

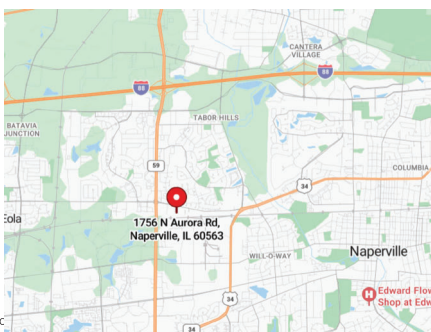
GENERAL NOTES:

- PROPOSED TOP OF NEW FOUNDATION IS SHOWN ON DRAWINGS. REFER TO ARCHITECTURAL PLANS FOR TOP OF FOUNDATIONS AT PORCHES AND PATIOS. COORDINATE WITH ARCHITECT FOR FOUNDATIONS AT DOOR STOPS. EXPOSED FOUNDATION SHALL BE MINIMUM OF 4" AND A MAXIMUM OF 8".
- A SPOT SURVEY IS REQUIRED TO BE APPROVED PRIOR TO FRAMING.
- PROPOSED GROUND ELEVATION AT FOUNDATIONS AS NOTED ON PLANS. PROPOSED ELEVATIONS ARE TOP OF SOO OR DRIVEWAY. FINISHED DIRT GRADE IN LAWN AREAS SHALL BE 2" BELOW TOP OF SOO. SITE AREA TO DRAIN AWAY FROM HOUSE.
- RUNOFF FROM ROOF OF NEW STRUCTURE TO BE COLLECTED BY GUTTERS, AND DIRECTED TO DOWNSPOUTS. DOWNSPOUTS SHALL SPLASH AT GRADE, UNLESS OTHERWISE SHOWN.
- RE-ESTABLISH EXISTING YARD DRAINAGE PATTERNS AFTER CONSTRUCTION EXCEPT AS NOTED ON PLANS.
- REFER TO ARCHITECT'S SITE PLAN FOR PROPOSED STRUCTURES EXACT SETBACKS FROM PROPERTY LINES.
- REFER TO PLAN OF SURVEY FOR LOT DIMENSIONS AND DISTANCES FROM EXISTING STRUCTURES TO PROPERTY LINES.
- CONTRACTOR TO PROMPTLY REMOVE ANY EXCAVATED MATERIAL NOT REQUIRED FOR SITE BACKFILL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UNDERGROUND OR OVERHEAD UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE VILLAGE AND THE OWNER, OR REPLACED.
- CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THEIR EMPLOYEES AND OTHER WORKERS ON THE SITE. ANY OPEN EXCAVATIONS, OR POTENTIALLY DANGEROUS AREAS SHALL BE FENCED OR GUARDED IN AN ACCEPTABLE MANNER AT THE END OF EACH DAY FOR THE PROTECTION OF THE CONTRACTOR'S EMPLOYEES AND GENERAL PUBLIC SAFETY. RBD ASSOCIATES ASSUMES NO LIABILITY FOR CONSTRUCTION SITE SAFETY.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY SOIL TRACKED ONTO THE ROAD AT THE END OF EACH DAY.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ENGINEER'S PLAN TO ARCHITECT'S PLAN. ANY DISCREPANCIES MUST BE CLARIFIED BY THE ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTION.
- CONTRACTOR TO IMPLEMENT PROPER SHORING MEASURES TO PREVENT SUBSIDENCE AND/OR DAMAGE TO ADJACENT PROPERTIES.
- ALL TRIBUTARY AREAS FROM ADJACENT PROPERTIES WILL CONTINUE TO DRAIN INTO THE SUBJECT PROPERTY AND THE CONTRACTOR WILL MAKE ANY FIELD ADJUSTMENTS NECESSARY TO ADHERE TO THIS REQUIREMENT.
- THE PAVEMENT ALONG THREE DMS ROAD AND ANY OTHER STREET UTILITIES AS A CONSTRUCTION ROUTE BY THE CONTRACTOR SHALL BE PROTECTED FROM ANY DAMAGE. THE CONTRACTOR SHALL CLEAN THE PAVEMENT OF ALL CONSTRUCTION DIRT AND DEBRIS AT THE END OF EACH WORK DAY.
- CALL JULIE 1-800-892-0123 48 HOURS BEFORE STARTING ANY EXCAVATION WORK.
- ALL BUILDING LAYOUTS SHOULD BE DONE BY A REGISTERED LAND SURVEYOR AFTER CONFIRMING THE PROPERTY CORNERS IN THE FIELD. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER PRIOR TO INITIATING CONSTRUCTION.
- DUST CONTROL METHODS SHOULD BE USED TO MINIMIZE THE SPREAD OF AIRBORNE PARTICLES.
- WHERE NATURAL VEGETATION IS REMOVED DURING GRADING, SOIL EROSION CONTROL METHODS SHALL BE INSTALLED AND VEGETATION SHALL BE PROMPTLY RE-ESTABLISHED WITHIN 30 DAYS IN SUFFICIENT DENSITY TO PROVIDE EROSION CONTROL. MINIMIZE THE AMOUNT OF NATURAL VEGETATION REMOVED.
- BUILDING MATERIALS AND DEBRIS FROM CONSTRUCTION SITE WASTES MUST BE PROPERLY MANAGED AND DISPOSED OF TO REDUCE THE RISK OF POLLUTION.
- CONTRACTOR WILL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY DAMAGED PUBLIC PROPERTY AS A RESULT OF CONSTRUCTION ON THIS SITE. ALL PUBLIC PROPERTIES ADJACENT AS PART OF THIS PROJECT WILL BE DONE IN ACCORDANCE WITH VILLAGE STANDARDS AND MEET OR EXCEED PRESENT CONDITIONS.

- PLANTING, LANDSCAPING AND/OR MULCHING ALONG THE PROPERTY LINES THAT EFFECTIVELY CHANGE ELEVATIONS, CREATES A BERM AND/OR OBSCURES WATER AT THE PROPERTY LINE WILL NOT BE PERMITTED. LANDSCAPING/PLANTING FINISHED GRADES MUST BE AT THE EXISTING GRADE, OR LOWER ALONG THE PROPERTY LINES. LANDSCAPING PLANS MUST MEET AND COMPLY WITH THE APPROVED ENGINEERING AND GRADING PLAN FOR THE SITE.
- STORM WATER RUNOFF FROM THIS SITE MUST BE MAINTAINED ON THE SITE, AND NOT BE DIRECTED OR DISCHARGED ONTO ADJACENT PROPERTIES. MATERIALS STORED ON SITE MUST ALSO NOT CREATE RUNOFF THAT ADVERSELY AFFECTS ADJACENT PROPERTIES.
- THE OWNER, GENERAL CONTRACTOR, AND ALL SUBCONTRACTORS SHALL INDEMNIFY AND HOLD HARMLESS FROM ALL LIABILITY ARISING FROM THE USE OF THESE PLANS FOR RBD ASSOCIATES INC. AND THEIR EMPLOYEES.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE.
- THESE PERMITS DOES NOT INCLUDE OR ALLOW LANDSCAPING THAT EFFECTIVELY CHANGES YARD ELEVATIONS OR EXISTING DRAINAGE PATTERNS.
- ALL EXISTING GRADES MUST BE MAINTAINED AT THE PROPERTY LINE.
- ALL DOWNSPOUTS DISCHARGE AT GRADE AND ARE DIRECTED TO DRAIN TOWARD PROPOSED SWALES AND/OR INLET STRUCTURES. DOWNSPOUTS DISCHARGING ONTO NON-PAVED SURFACES SHOULD BE PROVIDED WITH SPLASH BLOCKS.
- AN AS-BUILT TOPOGRAPHIC SURVEY WILL BE REQUIRED UPON COMPLETION OF GRADING AND LANDSCAPING TO VERIFY COMPLIANCE. PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY OR FINAL INSPECTION APPROVAL BY THE CIVIL ENGINEER, ALL CERTIFICATES MUST BE SIGNED, SEALED, AND DATED (DATE OF SIGNATURE AND DATE OF LICENSE EXPIRATION). IN CASE OF DRAINAGE DISPUTES, THE VILLAGE OF CARY MAY REQUIRE THAT ADDITIONAL MEASURES BE TAKEN TO ENSURE THAT IMPROVEMENTS, INCLUDING THE PROVISION OF ADDITIONAL INLET STRUCTURES AND/OR DRAINAGE SWALES.
- ANY AND ALL PROPOSED DRAINAGE SWALES AND/OR INLET STRUCTURES WILL BE CONSIDERED MINOR AND BENEFICIAL TO THE OVERALL DRAINAGE PATTERNS OF THE SITE. ALL PROPOSED DRAINAGE SWALES MUST HAVE SUFFICIENT DEPTH AND WIDTH TO DRAIN STORM WATER RUNOFF TO THE PROPOSED INLET(S). SWALES MUST BE AT LEAST 8" DEEP AND 2' WIDE AT THE BASE, WITH A MINIMUM OF 4:1 SIDE SWALES MUST MEET THE EXISTING GRADES AT THE PROPERTY LINES. THE FLOW LINE OF THE SWALES MUST BE BELOW THE EXISTING GRADE AT THE PROPERTY LINE. DAMMING OR DISPLACING STORM WATER ONTO NEIGHBORING PROPERTIES IS NOT ALLOWED.
- ALL PROPOSED CUTS IN THE PAVEMENT, SIDEWALK, OR CURB AND GUTTER, MUST BE SAW-CUT, FULL-DEPTH, PRIOR TO REMOVAL.
- ALL UTILITY AND SERVICE UNDER EXISTING PUBLIC PAVEMENT, WHERE AN OPEN CUT OF THE PAVEMENT HAS BEEN APPROVED, SHALL BE PROTECTED WITH FLOWABLE FILL. WHEN MEETS THE DOT STANDARD OF THE CONTROLLED LOW STRENGTH MATERIAL (CLSM) MIXTURE 1, C-2 MATERIAL SHOULD ONLY BE PROVIDED TO ONE FOOT OVER THE TOP OF THE PIPE. THE REMAINING TRENCH FILL WITH FLOWABLE FILL. THE TOP 2" SHALL REMAIN UNFILLED FOR PLACEMENT OF PAVEMENT SURFACE MATERIALS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UNDERGROUND OR OVERHEAD UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE CITY AND THE OWNER, OR REPLACED.
- CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THEIR EMPLOYEES AND OTHER WORKERS ON THE SITE. ANY OPEN EXCAVATIONS, OR POTENTIALLY DANGEROUS AREAS SHALL BE FENCED OR GUARDED IN AN ACCEPTABLE MANNER AT THE END OF EACH DAY FOR THE PROTECTION OF THE CONTRACTOR'S EMPLOYEES AND GENERAL PUBLIC SAFETY. RBD ASSOCIATES ASSUMES NO LIABILITY FOR CONSTRUCTION SITE SAFETY.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY SOIL TRACKED ONTO THE ROAD AT THE END OF EACH DAY.
- CONTRACTOR IS RESPONSIBLE FOR COMPARING ENGINEER'S PLAN TO ARCHITECT'S PLAN. ANY DISCREPANCIES MUST BE CLARIFIED BY THE ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTION.
- CONTRACTOR TO IMPLEMENT PROPER SHORING MEASURES TO PREVENT SUBSIDENCE AND/OR DAMAGE TO ADJACENT PROPERTIES.
- ALL TRIBUTARY AREAS FROM ADJACENT PROPERTIES WILL CONTINUE TO DRAIN INTO THE SUBJECT PROPERTY AND THE CONTRACTOR WILL MAKE ANY FIELD ADJUSTMENTS NECESSARY TO ADHERE TO THIS REQUIREMENT.
- SOIL FENCE SHALL BE INSPECTED AFTER EVERY 0.5 INCH OR MORE RAIN EVENT OR ONCE A WEEK. SOIL FENCE SHALL BE MAINTAINED UNTIL TURF IS ESTABLISHED.
- DOMESTIC WATER SERVICE REQUIRED TO BE TAPPED OFF FIRE RISER INSIDE BUILDING.

CONTRACTOR INFORMATION:
ASPHALT PAVING
PROFESSIONALS
 28W651 ROOSEVELT RD,
 WINFIELD IL 60190
 (847) 875-5787

Site Location



INDEX

SHEET NO.	TITLE
1	COVER SHEET
2	CITY NOTES
3	EXISTING CONDITIONS & EROSION CONTROL PLAN
4	PROPOSED CONDITIONS
5	UTILITY PLAN & AUTO-TURN EXHIBIT
6	SITE DETAILS
7	SITE DETAILS

SURVEY INFORMATION:

- LOT DIMENSIONS TAKEN FROM ORIGINAL SURVEY. ALL LOT LINES, SETBACK LINES, UTILITY EASEMENT, ARE LOCATED ON THE SITE BEFORE START.
- CONTRACTOR IS SOLE RESPONSIBLE FOR COMPLIANCE WITH SETBACKS AND EASEMENTS.
- CONTRACTOR AGREES TO COMPLY WITH THIS DIRECTIVE AND FURTHER AGREES TO HOLD ENGINEER HARMLESS FOR REMEDIAL ACTION DUE TO HIS FAILURE TO COMPLY.
- THE ENGINEER SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR DEMOLITION OR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION.
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S SCHEDULES OR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE ENGINEER SHALL NOT HAVE CONTROL OVER OR CHARGE OF ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.
- **REFERENCE ALTA/NSPS LAND TITLE SURVEY COMPLETED BY EDWARD J. MOLLOY & ASSOCIATES **
 TOPOGRAPHICAL FIELD WORK FOR SUBJECT LOT COMPLETED ON 05-31-2024

RBD NOTES:

- REARFRONT/SIDE YARD BASINS MAY EXPERIENCE STANDING WATER DURING HEAVY RAIN EVENTS.
- IF THE GROUNDWATER TABLE IS WITHIN 2 FEET OF THE DRAIN TILE, THE BASEMENT SLAB SHOULD BE RAISED. DISCUSS WITH ENGINEER AND ARCHITECT TO MAKE NECESSARY CHANGES.
- ALL STORM SEWERS ARE TO BE INSTALLED WITHIN 10 FEET OF A BUILDING FOUNDATION.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL VILLAGE/COUNTY REGULATIONS AND CODES AS WELL AS STANDARDS.
- IF IT APPEARS THAT THE WORK COVERED BY THE CONTRACT DOCUMENTS IS NOT SUFFICIENTLY DETAILED OR EXPLAINED, AN RFI FORM SHALL BE SUBMITTED TO THE ENGINEER FOR FURTHER DRAWINGS OR EXPLANATIONS AS MAY BE NECESSARY TO CLARIFY THE POINT IN QUESTION PRIOR TO THE CONTRACT AWARD. IF IT IS THE INTENTION OF THE CONTRACT DOCUMENTS TO PROVIDE A JOB CONTRACT IN EVERY RESPECT, THE CONTRACTOR IS RESPONSIBLE FOR THIS RESULT AND TO TURN OVER THE PROJECT IN COMPLETE OPERATING CONDITION, IRRESPECTIVE OF WHETHER THE CONTRACT DOCUMENTS COVER EVERY INDIVIDUAL ITEM IN MINUTE DETAIL.
- ALL BUILDING LAYOUTS SHOULD BE DONE BY A REGISTERED LAND SURVEYOR AFTER CONFIRMING THE PROPERTY CORNERS IN THE FIELD. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER PRIOR TO INITIATING CONSTRUCTION.

UTILITY NOTES:

- ALL DOWNSPOUTS SHALL SPLASH ON GRADE UNLESS SHOWN TO CONNECT TO STORM SEWER.
- ALL SEWER, WATER, AND GAS UTILITIES TO BE FIFTEEN (15) FEET FROM MATURE TREES AND FIVE (5) FEET FROM SMALL TREES. UTILITIES CLOSER THAN THESE LIMITS MUST BE AVOIDED.
- MINIMUM 10' DISTANCE BETWEEN WATER AND SEWER SERVICES.
- NEW SANITARY AND STORM SERVICES SHALL BE 1" PVC 30' PER PIPE CONFORMING TO ASTM D-3034 WITH PUSH-ON JOINTS CONFORMING TO ASTM D-3212 USING A MINIMUM PIPE SLOPE OF 1.00%.
- INSTALL FIRST SANITARY CLEAN OUT WITHIN 10 FEET OF BUILDING AND CONNECT TO SANITARY SYSTEM PER APPROVED PLANS.
- NEW WATER SERVICE TO BE TYPE K COPPER CONFORMING TO ASTM B88 AND ASTM B251 PER MEP PLAN.
- CONTRACTOR TO FIELD VERIFY SEWER INVERT ELEVATION AND LOCATION PRIOR TO ANY SEWER CONSTRUCTION. CONTRACTOR TO START SEWER CONSTRUCTION AT POINT OF CONNECTION AND WORK WAY UPSTREAM.

DRAINAGE STATEMENT

To the best of my knowledge, the proposed work qualifies as best practice by conveying roof and surface stormwater into ditches and public storm sewers for the purpose of minimizing stormwater discharge and providing recharge for the ground water. Reasonable provision has been made for overflow of such surface waters into public areas and that such surface waters are planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of damage to adjoining properties because of the implementation of this work.



Signed: 01/04/2026
 Expires: 11/30/2027

RAMIZ B. DABABNEH
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF ILLINOIS NO. 062-073740

REFERENCE BENCHMARKS:
 1. CITY OF NAPERVILLE SURVEY MONUMENT STATION NO. 216: MONUMENT AT THE SOUTHEAST CORNER OF FAIRWAY DRIVE AND NORTH AURORA ROAD. ELEVATION = 708.96 (NAVD 88)
 2. CITY OF NAPERVILLE SURVEY MONUMENT STATION NO. 16: MONUMENT AT SOUTHWEST CORNER OF ROUTE 59 AND BNSF RAILWAY. ELEVATION = 702.56 (NAVD 88).

SITE BENCHMARK DATA

SET PK NAIL IN PAVEMENT, NEAR EXIT DRIVEWAY ON THE EAST CONNECTING TO NEIGHBOR LOT.
 ELEV. = 698.87' (N.A.V.D. 1988 DATUM)

LOT (S.F.)	Proposed Area (S.F.)	
	Building	PCC Sidewalk (Front + Side)
81035.0	Conc. Curb	261.3
	Asphalt Pavement + Driveway Apron	42701.1
	Transformer Sals	20.3
	Proposed Imp. Area [Sq Ft]	53809.9
	Proposed Imp. Area (%)	66.40

Detention is not required because the overall Metro Storage Development assessed 85% impervious for this site. Since less than 85% impervious is proposed, additional detention is not required.

LEGEND AND SYMBOLS:

- N. = NORTH
 - S. = SOUTH
 - W. = WEST
 - E. = EAST
 - TF = TOP OF FOUNDATION
 - B/S = BOTTOM OF SOILING
 - F.F.L. = FINISH FLOOR
 - G/S = GARAGE SLAB
 - TC = TOP OF CURB
 - G = GUTTER
 - TW = TOP OF WALL
 - T.P. = TOP OF PIPE CONC. = CONCRETE
- TREE
 - WOOD FENCE
 - CHAIN LINK FENCE
 - IRON FENCE
 - FIRE HYDRANT
 - WATER VALVE
 - 8-INCH
 - WATER MANHOLE
 - STORM MANHOLE
 - CATCH BASIN
 - STORM INLET
 - CURB INLET
 - SANITARY MANHOLE
 - CLEAN-OUT
 - CULVERT HEADWALL
 - PROPOSED STORM SEWER
 - EXISTING STORM SEWER
 - SANITARY SEWER
 - COMBINED SEWER
 - WATER MAIN
 - OVERHEAD WIRES
 - UNDERGROUND ELEC.
 - CABLE / PHONE
 - GAS MAIN
 - WOOD POWER POLE
 - DOWN SPOT
 - LIGHT FIXTURE
 - OVERLAND FLOW
 - MONUMENT
 - ELECTRICAL HH
 - GAS IN
 - EXISTING SPOT GRADE EL.
 - PROPOSED SPOT GRADE EL.
 - CUT SHALE
 - MATERIAL
 - CABLE BOX
 - PIPE LENGTH

CALL JULIE
 CALL 48 HOURS BEFORE YOU DIG
 (EXCLUDING SAT., SUN. & HOLIDAYS)
1-800-892-0123

ENGINEERING PLANS PREPARED BY:
 RBD Associates, Inc.
 Design Firm License Number: 184.008755
 GLENVIEW, IL
 ramiz@rbdengineering.com
 224.425.0009

PLANS PREPARED FOR:
 Asphalt Paving Professionals
 scott@asphaltpavingpro.com
 847-875-5787

NEW COMMERCIAL DEVELOPMENT
 1756 N AURORA ROAD
 NAPERVILLE, IL

DESIGNED BY: RBD
PROJECT NO.: 24-1756
DATE: 09/19/2024
SCALE: 1:20 (FULL); 1:40 (11X17)
SHEET 1 OF 7

FULL SIZE PLANS HAVE BEEN PREPARED USING STANDARD ENGINEERING SCALES. REDUCED SIZED PLANS WILL NOT CONFORM TO STANDARD SCALES. USE THE SCALE BELOW TO MAKE MEASUREMENTS ON REDUCED PLANS.

0' 10' 20' 50'

SUBMITTALS

DATE	REMARKS
01/04/2026	ISSUED FOR REVIEW #2
03/28/2025	ISSUED FOR REVIEW #1
09/19/2024	ISSUED FOR DESIGN COORDINATION

RIGHTS: THIS DRAWING SHALL NOT BE USED, REPRODUCED, MODIFIED OR SOLD EITHER WHOLLY OR IN PART, EXCEPT WHEN AUTHORIZED IN WRITING BY THE ENGINEER.

COVER SHEET

DESIGNED BY: RBD
PROJECT NO.: 24-1756
DATE: 09/19/2024
SCALE: 1:20 (FULL); 1:40 (11X17)
SHEET 1 OF 7

General Notes

Table with 2 columns: Item number and description. Contains 12 general notes regarding permits, standards, and site requirements.

Storm Sewer Notes (General)

Table with 2 columns: Item number and description. Contains 2 general notes for storm sewer connections and repairs.

Storm Sewer Notes (Storm Sewer Work in Plans)

Table with 2 columns: Item number and description. Contains 16 detailed notes for various pipe materials and bedding specifications.

Erosion Control and Drainage Notes (Project Specific)

Table with 2 columns: Item number and description. Contains 4 notes for erosion control and drainage measures.

Storm Sewer Notes (Storm Sewer Work in Plans Continued...)

Table with 2 columns: Item number and description. Contains 11 detailed notes for storm sewer construction details.

Erosion Control and Drainage Notes (General)

Table with 2 columns: Item number and description. Contains 3 general notes for erosion control and drainage.

Geometric and Paving Notes (General)

Table with 2 columns: Item number and description. Contains 6 notes for geometric and paving requirements.

Traffic Control and Protection Notes (General)

Table with 2 columns: Item number and description. Contains 4 notes for traffic control and protection measures.

DEPARTMENT OF PUBLIC UTILITIES - ELECTRIC GENERAL NOTES

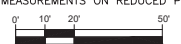
Vertical text block containing detailed electric utility notes, including requirements for meter cabinets, transformers, and conduit.

Vertical text on the left margin: Date: Mar 26, 2025, 1:05pm, User: RBD, Location: C:\Users\rbdo\OneDrive\Documents\2024-08-06\31750 - North Aurora Road - Naperville, IL\Drawings\2 - Proposed - 03-26-2025 - RBD.rvt

ENGINEERING PLANS PREPARED BY: RBD Associates, Inc. Design Firm License Number: 184.008755

PLANS PREPARED FOR: Asphalt Paving Professionals scott@asphaltpavingpro.com 847-875-5787

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BENCHMARK DATA: SET PK NAIL IN PAVEMENT, NEAR EXIT DRIVEWAY ON THE EAST CONNECTING TO NEIGHBOR LOT. ELEV. = 698.87' (N.A.V.D. 1988 DATUM)

CALL JULIE: CALL 48 HOURS BEFORE YOU DIG (EXCLUDING SAT., SUN. & HOLIDAYS) 1-800-892-0123

CITY NOTES: Handwritten note 'C-2 CITY NOTES' in a box.

Signature of Ramiz B. Dababneh, Registered Professional Engineer, State of Illinois No. 062-073740

Signed: 09/19/2024 Expires: 11/30/2025

Table with 2 columns: DATE and REMARKS. Shows submission dates 03/28/2025 and 09/19/2024 with remarks 'ISSUED FOR REVIEW #1' and 'ISSUED FOR DESIGN CORRECTION'.

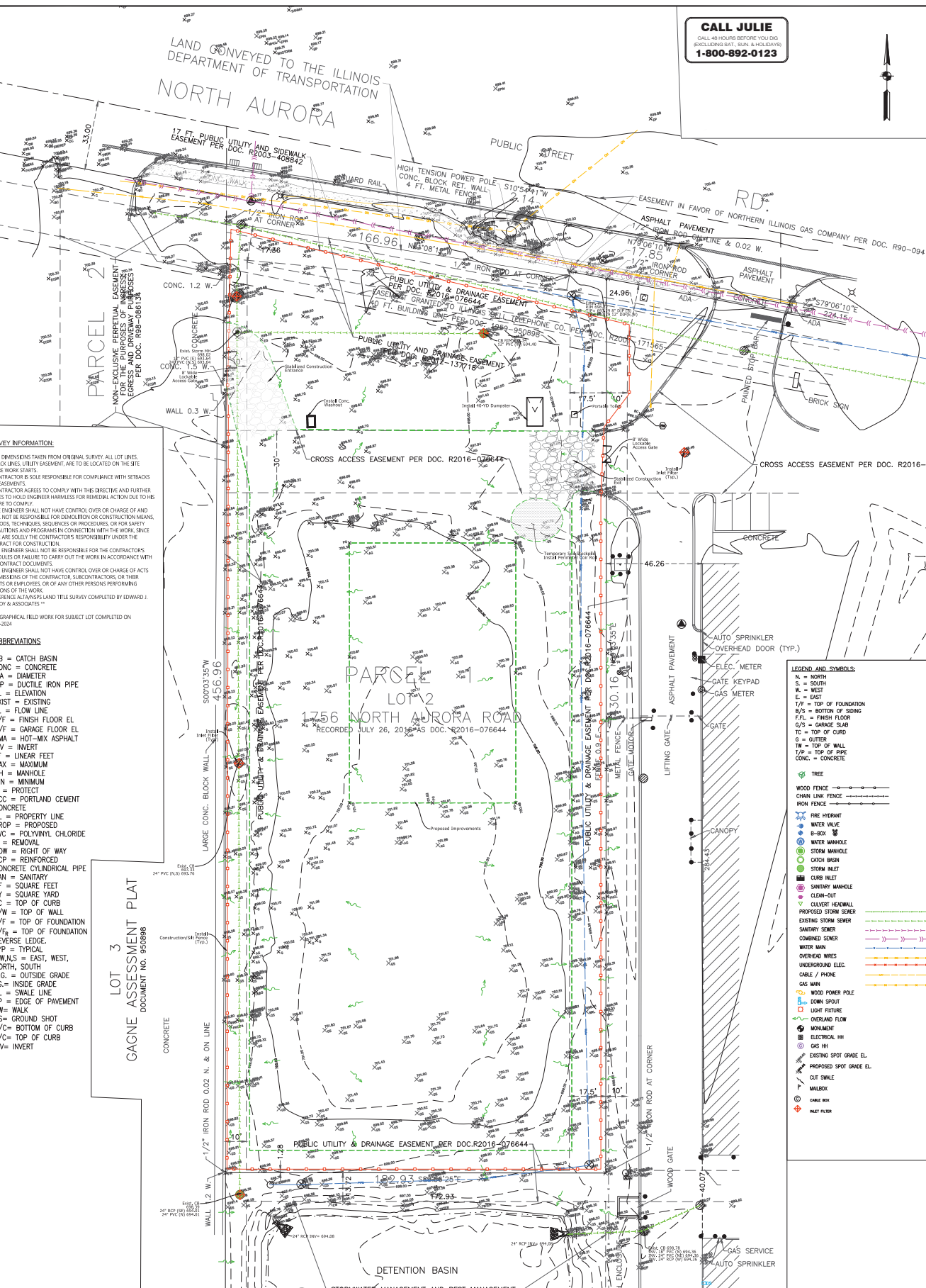
NEW COMMERCIAL DEVELOPMENT 1756 N AURORA ROAD NAPERVILLE, IL

DESIGNED BY: RBD PROJECT NO.: 24-1756 DATE: 09/19/2024 SCALE: 1:20 (FULL); 1:40 (11X17) SHEET 2 OF 7

CALL JULIE
CALL 48 HOURS BEFORE YOU DIG
(EXCLUDING SAT. MORN. & HOLIDAYS)
1-800-892-0123



LAND CONVEYED TO THE ILLINOIS
DEPARTMENT OF TRANSPORTATION
NORTH AURORA



SURVEY INFORMATION:

1. LOT DIMENSIONS TAKEN FROM ORIGINAL SURVEY. ALL LOT LINES, SETBACK LINES, UTILITY EASEMENTS, ARE TO BE LOCATED ON THE SITE BEFORE WORK STARTS.
 2. CONTRACTOR IS SOLE RESPONSIBLE FOR COMPLIANCE WITH SETBACKS AND EASEMENTS.
 3. CONTRACTOR AGREES TO COMPLY WITH THIS DIRECTIVE AND FURTHER AGREES TO HOLD ENGINEER HARMLESS FOR REMEDIAL ACTION DUE TO HIS FAILURE TO COMPLY.
 4. THE ENGINEER SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR DIRECTION OR CONSTRUCTION METHODS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION.
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- *REFERENCE AURORA'S LAND TITLE SURVEY COMPLETED BY EDWARD J. MOLLOY & ASSOCIATES*
- TOPOGRAPHICAL FIELD WORK FOR SUBJECT LOT COMPLETED ON 05-31-2024

ABBREVIATIONS:

- CB = CATCH BASIN
- CONC. = CONCRETE
- DIAM = DIAMETER
- DIP = DUCTILE IRON PIPE
- EL = ELEVATION
- EXIST = EXISTING
- FL = FLOW LINE
- F/F = FINISH FLOOR EL
- G/F = GARAGE FLOOR EL
- HMA = HOT-MIX ASPHALT
- INV = INVERT
- LF = LINEAR FEET
- MAX = MAXIMUM
- MH = MANHOLE
- MIN = MINIMUM
- P = PROTECT
- PCC = PORTLAND CEMENT CONCRETE
- PL = PROPERTY LINE
- PROP = PROPOSED
- PVC = POLYVINYL CHLORIDE
- R = REMOVAL
- ROW = RIGHT OF WAY
- ROP = REINFORCED CONCRETE CYLINDRICAL PIPE
- SAN = SANITARY
- SF = SQUARE FEET
- SY = SQUARE YARD
- TC = TOP OF CURB
- T/W = TOP OF WALL
- T/F = TOP OF FOUNDATION
- REVERSE LEDGE.
- TYP = TYPICAL
- E.W./N.S = EAST, WEST, NORTH, SOUTH
- O.G. = OUTSIDE GRADE
- I.G. = INSIDE GRADE
- SL = SNAKE LINE
- EP = EDGE OF PAVEMENT
- SW = WALK
- GS = GROUND SHOT
- B/C = BOTTOM OF CURB
- T/C = TOP OF CURB
- INV = INVERT

LOT 3
GAGNE ASSESSMENT PLAT
DOCUMENT NO. 940898

LEGEND AND SYMBOLS:

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- GAS HH
- EXISTING SPOT GRADE EL.
- PROPOSED SPOT GRADE EL.
- CUT SNAKE
- MALEBOX
- CABLE BOX
- INLET FILTER

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SCALE: 1:20 (FULL); 1:40 (11X17)
SHEET 3 OF 7

ENGINEERING PLANS PREPARED BY:

PLANS PREPARED FOR:

FULL SIZE PLANS HAVE BEEN PREPARED USING STANDARD ENGINEERING SCALES. REDUCED SIZED PLANS WILL NOT CONFORM TO STANDARD SCALES. USE THE SCALE BELOW TO MAKE MEASUREMENTS ON REDUCED PLANS.

0' 10' 20' 50'

SUBMITTALS	
DATE	REMARKS
03/28/2025	ISSUED FOR REVIEW #1
09/19/2024	ISSUED FOR DESIGN COORDINATION

BENCHMARK DATA
SET PK NAIL IN PAVEMENT, NEAR EXIT DRIVEWAY ON THE EAST CONNECTING TO NEIGHBOR LOT. ELEV. = 698.87' (N.A.V.D. 1988 DATUM)

THIS DRAWING SHALL NOT BE USED, REPRODUCED, MODIFIED OR SOLD EITHER WHOLLY OR IN PART, EXCEPT WHEN AUTHORIZED IN WRITING BY THE ENGINEER.

EXISTING CONDITIONS & EROSION CONTROL PLAN

DESIGNED BY: RBD
PROJECT NO.: 24-1756
DATE: 09/19/2024
SCALE: 1:20 (FULL); 1:40 (11X17)
SHEET 3 OF 7

DATE: Mar 26, 2025, 1:56pm User: ID: rbd099 The: C:\Users\rbdo\Documents\2024-2404\31756-1756 North Aurora Road Naperville, IL\Drawings\1 Existing 03.25.25.dwg

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(EXCLUDING SAT. DAY & HOLIDAYS)
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LAND CONVEYED TO THE ILLINOIS
DEPARTMENT OF TRANSPORTATION
NORTH AURORA

PARCEL 2

NON-EXCLUSIVE PERPETUAL EASEMENT
FOR ACCESS AND DRIVEWAY PURPOSES
PER DOC. R99-086134

DEDICATED FOR PUBLIC USE
PER DOC. R2016-07644

CONCRETE NOTES:

1. ALL CONCRETE SHALL BE MINIMUM 5" PCC.
2. AGGREGATE BASE COURSE SHALL CONSIST OF MINIMUM 4" CA-6 COMPACTED TO 95% STANDARD PROCTOR DENSITY.
3. ALL CONCRETE SHALL BE OF AN APPROVED MIX DESIGN AND SHALL OBTAIN A COMPRESSIVE STRENGTH RATINGS OF 3,500 PSI WITHIN A FOURTEEN (14) DAY PERIOD.
4. ALL CONCRETE PAVEMENT AND BASE COURSE SHALL BE IN ACCORDANCE WITH SECTION 420 (DOT STANDARD SPECIFICATION).
5. A 3/4" FIBER EXPANSION JOINT SHALL BE INSTALLED WHEN THE NEW PAVEMENT ADJUTS A SIDEWALK OR DRIVEWAY PURPOSES.
6. CONSTRUCTION JOINTS SHOULD BE SAWCUT A MINIMUM OF TWO INCHES DEEP WITHIN 4-2 HOURS OF CONCRETE PLACEMENT, BUT NO LATER THAN 24 HOURS AFTER CONCRETE PLACEMENT. SHALL BE IN ACCORDANCE WITH SECTION 420 (DOT STANDARD SPECIFICATIONS, 15' MAXIMUM INTERVAL BETWEEN JOINTS).
7. MAINTAIN 6" (6") OF EXPOSED FOUNDATION. DROP SEAMS AS NEEDED.

PLEASE REFERENCE MEP, ARCHITECT AND LANDSCAPE PLAN BY OTHERS

ABBREVIATIONS:

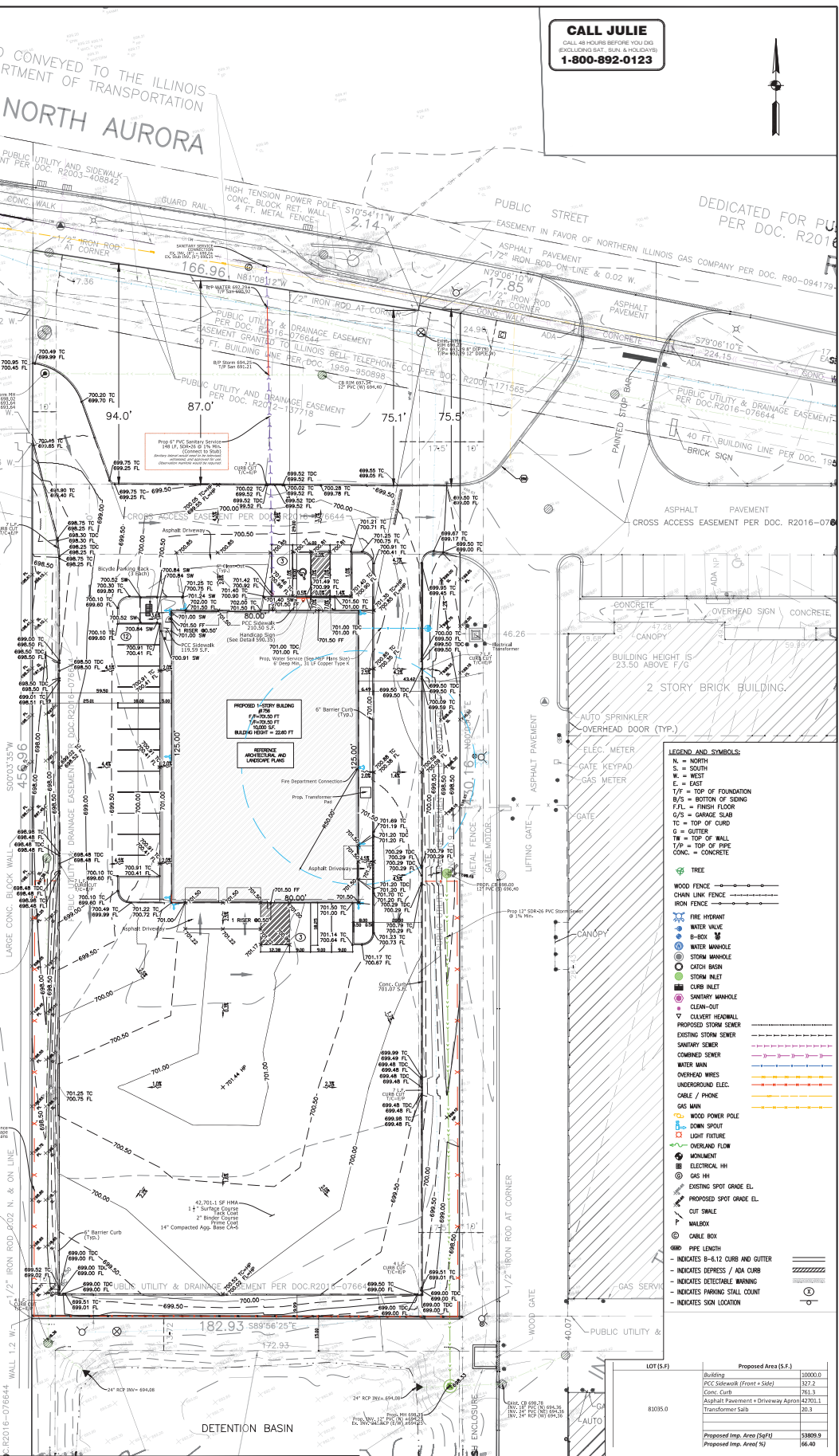
CB = CATCH BASIN
CONC = CONCRETE
DIA = DIAMETER
DIP = DUCTILE IRON PIPE
EL = ELEVATION
EXIST = EXISTING
FL = FLOW LINE
F/F = FINISH FLOOR EL
G/F = GARAGE FLOOR EL
HMA = HOT-MIX ASPHALT
INV = INVERT
LF = LINEAR FEET
MAX = MAXIMUM
WH = WHOLE
MIN = MINIMUM
P = PROTECT
PCC = PORTLAND CEMENT CONCRETE
PL = PROPERTY LINE
PROP = PROPOSED
PVC = POLYVINYL CHLORIDE
R = REMOVAL
ROW = RIGHT OF WAY
RCP = REINFORCED CONCRETE CYLINDRICAL PIPE
SAN = SANITARY
SF = SQUARE FEET
SY = SQUARE YARD
TC = TOP OF CURB
T/W = TOP OF WALL
T/F_h = TOP OF FOUNDATION REVERSE LEDE.
TYP = TYPICAL
E,W,N,S = EAST, WEST, NORTH, SOUTH
G.S. = OUTSIDE GRADE
I.S. = INSIDE GRADE
SL = SWALE LINE
EP = EDGE OF PAVEMENT
SW = WALK
GS = GROUND SHOT
B/C = BOTTOM OF CURB
T/C = TOP OF CURB
INV = INVERT

SURVEY INFORMATION:

1. LOT DIMENSIONS TAKEN FROM ORIGINAL SURVEY. ALL LOT LINES, SETBACK LINES, UTILITY EASEMENTS, ARE TO BE LOCATED ON THE SITE BEFORE WORK STARTS.
2. CONTRACTOR IS SOLE RESPONSIBLE FOR COMPLIANCE WITH SETBACKS AND EASEMENTS.
3. CONTRACTOR AGREES TO COMPLY WITH THE DIRECTIVE AND FURTHER AGREES TO HOLD ENGINEER HARMLESS FOR REMEDIAL ACTION DUE TO HIS FAILURE TO COMPLY.
4. THE ENGINEER SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR DEMOLITION OR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION.
5. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S SCHEDULES OR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. THE ENGINEER SHALL NOT HAVE CONTROL OVER OR CHARGE OF ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.

*REFERENCE ALTA/NS/LAND TITLE SURVEY COMPLETED BY EDWARD J. MOLLOY & ASSOCIATES **

TOPOGRAPHICAL FIELD WORK FOR SUBJECT LOT COMPLETED ON 05-31-2024



LEGEND AND SYMBOLS:

- N = NORTH, S = SOUTH, E = EAST, W = WEST
- T/F = TOP OF FOUNDATION
- B/S = BOTTOM OF SLAB
- F.F.L. = FINISH FLOOR
- G/S = GARAGE SLAB
- TC = TOP OF CURB
- G = GUTTER
- TW = TOP OF WALL
- T/W = TOP OF PIPE
- CONC. = CONCRETE

WOOD FENCE (Symbol)

CHAIN LINK FENCE (Symbol)

IRON FENCE (Symbol)

FIRE HYDRANT (Symbol)

WATER INLET (Symbol)

B-BOX (Symbol)

WATER MANHOLE (Symbol)

STORM MANHOLE (Symbol)

CATCH BASIN (Symbol)

STORM INLET (Symbol)

CLUB INLET (Symbol)

SANITARY MANHOLE (Symbol)

CLEAN-OUT (Symbol)

CLAYER HEADWALL (Symbol)

PROPOSED STORM SEWER (Symbol)

EXISTING STORM SEWER (Symbol)

SANITARY SEWER (Symbol)

COMBINED SEWER (Symbol)

WATER MAIN (Symbol)

OVERHEAD WIRES (Symbol)

UNDERGROUND ELEC. (Symbol)

CABLE / PHONE (Symbol)

GAS MAIN (Symbol)

WOOD POWER POLE (Symbol)

DOWN SPOT (Symbol)

LIGHT FIXTURE (Symbol)

OVERLAND FLOW (Symbol)

OBSTACLE (Symbol)

ELECTRICAL HH (Symbol)

GAS HH (Symbol)

EXISTING SPOT GRADE EL. (Symbol)

PROPOSED SPOT GRADE EL. (Symbol)

CUT SWALE (Symbol)

MALIBOX (Symbol)

CABLE BOX (Symbol)

PIPE LENGTH (Symbol)

INCHES 8-12 CURB AND GUTTER (Symbol)

INCHES DEPRESS / ADA CURB (Symbol)

INDICATES ELECTRICAL WARNING (Symbol)

INDICATES PARKING STALL COUNT (Symbol)

INDICATES SIGN LOCATION (Symbol)

ENGINEERING PLANS PREPARED BY:
RBD Associates, Inc.
Design Firm License Number: 184.008755
GLENVIEW, IL
ramiz@bdengineering.com
224.425.0009

PLANS PREPARED FOR:
Asphalt Paving Professionals
scott@asphaltpavingpro.com
847-875-5787

FULL SIZE PLANS HAVE BEEN PREPARED USING STANDARD ENGINEERING SCALES. REDUCED SIZED PLANS WILL NOT CONFORM TO STANDARD SCALES. USE THE SCALE BELOW TO MAKE MEASUREMENTS ON REDUCED PLANS.

BENCHMARK DATA
SET PK NAIL IN PAVEMENT, NEAR EXIT DRIVEWAY ON THE EAST CONNECTING TO NEIGHBOR LOT.
ELEV. = 698.87' (N.A.V.D. 1988 DATUM)

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SUBMITTALS	
DATE	REMARKS
01/04/2026	ISSUED FOR REVIEW #2
03/28/2025	ISSUED FOR REVIEW #1
09/19/2024	ISSUED FOR DESIGN COORDINATION

NEW COMMERCIAL DEVELOPMENT
1756 N AURORA ROAD
NAPERVILLE, IL

DESIGNED BY: RBD
PROJECT NO.: 24-1756
DATE: 09/19/2024
SCALE: 1:20 (FULL); 1:40 (11X17)
SHEET 4 OF 7

PROPOSED CONDITIONS

Proposed Area (S.F.)

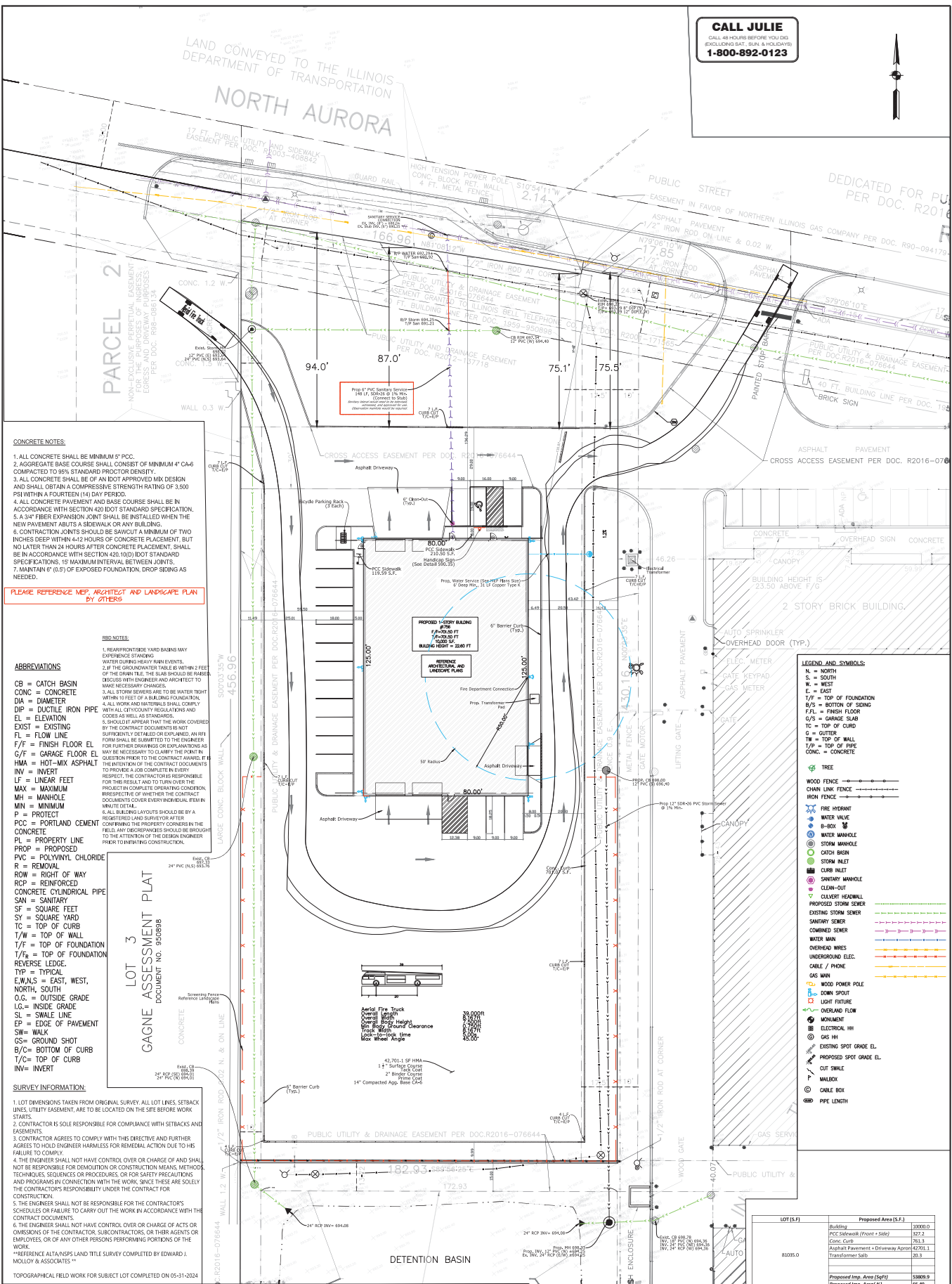
Building	10000.0
PCC Sidewalk (Front + Side)	322.2
Conc. Curb	761.3
Asphalt Pavement + Driveway Area	42703.1
Transformer Pad	26.3
Proposed Imp. Area (S.F.)	53809.9
Proposed Imp. Area (%)	66.40

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(EXCLUDING SAT. SUN. & HOLIDAYS)
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LAND CONVEYED TO THE ILLINOIS
DEPARTMENT OF TRANSPORTATION
NORTH AURORA

DEDICATED FOR PUBLIC USE
PER DOC. R2016-0764



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TOPOGRAPHICAL FIELD WORK FOR SUBJECT LOT COMPLETED ON 05-31-2024

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NEW COMMERCIAL DEVELOPMENT
1756 N AURORA ROAD
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SHEET 5 OF 7

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NEW COMMERCIAL DEVELOPMENT
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SHEET 5 OF 7

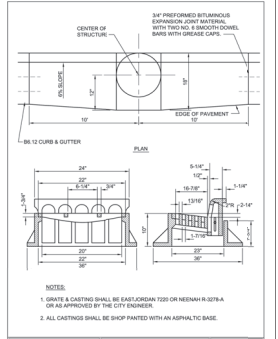
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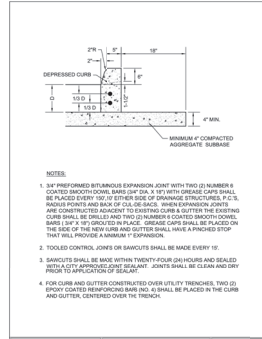
TOPOGRAPHICAL FIELD WORK FOR SUBJECT LOT COMPLETED ON 05-31-2024

STANDARD NOTES

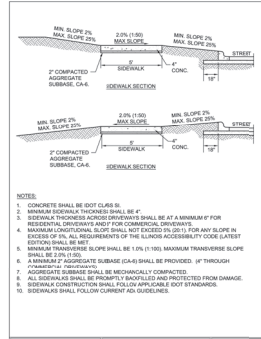
- New water service, including pressure or service, shall be installed in a trench water main, and existing water main shall not be opened by the City of Naperville, Department of Public Utilities (CIP) Division projects with the following exceptions:
 - 1. Existing water service to be replaced by a larger size (1/2" increments).
 - 2. Existing water service to be replaced by a larger size (1/2" increments) to be replaced by a larger size (1/2" increments).
- Existing water service requiring adjustment or replacement shall be completed by the contractor to the satisfaction of the utility owner. Adjustments and replacements on utility lines shall be coordinated with the utility owner. No more than 2" of vertical adjustment shall be made to any existing water service. No more than 2" of horizontal adjustment shall be made to any existing water service.
- Utility lines shall be installed a minimum of 6" to 12" horizontally from underground electrical conduits, sanitary sewers, sanitary service, water mains, and water services. Trench shall be installed a minimum of 6" to 12" horizontally from utility structures and appurtenances, including, but not limited to, manholes, vaults, water lines and fire hydrants. No more than 2" of vertical adjustment shall be made to any existing water service. No more than 2" of horizontal adjustment shall be made to any existing water service.
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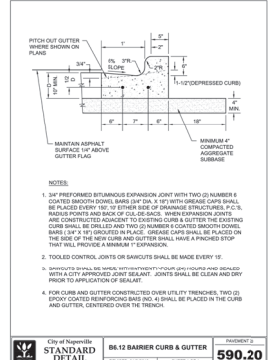
BE-12 BARRIER CURB & GUTTER
STANDARD DETAIL SHEET 01 OF 01
590.21



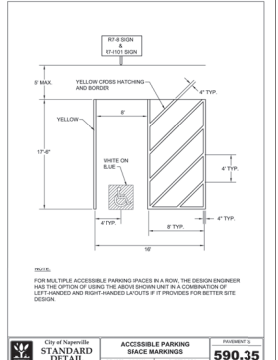
TYPE B BARRIER CURB
STANDARD DETAIL SHEET 01 OF 01
590.23



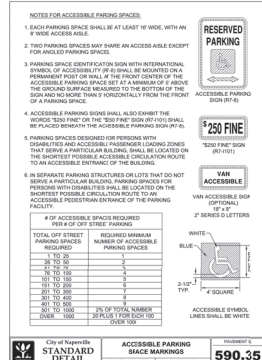
SIDEWALK
STANDARD DETAIL SHEET 01 OF 01
590.30



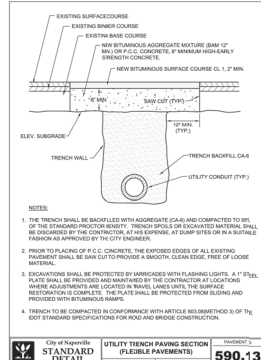
BE-12 BARRIER CURB & GUTTER
STANDARD DETAIL SHEET 01 OF 01
590.20



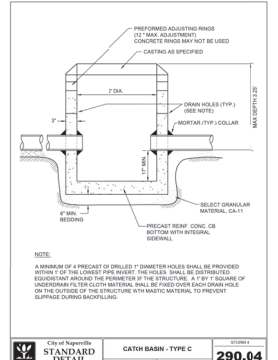
ACCESSIBLE PARKING SPACE MARKINGS
STANDARD DETAIL SHEET 01 OF 01
590.35



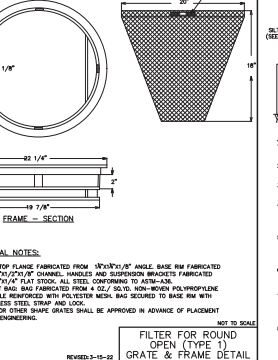
ACCESSIBLE PARKING SPACE MARKINGS
STANDARD DETAIL SHEET 01 OF 01
590.35



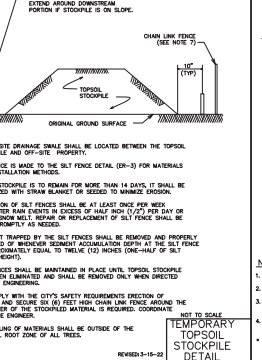
UTILITY TRENCH PAVING SECTION (VEGETABLE PAVEMENT)
STANDARD DETAIL SHEET 01 OF 01
590.13



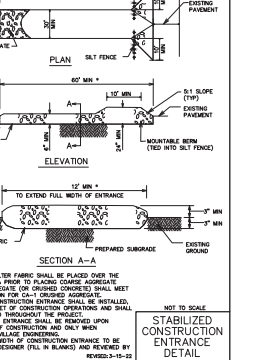
CATCH BASIN - TYPE C
STANDARD DETAIL SHEET 01 OF 01
290.04



FRAME - PLAN VIEW
SEDIMENT BASIN - SECTION
STANDARD DETAIL SHEET 01 OF 01
590.35



SILT FENCE
STANDARD DETAIL SHEET 01 OF 01
590.35



UTILITY TRENCH PAVING SECTION (VEGETABLE PAVEMENT)
STANDARD DETAIL SHEET 01 OF 01
590.13



CATCH BASIN - TYPE C
STANDARD DETAIL SHEET 01 OF 01
290.04

ENGINEERING PLANS PREPARED BY: RBD Associates, Inc. Design Firm License Number: 184.008755 GLENVIEW, IL
PLANS PREPARED FOR: Asphalt Paving Professionals scott@asphaltpavingpro.com 847-875-5787
FULL SIZE PLANS HAVE BEEN PREPARED USING STANDARD ENGINEERING SCALES. REDUCED SIZE PLANS WILL NOT CONFORM TO STANDARD SCALES. USE THE SCALE BELOW TO MAKE MEASUREMENTS ON REDUCED PLANS.
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C-6
SITE DETAILS

DATE	REMARKS
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09/19/2024	ISSUED FOR DESIGN COORDINATION

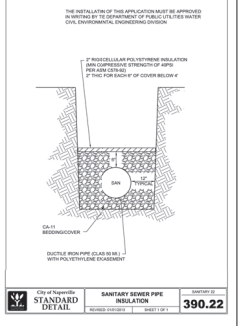
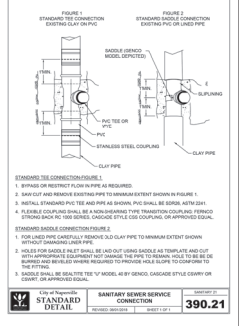
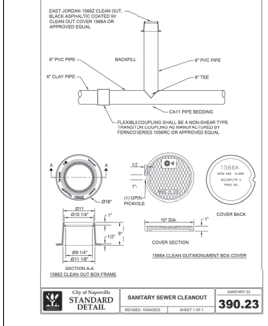
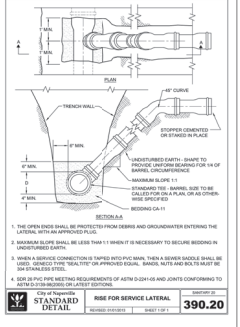
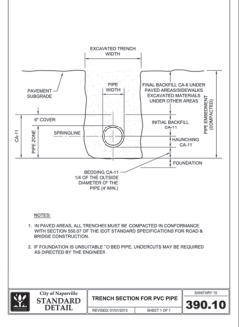
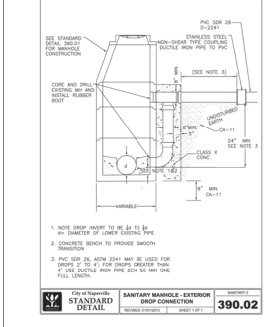
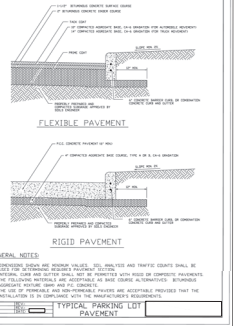
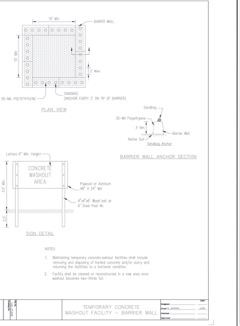
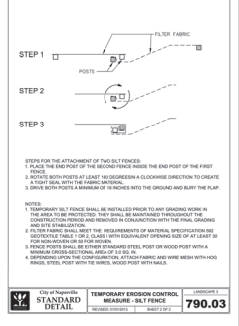
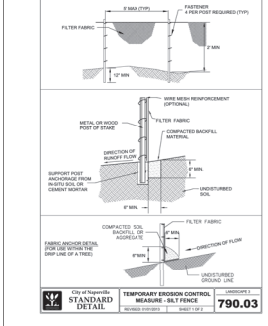
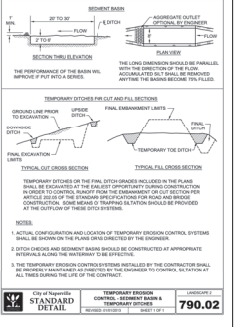
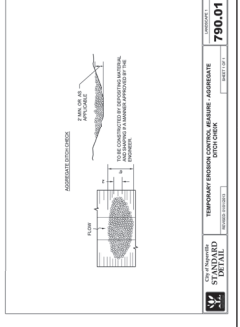
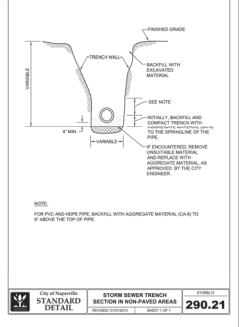
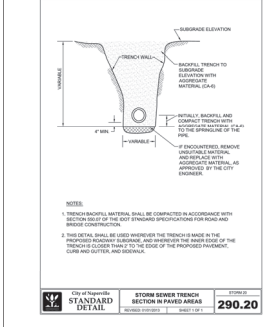
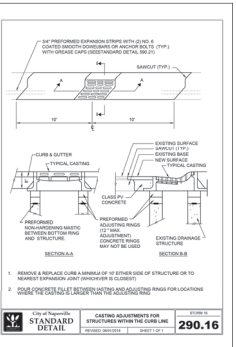
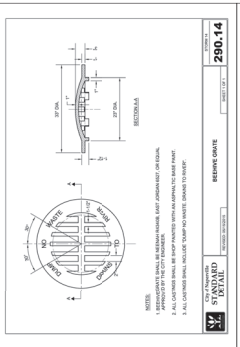
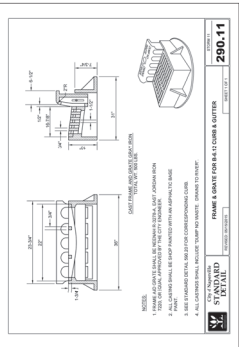
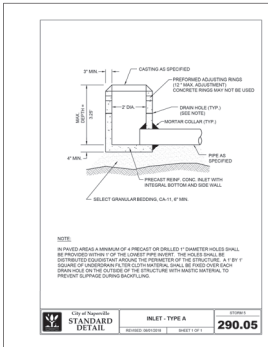
SUBMITTALS

NEW COMMERCIAL DEVELOPMENT
1756 N AURORA ROAD
NAPERVILLE, IL

DESIGNED BY: RBD
 PROJECT NO.: 24-1756
 DATE: 09/19/2024
 SCALE: 1:20 (FULL); 1:40 (1:1X) 1/2
 SHEET: 6 OF 7

Signed: 09/19/2024
 Expires: 11/30/2025

Ramiz B. Dababneh
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF ILLINOIS NO. 062-073740



Date: Mar 28, 2024, 3:04pm User: ID: rbd0910 North Aurora Road, Naperville, IL 60563-2525, N1.dwg File: C:\Users\rbdo910\Documents\2024\24031725.dwg Project: 23-28-2025 N1.dwg

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0' 10' 20' 50'

SUBMITTALS

DATE	REMARKS
03/28/2025	ISSUED FOR REVIEW #1
09/19/2024	ISSUED FOR DESIGN COORDINATION

BENCHMARK DATA

SET PK NAIL IN PAVEMENT, NEAR EXIT DRIVEWAY ON THE EAST CONNECTING TO NEIGHBOR LOT. ELEV. = 698.87' (N.A.V.D. 1988 DATUM)

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NEW COMMERCIAL DEVELOPMENT
1756 N AURORA ROAD
NAPERVILLE, IL

SITE DETAILS

DESIGNED BY: RBD
PROJECT NO.: 24-1756
DATE: 09/19/2024
SCALE: 1:20 (FULL); 1:40 (11X17)
SHEET 7 OF 7