

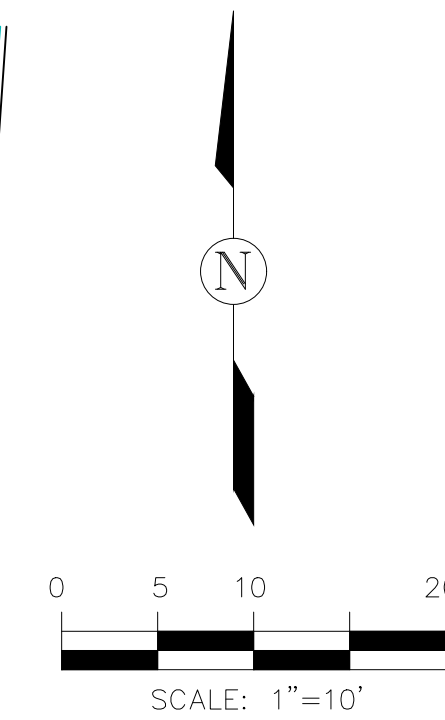
DUE TO NORMAL CONSTRUCTION TOLERANCES AND VARIATIONS BETWEEN RECORD AND ACTUAL LOT DIMENSIONS, ROAKE AND ASSOCIATES, INC. CAN ACCEPT NO LIABILITY FOR MINOR ENCROACHMENTS OF ZONING SETBACKS WHEN STRUCTURES HAVE BEEN REQUESTED TO BE LAID OUT WITHIN 6 INCHES (0.50 FT.) OF THE REQUIRED SETBACKS. FOUNDATION LAYOUT PERFORMED BY ROAKE AND ASSOCIATES, INC. SHALL HAVE THE TOP OF FOUNDATION ELEVATION NOTED ON THE CURB OR HUB WITH THE CALCULATED CUT OR FILL GRADE NECESSARY TO ACHIEVE TOP OF FOUNDATION. THE CONTRACTOR SHALL VERIFY THAT THE TOP OF FOUNDATION STAKED MATCHES THE TOP OF FOUNDATION NOTED ON THE APPROVED LOT GRADING PLAN.

PLOT OF PLAN

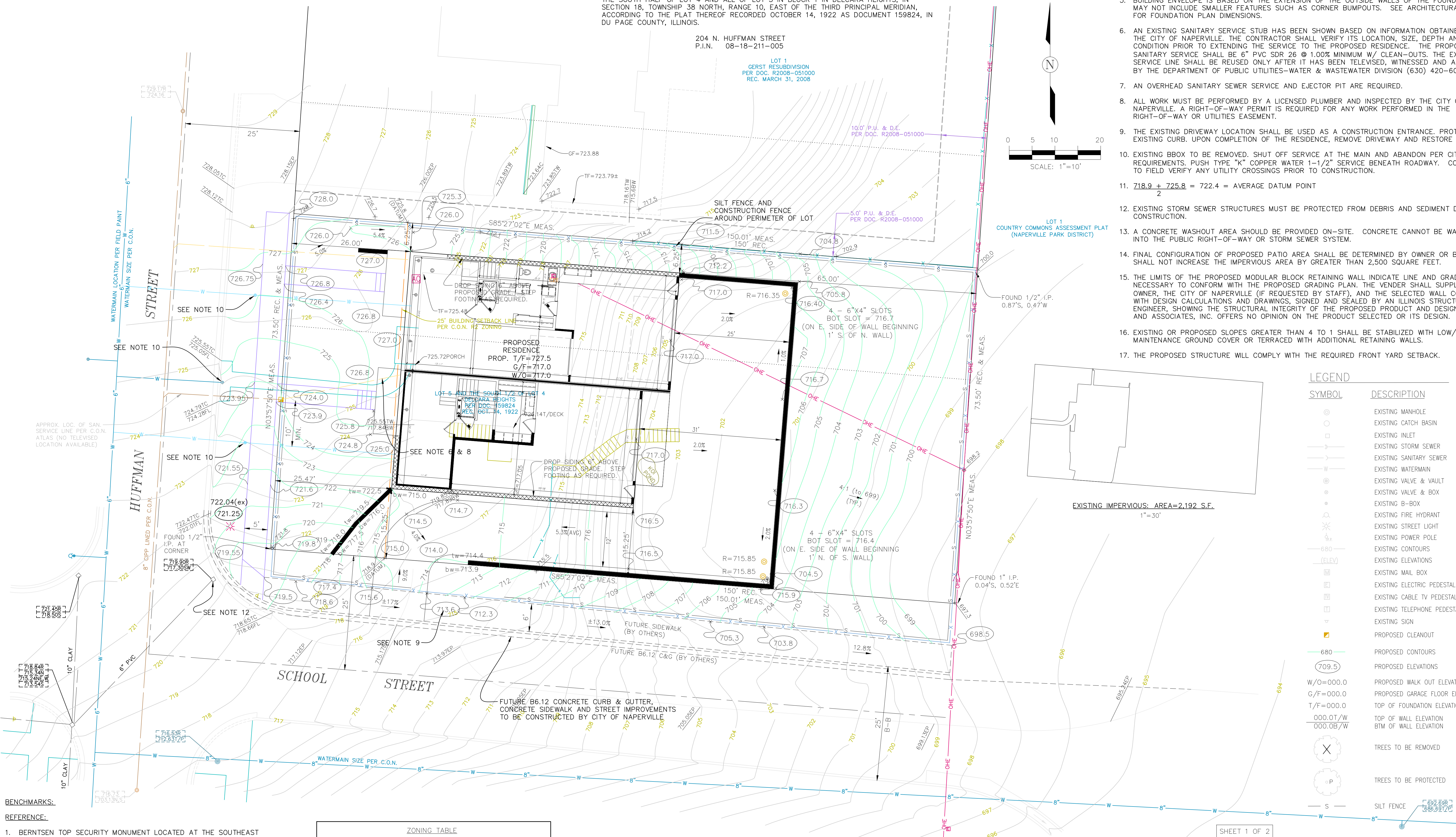
THE SOUTH HALF OF LOT 4 AND ALL OF LOT 5 IN BLOCK 1 IN DELCARA HEIGHTS, IN SECTION 18, TOWNSHIP 38 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 14, 1922 AS DOCUMENT 159824, IN DU PAGE COUNTY, ILLINOIS.

204 N. HUFFMAN STREET
P.I.N. 08-18-211-005

LOT 1
GERST RESUBDIVISION
PER DOC. R2008-051000
REC. MARCH 31, 2008



LOT 1
COUNTRY COMMONS ASSESSMENT PLAT
(NAPERVILLE PARK DISTRICT)



BENCHMARKS:

REFERENCE:

1. BERNTSEN TOP SECURITY MONUMENT LOCATED AT THE SOUTHEAST CORNER OF CHARLES STREET AND CHESHIRE LANE. CITY OF NAPERVILLE STATION NO. 1007 (NAVD 1988) ELEVATION=733.69

SITE:

2. CUT CROSS IN TOP OF CURB ON EAST SIDE OF HUFFMAN STREET ±18 FEET SOUTH OF NORTH LINE OF SUBJECT LOT. ELEVATION=726.66
3. CUT CROSS IN TOP OF CURB SOUTHEAST CORNER OF SCHOOL STREET AND HUFFMAN STREET LOCATED IN CURB RETURN TO THE EAST. ELEVATION=717.51

ZONING TABLE	
ZONING	R2 - SINGLE FAMILY AND LOW DENSITY MULTIPLE-FAMILY RESIDENTIAL DISTRICT
FRONT YARD	25 FEET
INTERIOR SIDEYARD (PRIOR 1/27/89)	6 FEET
INTERIOR SIDEYARD (AFTER 1/27/89)	6 FEET MINIMUM PER SIDE TOTAL OF 16 FEET
CORNER SIDEYARD	15 FEET
REAR YARD	25 FEET

SPECIAL NOTES:

1. WINDOW WELLS SHALL BE 6" BELOW TOP OF FOUNDATION UNLESS OTHERWISE NOTED.
2. DRIVEWAY WIDTH SHALL NOT EXCEED 20' AT R.O.W. LINE.
3. THIS PLAN MAY BE RELEASED FOR FOIA REQUESTS.
4. MAXIMUM SIDE SLOPE SHALL BE 4:1.
5. BUILDING ENVELOPE IS BASED ON THE EXTENSION OF THE OUTSIDE WALLS OF THE FOUNDATION BUT MAY NOT INCLUDE SMALLER FEATURES SUCH AS CORNER BUMP-OUTS. SEE ARCHITECTURAL PLANS FOR FOUNDATION PLAN DIMENSIONS.
6. AN EXISTING SANITARY SERVICE STUB HAS BEEN SHOWN BASED ON INFORMATION OBTAINED FROM THE CITY OF NAPERVILLE. THE CONTRACTOR SHALL VERIFY ITS LOCATION, SIZE, DEPTH AND CONDITION PRIOR TO EXTENDING THE SERVICE TO THE PROPOSED RESIDENCE. THE PROPOSED SANITARY SERVICE SHALL BE 6" PVC SDR 26 @ 1.00% MINIMUM W/ CLEAN-OUTS. THE EXISTING SERVICE LINE SHALL BE REUSED ONLY AFTER IT HAS BEEN TELEVIEWED, WITNESSED AND APPROVED BY THE DEPARTMENT OF PUBLIC UTILITIES-WATER & WASTEWATER DIVISION (630) 420-6082.
7. AN OVERHEAD SANITARY SEWER SERVICE AND EJECTOR PIT ARE REQUIRED.
8. ALL WORK MUST BE PERFORMED BY A LICENSED PLUMBER AND INSPECTED BY THE CITY OF NAPERVILLE. A RIGHT-OF-WAY PERMIT IS REQUIRED FOR ANY WORK PERFORMED IN THE RIGHT-OF-WAY OR UTILITIES EASEMENT.
9. THE EXISTING DRIVEWAY LOCATION SHALL BE USED AS A CONSTRUCTION ENTRANCE. PROTECT EXISTING CURB. UPON COMPLETION OF THE RESIDENCE, REMOVE DRIVEWAY AND RESTORE PARKWAY.
10. EXISTING BBOX TO BE REMOVED. SHUT OFF SERVICE AT THE MAIN AND ABANDON PER CITY REQUIREMENTS. PUSH TYPE "K" COPPER WATER 1-1/2" SERVICE BENEATH ROADWAY. CONTRACTOR TO FIELD VERIFY ANY UTILITY CROSSINGS PRIOR TO CONSTRUCTION.
11. $\frac{718.9 + 725.8}{2} = 722.4 =$ AVERAGE DATUM POINT
12. EXISTING STORM SEWER STRUCTURES MUST BE PROTECTED FROM DEBRIS AND SEDIMENT DURING CONSTRUCTION.
13. A CONCRETE WASHOUT AREA SHOULD BE PROVIDED ON-SITE. CONCRETE CANNOT BE WASHED OUT INTO THE PUBLIC RIGHT-OF-WAY OR STORM SEWER SYSTEM.
14. FINAL CONFIGURATION OF PROPOSED PATIO AREA SHALL BE DETERMINED BY OWNER OR BUILDER AND SHALL NOT INCREASE THE IMPERVIOUS AREA BY GREATER THAN 2,500 SQUARE FEET.
15. THE LIMITS OF THE PROPOSED MODULAR BLOCK RETAINING WALL INDICATE LINE AND GRADE NECESSARY TO CONFORM WITH THE PROPOSED GRADING PLAN. THE VENDER SHALL SUPPLY THE OWNER, THE CITY OF NAPERVILLE (IF REQUESTED BY STAFF), AND THE SELECTED WALL CONTRACTOR WITH DESIGN CALCULATIONS AND DRAWINGS, SIGNED AND SEALED BY AN ILLINOIS STRUCTURAL ENGINEER, SHOWING THE STRUCTURAL INTEGRITY OF THE PROPOSED PRODUCT AND DESIGN. ROAKE AND ASSOCIATES, INC. OFFERS NO OPINION ON THE PRODUCT SELECTED OR ITS DESIGN.
16. EXISTING OR PROPOSED SLOPES GREATER THAN 4 TO 1 SHALL BE STABILIZED WITH LOW/NO MAINTENANCE GROUND COVER OR TERRACED WITH ADDITIONAL RETAINING WALLS.
17. THE PROPOSED STRUCTURE WILL COMPLY WITH THE REQUIRED FRONT YARD SETBACK.

LEGEND

SYMBOL	DESCRIPTION
	EXISTING MANHOLE
	EXISTING CATCH BASIN
	EXISTING INLET
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATERMAIN
	EXISTING VALVE & VAULT
	EXISTING VALVE & BOX
	EXISTING B-BOX
	EXISTING FIRE HYDRANT
	EXISTING STREET LIGHT
	EXISTING POWER POLE
	EXISTING CONTOURS
	EXISTING ELEVATIONS
	EXISTING MAIL BOX
	EXISTING ELECTRIC PEDESTAL
	EXISTING CABLE TV PEDESTAL
	EXISTING TELEPHONE PEDESTAL
	EXISTING SIGN
	PROPOSED CLEANOUT
	PROPOSED CONTOURS
	PROPOSED ELEVATIONS
	PROPOSED WALK OUT ELEVATION
	PROPOSED GARAGE FLOOR ELEVATION
	TOP OF FOUNDATION ELEVATION
	TOP OF WALL ELEVATION
	BTM OF WALL ELEVATION
	TREES TO BE REMOVED
	TREES TO BE PROTECTED
	SILT FENCE

PREPARED FOR:

LAKEWEST

- COMPARE THE DESCRIPTION ON THIS PLAT WITH YOUR DEED, ABSTRACT, OR CERTIFICATE OF TITLE.
- COMPARE ALL POINTS ON THE GROUND BEFORE BUILDING BY SAME AND REPORT ANY DIFFERENCE AT ONCE.
- BUILDING LINES AND EASEMENTS INDICATED HAVE BEEN TAKEN FROM THE ORIGINAL RECORDED SUBDIVISION PLAT. FOR SUBSEQUENT EASEMENTS AND BUILDING LINES ADDED, ALTERED, OR NOT DEPICTED HEREIN, REFER TO YOUR TITLE POLICY, DEED, OR INSTRUMENT CREATING SAME.
- IRON PIPE AT ALL LOT CORNERS UNLESS OTHERWISE NOTED.

TYPE	DRN BY	DATE	JOB NO.
TOPO	PRS	12/03/13	135.130400
PLOT PLAN	CPV	02/20/19	190-575
FNDR			
GRADING			
MTG			
SCALE: 1" = 10'		CURRENT JOB NO.:	