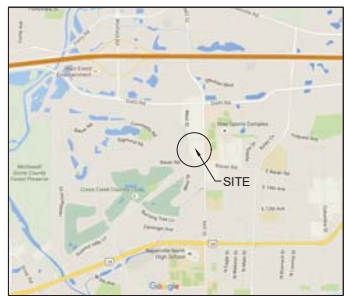


FINAL PLAT OF SUBDIVISION OF AVENIDA

PART THE SOUTH HALF OF SECTION 1 AND IN THE NORTH HALF OF SECTION 12, TOWNSHIP
38 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

PIN NUMBERS:		
07-12-205-001	07-12-205-009	07-12-206-011
07-12-205-002	07-12-205-010	07-12-206-012
07-12-205-003	07-12-205-011	07-12-206-013
07-12-205-004	07-12-205-012	07-12-206-014
07-12-205-005	07-12-205-013	07-12-206-015
07-12-205-006	07-12-205-014	07-12-206-016
07-12-205-007	07-12-205-015	07-12-206-017
07-12-205-008	07-12-205-016	07-12-206-018
07-12-205-009	07-12-205-017	07-12-206-019
07-12-205-010	07-12-205-018	07-12-206-020



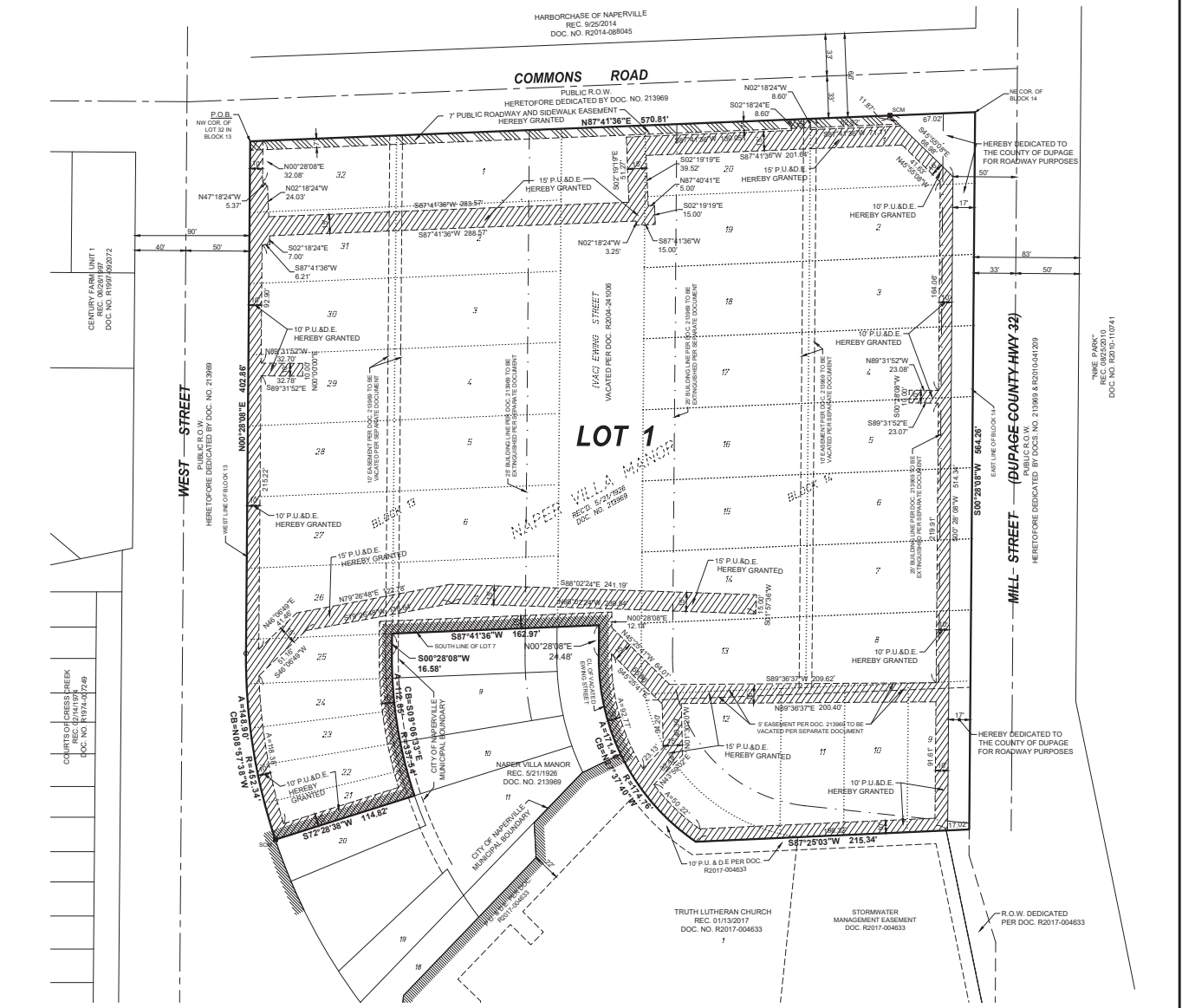
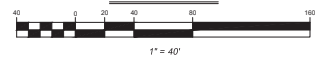
VICINITY MAP
NOT TO SCALE

THIS PLAT HAS BEEN SUBMITTED FOR RECORDING BY AND RETURN TO:
NAME: NAPERVILLE CITY CLERK
ADDRESS: 303 S. EARLE STREET
NAPERVILLE, IL 60540

BASIS OF BEARINGS

THE BASIS OF BEARINGS IS THE STATE PLANE COORDINATE SYSTEM (SPCS) NAD 83 (2007) ZONE 1201 (ILLINOIS EAST) WITH PROJECT ORIGIN AT:
LATITUDE: 41-47-46.45274 N
LONGITUDE: 88-09-17.83602 W
ELEVATION HEIGHT: 617.861
GROUND SCALE FACTOR: 1.0000517842
ALL MEASUREMENTS ARE ON THE GROUND.

GRAPHIC SCALE



AREA TABLE

LOT 1	276,335 SQ. FT.	6.3438 ACRES
R.O.W.	10,830 SQ. FT.	0.2488 ACRES
TOTAL	287,165 SQ. FT.	6.5924 ACRES

EASEMENT AREA

PUBLIC UTILITY AND DRAINAGE EASEMENT	39,416 SQ. FT.	0.9048 ACRES
PUBLIC ROADWAY AND SIDEWALK EASEMENT	3,551 SQ. FT.	0.2488 ACRES

SURVEYOR'S NOTES:

- DIMENSIONS ALONG CURVED LINES ARE ARC LENGTHS.
- ONCE THE PLAT SHOWN HEREON IS RECORDED, AND UPON THE COMPLETION OF CONSTRUCTION, 3/4" IRON PIPES WITH PLASTIC CAPS SHALL BE SET AT ALL LOT CORNERS AND CHANGES IN GEOMETRY, UNLESS SHOWN OTHERWISE.

LEGEND

- SUBDIVISION BOUNDARY LINE
- RIGHT-OF-WAY LINE
- - - EXISTING EASEMENT LINE
- · - · - · PROPOSED EASEMENT LINE
- CENTER LINE
- UNDERLYING LOT LINE
- ▨ MUNICIPAL LIMITS
- ▨ P.U. & D.E. HEREBY GRANTED
- ▨ PUBLIC ROADWAY AND SIDEWALK EASEMENT HEREBY GRANTED
- XX UNDERLYING LOT NUMBER
- N NORTH
- S SOUTH
- E EAST
- W WEST
- CB CHORD BEARING
- A ARC LENGTH
- R RADIUS
- P.U. & D.E. PUBLIC UTILITY AND DRAINAGE EASEMENT
- R.O.W. RIGHT-OF-WAY
- (0.00) RECORD DATUM
- 0.00' CALCULATED DATUM
- SCM SET CONCRETE MONUMENT
- P.O.B. POINT OF BEGINNING

OWNER & SUBDIVIDER:

AVENIDA PARTNERS, LLC
19700 FAIRCHILD RD - STE 170
IRVINE, CA 92612

SURVEYOR:

V3 COMPANIES
7325 JAMES AVE, SUITE 100
WOODBRIDGE, IL 60517

City Project Number 17-10000150

V Engineers
7325 James Avenue, Suite 100
Woodridge, IL 60517
630.724.5200 voice
630.724.0384 fax
v3co.com
Surveyors

PREPARED FOR:
AVENIDA PARTNERS, LLC
19700 FAIRCHILD RD - STE 170
IRVINE, CA 92612
949-734-7810

NO. DATE REVISIONS
1. 02-18-18 EXHIBIT B
2. 03-18-18 REVISIONS PER CITY COMMENTS DATED 03-08-2018
AND REVISE PUBLIC UTILITY EASEMENT
3. 04-09-18 REVISED PER CITY COMMENTS

FINAL PLAT OF SUBDIVISION
AVENIDA - NAPERVILLE, ILLINOIS
DRAFTING COMPLETED: 12-19-17 DRAWN BY: EJM, MLP PROJECT MANAGER: CWB
FIELD WORK COMPLETED: N/A CHECKED BY: CWB SCALE: 1" = 40'

Project No: 16130
Group No: VP04.6
SHEET NO. 1 of 2

FINAL PLAT OF SUBDIVISION OF AVENIDA

PIN NUMBERS: 07-12-205-001 07-12-205-009 07-12-206-011 07-12-205-002 07-12-205-010 07-12-206-012 07-12-205-003 07-12-205-011 07-12-206-013 07-12-205-004 07-12-205-012 07-12-206-014 07-12-205-005 07-12-205-041 07-12-206-015 07-12-205-006 07-12-205-044 07-12-206-016 07-12-205-009 07-12-206-021 07-12-205-008 07-12-206-010 07-12-206-022

PART THE SOUTH HALF OF SECTION 1 AND IN THE NORTH HALF OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DU PAGE)
THIS IS TO CERTIFY THAT _____ IS THE OWNER OF THE PROPERTY DESCRIBED ABOVE AND AS SUCH OWNER, HAS CAUSED THE SAME TO BE PLATTED AS SHOWN HEREON FOR THE USES AND PURPOSES THEREIN SET FORTH AND AS ALLOWED AND PROVIDED BY STATUTES, AND SAID OWNER, DOES HEREBY ACKNOWLEDGE AND ACCEPT THE SAME UNDER THE STYLE AND TITLE AFORESAID.

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DU PAGE)
APPROVED AND ACCEPTED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF NAPERVILLE, ILLINOIS, AT A MEETING HELD
THE _____ DAY OF _____, A.D. 20____.
BY: _____ MAYOR ATTEST: _____ CITY CLERK

PUBLIC UTILITIES AND DRAINAGE EASEMENT CERTIFICATE

EASEMENTS ARE HEREBY RESERVED FOR AND GRANTED TO THE CITY OF NAPERVILLE, ILLINOIS ("CITY") AND TO THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE OR CONTRACT WITH THE CITY OR OTHER PUBLIC UTILITIES BY THE CITY, INCLUDING BUT NOT LIMITED TO ILLINOIS BELL TELEPHONE COMPANY DBA AT&T ILLINOIS, NICOR GAS COMPANY, AND THEIR SUCCESSORS AND ASSIGNS, OVER, UPON, UNDER AND THROUGH ALL OF THE AREAS MARKED "PUBLIC UTILITIES AND DRAINAGE EASEMENTS" OR ("P.U.&D.E.") ON THE PLAT FOR THE PERPETUAL, RIGHT, PRIVILEGE AND AUTHORITY TO INSTALL, SURVEY, CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN, AND OPERATE VARIOUS UTILITY TRANSMISSION AND DISTRIBUTION SYSTEMS, COMMUNITY ANTENNAE TELEVISION SYSTEMS AND INCLUDING STORM AND SANITARY SEWERS, TOGETHER WITH ANY AND NECESSARY MANHOLES, CATCHBASINS, CONNECTIONS, APPLIANCES, AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID CITY, OVER, UPON, UNDER AND THROUGH SAID INDICATED EASEMENTS, TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE PROPERTY FOR NECESSARY PERSONNEL AND EQUIPMENT TO DO ANY OF THE ABOVE WORK.

NOTARY'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF _____)
I, _____ A NOTARY PUBLIC IN AND FOR THE SAID COUNTY IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT _____ AND _____ PRINT NAME AND _____ PRINT NAME NAMES ARE THE FORSING INSTRUMENT AS SUCH AND _____ RESPECTFULLY, APPEARED BEFORE ME THIS DAY IN PERSON AND JOINTLY AND SEVERALLY ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID OWNER FOR THE USES AND PURPOSES THEREIN SET FORTH.

CITY TREASURER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DU PAGE)
I, TREASURER FOR THE CITY OF NAPERVILLE, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE ANNEXED PLAT.
DATED AT NAPERVILLE, ILLINOIS, THIS _____ DAY OF _____, A.D. 20____.
CITY TREASURER / DIRECTOR, FINANCE DEPARTMENT

THE RIGHT IS ALSO GRANTED TO TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE SEWERS OR OTHER UTILITIES. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENTS, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS. WHERE AN EASEMENT IS USED BOTH FOR SEWERS AND OTHER UTILITIES, THE OTHER UTILITY INSTALLATION SHALL BE SUBJECT TO THE ORDINANCES OF THE CITY OF NAPERVILLE.
EASEMENTS ARE HEREBY RESERVED AND GRANTED TO THE CITY OF NAPERVILLE AND OTHER GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OF THE LAND SUBDIVIDED HEREBY OVER THE ENTIRE EASEMENT AREA FOR INGRESS, EGRESS, AND THE PERFORMANCE OF MUNICIPAL AND OTHER GOVERNMENTAL SERVICES, INCLUDING BUT NOT LIMITED TO, WATER, STORM AND SANITARY SEWER SERVICE AND MAINTENANCE.

NOTARY PUBLIC SIGNATURE
PRINT NAME
MY COMMISSION EXPIRES ON _____ DATE _____ 20____.

STATE OF ILLINOIS)
COUNTY OF _____)
TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

PUBLIC ROADWAY AND SIDEWALK EASEMENT CERTIFICATE

A PERMANENT PUBLIC ROADWAY AND SIDEWALK EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF NAPERVILLE, ITS SUCCESSORS AND ASSIGNS OVER THE AREAS MARKED "PUBLIC ROADWAY AND SIDEWALK EASEMENT" ON THE PLAT FOR THE PERPETUAL, RIGHT, PRIVILEGE AND AUTHORITY TO CONSTRUCT, RECONSTRUCT, AND REPAIR THE PUBLIC ROADWAY AND SIDEWALK WITHIN THE SUBJECT EASEMENT AREA TOGETHER WITH ANY AND ALL NECESSARY BY SAID CITY, OVER, UPON, ALONG AND THROUGH SAID INDICATED EASEMENT TOGETHER WITH RIGHT OF INGRESS AND EGRESS ACROSS THE PROPERTY FOR PEDESTRIAN TRAFFIC AND FOR THE NECESSARY MEN AND EQUIPMENT TO DO ANY OF THE ABOVE WORK. THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE PUBLIC ROADWAY AND SIDEWALKS. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENT, BUT SAME MAY BE USED FOR LAWNS AND LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS.

SCHOOL DISTRICT BOUNDARY CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF _____)
THE UNDERSIGNED, BEING DULY SWORN, UPON HIS/HER OATH DEPOSES AND STATES AS FOLLOWS:
1. THAT _____ IS THE OWNER OF THE PROPERTY LEGALLY DESCRIBED ON THIS PLAT OF SUBDIVISION, WHICH HAS BEEN SUBMITTED TO THE CITY OF NAPERVILLE FOR APPROVAL, WHICH LEGAL DESCRIPTION IS INCORPORATED HEREIN BY REFERENCE, AND
2. TO THE BEST OF THE OWNER'S KNOWLEDGE, THE SCHOOL DISTRICT IN WHICH TRACT, PARCEL, LOT OR BLOCK OF THE PROPOSED SUBDIVISION LIES IS:
NAPERVILLE COMMUNITY UNIT DISTRICT 203
203 W. HILLSIDE ROAD
NAPERVILLE, ILLINOIS 60540-6589
OWNER NAME: _____
BY: _____ ATTEST: _____
ITS: _____ ITS: _____
SUBSCRIBED AND SWORN BEFORE ME THIS _____ DAY OF _____, A.D. 20____.

DATED THIS _____ DAY OF _____, 20____.
ILLINOIS REGISTERED PROFESSIONAL ENGINEER
STATE REGISTRATION NUMBER _____
REGISTRATION EXPIRATION / RENEWAL DATE _____
OWNER COMPANY NAME: _____
BY: _____ SIGNATURE _____ ATTEST: _____ SIGNATURE _____
TITLE: _____ PRINT TITLE _____

PERMISSION TO RECORD

STATE OF ILLINOIS)
COUNTY OF DUPAGE)
I, CHARLES W. BARTOSZ, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF ILLINOIS, HEREBY DESIGNATE THE CITY CLERK OF THE CITY OF NAPERVILLE TO RECORD THIS PLAT OF SUBDIVISION OF AVENIDA WITH THE DUPAGE COUNTY RECORDER OF DEEDS AND REGISTRAR OF TITLE. THIS DESIGNATION IS GRANTED UNDER THE RIGHT TO DESIGNATE SUCH RECORDING UNDER CHAPTER 109, SECTION 2 OF THE ILLINOIS REVISED STATUTES.
THIS _____ DAY OF _____, A.D. 20____.



DUPAGE COUNTY ENGINEER CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)
THIS PLAT HAS BEEN APPROVED BY THE DU PAGE COUNTY DIVISION OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS TO COUNTY HIGHWAY 12 WILL STREET PURSUANT TO 760 ILCS 205/2.14 (a). HOWEVER, A HIGHWAY PERMIT FOR ACCESS IS REQUIRED OF THE OWNER OF THE PROPERTY PRIOR TO CONSTRUCTION WITHIN THE COUNTY RIGHT-OF-WAY.
DATED HIS _____ DAY OF _____, A.D. 20____.
COUNTY ENGINEER

SURVEYOR'S CERTIFICATE

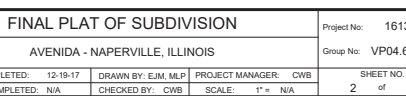
STATE OF ILLINOIS)
COUNTY OF DUPAGE)
THIS IS TO CERTIFY THAT I, CHARLES W. BARTOSZ, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3188, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:
THAT PART OF NAPER VILLA MANOR, BEING A SUBDIVISION IN THE SOUTH HALF OF SECTION 1 AND IN THE NORTH HALF OF SECTION 12, TOWNSHIP 38 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREIN RECORDED MAY 21, 1928 AS DOCUMENT 213969, DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHWEST CORNER OF LOT 32 IN BLOCK 13 OF SAID NAPER VILLA MANOR, THENCE NORTH 87 DEGREES 41 MINUTES 36 SECONDS EAST ALONG THE NORTH LINE OF BLOCK 13 AND ALONG SAID NORTH LINE EXTENDED EAST, 570.81 FEET TO THE NORTHEAST CORNER OF BLOCK 14 OF SAID NAPER VILLA MANOR; THENCE SOUTH 00 DEGREES 28 MINUTES 08 SECONDS WEST ALONG THE EAST LINE OF SAID BLOCK 14, A DISTANCE OF 564.26 FEET; THENCE SOUTH 87 DEGREES 25 MINUTES 03 SECONDS WEST, 215.34 FEET TO THE CENTERLINE OF VACATED EWING STREET PER PLAT OF VACATION RECORDED SEPTEMBER 14, 2004 AS DOCUMENT NUMBER R2004-241006; THENCE NORTHERLY ALONG SAID CENTERLINE BEING AN ARC OF A CURVE CONCAVE TO THE NORTHEAST AND NONTANGENT TO THE LAST DESCRIBED LINE, HAVING A RADIUS OF 174.79 FEET, HAVING A CHORD BEARING OF NORTH 27 DEGREES 37 MINUTES 40 SECONDS WEST, 171.40 FEET TO A POINT OF TANGENCY; THENCE NORTH 00 DEGREES 28 MINUTES 08 SECONDS EAST ALONG SAID CENTERLINE OF VACATED EWING STREET, 24.48 FEET TO THE SOUTH LINE, EXTENDED EAST, OF LOT 1 IN SAID BLOCK 13; THENCE SOUTH 87 DEGREES 41 MINUTES 36 SECONDS WEST ALONG SAID NORTH LINE, EXTENDED EAST, AND ALONG THE SOUTH LINE OF SAID LOT 7, A DISTANCE OF 162.97 FEET TO THE SOUTHWEST CORNER OF SAID LOT 7, BEING ALSO THE NORTHEAST CORNER OF LOT 25 IN SAID BLOCK 13; THENCE SOUTH 00 DEGREES 28 MINUTES 08 SECONDS WEST ALONG THE EAST LINE OF SAID LOT 25 IN BLOCK 13, A DISTANCE OF 16.58 FEET TO A POINT OF CURVATURE; THENCE SOUTHEASTERLY ALONG THE NORTHEASTLY LINES OF LOTS 25, 24, 23, 22 AND 21 IN SAID BLOCK 13, BEING AN ARC OF A CURVE CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 371.54 FEET HAVING A CHORD BEARING OF SOUTH 08 DEGREES 06 MINUTES 33 SECONDS EAST, 112.85 FEET TO THE MOST EASTERLY CORNER OF SAID LOT 21; THENCE SOUTH 72 DEGREES 28 MINUTES 38 SECONDS WEST ALONG THE SOUTHEASTERLY LINE OF SAID LOT 21 IN BLOCK 13, A DISTANCE OF 114.82 FEET TO THE MOST SOUTHERLY CORNER OF SAID LOT 21; THENCE NORTHWESTERLY ALONG THE WESTERLY LINE OF SAID BLOCK 13, BEING AN ARC OF A CURVE CONCAVE TO THE NORTHEAST AND NONTANGENT TO THE LAST DESCRIBED LINE, HAVING A RADIUS OF 452.34 FEET, HAVING A CHORD BEARING OF NORTH 08 DEGREES 57 MINUTES 38 SECONDS WEST, 148.90 FEET TO A POINT OF TANGENCY; THENCE NORTH 00 DEGREES 28 MINUTES 08 SECONDS EAST ALONG SAID WESTERLY LINE OF BLOCK 13, A DISTANCE OF 402.89 FEET TO THE PLACE OF BEGINNING, ALL IN DUPAGE COUNTY, ILLINOIS.
AS SHOWN ON THIS SUBDIVISION PLAT, WHICH IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. I FURTHER CERTIFY THAT ALL REGULATIONS ENACTED BY CITY OF NAPERVILLE, A MUNICIPAL CORPORATION IN DUPAGE COUNTY, ILLINOIS, RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPLIED WITH IN THE PREPARATION OF THIS PLAT.

I FURTHER CERTIFY THAT THE ABOVE DESCRIBED AREA FALLS IN ZONE X AREA OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FIRM MAP OF DUPAGE COUNTY, ILLINOIS AND INCORPORATED AREAS, PANEL NUMBER 17043C0703H, EFFECTIVE DATE DECEMBER 16, 2004.

I FURTHER CERTIFY THAT THIS SUBDIVISION LIES WITHIN THE CORPORATE LIMITS OF SAID CITY OF NAPERVILLE OR WITHIN 1/2 MILES OF THE CORPORATE LIMITS OF SAID CITY WHICH HAS ADOPTED A CITY PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR HEREAFTER AMENDED.

GIVEN UNDER MY HAND AND SEAL AT WOODRIDGE, ILLINOIS THIS _____ DAY OF _____, A.D. 20____.

CHARLES W. BARTOSZ
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3188
MY LICENSE EXPIRES ON NOVEMBER 30, 2018.
V3 COMPANIES OF ILLINOIS, LTD. PROFESSIONAL DESIGN FIRM NO. 184000902
THIS DESIGN FIRM NUMBER EXPIRES APRIL 30, 2019.
cbartosz@v3co.com



DUPAGE COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)
I, _____ COUNTY CLERK OF DU PAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.
I, FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.
GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT WHEATON, ILLINOIS, THIS _____ DAY OF _____, 20____.
COUNTY CLERK

DUPAGE COUNTY RECORDER CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DU PAGE)
THIS INSTRUMENT _____ WAS FILED FOR RECORD IN THE RECORDERS OFFICE OF DU PAGE COUNTY, ILLINOIS,
ON THE _____ DAY OF _____, A.D. 20____ AT _____ O'CLOCK _____ M.
RECORDER OF DEEDS

V Engineers 7325 Janes Avenue, Suite 100 Woodridge, IL 60517 Scientists 630.724.9200 voice 630.724.9384 fax v3co.com Surveyors

PREPARED FOR: AVENIDA PARTNERS, LLC 19700 FAIRCHILD RD - STE 170 IRVINE, CA 92612 949-734-7810

REVISIONS table with columns: NO., DATE, REVISION. Includes EXHIBIT B and REVISED PER CITY COMMENTS.

FINAL PLAT OF SUBDIVISION AVENIDA - NAPERVILLE, ILLINOIS. Project No: 16130 Group No: VP04.6. Includes DRAFTING COMPLETED, FIELD WORK COMPLETED, DRAWN BY, CHECKED BY, PROJECT MANAGER, SCALE, SHEET NO. 2 of 2.