

**OWNER’S ACKNOWLEDGEMENT AND ACCEPTANCE AGREEMENT**  
**FOR AVENIDA – NAPERVILLE**

This Owner’s Acknowledgement and Acceptance Agreement (“**Agreement**” or “**OAA**”) is entered into by and between the City of Naperville, a home rule unit of local government under the Constitution and laws of the State of Illinois (hereinafter referred to as the “**City**”), with an address of 400 South Eagle Street, Naperville, Illinois 60540, and Avenida Senior Living, LLC (hereinafter referred to as the “**OWNER AND DEVELOPER**”), with an address of 130 Newport Center Drive, Suite 220, Newport Beach, CA 92660 registered to do business in the State of Illinois. **CITY** and **OWNER AND DEVELOPER** are together hereinafter referred to as the “**Parties**” and sometimes individually as “**Party**”.

**RECITALS**

A. This Agreement pertains to certain real property within the corporate limits of the City of Naperville located at 504 Commons Road, Naperville, Illinois 60563, commonly known as Avenida - Naperville (hereinafter referred to as the “**SUBJECT PROPERTY**”), legally described on **Exhibit A** and depicted on **Exhibit B** attached hereto and made part hereof (hereinafter “**Subject Property**”).

B. On September 19, 2017, the following ordinances were approved for the Subject Property:

17-142 – An ordinance authorizing the execution of annexation agreement for the property located at 504 Commons Road (Avenida)

17-143 – An ordinance annexing certain property located at 504 Commons Road (Avenida)

17-144 – An ordinance rezoning the property located at 504 Commons Road (Avenida) to OCI (Office, Commercial and Institutional District)

17-145 – An ordinance approving the preliminary plat of subdivision and deviations to Municipal Code Section 7-3-5 for Avenida

17-146 – An ordinance approving a conditional use in the OCI (Office, Commercial and Institutional) zoning district for multi-family dwelling units and variances to 6-7F-5 (OCI: Area Requirements) and 6-9-3:1 (Off-Street Parking Facilities: Residential Uses) of the Naperville Municipal Code for the property at 504 Commons Road (Avenida)

C. By entering into this Agreement, the City is acting pursuant to its home rule authority under the Constitution and laws of the State of Illinois

**NOW THEREFORE, by and through the City’s home rule authority, and in consideration of the mutual promises and agreements set forth herein, the parties agree as follows:**

1. **Recitals Incorporated.** The foregoing Recitals are incorporated herein as though fully set forth in this Section 1.
  
2. **Compliance.** OWNER AND DEVELOPER, shall pay all fees and fulfill all other special conditions set forth or referenced below in addition to the requirements set forth in the Naperville Municipal Code as amended from time to time, the Statement of General Conditions attached hereto as **Exhibit C**, and all ordinances and resolutions by the City Council related to the SUBJECT PROPERTY including but not limited to the ordinance approving the final subdivision plat for the SUBJECT PROPERTY approved by Ordinance No.\_\_\_\_\_. Said fees shall not be paid under protest or otherwise objected to.
  
3. **Effect of Annexation Agreement.** An annexation agreement (“Annexation Agreement”) for the SUBJECT PROPERTY was approved by the Naperville City Council on September 19, 2017 by Ordinance No. 17-142. Recordation of said Annexation Agreement was delayed by agreement of the Parties until the OWNER AND DEVELOPER, then the contract purchaser of the SUBJECT PROPERTY, acquired ownership of the SUBJECT PROPERTY. The terms, conditions, and provisions of the Annexation Agreement, including all exhibits thereto, are affirmed by this Agreement. The Annexation Agreement shall be recorded prior to recordation of this Agreement.
  1. **Engineering Review Fee.** \$13,285.61 (1.5% of the approved engineer’s cost estimate). This fee is due prior to recording the Final Plat of Subdivision for the SUBJECT PROPERTY.
  2. **Financial Surety.** Surety, as set forth in the Annexation Agreement, shall be provided and maintained by the OWNER AND DEVELOPER in the amount of \$974,278.42 (110% of the approved engineer’s cost estimate).
  3. **Watermain Cost Sharing.** Pursuant to Section S17.0 of the Annexation Agreement, the CITY agrees to reimburse the OWNER AND DEVELOPER the Differential Cost, as such term is defined in the Annexation Agreement, of the watermain upsizing in the amount of \$17,560.00.
  4. **Installation of Street Lights.** The Parties hereto hereby clarify the provisions of Section S13 of the Annexation Agreement as follows:

Section S13.1 of the Annexation Agreement requires the OWNER AND DEVELOPER to install street lights across the Mill Street frontage of the SUBJECT PROPERTY and the HarborChase development which is located directly north of the SUBJECT PROPERTY in accord with final engineering plans approved by the City Engineer. The Annexation Agreement further provides that said street lights shall be installed on one or both sides of Mill Street as determined by the DuPage County Department of Transportation and

the CITY (hereinafter "Mill Street - Street Light Determination"). Section S13.2 of the Annexation Agreement requires the OWNER AND DEVELOPER to install said street lights within three (3) years of issuance of a building permit for any portion of the SUBJECT PROPERTY or within such other timeframe as agreed to in writing by the City Engineer.

Since it is not known when the Mill Street - Street Light Determination will be made, the Parties agree that the OWNER AND DEVELOPER shall complete the installation of said street lights in accord with the Mill Street - Street Light Determination, and in accord with final engineering plans approved by the City Engineer, within three (3) years of issuance of a building permit for any portion of the SUBJECT PROPERTY or within one (1) year of the Mill Street - Street Light Determination being made and communicated to the OWNER AND DEVELOPER, whichever is later. Said timeframe may be modified by the written agreement of the OWNER AND DEVELOPER and the City Engineer.

Surety for street lights sufficient to install street lights on both sides of Mill Street, as provided for in the final engineering plans approved by the City Engineer, shall not be released by the CITY until the OWNER AND DEVELOPER has completed installation of street lights in accord with the Mill Street - Street Light Determination, in accord with final engineering plans approved by the City Engineer, and such installation has been approved by the City Engineer.

If the Mill Street - Street Light Determination reflects that no street lights are required, the OWNER AND DEVELOPER shall be relieved of responsibility for their installation and their surety shall be released.

#### **5. Development Plans.**

Preliminary landscape plans, building elevations, and site plans for the Subject Property were approved pursuant to Ordinance No. 17-146 (hereinafter "Development Plans"). OWNER AND DEVELOPER shall develop the Subject Property in accordance with said Development Plans as the same have been finalized in substantial conformity with the preliminary plans, as follows:

- (a) The final landscape plan attached hereto as **Exhibit D;**
- (b) The final building elevations attached hereto as **Exhibit E;** and
- (c) The final site plan, including but not limited to building and parking setbacks, access, parking, floor area, and site layout, attached hereto as **Exhibit F.**

Modifications to any of the Development Plans shall be processed in accordance with Section 6-3-8:5, Changes to Approved Conditional Uses, of the Naperville Municipal Code, as may be amended from time to time.

6. **Binding Effect.** This Agreement will be recorded with the Office of the DuPage County Recorder. The undersigned acknowledge and agree that the terms contained herein shall be binding upon and inure to the benefit of the City of Naperville, the OWNER AND DEVELOPER, and the successors, assigns, and any subsidiary, affiliate or parent of the OWNER AND DEVELOPER.

7. **General Provisions.**

7.1 Severability. It is mutually understood and agreed that all agreements and covenants herein are severable and that in the event any of them shall be held to be invalid by any court of competent jurisdiction, this Agreement shall be interpreted as if such invalid agreement or covenant were not contained herein.

7.2 Amendment. Except as otherwise provided herein, the agreements, covenants, terms and conditions contained may be modified only through the written mutual consent of the Parties hereto.

7.3 Choice of Law and Venue. This Agreement shall in all respects be subject to and construed in accordance with and governed by the laws of the State of Illinois. Venue for any action arising out of the terms or conditions of this Agreement shall be proper only in the Circuit Court for the Eighteenth Judicial Circuit, DuPage County, Illinois.

7.4 Ambiguity. If any term of this Agreement is ambiguous, it shall not be construed for or against any Party on the basis that the party did or did not write it.

7.5 Authority to Modify Timeframes. Any provision herein which sets forth a timeframe for completion of any obligation may be revised upon written agreement of the City Engineer and the OWNER AND DEVELOPER.

7.6 Attorney's Fees. OWNER AND DEVELOPER shall be liable for any attorney's fees (whether in-house or outside counsel), costs, and expenses resulting from the CITY'S enforcement of this Agreement if the CITY prevails in an enforcement proceeding before a court of competent jurisdiction.

7.7 Exhibits. Each exhibit attached or referenced herein shall be considered incorporated herein and made part hereof

The Parties hereto voluntarily agree to the provisions set forth herein. The undersigned warrants that it is lawfully authorized to execute this Agreement on

behalf of the OWNER AND DEVELOPER and that as of the date of execution of this Agreement the OWNER AND DEVELOPER is the owner in fee simple of the SUBJECT PROPERTY. Prior to execution of this Agreement by the CITY, the OWNER AND DEVELOPER shall provide the CITY with evidence that the OWNER AND DEVELOPER is the owner in fee simple of the SUBJECT PROPERTY and that the undersigned has legal authority to execute this Agreement on behalf of the OWNER AND DEVELOPER.

/SIGNATURES ON FOLLOWING PAGES/

**OWNER AND DEVELOPER:**

**By:** \_\_\_\_\_

Printed Name: \_\_\_\_\_

Title: \_\_\_\_\_

The foregoing instrument was acknowledged before me by \_\_\_\_\_, this  
\_\_\_\_\_ day of \_\_\_\_\_, 2018.

\_\_\_\_\_  
Notary Public

**CITY OF NAPERVILLE**

By: \_\_\_\_\_  
Douglas A. Krieger  
City Manager

Attest

By: \_\_\_\_\_  
Pam Gallahue, Ph.D.  
City Clerk

DATE: \_\_\_\_\_

LEGAL DESCRIPTION

THAT PART OF NAPER VILLA MANOR, BEING A SUBDIVISION IN THE SOUTH HALF OF SECTION 1 AND IN THE NORTH HALF OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 21, 1926 AS DOCUMENT 213969, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF LOT 32 IN BLOCK 13 OF SAID NAPER VILLA MANOR: THENCE NORTH 87 DEGREES 41 MINUTES 36 SECONDS EAST ALONG THE NORTH LINE OF BLOCK 13 AND ALONG SAID NORTH LINE EXTENDED EAST, 570.81 FEET TO THE NORTHEAST CORNER OF SAID BLOCK 14; THENCE SOUTH 00 DEGREES 28 MINUTES 08 SECONDS WEST ALONG THE EAST LINE OF SAID BLOCK 14, A DISTANCE OF 565.38 FEET; THENCE SOUTH 87 DEGREES 35 MINUTES 03 SECONDS WEST, 214.62 FEET TO THE CENTERLINE OF VACATED EWING STREET PER PLAT OF VACATION RECORDED SEPTEMBER 14, 2004 AS DOCUMENT NUMBER R2004-241006; THENCE NORTHERLY ALONG SAID CENTERLINE BEING AN ARC OF A CURVE CONCAVE TO THE NORTHEAST AND NONTANGENT TO THE LAST DESCRIBED LINE, HAVING A RADIUS OF 174.76 FEET, HAVING A CHORD BEARING OF NORTH 27 DEGREES 45 MINUTES 48 SECONDS WEST, 172.23 FEET TO A POINT OF TANGENCY; THENCE NORTH 00 DEGREES 28 MINUTES 08 SECONDS EAST ALONG SAID CENTERLINE OF VACATED EWING STREET, 24.48 FEET TO THE SOUTH LINE, EXTENDED EAST, OF LOT 7 IN SAID BLOCK 13; THENCE SOUTH 87 DEGREES 41 MINUTES 36 SECONDS WEST ALONG SAID SOUTH LINE, EXTENDED EAST, AND ALONG THE SOUTH LINE OF SAID LOT 7, A DISTANCE OF 162.97 FEET TO THE SOUTHWEST CORNER OF SAID LOT 7, BEING ALSO THE NORTHEAST CORNER OF LOT 25 IN SAID BLOCK 13; THENCE SOUTH 00 DEGREES 28 MINUTES 08 SECONDS WEST ALONG THE EAST LINE OF SAID LOT 25 IN BLOCK 13, A DISTANCE OF 16.58 FEET TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY ALONG THE NORTHEASTERLY LINES OF LOTS 25, 24, 23, 22 AND 21 IN SAID BLOCK 13, BEING AN ARC OF A CURVE CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 337.54 FEET, HAVING A CHORD BEARING OF SOUTH 09 DEGREES 06 MINUTES 33 SECONDS EAST, 112.85 FEET TO THE MOST EASTERLY CORNER OF SAID LOT 21; THENCE SOUTH 72 DEGREES 28 MINUTES 38 SECONDS WEST ALONG THE SOUTHEASTERLY LINE OF SAID LOT 21 IN BLOCK 13, A DISTANCE OF 114.82 FEET TO THE MOST SOUTHERLY CORNER OF SAID LOT 21; THENCE NORTHWESTERLY ALONG THE WESTERLY LINE OF SAID BLOCK 13, BEING AN ARC OF A CURVE CONCAVE TO THE NORTHEAST AND NONTANGENT TO THE LAST DESCRIBED LINE, HAVING A RADIUS OF 452.34 FEET, HAVING A CHORD BEARING OF NORTH 08 DEGREES 57 MINUTES 38 SECONDS WEST, 148.90 FEET TO A POINT OF TANGENCY; THENCE NORTH 00 DEGREES 28 MINUTES 08 SECONDS EAST ALONG SAID WESTERLY LINE OF BLOCK 13, A DISTANCE OF 402.86 FEET TO THE PLACE OF BEGINNING, ALL IN DUPAGE COUNTY, ILLINOIS.

PINs: 07-12-205-001; 07-12-205-002; 07-12-205-003; 07-12-205-004; 07-12-205-005; 07-12-205-006; 07-12-205-007; 07-12-205-008; 07-12-205-009; 07-12-205-010; 07-12-

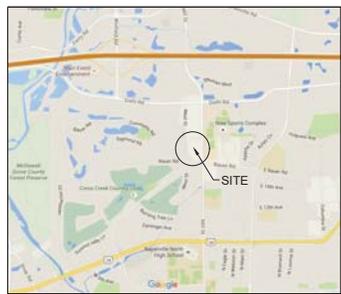
205-011; 07-12-205-012; 07-12-205-041; 07-12-205-044; 07-12-206-009; 07-12-206-010; 07-12-206-011; 07-12-206-012; 07-12-206-013; 07-12-206-014; 07-12-206-015; 07-12-206-016; 07-12-206-021; 07-12-206-022.

Common Address: 504 Commons Road Naperville, IL 60563

# FINAL PLAT OF SUBDIVISION OF AVENIDA

PART THE SOUTH HALF OF SECTION 1 AND IN THE NORTH HALF OF SECTION 12, TOWNSHIP  
38 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

PIN NUMBERS:		
07-12-205-001	07-12-205-009	07-12-206-011
07-12-205-002	07-12-205-010	07-12-206-012
07-12-205-003	07-12-205-011	07-12-206-013
07-12-205-004	07-12-205-012	07-12-206-014
07-12-205-005	07-12-205-013	07-12-206-015
07-12-205-006	07-12-205-014	07-12-206-016
07-12-205-007	07-12-205-015	07-12-206-017
07-12-205-008	07-12-206-010	07-12-206-022



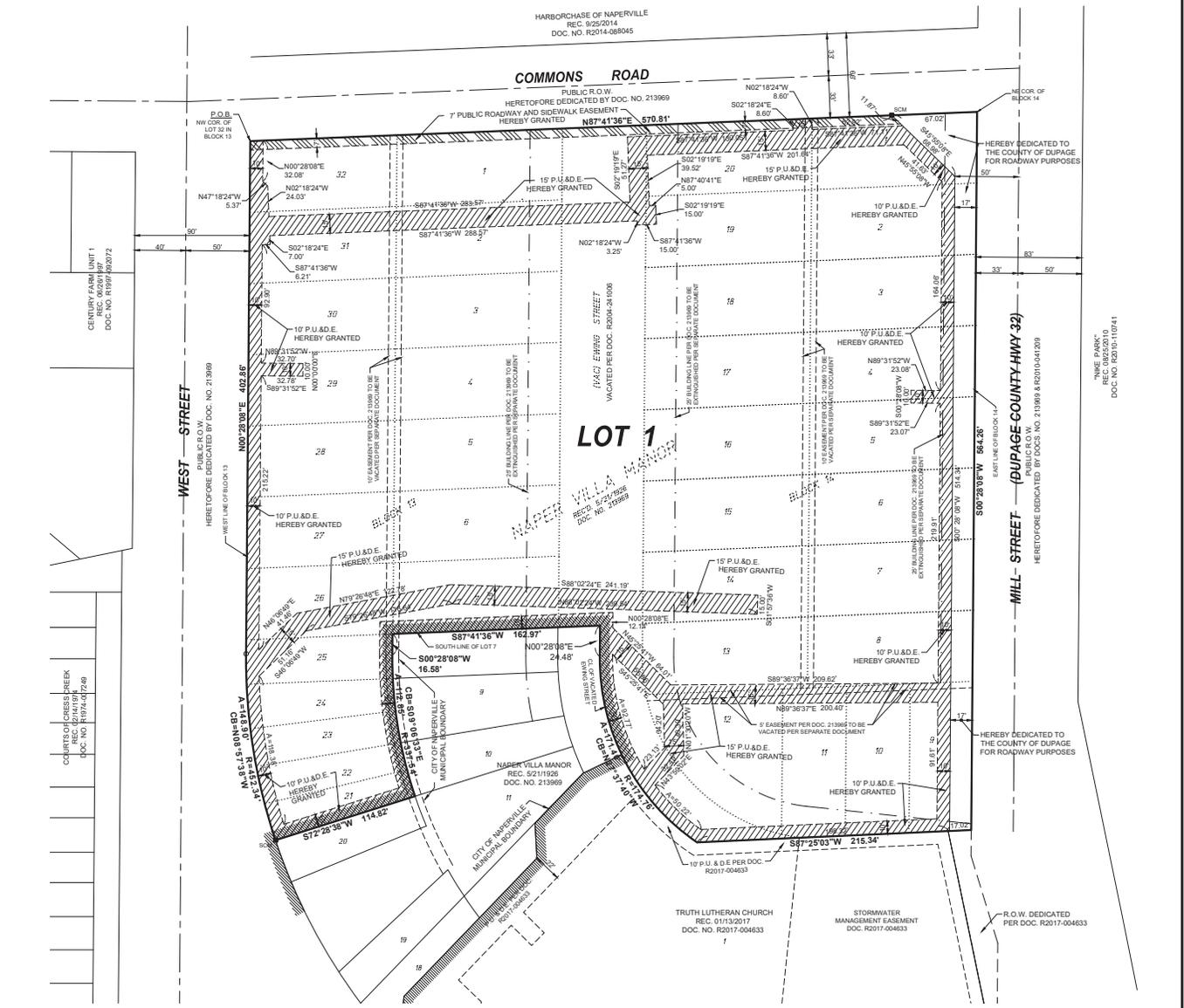
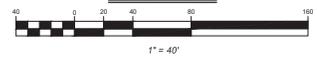
VICINITY MAP  
NOT TO SCALE

THIS PLAT HAS BEEN SUBMITTED FOR RECORDING BY AND RETURN TO:  
NAME: NAPERVILLE CITY CLERK  
ADDRESS: 303 S. EARLE STREET  
NAPERVILLE, IL 60540

### BASIS OF BEARINGS

THE BASIS OF BEARINGS IS THE STATE PLANE COORDINATE SYSTEM (SPCS) NAD 83 (2007) ZONE 1201 (ILLINOIS EAST) WITH PROJECT ORIGIN AT:  
LATITUDE: 41-47-46.45274 N  
LONGITUDE: 88-09-17.83602 W  
ELEVATION HEIGHT: 617.861  
GROUND SCALE FACTOR: 1.0000517842  
ALL MEASUREMENTS ARE ON THE GROUND.

### GRAPHIC SCALE



### AREA TABLE

LOT 1	276,335 SQ. FT.	6.3438 ACRES
R.O.W.	10,830 SQ. FT.	0.2488 ACRES
TOTAL	287,165 SQ. FT.	6.5924 ACRES

### EASEMENT AREA

PUBLIC UTILITY AND DRAINAGE EASEMENT	39,416 SQ. FT.	0.9048 ACRES
PUBLIC ROADWAY AND SIDEWALK EASEMENT	3,551 SQ. FT.	0.2488 ACRES

### SURVEYOR'S NOTES:

- DIMENSIONS ALONG CURVED LINES ARE ARC LENGTHS.
- ONCE THE PLAT SHOWN HEREON IS RECORDED, AND UPON THE COMPLETION OF CONSTRUCTION, 3/4" IRON PIPES WITH PLASTIC CAPS SHALL BE SET AT ALL LOT CORNERS AND CHANGES IN GEOMETRY, UNLESS SHOWN OTHERWISE.

### LEGEND

- SUBDIVISION BOUNDARY LINE
- RIGHT-OF-WAY LINE
- - - EXISTING EASEMENT LINE
- · - · - · PROPOSED EASEMENT LINE
- CENTER LINE
- UNDERLYING LOT LINE
- MUNICIPAL LIMITS
- ▨ P.U. & D.E. HEREBY GRANTED
- ▨ PUBLIC ROADWAY AND SIDEWALK EASEMENT HEREBY GRANTED
- XX UNDERLYING LOT NUMBER
- N NORTH
- S SOUTH
- E EAST
- W WEST
- CB CHORD BEARING
- A ARC LENGTH
- R RADIUS
- P.U. & D.E. PUBLIC UTILITY AND DRAINAGE EASEMENT
- R.O.W. RIGHT-OF-WAY
- (0.00) RECORD DATUM
- 0.00' CALCULATED DATUM
- SCM SET CONCRETE MONUMENT
- P.O.B. POINT OF BEGINNING

### OWNER & SUBDIVIDER:

AVENIDA PARTNERS, LLC  
19700 FAIRCHILD RD - STE 170  
IRVINE, CA 92612

### SURVEYOR:

V3 COMPANIES  
7325 JAMES AVE, SUITE 100  
WOODBRIDGE, IL 60517

City Project Number 17-10000150

**V** Engineers  
7325 James Avenue, Suite 100  
Woodridge, IL 60517  
630.724.5200 voice  
630.724.0384 fax  
v3co.com  
Surveyors

PREPARED FOR:  
**AVENIDA PARTNERS, LLC**  
19700 FAIRCHILD RD - STE 170  
IRVINE, CA 92612  
949-734-7810

REVISIONS

NO.	DATE	DESCRIPTION
1.	02-18-18	INITIAL SUBMISSION
2.	03-16-18	REVISION PER CITY COMMENTS DATED 03-08-2018 AND REVISE PUBLIC UTILITY EASEMENT
3.	04-09-18	REVISED PER CITY COMMENTS

EXHIBIT B

**FINAL PLAT OF SUBDIVISION**

AVENIDA - NAPERVILLE, ILLINOIS

DRAFTING COMPLETED: 12-19-17	DRAWN BY: EJM, MLP	PROJECT MANAGER: CWB	SHEET NO. 1 of 2
FIELD WORK COMPLETED: N/A	CHECKED BY: CWB	SCALE: 1" = 40'	

Project No: 16130  
Group No: VP04.6

FINAL PLAT OF SUBDIVISION OF AVENIDA

PIN NUMBERS: 07-12-205-001 07-12-205-009 07-12-206-011 07-12-205-002 07-12-205-010 07-12-206-012 07-12-205-003 07-12-205-011 07-12-206-013 07-12-205-004 07-12-205-012 07-12-206-014 07-12-205-005 07-12-205-041 07-12-206-015 07-12-205-006 07-12-205-044 07-12-206-016 07-12-205-009 07-12-206-021 07-12-205-008 07-12-206-010 07-12-206-022

PART THE SOUTH HALF OF SECTION 1 AND IN THE NORTH HALF OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

OWNER'S CERTIFICATE

STATE OF ILLINOIS )
COUNTY OF DU PAGE )
THIS IS TO CERTIFY THAT \_\_\_\_\_ IS THE OWNER OF THE PROPERTY DESCRIBED ABOVE AND AS SUCH OWNER, HAS CAUSED THE SAME TO BE PLATTED AS SHOWN HEREON FOR THE USES AND PURPOSES THEREIN SET FORTH AND AS ALLOWED AND PROVIDED BY STATUTES, AND SAID OWNER, DOES HEREBY ACKNOWLEDGE AND ACCEPT THE SAME UNDER THE STYLE AND TITLE AFORESAID.

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS )
COUNTY OF DU PAGE )
APPROVED AND ACCEPTED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF NAPERVILLE, ILLINOIS, AT A MEETING HELD
THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.
BY: \_\_\_\_\_ MAYOR ATTEST: \_\_\_\_\_ CITY CLERK

PUBLIC UTILITIES AND DRAINAGE EASEMENT CERTIFICATE

EASEMENTS ARE HEREBY RESERVED FOR AND GRANTED TO THE CITY OF NAPERVILLE, ILLINOIS ("CITY") AND TO THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE OR CONTRACT WITH THE CITY OR OTHER PUBLIC UTILITIES BY THE CITY, INCLUDING BUT NOT LIMITED TO ILLINOIS BELL TELEPHONE COMPANY DBA AT&T ILLINOIS, NICOR GAS COMPANY, AND THEIR SUCCESSORS AND ASSIGNS, OVER, UPON, UNDER AND THROUGH ALL OF THE AREAS MARKED "PUBLIC UTILITIES AND DRAINAGE EASEMENTS" OR ("P.U.&D.E.") ON THE PLAT FOR THE PERPETUAL, RIGHT, PRIVILEGE AND AUTHORITY TO INSTALL, SURVEY, CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN, AND OPERATE VARIOUS UTILITY TRANSMISSION AND DISTRIBUTION SYSTEMS, COMMUNITY ANTENNAE TELEVISION SYSTEMS AND INCLUDING STORM AND SANITARY SEWERS, TOGETHER WITH ANY AND NECESSARY MANHOLES, CATCHBASINS, CONNECTIONS, APPLIANCES, AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID CITY, OVER, UPON, UNDER AND THROUGH SAID INDICATED EASEMENTS, TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE PROPERTY FOR NECESSARY PERSONNEL AND EQUIPMENT TO DO ANY OF THE ABOVE WORK.

NOTARY'S CERTIFICATE

STATE OF ILLINOIS )
COUNTY OF \_\_\_\_\_ )
I, \_\_\_\_\_ A NOTARY PUBLIC IN AND FOR THE SAID COUNTY IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT \_\_\_\_\_ AND \_\_\_\_\_ PRINT NAME AND \_\_\_\_\_ PRINT NAME OF SAID OWNER, WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FORGOING INSTRUMENT AS SUCH \_\_\_\_\_ AND \_\_\_\_\_ RESPECTFULLY, APPEARED BEFORE ME THIS DAY IN PERSON AND JOINTLY AND SEVERALLY ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID OWNER FOR THE USES AND PURPOSES THEREIN SET FORTH.

CITY TREASURER'S CERTIFICATE

STATE OF ILLINOIS )
COUNTY OF DU PAGE )
I, TREASURER FOR THE CITY OF NAPERVILLE, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE ANNEXED PLAT.
DATED AT NAPERVILLE, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.
CITY TREASURER / DIRECTOR, FINANCE DEPARTMENT

THE RIGHT IS ALSO GRANTED TO TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE SEWERS OR OTHER UTILITIES. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENTS, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS. WHERE AN EASEMENT IS USED BOTH FOR SEWERS AND OTHER UTILITIES, THE OTHER UTILITY INSTALLATION SHALL BE SUBJECT TO THE ORDINANCES OF THE CITY OF NAPERVILLE.
EASEMENTS ARE HEREBY RESERVED AND GRANTED TO THE CITY OF NAPERVILLE AND OTHER GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OF THE LAND SUBDIVIDED HEREBY OVER THE ENTIRE EASEMENT AREA FOR INGRESS, EGRESS, AND THE PERFORMANCE OF MUNICIPAL AND OTHER GOVERNMENTAL SERVICES, INCLUDING BUT NOT LIMITED TO, WATER, STORM AND SANITARY SEWER SERVICE AND MAINTENANCE.

NOTARY PUBLIC SIGNATURE
PRINT NAME
MY COMMISSION EXPIRES ON \_\_\_\_\_ DATE \_\_\_\_\_ 20\_\_\_\_.

STATE OF ILLINOIS )
COUNTY OF \_\_\_\_\_ )
TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

PUBLIC ROADWAY AND SIDEWALK EASEMENT CERTIFICATE

A PERMANENT PUBLIC ROADWAY AND SIDEWALK EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF NAPERVILLE, ITS SUCCESSORS AND ASSIGNS OVER THE AREAS MARKED "PUBLIC ROADWAY AND SIDEWALK EASEMENT" ON THE PLAT FOR THE PERPETUAL, RIGHT, PRIVILEGE AND AUTHORITY TO CONSTRUCT, RECONSTRUCT, AND REPAIR THE PUBLIC ROADWAY AND SIDEWALK WITHIN THE SUBJECT EASEMENT AREA TOGETHER WITH ANY AND ALL NECESSARY BY SAID CITY, OVER, UPON, ALONG AND THROUGH SAID INDICATED EASEMENT TOGETHER WITH RIGHT OF INGRESS AND EGRESS ACROSS THE PROPERTY FOR PEDESTRIAN TRAFFIC AND FOR THE NECESSARY MEN AND EQUIPMENT TO DO ANY OF THE ABOVE WORK. THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE PUBLIC ROADWAY AND SIDEWALKS. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENT, BUT SAME MAY BE USED FOR LAWNS AND LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS.

SCHOOL DISTRICT BOUNDARY CERTIFICATE

STATE OF ILLINOIS )
COUNTY OF \_\_\_\_\_ )
THE UNDERSIGNED, BEING DULY SWORN, UPON HIS/HER OATH DEPOSES AND STATES AS FOLLOWS:
1. THAT \_\_\_\_\_ IS THE OWNER OF THE PROPERTY LEGALLY DESCRIBED ON THIS PLAT OF SUBDIVISION, WHICH HAS BEEN SUBMITTED TO THE CITY OF NAPERVILLE FOR APPROVAL, WHICH LEGAL DESCRIPTION IS INCORPORATED HEREIN BY REFERENCE, AND
2. TO THE BEST OF THE OWNER'S KNOWLEDGE, THE SCHOOL DISTRICT IN WHICH TRACT, PARCEL, LOT OR BLOCK OF THE PROPOSED SUBDIVISION LIES IS:
NAPERVILLE COMMUNITY UNIT DISTRICT 203
203 W. HILLSIDE ROAD
NAPERVILLE, ILLINOIS 60540-6589
OWNER NAME: \_\_\_\_\_
BY: \_\_\_\_\_ ATTEST: \_\_\_\_\_
ITS: \_\_\_\_\_ ITS: \_\_\_\_\_
SUBSCRIBED AND SWORN BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.
ILLINOIS REGISTERED PROFESSIONAL ENGINEER
STATE REGISTRATION NUMBER \_\_\_\_\_
REGISTRATION EXPIRATION / RENEWAL DATE \_\_\_\_\_
OWNER COMPANY NAME: \_\_\_\_\_
BY: \_\_\_\_\_ ATTEST: \_\_\_\_\_
TITLE: \_\_\_\_\_ PRINT TITLE \_\_\_\_\_

PERMISSION TO RECORD

STATE OF ILLINOIS )
COUNTY OF DUPAGE )
I, CHARLES W. BARTOSZ, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF ILLINOIS, HEREBY DESIGNATE THE CITY CLERK OF THE CITY OF NAPERVILLE TO RECORD THIS PLAT OF SUBDIVISION OF AVENIDA WITH THE DUPAGE COUNTY RECORDER OF DEEDS AND REGISTRAR OF TITLE. THIS DESIGNATION IS GRANTED UNDER THE RIGHT TO DESIGNATE SUCH RECORDING UNDER CHAPTER 109, SECTION 2 OF THE ILLINOIS REVISED STATUTES.
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.



DUPAGE COUNTY ENGINEER CERTIFICATE

STATE OF ILLINOIS )
COUNTY OF DUPAGE )
THIS PLAT HAS BEEN APPROVED BY THE DU PAGE COUNTY DIVISION OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS TO COUNTY HIGHWAY 12 WILL STREET PURSUANT TO 765 ICS 205/2 et seq. HOWEVER, A HIGHWAY PERMIT FOR ACCESS IS REQUIRED OF THE OWNER OF THE PROPERTY PRIOR TO CONSTRUCTION WITHIN THE COUNTY RIGHT-OF-WAY.
DATED HIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.
COUNTY ENGINEER

SURVEYOR'S CERTIFICATE

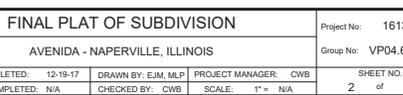
STATE OF ILLINOIS )
COUNTY OF DUPAGE )
THIS IS TO CERTIFY THAT I, CHARLES W. BARTOSZ, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3188, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:
THAT PART OF NAPER VILLA MANOR, BEING A SUBDIVISION IN THE SOUTH HALF OF SECTION 1 AND IN THE NORTH HALF OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREIN RECORDED MAY 21, 1928 AS DOCUMENT 213969, DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHWEST CORNER OF LOT 32 IN BLOCK 13 OF SAID NAPER VILLA MANOR, THENCE NORTH 87 DEGREES 41 MINUTES 36 SECONDS EAST ALONG THE NORTH LINE OF BLOCK 13 AND ALONG SAID NORTH LINE EXTENDED EAST, 570.81 FEET TO THE NORTHEAST CORNER OF BLOCK 14 OF SAID NAPER VILLA MANOR; THENCE SOUTH 00 DEGREES 28 MINUTES 08 SECONDS WEST ALONG THE EAST LINE OF SAID BLOCK 14, A DISTANCE OF 564.26 FEET; THENCE SOUTH 87 DEGREES 25 MINUTES 03 SECONDS WEST, 215.34 FEET TO THE CENTERLINE OF VACATED EWING STREET PER PLAT OF VACATION RECORDED SEPTEMBER 14, 2004 AS DOCUMENT NUMBER R2004-241006; THENCE NORTHERLY ALONG SAID CENTERLINE BEING AN ARC OF A CURVE CONCAVE TO THE NORTHEAST AND NONTANGENT TO THE LAST DESCRIBED LINE, HAVING A RADIUS OF 174.79 FEET, HAVING A CHORD BEARING OF NORTH 27 DEGREES 37 MINUTES 40 SECONDS WEST, 171.40 FEET TO A POINT OF TANGENCY; THENCE NORTH 00 DEGREES 28 MINUTES 08 SECONDS EAST ALONG SAID CENTERLINE OF VACATED EWING STREET, 24.48 FEET TO THE SOUTH LINE, EXTENDED EAST, OF LOT 1 IN SAID BLOCK 13; THENCE SOUTH 87 DEGREES 41 MINUTES 36 SECONDS WEST ALONG SAID NORTH LINE, EXTENDED EAST, AND ALONG THE SOUTH LINE OF SAID LOT 7, A DISTANCE OF 162.97 FEET TO THE SOUTHWEST CORNER OF SAID LOT 7, BEING ALSO THE NORTHEAST CORNER OF LOT 25 IN SAID BLOCK 13; THENCE SOUTH 00 DEGREES 28 MINUTES 08 SECONDS WEST ALONG THE EAST LINE OF SAID LOT 25 IN BLOCK 13, A DISTANCE OF 16.58 FEET TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY ALONG THE NORTHEASTERLY LINES OF LOTS 25, 24, 23, 22 AND 21 IN SAID BLOCK 13, BEING AN ARC OF A CURVE CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 371.54 FEET HAVING A CHORD BEARING OF SOUTH 08 DEGREES 06 MINUTES 33 SECONDS EAST, 112.85 FEET TO THE MOST EASTERLY CORNER OF SAID LOT 21; THENCE SOUTH 72 DEGREES 28 MINUTES 38 SECONDS WEST ALONG THE SOUTHEASTERLY LINE OF SAID LOT 21 IN BLOCK 13, A DISTANCE OF 114.82 FEET TO THE MOST SOUTHERLY CORNER OF SAID LOT 21; THENCE NORTHWESTERLY ALONG THE WESTERLY LINE OF SAID BLOCK 13, BEING AN ARC OF A CURVE CONCAVE TO THE NORTHEAST AND NONTANGENT TO THE LAST DESCRIBED LINE, HAVING A RADIUS OF 452.34 FEET, HAVING A CHORD BEARING OF NORTH 08 DEGREES 57 MINUTES 38 SECONDS WEST, 148.90 FEET TO A POINT OF TANGENCY; THENCE NORTH 00 DEGREES 28 MINUTES 08 SECONDS EAST ALONG SAID WESTERLY LINE OF BLOCK 13, A DISTANCE OF 402.89 FEET TO THE PLACE OF BEGINNING, ALL IN DUPAGE COUNTY, ILLINOIS.
AS SHOWN ON THIS SUBDIVISION PLAT, WHICH IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. I FURTHER CERTIFY THAT ALL REGULATIONS ENACTED BY CITY OF NAPERVILLE, A MUNICIPAL CORPORATION IN DUPAGE COUNTY, ILLINOIS, RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPLIED WITH IN THE PREPARATION OF THIS PLAT.

I FURTHER CERTIFY THAT THE ABOVE DESCRIBED AREA FALLS IN ZONE X AREA OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FIRM MAP OF DUPAGE COUNTY, ILLINOIS AND INCORPORATED AREAS, PANEL NUMBER 17043C0703H, EFFECTIVE DATE DECEMBER 16, 2004.

I FURTHER CERTIFY THAT THIS SUBDIVISION LIES WITHIN THE CORPORATE LIMITS OF SAID CITY OF NAPERVILLE OR WITHIN 1/2 MILES OF THE CORPORATE LIMITS OF SAID CITY WHICH HAS ADOPTED A CITY PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR HEREAFTER AMENDED.

GIVEN UNDER MY HAND AND SEAL AT WOODRIDGE, ILLINOIS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

CHARLES W. BARTOSZ
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3188
MY LICENSE EXPIRES ON NOVEMBER 30, 2018.
V3 COMPANIES OF ILLINOIS, LTD. PROFESSIONAL DESIGN FIRM NO. 184000902
THIS DESIGN FIRM NUMBER EXPIRES APRIL 30, 2019.
cbartosz@v3co.com



DUPAGE COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS )
COUNTY OF DUPAGE )
I, \_\_\_\_\_ COUNTY CLERK OF DU PAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.
I, FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.
GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT WHEATON, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.
COUNTY CLERK

DUPAGE COUNTY RECORDER CERTIFICATE

STATE OF ILLINOIS )
COUNTY OF DU PAGE )
THIS INSTRUMENT \_\_\_\_\_ WAS FILED FOR RECORD IN THE RECORDERS OFFICE OF DU PAGE COUNTY, ILLINOIS,
ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_ AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M.
RECORDER OF DEEDS

V Engineers 7325 Janes Avenue, Suite 100 Woodridge, IL 60517 Scientists 630.724.9200 voice 630.724.9384 fax v3co.com Surveyors

PREPARED FOR: AVENIDA PARTNERS, LLC 19700 FAIRCHILD RD - STE 170 IRVINE, CA 92612 949-734-7810

REVISIONS table with columns: NO., DATE, REVISION. Includes EXHIBIT B and REVISED PER CITY COMMENTS.

FINAL PLAT OF SUBDIVISION AVENIDA - NAPERVILLE, ILLINOIS. Project No: 16130 Group No: VP04.6. Includes DRAFTING COMPLETED, FIELD WORK COMPLETED, DRAWN BY, CHECKED BY, PROJECT MANAGER, SCALE, SHEET NO. 2 of 2.

## **EXHIBIT C**

### **STATEMENT OF GENERAL CONDITIONS**

The following are general requirements to be fulfilled by the OWNER AND DEVELOPER through the development of the SUBJECT PROPERTY as approved by City Council. This list is not intended to be comprehensive and does not preclude all other requirements as set forth in the Naperville Municipal Code as amended from time to time. These requirements may be in addition to those listed in the Owner's Acknowledgement and Acceptance Agreement ("OAA") for the SUBJECT PROPERTY.

**Public Improvements:** Unless otherwise noted in the Annexation Agreement or the OAA, the OWNER AND DEVELOPER will construct all public improvements shown on the Final Engineering Plans approved by the City Engineer for the SUBJECT PROPERTY at its sole cost.

**Building Permits:** No building permits shall be issued for any lot or parcel within the SUBJECT PROPERTY until the Transportation, Engineering, and Development Business Group; Public Utilities Department; and Fire Department have determined that sufficient improvements have been installed and are functioning to protect the health, safety, and welfare of the public.

**Infrastructure Availability Charges and User Fees:** The OWNER AND DEVELOPER shall pay for all infrastructure availability charges and user fees in accordance with Title 8 of the Naperville Municipal Code, as amended from time to time, that are applicable to any portion of the SUBJECT PROPERTY for which connection and service to the City's water or sanitary system is requested.

**Facility Installation Charges and User Fees:** The OWNER AND DEVELOPER shall pay for all Facility Installation Charges (FIC) and user fees in accordance with Title 8 of the Naperville Municipal Code, as amended from time to time, that are applicable to any portion of the SUBJECT PROPERTY for which connection and service to the City of Naperville electric system is requested.



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hitchcockdesigngroup.com

# Avenida Naperville

Commons Street  
Naperville, Illinois 60563

Avenida Partners, LLC  
130 Newport Center Drive, Suite 220  
Newport Beach, California 92660

## Final Landscape Plans

March 19, 2018

### Project Team

*Landscape Architect*  
**Hitchcock Design Group**  
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*Civil Engineer*  
**V3 Companies**  
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F 630.724.9202

*Architect*  
**Meeks + Partners**  
16000 Memorial Drive, Suite 100  
Houston, Texas 77079  
T 281.558.8787

### General Notes

1. Basemap information obtained from plans prepared by V3 Companies received March 15, 2018.
2. Verify site conditions and information on drawings. Promptly report any concealed conditions, mistakes, discrepancies or deviations from the information shown in the Contract Documents. The Owner is not responsible for unauthorized changes or extra work required to correct unreported discrepancies.
3. Secure and pay for permits, fees and inspections necessary for the proper execution of this work. Comply with codes applicable to this work.
4. Do not locate plants within 10' of utility structures. Do not locate plants within 5' horizontally of underground utility lines.

### Sheet Index

L1.0	Tree Protection Plan
L1.1	Tree Protection Plan
L2.0	Overall Planting Plan
L2.1	Planting Plan
L2.2	Planting Plan
L2.3	Planting Plan
L2.4	Planting Plan
L3.0	Details
L3.1	Details

### Project Location Map



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**SITE PREPARATION AND REMOVALS NOTES**

1. Contractor shall install tree protection fencing as shown on the plans prior to beginning work. Maintain and adjust tree protection fencing as needed during progress of construction. Storage of materials, vehicular access, and all other construction activities are strictly prohibited within the limits of the tree protection fencing.
2. Tree stumps shall be ground to a minimum depth of 18" below existing grade or as required to properly perform the work.
3. Contractor shall coordinate all work to public sidewalk remains open throughout construction.
4. Refer to civil and electrical plans for utility adjustments and removals.
5. Refer to specifications for additional conditions, standards and notes.

**SITE PREPARATION AND REMOVALS LEGEND**



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 Houston, Texas 77079  
 T 281.558.878

ISSUED FOR FINAL LANDSCAPE REVIEW  
 REVIEW  
 March 19, 2016

REVISIONS	No	Date	Issue

CHECKED BY: GBR  
 DRAWN BY: NAA

SHEET TITLE  
**Tree Protection Plan**

SCALE IN FEET  
 1" = 30'

0' 15' 30'

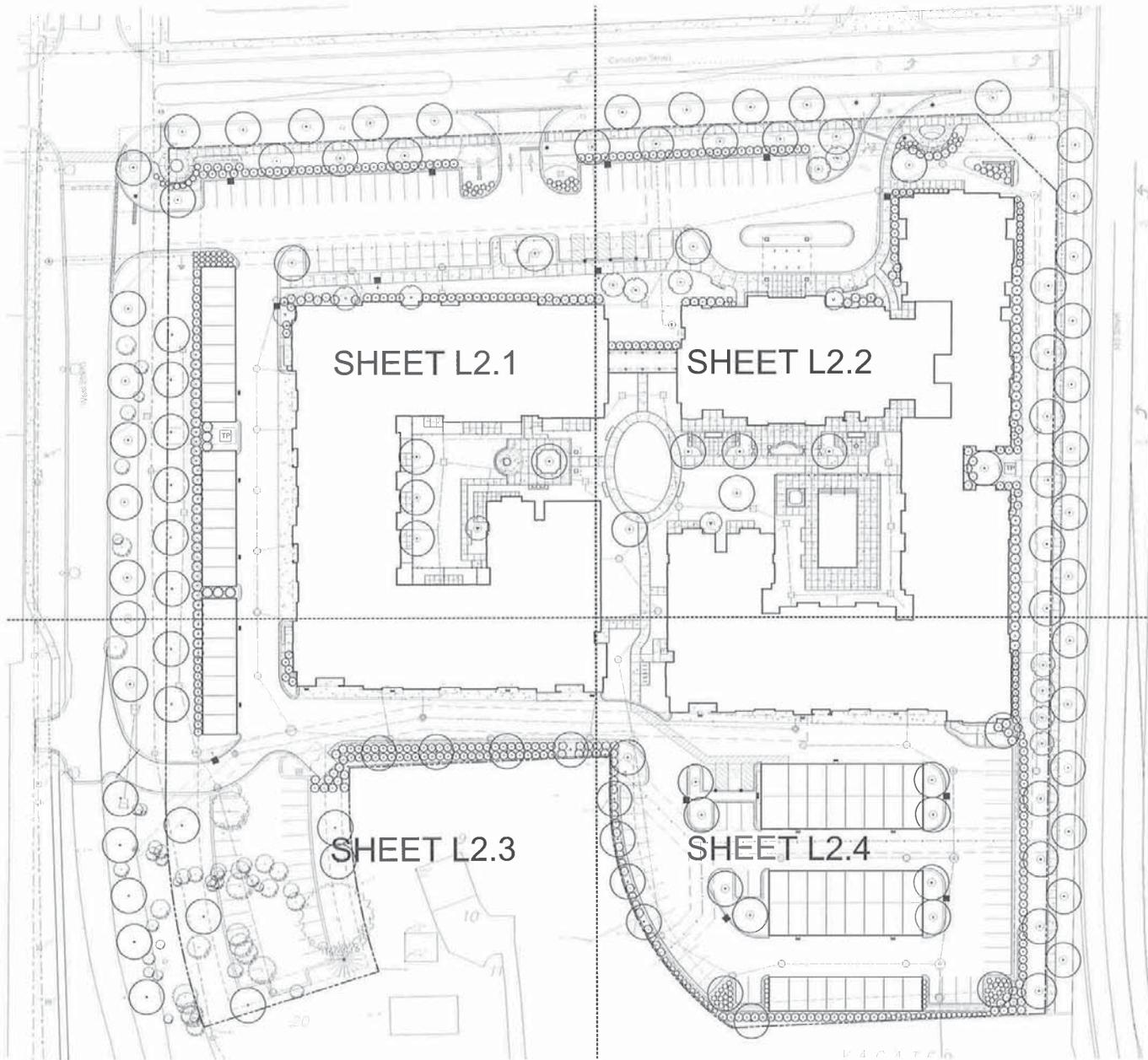
NORTH

SHEET NUMBER

**L1.0**  
 ©2017 Hitchcock Design Group

**EXHIBIT D**





**PLANTING NOTES**

1. Seed/Sod limit line is approximate. Seed/Sod to limits of grading and disturbance. Contractor responsible for restoration of any unauthorized disruption outside of designated construction area. Turf areas within the public ROWs to be sod. All other turfs to be seed.
2. Contractor responsible for erosion control in all seeded/sodded areas.
3. Tree match rings in turf areas are 5 foot diameter, typical. Contractor shall provide a match ring around all existing trees within the limit of work. Remove all existing grass from area to be mulched and provide a typical v-notch edge.
4. Bedlines are to be spaced out to a minimum depth of 3 inches unless otherwise shown on the plans. Curved bedlines are to be smooth and not segmented.
5. Do not locate plants within 10' of utility structures, or within 5' horizontally of underground utility lines unless otherwise shown on the plans. Consult with Landscape Architect if these conditions exist.
6. Plants and other materials are quantified and summarized for the convenience of the Owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn and specified. No additional payments will be made for materials required to complete the work as drawn and specified.
7. Refer to specifications for additional conditions, standards and notes.

**PLANTING LEGEND**

-  Shade Tree, typical. See detail for installation.
-  Ornamental Tree, typical. See detail for installation.
-  Evergreen Tree, typical. See detail for installation.
-  Shrub, typical. See detail for installation.
-  Perennial, Groundcover and Annual, typical. See detail for installation.
-  Turf Sod

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*creating the landscape*



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 REVIEW  
 March 19, 2016

REVISIONS		
No.	Date	Issue

CHECKED BY: GBR  
 DRAWN BY: NAA

SHEET TITLE  
**Overall Planting Plan**

SCALE IN FEET  
 1" = 30'



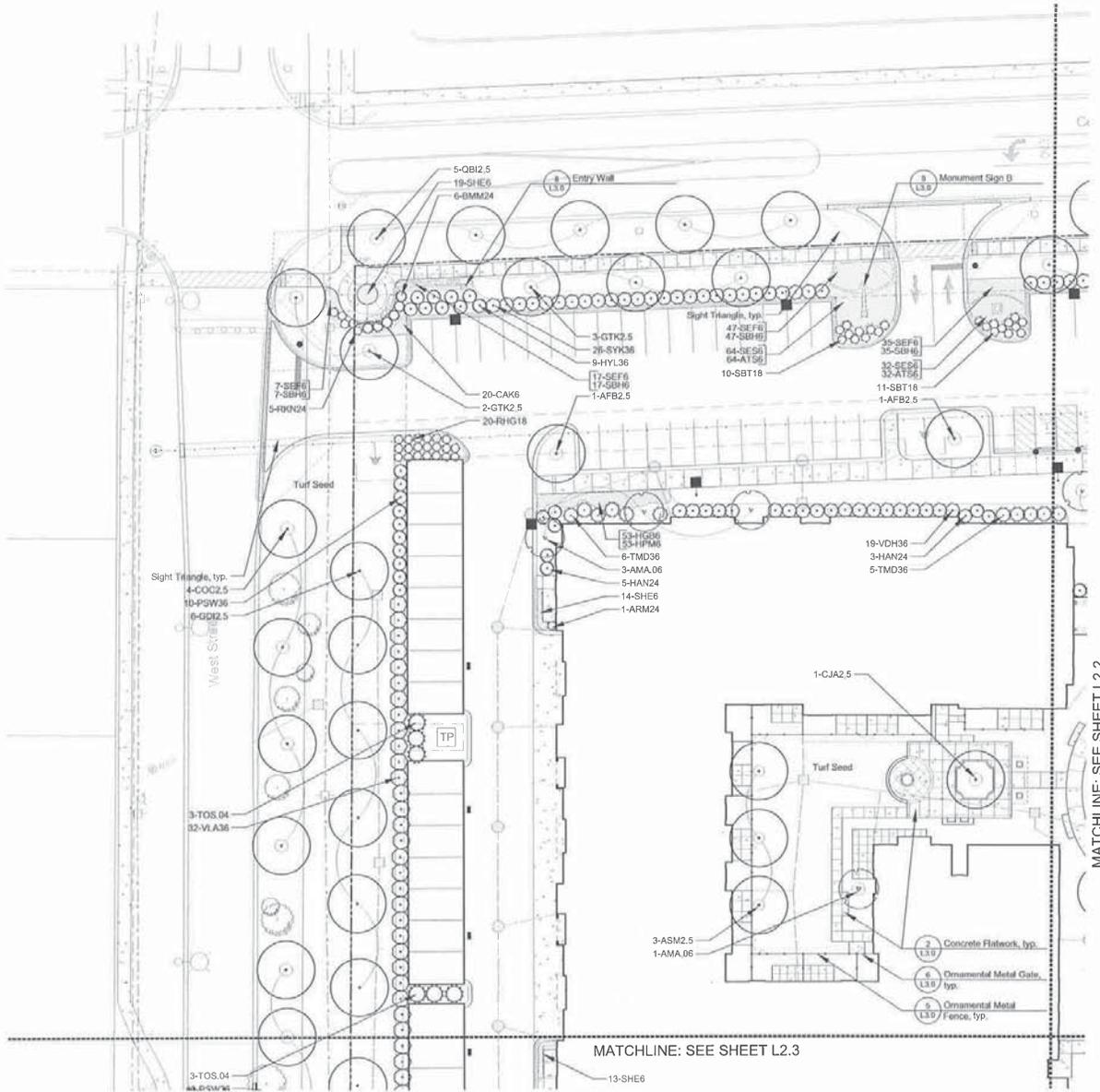
0' 15' 30' 90'

NORTH



SHEET NUMBER  
**L2.0**  
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**EXHIBIT D**



- PLANTING NOTES**
1. Seed/Sod/Soil time is approximate. Seed/Sod to limits of grading and disturbance. Contractor responsible for restoration of any unauthorized disruption outside of designated construction area.
  2. Contractor responsible for erosion control in # seeded/sodded areas.
  3. Tree match angles turf areas are 5 foot diameter, typical. Contractor shall provide a mulch ring around all existing trees within the limit of work. Remove all existing grass from area to be mulched and provide typical viroch edge.
  4. Defines are to be spade cut to a minimum depth of 3 inches unless otherwise shown on the plans. Curved bedlines are to be smooth and not segmented.
  5. Do not locate plants within 10' of utility structures, or within 5' horizontally of underground utility lines unless otherwise shown on the plans. Consult with Landscape Architect if these conditions exist.
  6. Plants and other materials are quantified and summarized for the convenience of the Owner and Jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn and specified. No additional payments will be made for materials required to complete the work as drawn and specified.
  7. Refer to specifications for additional conditions, standards and notes.

- PLANTING LEGEND**
- Shade Tree, typical. See detail for installation.
  - Ornamental Tree, typical. See detail for installation.
  - Evergreen Tree, typical. See detail for installation.
  - Shrub, typical. See detail for installation.
  - Perennial, Groundcover and Annual, typical. See detail for installation.
  - Turf Seed

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REVISIONS

No	Date	Issue

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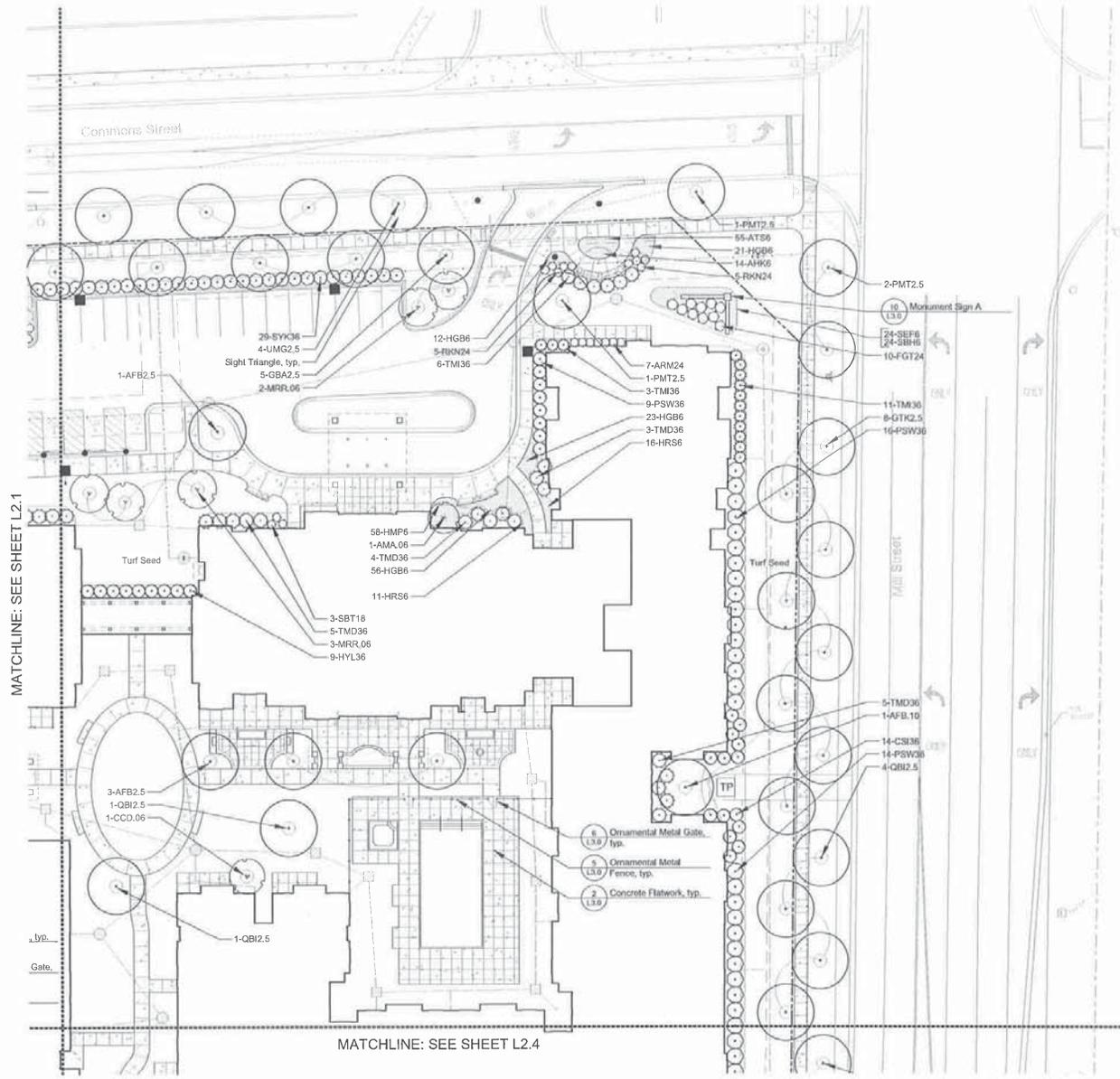
SHEET TITLE  
**Planting Plan**



NORTH SHEET NUMBER

**L2.1**  
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EXHIBIT D



- PLANTING NOTES**
1. Seed/Soil/limbline is approximate. Seed/Soil to limits of grading and disturbance. Contractor responsible for restoration of any unauthorized disruption outside of designated construction areas.
  2. Contractor responsible for erosion control in all undisturbed areas.
  3. Tree mulch rings in turf areas are 5 foot diameter, typical. Contractor shall provide a mulch ring around all existing trees within the limit of work. Remove all existing grass from area to be mulched and provide a typical wire-mesh edge.
  4. Bedlines are to be spaced out to a minimum depth of 3 inches unless otherwise shown on the plans. Curved bedlines are to be smooth and not segmented.
  5. Do not locate plants within 10' of utility structures, or within 5' horizontally of underground utility lines unless otherwise shown on the plans. Consult with Landscape Architect if these conditions exist.
  6. Plants and other materials are quantified and summarized for the convenience of the Owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn and specified. No additional payments will be made for materials required to complete the work as drawn and specified.
  7. Refer to specifications for additional conditions, standards and notes.

- PLANTING LEGEND**
- Shade Tree, typical. See detail for installation.
  - Ornamental Tree, typical. See detail for installation.
  - Evergreen Tree, typical. See detail for installation.
  - Shrub, typical. See detail for installation.
  - Perennial, Groundcover and Annual, typical. See detail for installation.
  - Turf Seed

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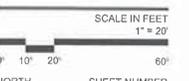
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 March 19, 2018

REVISIONS

No.	Date	Issue

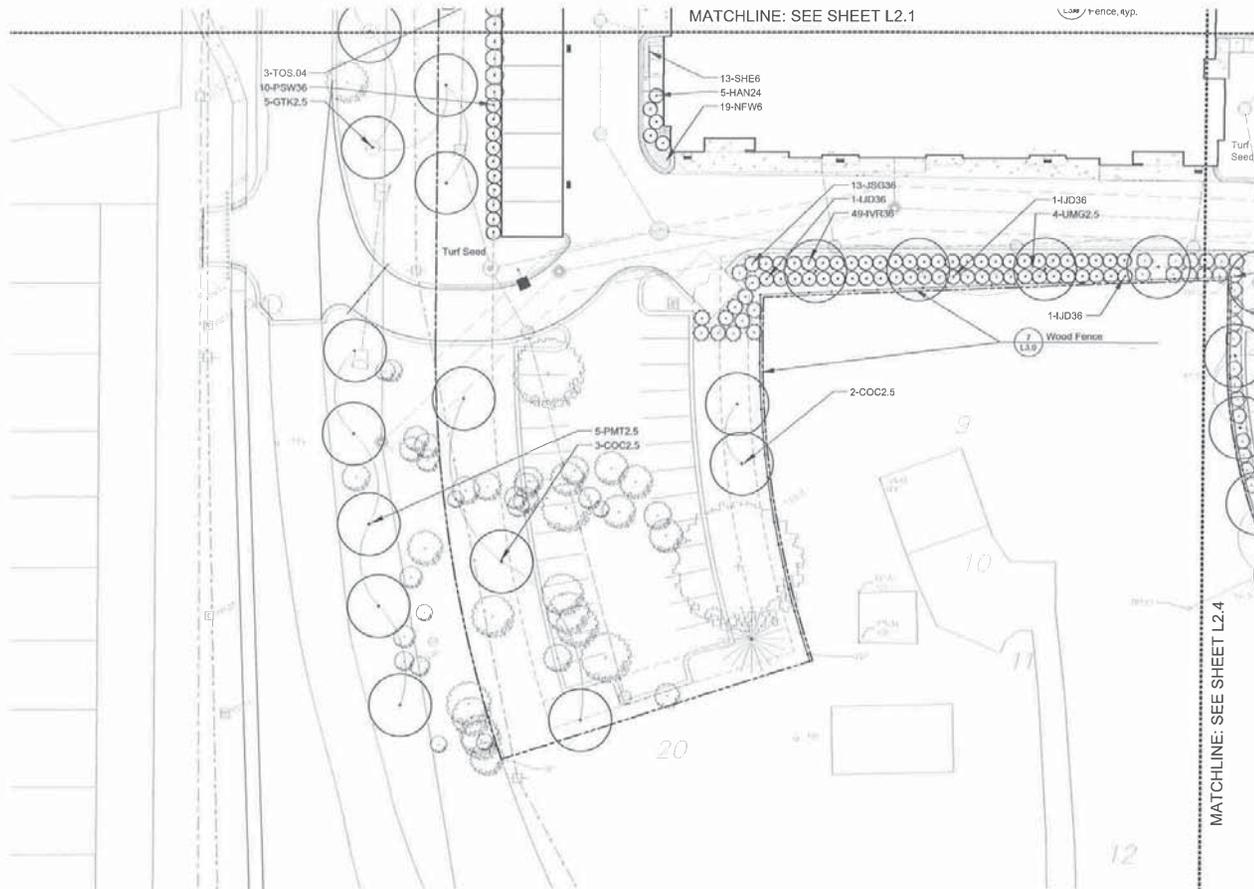
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 DRAWN BY: NAA

SHEET TITLE  
**Planting Plan**



**L2.2**  
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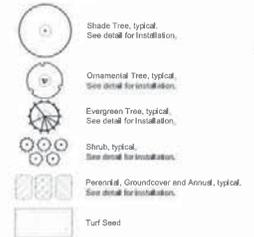
EXHIBIT D



**PLANTING NOTES**

1. Seed/Sod limit line is approximate. Seed/Sod to limits of grading and disturbance. Contractor responsible for restoration of any unauthorized disruption outside of designated construction area.
2. Contractor responsible for erosion control in all undisturbed areas.
3. Tree mulch rings in turf areas are 5 foot diameter, typical. Contractor shall provide a mulch ring around all existing trees within the limit of work. Remove all existing grass from area to be mulched and provide a typical stretch edge.
4. Bedlines are to be made out to a minimum depth of 3 inches unless otherwise shown on the plans. Curved bedlines are to be smooth and not segmented.
5. Do not locate plants within 10' of utility structures, or within 5' horizontally of underground utility lines unless otherwise shown on the plans. Consult with Landscape Architect if these conditions exist.
6. Plants and other materials are quantified and summarized for the convenience of the Owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn and specified. No additional payments will be made for materials required to complete the work as drawn and specified.
7. Refer to specifications for additional conditions, standards and notes.

**PLANTING LEGEND**



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Meeks + Partners  
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ISSUED FOR FINAL LANDSCAPE REVIEW  
March 19, 2018

REVISIONS	No	Date	Issue

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DRAWN BY: NAA

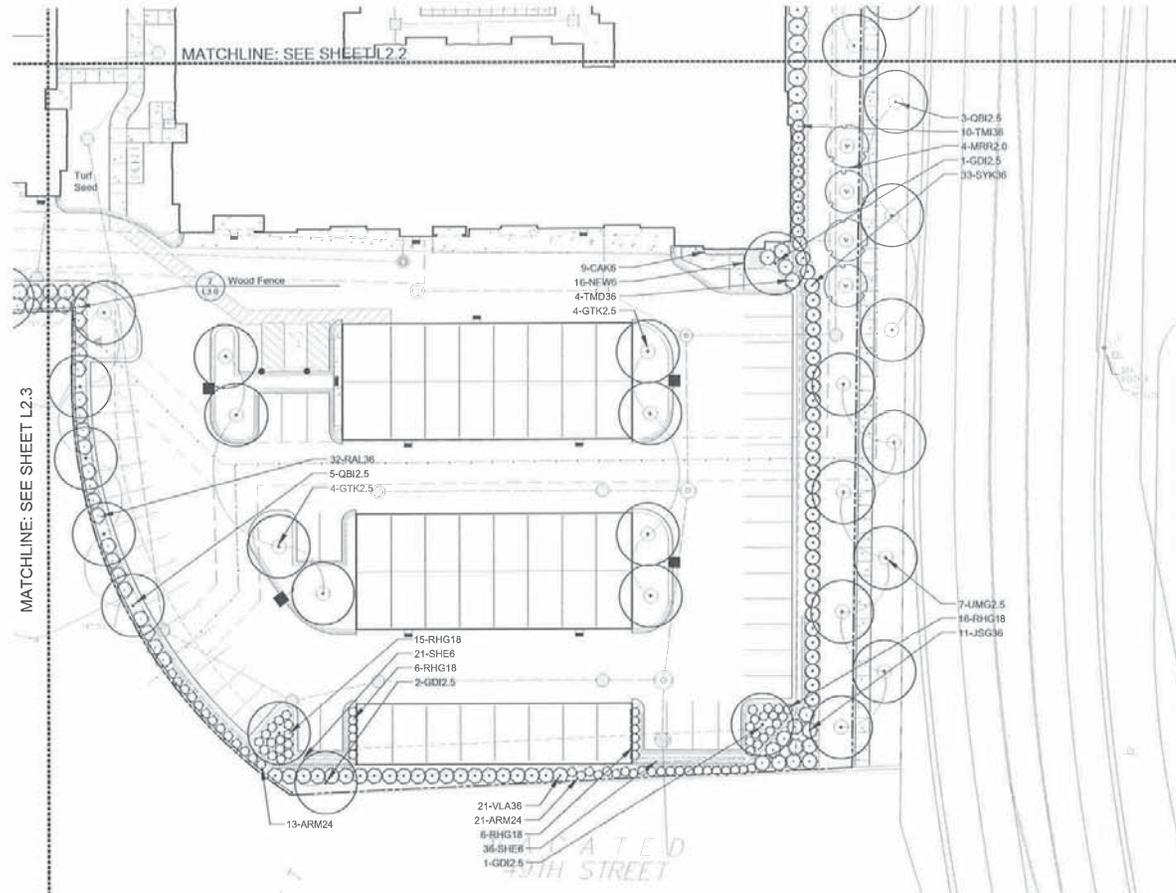
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NORTH SHEET NUMBER

**L2.3**

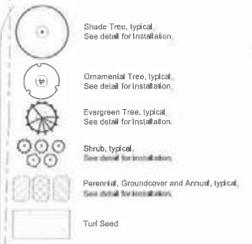
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**PLANTING NOTES**

1. Seed/Sod limit line is approximate. Seed/Sod to limits of grading and disturbance. Contractor responsible for restoration of any unauthorized disruption outside of designated construction area.
2. Contractor responsible for erosion control in all unvegetated areas.
3. Tree matchings in turf areas are 5 foot diameter, typical. Contractor shall provide a mulch ring around all existing trees within the limit of work. Remove all existing grass from area to be mulched and provide a typical trench edge.
4. Beddes are to be spade out to a minimum depth of 3 inches unless otherwise shown on the plans. Curved beddes are to be smooth and not segmented.
5. Do not locate plants within 10' of utility structures, or within 5' horizontal of underground utility lines unless otherwise shown on the plans. Consult with Landscape Architect if these conditions exist.
6. Plants and other materials are quantified and summarized for the convenience of the Owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn and specified. No additional payments will be made for materials required to complete the work as drawn and specified.
7. Refer to specifications for additional conditions, standards and notes.

**PLANTING LEGEND**



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Architect  
 Meeks + Partners  
 Houston, Texas 77079  
 T 281.558.878

ISSUED FOR FINAL LANDSCAPE REVIEW  
 March 19, 2018

REVISIONS	No	Date	Issue

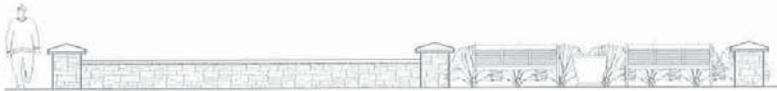
CHECKED BY: GBR  
 DRAWN BY: NAA

SHEET TITLE  
**Planting Plan**

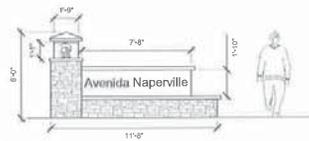


NORTH  
  
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**L2.4**  
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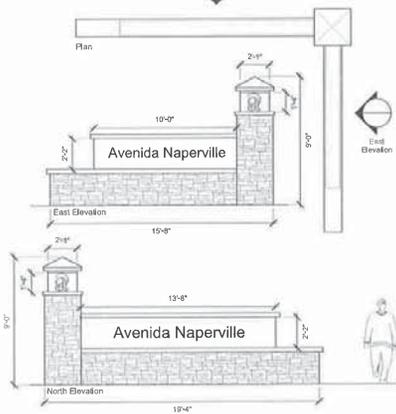
EXHIBIT D



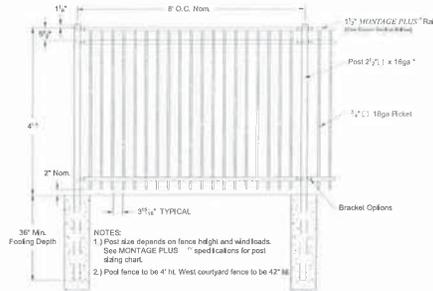
**8** Entry Wall  
Scale: 1/4" = 1'-0"



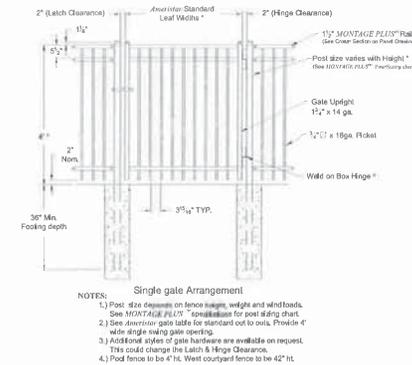
**9** Monument Sign B  
Scale: 1/4" = 1'-0"



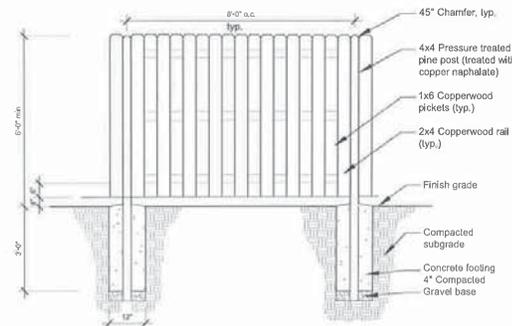
**10** Monument Sign A  
Scale: 1/4" = 1'-0"



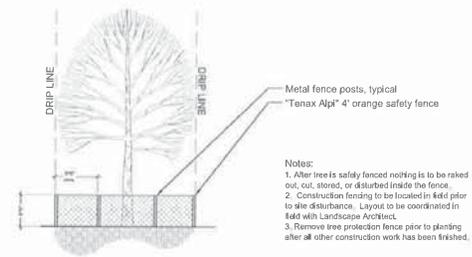
**5** Ornamental Metal Fence  
Scale: 1/2" = 1'-0"



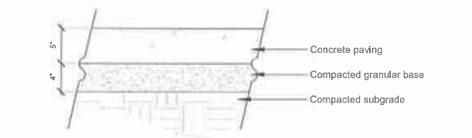
**6** Ornamental Metal Gate  
Scale: 1/2" = 1'-0"



**7** Wood Fence  
Scale: 1/2" = 1'-0"



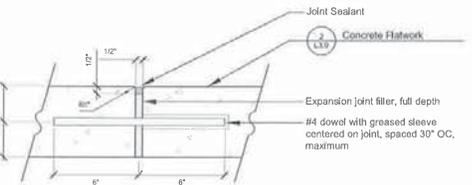
**1** Tree Protection Fence  
NTS



**2** Concrete Flatwork  
Scale: 1 1/2" = 1'-0"



**3** Control Joint  
Scale: 3" = 1'-0"



**4** Expansion Joint  
Scale: 3" = 1'-0"

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PROJECT  
**Avenida Naperville**  
Commons Street  
Naperville, Illinois 60563

CONSULTANTS  
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T 630.724.9200  
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Meeks + Partners  
Houston, Texas 77079  
T 281.558.878

ISSUED FOR FINAL LANDSCAPE REVIEW  
REVIEW  
March 19, 2018

REVISIONS		
No	Date	Issue

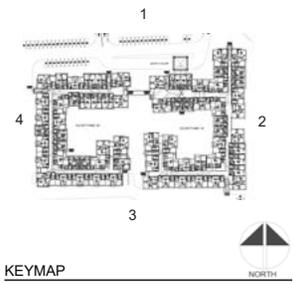
CHECKED BY: GBR  
DRAWN BY: NAA  
SHEET TITLE: Details

SCALE IN FEET as noted

NORTH  
SHEET NUMBER  
**L3.0**

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1. NORTH ELEVATION - COMMONS ROAD

FACADE AREA = 9,506 SQ.FT. % MASONRY = 64%



2. EAST ELEVATION - MILLS STREET

FACADE AREA = 9,687 SQ.FT. % MASONRY = 53%



3. SOUTH ELEVATION



4. WEST ELEVATION - WEST ROAD

FACADE AREA = 5,062 SQ.FT. % MASONRY = 51%

MATERIALS

	
FIBER CEMENT SIDING	COMPOSITION SHINGLE ROOF
	
BRICK VENEER	CAST STONE TRIM
	
STONE VENEER	Patina Green STANDING SEAM ROOF

TOTAL FACADE AREA = 24,255 SQ.FT.  
% MASONRY = 57%

AVENIDA NAPERVILLE SENIOR LIVING

RENDERED ELEVATIONS  
PROJ: 16001



DATE: 03.18.2018

EXHIBIT E



PARTIAL NORTH ELEVATION - COMMONS ROAD



PARTIAL NORTH ELEVATION - COMMONS ROAD

**AVENIDA NAPERVILLE - ACTIVE ADULT SENIOR LIVING**

RENDERED ELEVATIONS

PROJECT # : 16001



DATE: 03.18.2018

**EXHIBIT E**



PARTIAL EAST ELEVATION - MILL STREET



PARTIAL EAST ELEVATION - MILL STREET

**AVENIDA NAPERVILLE - ACTIVE ADULT SENIOR LIVING**

RENDERED ELEVATIONS

PROJECT # : 16001



DATE: 03.18.2018



PARTIAL SOUTH ELEVATION



PARTIAL SOUTH ELEVATION

**AVENIDA NAPERVILLE - ACTIVE ADULT SENIOR LIVING**

RENDERED ELEVATIONS

PROJECT # : 16001



DATE: 03.18.2018

**EXHIBIT E**



PARTIAL WEST ELEVATION - WEST STREET



PARTIAL WEST ELEVATION - WEST STREET

**AVENIDA NAPERVILLE - ACTIVE ADULT SENIOR LIVING**

RENDERED ELEVATIONS

PROJECT # : 16001

**M**  
**P**

DATE: 03.18.2018

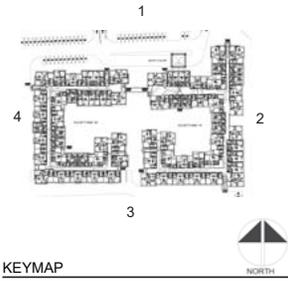
**EXHIBIT E**



4. WEST ELEVATION - WEST ROAD- SHOWING DETACHED GARAGES

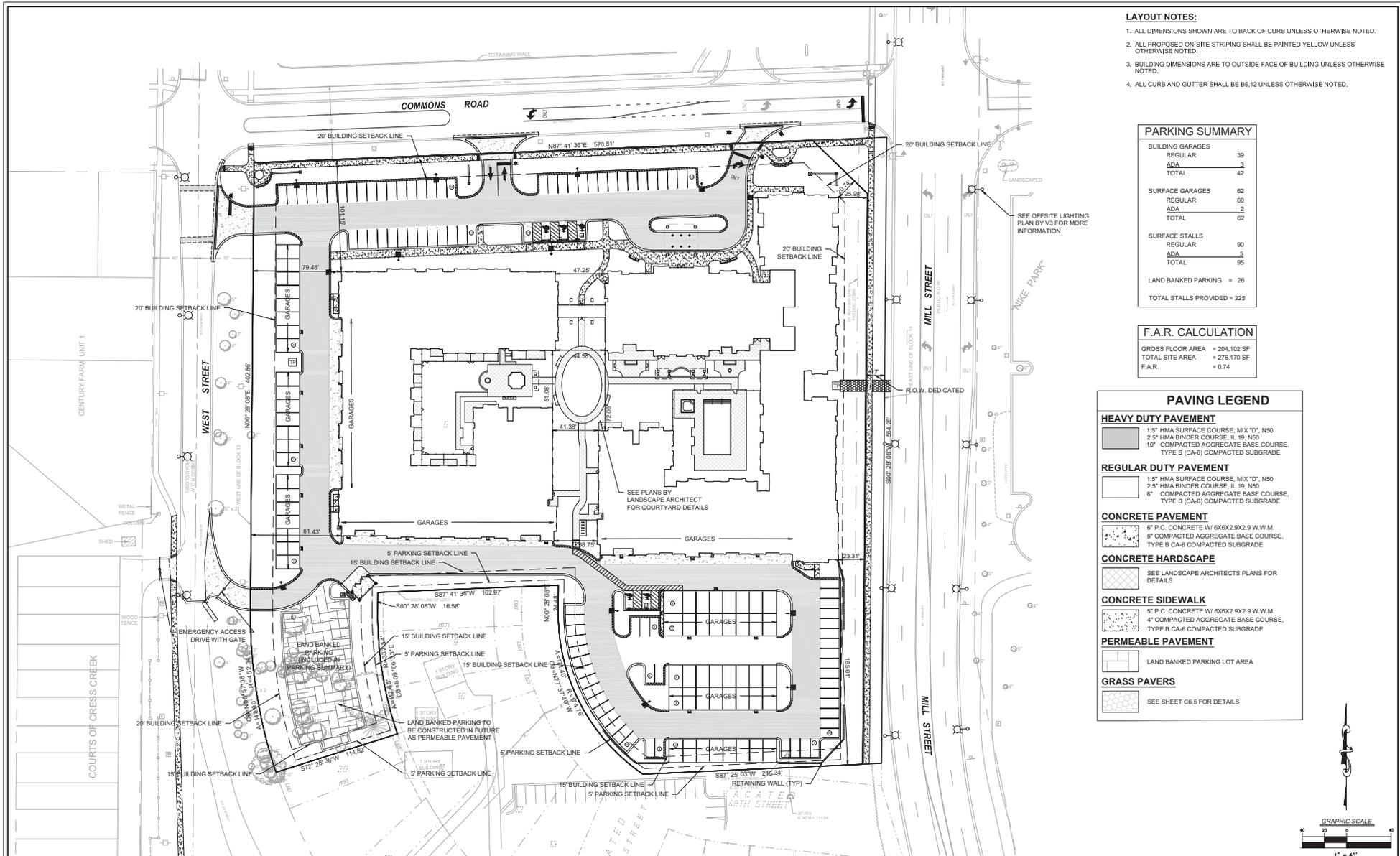


3. SOUTH ELEVATION - SHOWING DETACHED GARAGES



KEYMAP





- LAYOUT NOTES:**
1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
  2. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED YELLOW UNLESS OTHERWISE NOTED.
  3. BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
  4. ALL CURB AND GUTTER SHALL BE B6.12 UNLESS OTHERWISE NOTED.

**PARKING SUMMARY**

<b>BUILDING GARAGES</b>	
REGULAR	39
ADA	3
<b>TOTAL</b>	<b>42</b>
<b>SURFACE GARAGES</b>	
REGULAR	62
ADA	2
<b>TOTAL</b>	<b>62</b>
<b>SURFACE STALLS</b>	
REGULAR	90
ADA	5
<b>TOTAL</b>	<b>95</b>
LAND BANKED PARKING	= 26
<b>TOTAL STALLS PROVIDED</b>	<b>= 225</b>

**F.A.R. CALCULATION**

GROSS FLOOR AREA	= 204,102 SF
TOTAL SITE AREA	= 276,170 SF
F.A.R.	= 0.74

**PAVING LEGEND**

**HEAVY DUTY PAVEMENT**

- 1.5" HMA SURFACE COURSE, MIX "D", N50
- 2.5" HMA BINDER COURSE, IL 19, N50
- 10" COMPACTED AGGREGATE BASE COURSE, TYPE B (CA-6) COMPACTED SUBGRADE

**REGULAR DUTY PAVEMENT**

- 1.5" HMA SURFACE COURSE, MIX "D", N50
- 2.5" HMA BINDER COURSE, IL 19, N50
- 8" COMPACTED AGGREGATE BASE COURSE, TYPE B (CA-6) COMPACTED SUBGRADE

**CONCRETE PAVEMENT**

- 6" P.C. CONCRETE W/ 6X6X2 9X2 9 W.W.M.
- 6" COMPACTED AGGREGATE BASE COURSE, TYPE B CA-6 COMPACTED SUBGRADE

**CONCRETE HARDSCAPE**

- SEE LANDSCAPE ARCHITECTS PLANS FOR DETAILS

**CONCRETE SIDEWALK**

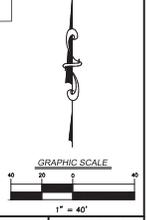
- 5" P.C. CONCRETE W/ 6X6X2 9X2 9 W.W.M.
- 4" COMPACTED AGGREGATE BASE COURSE, TYPE B CA-6 COMPACTED SUBGRADE

**PERMEABLE PAVEMENT**

- LAND BANKED PARKING LOT AREA

**GRASS PAVERS**

- SEE SHEET C6.5 FOR DETAILS



**V3 Companies**  
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 Woodridge, IL 60517  
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 630.724.9202 fax  
 www.v3co.com

**REVISIONS**

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	02/19/18	REVISIONS PER CITY REVIEW			
2	03/19/18	REVISIONS PER CITY REVIEW			
3	04/03/18	REVISIONS PER CITY DRAFT REVIEW			
4	04/10/18	REVISIONS PER CITY REVIEW			

PROJECT NO: 16130 - S04  
 FILE NAME: C3.0 LAY16130.DWG  
 ORIGINAL ISSUE DATE: 12-21-17  
 SCALE: 1" = 40'

DESIGNED BY: JSD  
 DRAWN BY: VRS  
 CHECKED BY: DEF  
 PROJECT MANAGER: BCR

**AVENIDA SENIOR LIVING**

**LAYOUT AND PAVING PLAN**

**C3.0**

NAPERVILLE    MILL & COMMONS    ILLINOIS

Visio, Vertere, Virtute... The Vision to Transform with Excellence

N:\2018\16130\design\plan\CAD\LD04 18Sheet Drawing\C3.0 LAY16130.dwg 4/11/2018

**EXHIBIT F**

16130 - S04 - LAYOUT AND PAVING PLAN