RANGE - 15" TO 48" A.F.F.
8. SLOPE OF POOL DECK AREA MUST NOT EXCEED 1:48 IN ANY DIRECTION
9. FLOOR TRENCH DRAIN GRATING TO ALLOW ACCESSIBLE TRAVEL IN EACH DIRECTION - GRATE OPENINGS MUST BE 1/2" MAX IN EITHER DIRECTION
10. EMPLOYEE LOCKERS: PROVIDE QUANTITY OF ACCESSIBLE LOCKERS AS REQUIRED BY ACCESSIBILITY REQUIREMENTS OR LOCAL JURISDICTION'S CODE, WHICHEVER IS MORE STRICT. ACCESSIBLE LOCKER MUST BE LOCATED WHERE THERE IS A CLEAR FLOOR SPACE TO REACH THE SHELVES, LOCK, ETC.
11. ELEMENTS FOR OPTIONAL GUEST LAUNDRY SHOWN -IF LAUNDRY IS PROVIDED, PROVIDE REQUIRED ACCESSIBLE EQUIPMENT, COUNTERS, STORAGE, HOUSE PHONE, AND TURNING SPACE
12. REFER TO FRONT DESK MILLWORK FOR ADDITIONAL ACCESSIBILITY REQUIREMENTS
13. DESIGNATED SMOKING AREA MUST BE ACCESSIBLE AND ACCESSED VIA 36" MIN ACCESSIBLE ROUTE
14. POOL DECK AREA MUST BE ACCESSIBLE AND ACCESSED VIA 36" MIN ACCESSIBLE ROUTE
15. MAINTAIN 36" CLEAR PATH
16. ACCESS AREA FOR ROOF STAIR

SYMBOL / FIXTURES KEY:

- ACCESSIBLE ROOM
- ROOM WITH COMMUNICATIONS FEATURE
- MAGNETIC DOOR HOLD OPENER TIED TO BUILDING ALARM SYSTEM -- REFER TO DOOR SCHEDULE

GENERAL NOTES:

1. ALL CONTROLS FOR USE BY GUESTS MUST BE MOUNTED BETWEEN 15" AND 48" AND MUST HAVE A 30"x48" MINIMUM CLEAR FLOOR SPACE FOR FORWARD OR PARALLEL APPROACH. CONTROLS MOUNTED OVER AN OBSTRUCTION THAT IS BETWEEN 10" AND 24" DEEP MAY BE NO HIGHER THAN 48" AFF IF PARALLEL APPROACH IS PROVIDED. WHERE OBSTRUCTIONS ARE BETWEEN 20" AND 25" WITH FORWARD APPROACH CONTROLS MUST NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST
2. COMMON EMPLOYEE AREAS SUCH AS BREAK ROOMS, LOCKER/TOILET/SHOWER ROOMS MUST BE ACCESSIBLE AND HAVE ACCESSIBLE FEATURES AND FIXTURES. EMPLOYEE WORK AREAS LESS THAN 1000 SQFT AS DEFINED BY PERMANENTLY INSTALLED PARTITIONS, COUNTERS, CASEWORK OR FURNISHINGS ARE NOT REQUIRED TO HAVE AN ACCESSIBLE PATH OF CIRCULATION THROUGHOUT THE SPACE BUT ARE REQUIRED TO BE CONSTRUCTED SO AN INDIVIDUAL CAN APPROACH, ENTER AND EXIT THE SPACE.
3. IN COMMON SPACES WITHIN EMPLOYEE AREAS AT LEAST ONE OF EACH TYPE OF STORAGE OR WORK COUNTER, 5% OF LOCKERS, AND CONTROLS (EM PHONES, CARD READERS, ETC.) MUST BE ON AN ACCESSIBLE ROUTE, WITHIN REACH RANGE AND MUST COMPLY WITH STANDARDS FOR CONTROLS AS DEFINED IN THE GOVERNING ACCESSIBILITY STANDARDS OR LOCAL CODE WHICHEVER IS STRICTER.
4. FIRE ALARM SYSTEM SHALL HAVE PERMANENTLY INSTALLED AUDIBLE AND VISIBLE ALARMS COMPLYING WITH NFPA 72 (1999 OR 2010 ADDITION) AND AS REQUIRED BY LOCAL AUTHORITIES. ALARMS MUST BE LOCATED IN PUBLIC AND COMMON USE AREAS AND GUEST ROOMS DESIGNATED AS "GUEST ROOMS WITH COMMUNICATIONS FEATURES" AT A MINIMUM. WHERE EMPLOYEE AREAS HAVE AUDIBLE ALARMS, THE WIRING SHALL BE DESIGNED SO VISIBLE ALARMS CAN BE INTEGRATED INTO THE SYSTEM, UNLESS GREATER STANDARDS ARE REQUIRED BY LOCAL AUTHORITIES.
5. OPERABLE PORTION OF CARD READER TO BE MOUNTED AT 48" OR BELOW WITH CLEAR FLOOR SPACE FOR FRONT OR PARALLEL APPROACH.
6. ALL SIGNS IDENTIFYING PERMANENT ROOMS OR SPACES ARE REQUIRED TO HAVE VISUAL AND RAISED CHARACTERS AND BRAILLE SIGNAGE TO BE MOUNTED ON LATCH SIDE OF DOOR WITH THE LOWEST TACTILE CHARACTERS NO LOWER THAN 48" AND THE BOTTOM OF THE HIGHEST TACTILE CHARACTERS NO HIGHER THAN 60" AFF.
7. IN PUBLIC AREAS INTENDED FOR DINING, AT LEAST 5% OF THE TABLES MUST BE ACCESSIBLE WITH COMPLIANT KNEE AND TOE CLEARANCE AND LOCATED ON AN ACCESSIBLE ROUTE AND DISTRIBUTED THROUGHOUT THE SPACE
8. ALL EQUIPMENT, FURNITURE AND MILLWORK INTENDED FOR GUEST USE MUST MEET ALL CLEARANCES AND REACH RANGES AS DEFINED BY THE GOVERNING ACCESSIBILITY CODE OR LOCAL CODE, WHICHEVER IS STRICTER
9. ALL OPERABLE WINDOWS PROVIDED IN PUBLIC GUEST ACCESSIBLE SPACES AND IN ACCESSIBLE GUEST ROOM TYPES MUST MEET ALL ACCESSIBILITY REQUIREMENTS PERTAINING TO REACH RANGE, OPERATING CONTROLS AND CLEAR FLOOR SPACE - HARDWARE AND WINDOW OPERATION MUST BE NO GREATER THAN 5 LBS.
10. PROVIDE ACCESSIBLE FLOOR TRANSITIONS AT ALL LOCATIONS WHERE THERE IS A CHANGE IN FLOORING MATERIAL OR AT DOOR THRESHOLDS. THE CHANGE OF LEVEL BETWEEN MATERIALS MUST BE NO MORE THAN 1/4" OR UP TO 1/2" IF SLOPED AT 1:2
11. ALL DATA AND POWER RECEPTACLES INTENDED FOR GUEST ACCESS/USE MUST BE INSTALLED WITHIN ACC. REACH RANGES -- REFER TO GENERAL NOTE #1
12. WALL MOUNTED EQUIPMENT, FIXTURES, LIGHTING, ETC. BETWEEN 27" AND 80" AFF SHALL NOT PROTRUDE MORE THAN 4" FROM WALL PER ACCESSIBILITY REQUIREMENTS - CONSULT THE **HADG** FOR FURTHER REQUIREMENTS
13. ALL EQUIPMENT (INCLUDING VENDING MACHINES, ICE MACHINES, ATM MACHINES, WASHERS, DRYERS, ETC.) FURNITURE AND MILLWORK INTENDED FOR GUEST USE MUST BE ON AN ACCESSIBLE ROUTE AND MUST MEET ACCESSIBILITY STANDARDS FOR CLEAR FLOOR SPACE, REACH RANGE, OPERATING PARTS AND KNEE AND TOE SPACE AS DEFINED BY ACCESSIBILITY REQUIREMENTS OR APPLICABLE LOCAL CODES, WHICHEVER IS STRICTER
14. ALL EQUIPMENT INTENDED FOR GUEST USE MUST BE PLACED SO THAT CONTROLS REQUIRED FOR USE ARE WITHIN THE ACCESSIBLE REACH RANGE AS DEFINED BY THE GENERAL NOTES ON THE ACCESSIBILITY PLANS. OWNER MUST VERIFY THAT ALL EQUIPMENT MEETS THESE REQUIREMENTS PRIOR TO INSTALLATION
15. BUILT-IN COUNTERS TO BE MINIMUM 24" X 48" AND BE LOCATED BETWEEN 28" - 34" AFF AND MUST HAVE MIN. 17" UNOBSTRUCTED DEEP KNEE AND TOE SPACE THAT IS AT LEAST 30" WIDE. IF STORAGE IS PROVIDED, SUCH AS HOOKS, HANG RODS OR SHELVES, A PORTION MUST BE PROVIDED AT 48" AFF WITH 30" X 48" CLEAR FLOOR SPACE FOR FORWARD OR PARALLEL APPROACH TO THE STORAGE AREA
16. REFER TO HADG FOR ADDITIONAL REQUIREMENTS FOR PUBLIC SPACES & EQUIPMENT

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REVISIONS

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ACCESSIBILITY PLANS CENTER LOADED

A1.01

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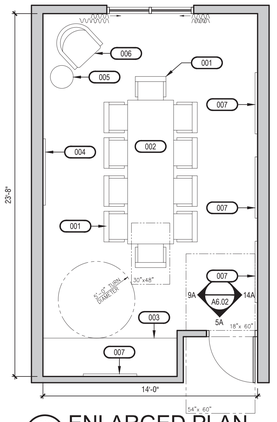
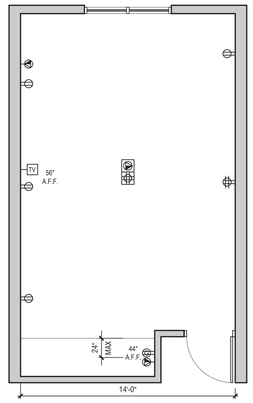
BOARD ROOM GENERAL NOTES:

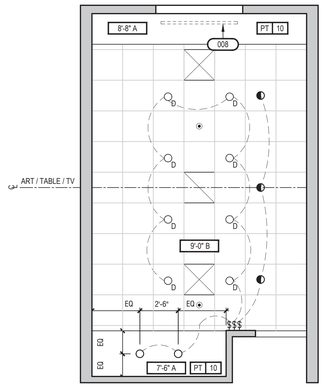
1. HOTEL HAS OPTION TO REPLACE A SINGLE GUESTROOM WITH THE "BOARDROOM OPTION" INDICATED HERE AS LONG AS THE MINIMUM DIMENSIONS ARE MET.
2. ROOM IS TO BE EQUIPPED WITH EITHER A 52" WALL MOUNTED LED/LCD TELEVISION WITH CONNECTIVITY TO MATV SYSTEM AND TO THE BOARDROOM TABLE CONNECTION, OR A CEILING RECESSED, ELECTRONICALLY OPERATED SCREEN WITH CONTROLS LOCATED NEAR LIGHTING CONTROLS



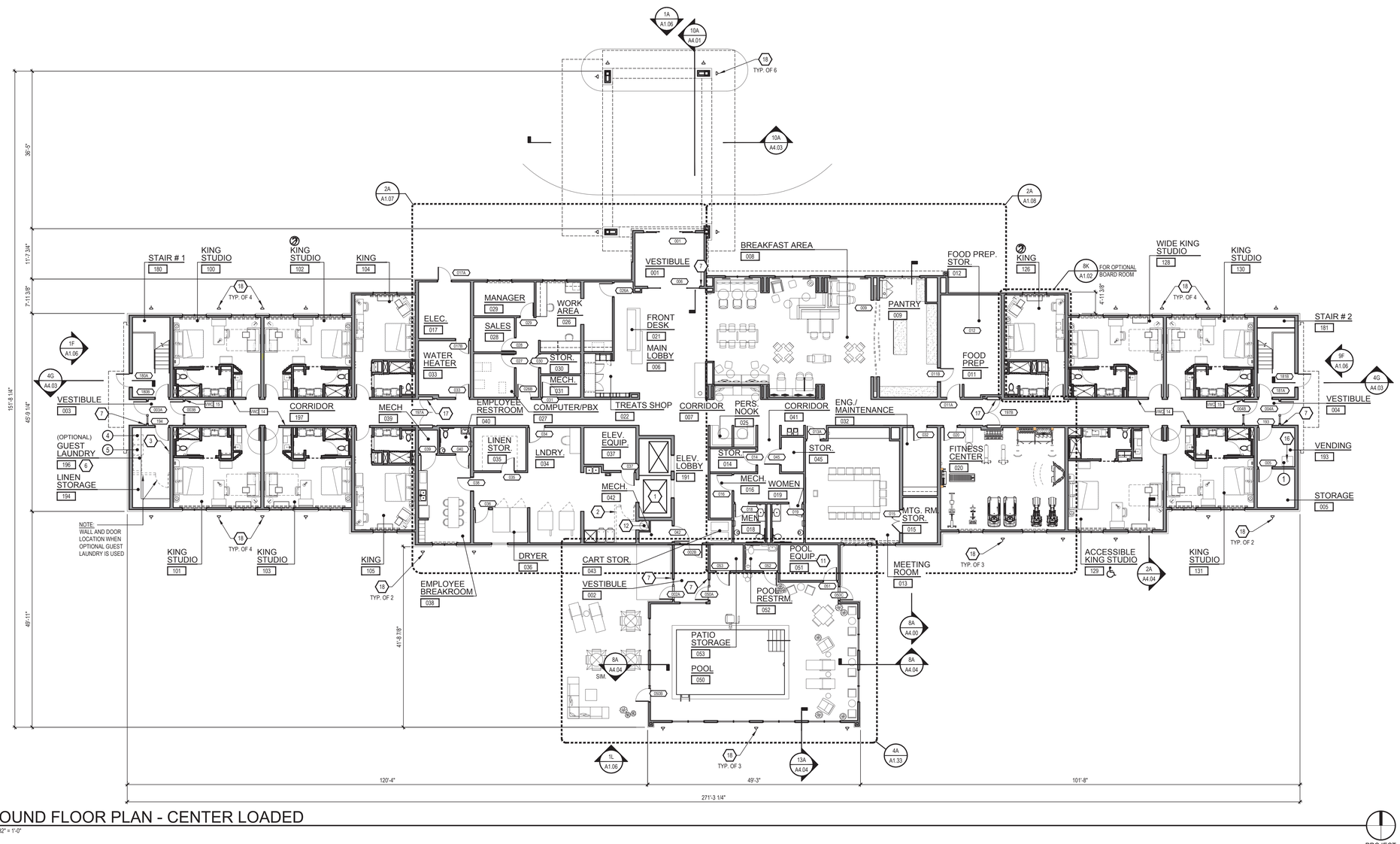
8K A1.02 ENLARGED PLAN
SCALE: 1/4" = 1'-0"
OPTIONAL BOARD ROOM



11K A1.02 ENLARGED ELECT. PLAN
SCALE: 1/4" = 1'-0"
OPTIONAL BOARD ROOM



14K A1.02 ENLARGED CEILING PLAN
SCALE: 1/4" = 1'-0"
OPTIONAL BOARD ROOM



1A A1.02 GROUND FLOOR PLAN - CENTER LOADED
SCALE: 3/32" = 1'-0"

PROJECT NORTH

KEY NOTES:

1. ONE ELEVATOR CAB SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS AND MUST ACCOMMODATE AN AMBULANCE STRETCHER
2. PROVIDE ENCLOSED ROOM FOR LINEN CHUTE WHEN REQUIRED BY CODE
3. HOUSE PHONE. LOCATED WITHIN ACCESSIBLE REACH RANGE, ON AN ACCESSIBLE ROUTE AND WITH CLEAR FLOOR SPACE FOR FRONT OR SIDE APPROACH. PHONE MUST BE EQUIPPED WITH VOLUME CONTROL AND A MIN. 28" LONG CORD.
4. POTENTIAL LOCATION FOR HVAC DUCT SHAFT
5. MEETING ROOM - OPTIONAL
6. ELEMENTS FOR OPTIONAL GUEST LAUNDRY SHOWN - PROVIDE INSULATED (IF ON UPPER FLOORS) FLOOR DRAIN ACCORDING TO LOCAL CODE - PROVIDE REQUIRED ACCESSIBLE EQUIPMENT, COUNTERS, STORAGE, HOUSE PHONE AND CLEAR FLOOR SPACES AT EACH LOCATION
7. CARD READER - MOUNTED WITHIN ACCESSIBLE REACH RANGE AND MUST BE ON AN ACCESSIBLE ROUTE AND HAVE CLEAR FLOOR SPACE FOR FRONT OR PARALLEL APPROACH
8. ELEVATOR LOBBY DOORS REQUIRED IF BUILDING IS 4 STORIES OR MORE IN HEIGHT, OR AS REQ'D BY LOCAL CODE
9. PORTE COCHERE / VESTIBULE ROOF
10. POOL ROOF
11. INDOOR POOL EQUIPMENT ROOMS MAY NOT BE LOCATED BELOW GUEST ROOMS
12. LINEN CHUTE MUST HAVE SELF CLOSING AND SELF LOCKING DOORS. SEE SECTION 13J / A4.00
13. REFER TO ROOF PLAN
14. PROVIDE CODE COMPLIANT OVERFLOW FOR THIS ROOF
15. ALTERNATING TREAD STAIR AND ROOF HATCH AT TOP FLOOR ONLY - REFER ALSO TO ROOF PLAN
16. PROVIDE INSULATED FLOOR DRAIN CENTERED UNDER ICE MACHINE AND PROVIDE POSITIVE SLOPE TOWARDS DRAIN (1:48 MAX - 1:64 RECOMMENDED).
17. DOOR AS REQUIRED BY LOCAL JURISDICTION - IF INSTALLED THEY MUST BE ON AUTOMATIC CLOSURES ACTIVATED BY THE FIRE ALARM SYSTEM
18. EQUIVALENT TO FLOOD LIGHT LITHONIA DSXF1LED-P1-30K-MSP

RECOMMENDED EQUIPMENT:

1. ICE MACHINE AT VENDING
2. SNACK MACHINE* - OPTIONAL
3. SOFT DRINK MACHINE*
4. GUEST LAUNDRY WASHER
5. GUEST LAUNDRY DRYER

* SNACK MACHINE AND SOFT DRINK MACHINE ARE NOT REQUIRED AT THE GROUND FLOOR IF A SUITE SHOP IS PROVIDED

BOARD ROOM EQUIPMENT:

REFER TO STANDARDS FOR REQUIREMENTS

- 001 "5 STAR BASE" CONFERENCE CHAIR
- 002 CONFERENCE TABLE
- 003 BASE CABINETS AND COUNTERTOP
- 004 WALL MOUNTED TELEVISION
- 005 TELEPHONE TABLE
- 006 LOUNGE CHAIR
- 007 ARTWORK
- 008 CEILING RECESSED PROJECTOR SCREEN

POWER / COMMUNICATIONS LEGEND:

WALL MOUNTED:	FLOOR MOUNTED:
DUPLEX RECEPTACLE	DUPLEX RECEPTACLE
DUPLEX RECPT. W/ GFCI	
QUAD RECEPTACLE	QUAD RECEPTACLE
TELE / DATA OUTLET	TELE / DATA OUTLET
TELEVISION OUTLET	SWITCH
MAGNETIC HOLD OPEN	

NOTE: DIMENSIONS NEXT TO RECEPTACLE INDICATE HEIGHT ABOVE FINISH FLOOR
NOTE: OUTLETS ARE TO BE INSTALLED AT 18" A.F.F. U.N.O.

CEILING FIXTURE LEGEND:

- COMPACT FLUORESCENT DOWN LIGHT
- COMPACT FLUORESCENT DOWN LIGHT DIMMABLE, 42W, HOUSING TO MATCH STANDARD DOWNLIGHT
- COMPACT FLUORESCENT WALL WASHER
- SPRINKLER HEAD
- SUPPLY AIR REGISTER
- RETURN AIR GRILLE

CEILING LEGEND:

8'-0" B — MINIMUM CEILING HEIGHT; CEILING FINISH

A. GYPSUM BOARD - SMOOTH FINISH PAINTED
B. ACOUSTIC CEILING TILE - REFER TO HAMPTON STANDARDS

GENERAL NOTES:

1. REFER TO HAMPTON STANDARDS FOR FLOORING REQUIREMENTS IN EACH AREA
2. ALL WALLS IN BATH SHALL BE MOISTURE RESISTANT GYPSUM BOARD. CEILING AT BATH SHALL BE MOISTURE RESISTANT BOARD
3. WALL CONSTRUCTION SHOWN FOR REFERENCE ONLY. DESIGNERS OF RECORD SHALL DETERMINE WALL CONSTRUCTION, STRUCTURES, METHOD OF STC COMPLIANCE, ETC.
4. REFER TO **HADG** FOR ADDITIONAL REQUIREMENTS FOR PUBLIC SPACES & EQUIPMENT
5. REFER TO ACCESSIBILITY PLANS FOR ADDITIONAL INFORMATION AND REQUIREMENTS

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REVISIONS

V 6.2 MAY 2019

GROUND FLOOR PLAN CENTER LOADED

A1.02

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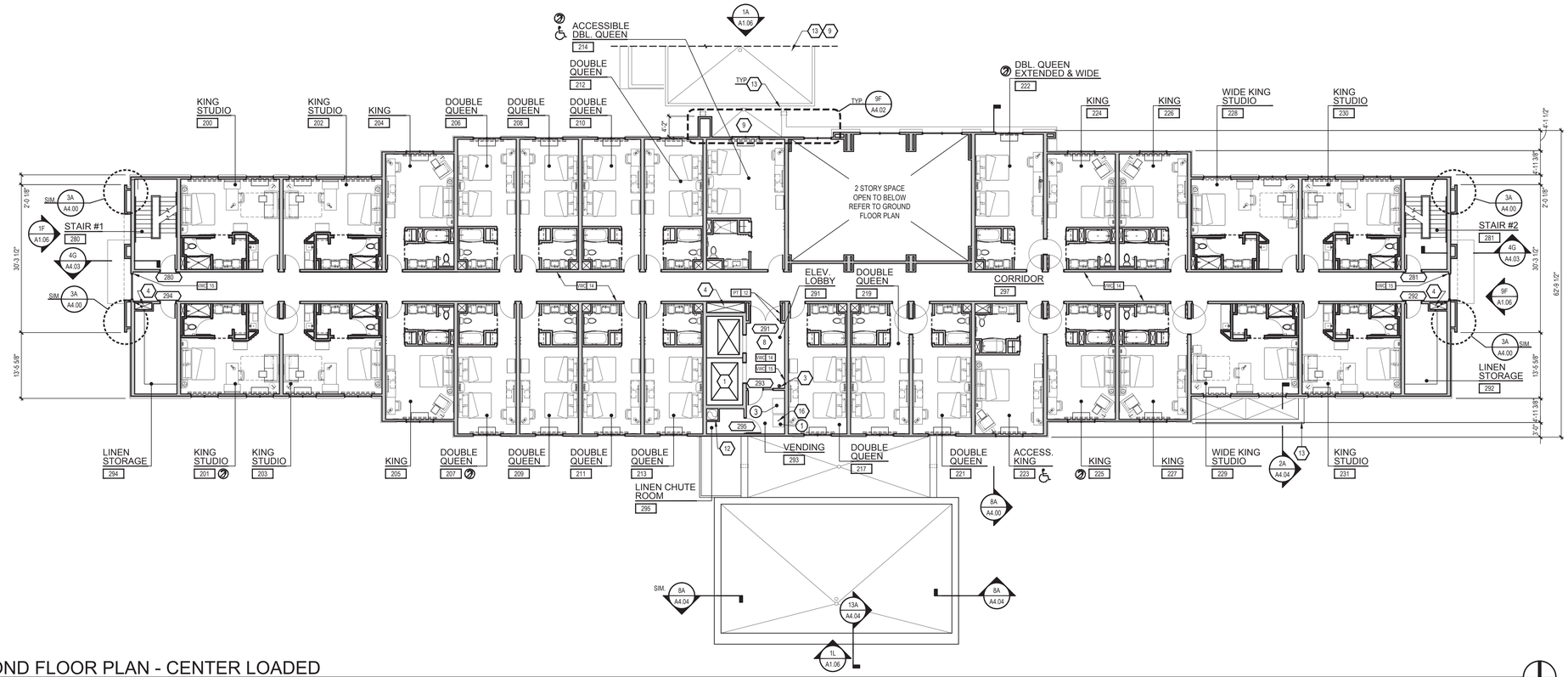
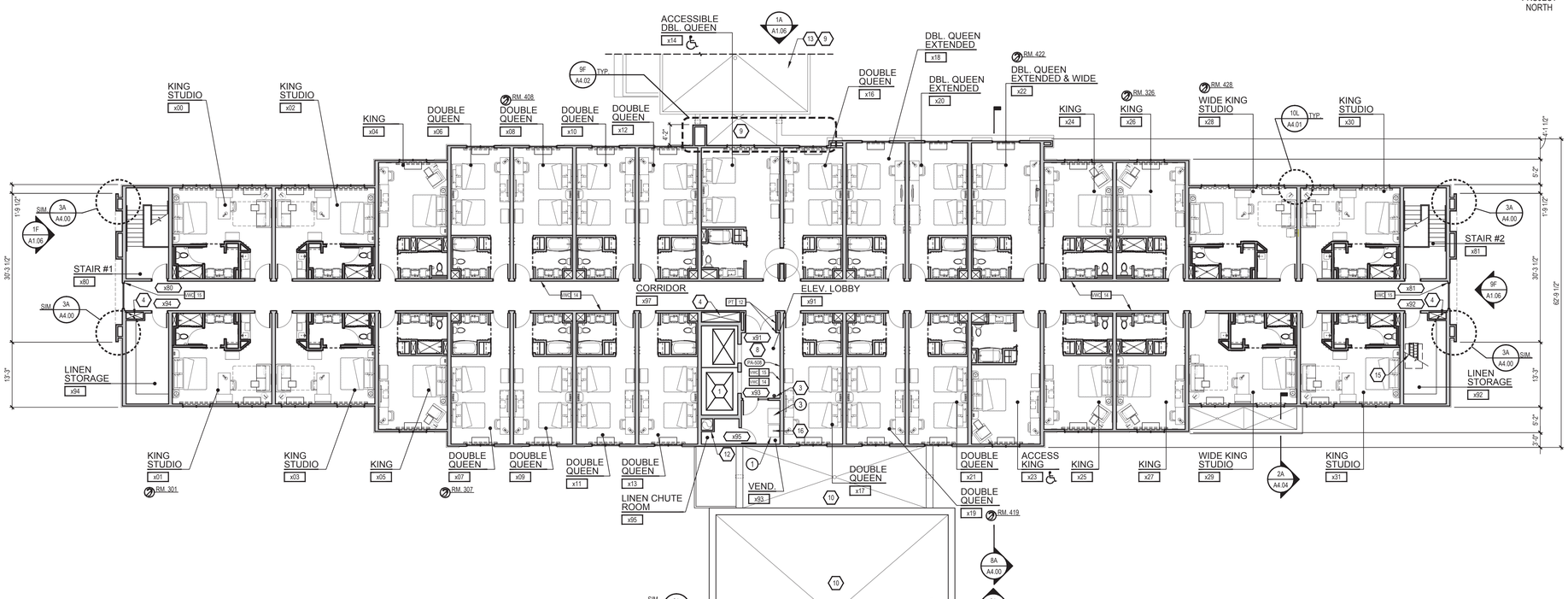


1H A1.03 SECOND FLOOR PLAN - CENTER LOADED

SCALE: 3/32" = 1'-0"



1A A1.03 TYPICAL GUESTROOM FLOOR PLAN - CENTER LOADED

SCALE: 3/32" = 1'-0"

KEY NOTES:

1. ONE ELEVATOR CAB SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS AND MUST ACCOMMODATE AN AMBULANCE STRETCHER
2. PROVIDE ENCLOSED ROOM FOR LINEN CHUTE WHEN REQUIRED BY CODE
3. HOUSE PHONE. LOCATED WITHIN ACCESSIBLE REACH RANGE, ON AN ACCESSIBLE ROUTE AND WITH CLEAR FLOOR SPACE FOR FRONT OR SIDE APPROACH. PHONE MUST BE EQUIPPED WITH VOLUME CONTROL AND A MIN. 28" LONG CORD.
4. POTENTIAL LOCATION FOR HVAC DUCT SHAFT
5. MEETING ROOM - OPTIONAL
6. ELEMENTS FOR OPTIONAL GUEST LAUNDRY SHOWN - PROVIDE INSULATED (IF ON UPPER FLOORS) FLOOR DRAIN ACCORDING TO LOCAL CODE - PROVIDE REQUIRED ACCESSIBLE EQUIPMENT, COUNTERS, STORAGE, HOUSE PHONE AND CLEAR FLOOR SPACES AT EACH LOCATION
7. CARD READER - MOUNTED WITHIN ACCESSIBLE REACH RANGE AND MUST BE ON AN ACCESSIBLE ROUTE AND HAVE CLEAR FLOOR SPACE FOR FRONT OR PARALLEL APPROACH
8. ELEVATOR LOBBY DOORS REQUIRED IF BUILDING IS 4 STORIES OR MORE IN HEIGHT, OR AS REQD BY LOCAL CODE
9. PORTE COCHERE / VESTIBULE ROOF
10. POOL ROOF
11. INDOOR POOL EQUIPMENT ROOMS MAY NOT BE LOCATED BELOW GUEST ROOMS
12. LINEN CHUTE MUST HAVE SELF CLOSING AND SELF LOCKING DOORS. SEE SECTION 13J / A4.00
13. REFER TO ROOF PLAN
14. PROVIDE CODE COMPLIANT OVERFLOW FOR THIS ROOF
15. ALTERNATING TREAD STAIR AND ROOF HATCH AT TOP FLOOR ONLY - REFER ALSO TO ROOF PLAN
16. PROVIDE INSULATED FLOOR DRAIN CENTERED UNDER ICE MACHINE AND PROVIDE POSITIVE SLOPE TOWARDS DRAIN (1:48 MAX - 1:64 RECOMMENDED).
17. DOOR AS REQUIRED BY LOCAL JURISDICTION - IF INSTALLED THEY MUST BE ON AUTOMATIC CLOSURES ACTIVATED BY THE FIRE ALARM SYSTEM
18. EQUIVALENT TO FLOOD LIGHT LITHONIA DSXF1LED-P1-30K-MSP

RECOMMENDED EQUIPMENT:

1. ICE MACHINE AT VENDING
2. SNACK MACHINE* - OPTIONAL
3. SOFT DRINK MACHINE*
4. GUEST LAUNDRY WASHER
5. GUEST LAUNDRY DRYER

* SNACK MACHINE AND SOFT DRINK MACHINE ARE NOT REQUIRED AT THE GROUND FLOOR IF A SUITE SHOP IS PROVIDED

GENERAL NOTES:

1. REFER TO HAMPTON STANDARDS FOR FLOORING REQUIREMENTS IN EACH AREA
2. ALL WALLS IN BATH SHALL BE MOISTURE RESISTANT GYPSUM BOARD. CEILING AT BATH SHALL BE MOISTURE RESISTANT BOARD
3. WALL CONSTRUCTION SHOWN FOR REFERENCE ONLY. DESIGNERS OF RECORD SHALL DETERMINE WALL CONSTRUCTION, STRUCTURES, METHOD OF STC COMPLIANCE, ETC.
4. REFER TO **HADG** FOR ADDITIONAL REQUIREMENTS FOR PUBLIC SPACES & EQUIPMENT
5. REFER TO ACCESSIBILITY PLANS FOR ADDITIONAL INFORMATION AND REQUIREMENTS

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REVISIONS

V 6.2 MAY 2019

SECOND FLOOR PLAN AND TYP. GUESTRM. FLOOR PLAN CENTER LOADED

A1.03

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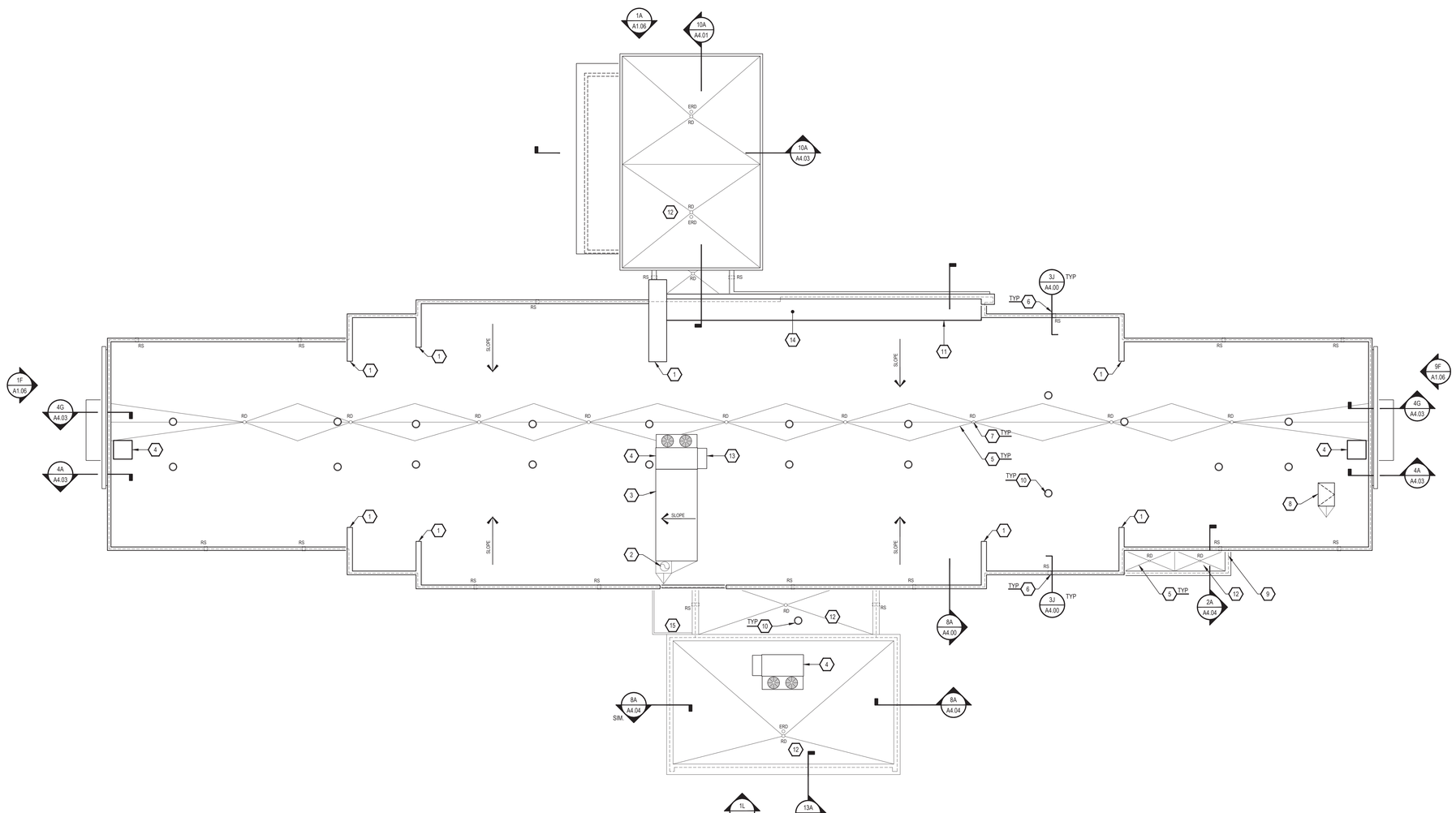

LEGEND:
RD = ROOF DRAIN
RS = ROOF SCUPPER
ERD =EMERGENCY ROOF DRAIN

PROJECT NORTH

1A A1.04 ROOF PLAN - CENTER LOADED
SCALE: 3/32" = 1'-0"

KEY NOTES:

1. CORNICE TO TURN 90 DEGREES TO BACK SIDE OF PARAPET BEFORE TERMINATING.
2. LINEN CHUTE VENT. SEE SECTION 13J / A4.00
3. ELEVATOR PENTHOUSE - MUST BE SCREENED FROM VIEW. IF TALL ENOUGH TO BE VIEWED ABOVE PARAPETS, FACE WITH EIFS AND CORNICE TREATMENT TO MATCH PARAPET WALL. IF NOT, RUN ROOFING MEMBRANE UP AND OVER
4. ROOF-MOUNTED HVAC LOCATIONS
5. ROOF CRICKET, (TYP)
6. ROOF SCUPPER (R.S.), (TYP - DETAIL 3J / A4.00)
7. ROOF DRAIN (R.D.), (TYP)
8. ROOF HATCH TO BE MINIMUM 16 SQ. FT. (5'-0" X 3'-6" INDICATED) WITH ACCESS FROM ALTERNATING TREAD STAIR. REVIEW ALL APPLICABLE FEDERAL / LOCAL CODES TO VERIFY STAIR DOES NOT NEED TO EXTEND TO THE ROOF.
9. LINE OF WALL BELOW FOR REFERENCE
10. EXHAUST FAN, (TYP)
11. PROVIDE ACCESS DOOR FOR SIGNAGE LIGHTING
12. ROOF BELOW
13. HVAC EQUIPMENT INTAKE LOCATION
14. PARAPET KICKER W/ ROOF MEMBRANE - REFER TO SECTION
15. FLAT ROOF ABOVE SMOKING AREA

GENERAL NOTES:

1. ROOF DRAINAGE IS SHOWN FOR GENERAL INFORMATION ONLY. ACTUAL ROOF DRAINAGE SYSTEM TO BE DESIGNED BY ARCHITECT OF RECORD
2. ALL ROOF TOP EQUIPMENT, PLUMBING, VENTS, CONDENSING UNITS, EXHAUST FANS, BOILER FLUES, ETC. ARE TO BE CONCEALED FROM VIEW BEHIND PARAPET WALLS
3. KEEP ROOF MOUNTED EQUIPMENT AWAY FROM ROOF EDGES TO REDUCE SIGHT LINES
4. (IF APPLICABLE) PROVIDE CONDUIT FROM PBX TO ROOF FOR H.I.B.S. SATELLITE DISH ON SEPARATE CIRCUIT. PROVIDE POWER ON ROOF EDGE FOR HEATER WHEN REQUIRED

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REVISIONS

V 6.2 MAY 2019

ROOF PLAN CENTER LOADED

A1.04

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