OWNER'S ACKNOWLEDGEMENT & ACCEPTANCE AGREEMENT FOR ASHWOOD CROSSING

This Owners' Acknowledgement and Acceptance Agreement ("Agreement") is entered into between the City of Naperville and Pulte Home Company, LLC, a Michigan limited liability company, successor in interest to Pulte Home Corporation, with offices at 1900 E. Golf Road, Suite 300, Schaumburg, IL 60173 (hereinafter referred to the "OWNER AND DEVELOPER"). The OWNER AND DEVELOPER is the owner of record and developer of real property located at the southwest corner of 248th Avenue and 95th Street, commonly known as the Ashwood Crossing Subdivision ("SUBJECT PROPERTY"). The CITY and the OWNER AND DEVELOPER are together hereinafter referred to as the "Parties" and sometimes individually as "Party".

In accordance with the provisions of the Naperville Municipal Code as amended from time to time, OWNER AND DEVELOPER shall pay all fees and fulfill all other terms and conditions set forth or referenced herein and as set forth in the Annexation Agreement for Ashwood Crossing recorded and effective on April 11, 2017 (hereinafter referred to as the "Annexation Agreement"). Said fees shall not be paid under protest or otherwise objected to. OWNER AND DEVELOPER shall also abide by all requirements of the Naperville Municipal Code, as amended from time to time, the Statement of General Conditions attached hereto and made part hereof as **EXHIBIT** #1, and all motions, ordinances and resolutions by the City Council pertaining to or approving the final subdivision plat for the SUBJECT PROPERTY.

SECTION 1. RECAPTURE FEES

1.1 OWNER AND DEVELOPER shall pay recapture fees and other fees as set forth in Section S3.0 of the Annexation Agreement.

SECTION 2. WATERMAIN

2.1 The OWNER AND DEVELOPER shall comply with the requirements set forth in Section 4.0 of the Annexation Agreement.

SECTION 3. AGE RESTRICTION

3.1 The SUBJECT PROPERTY shall be developed as an age restricted community in accordance with the Fair Housing Act as amended from time to time, including but not limited to the provisions of the "Housing for Older Persons Act of 1995", and in accordance with the Ashwood Crossing Age Restriction Covenant attached hereto as **EXHIBIT** #2 ("Age Restriction Covenant"). The Age Restriction Covenant has been voluntarily agreed to by the OWNER AND DEVELOPER, and has been approved by the School District #204 as evidenced by **EXHIBIT** #3, attached hereto and made part hereof. Said Covenant shall run with the land and shall be recorded prior to recordation of the final subdivision plat for the SUBJECT PROPERTY.

SECTION 4. SCHOOL DONATION

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4.1 The OWNER AND DEVELOPER shall comply with the requirements set forth in Section 10.0 of the Annexation Agreement.

SECTION 5. PARK DONATION FEE

- In consideration of the provisions of the age restriction provisions set forth in Section 3 of this Agreement and subject to the Age Restriction Covenant referenced above, the OWNER AND DEVELOPER agrees to pay a park donation in the amount of \$515,947.84 based on the park donation worksheet in EXHIBIT #4, attached hereto and made a part hereof, which donation worksheet specifically accounts for the SUBJECT PROPERTY being developed for purposes of an age-restricted community including 103 dwelling units. The amount of such payment is consistent with a deviation from Section 7-3-5:4.2 of the Naperville Municipal Code approved by Ordinance 17-021, which is agreed to by the Naperville Park District as evidenced by EXHIBIT #5 attached hereto and made part hereof. The OWNER AND DEVELOPER'S obligation shall be fulfilled by cash payment to the CITY, payment being made at a rate of \$5,009.20 per dwelling unit (as modified per Section 5.3 below) prior to issuance of each building permit in the Ashwood Crossing Subdivision pursuant to a deviation to Section 7-3-5:5.2 (Cash in Lieu of Land Contributions) of the Naperville Municipal Code to be approved by a separate ordinance at the time of final plat subdivision approval. The OWNER AND DEVELOPER acknowledges that the park donation established herein shall not be paid under protest.
- 5.2 In the event that the age restriction is modified in the future so as to allow residency of individuals under the age provided for in the Age Restriction Covenant, the reduction of the park donation provided for herein shall be deemed to be automatically void without further action of the Parties hereto and an amendment of the Annexation Agreement and an amendment to this Agreement shall be required.
- 5.3 OWNER AND DEVELOPER shall receive a park donation credit in the amount of \$8,154.72 for a single-family residence previously located on the SUBJECT PROPERTY, based on the park donation worksheet in **EXHIBIT** #6. Said credit shall be applied to each dwelling unit at a rate of \$79.17 per unit prior to issuance of each building permit in the Ashwood Crossing Subdivision. Taking said credit into consideration, the OWNER AND DEVELOPER'S park donation payment shall be made at a rate of \$4930.03 per dwelling unit prior to issuance of each building permit in the Ashwood Crossing Subdivision.

SECTION 6. WOLF'S CROSSING ROAD IMPROVEMENTS

6.1 The OWNER AND DEVELOPER agrees to improve Wolf's Crossing Road (south of 95th Street) between 95th Street and Normantown Road to the CITY'S collector roadway standards in accordance with the Final Engineering Plans for "Proposed Roadway Network Improvements – Wolf's Crossing Road" prepared by INTECH Consultants, Inc. dated February 10, 2017 and last revised March 23, 2017 (hereinafter referred to as "Wolf's Crossing Road Improvements"). It shall be the OWNER AND DEVELOPER'S sole responsibility to perform the following tasks associated with the Wolf's Crossing Road Improvements:

- i. Update the previous Final Engineering Plans for "Proposed Roadway Network Improvements Wolf's Crossing Road", prepared by INTECH Consultants, Inc., dated April 20, 2007 and last revised July 20, 2007, to meet current CITY standards. This task has been completed. The updated Final Engineering Plans for "Proposed Roadway Network Improvements Wolf's Crossing Road" prepared by INTECH Consultants, Inc. dated February 10, 2017 and last revised March 23, 2017, have been reviewed and approved by the City Engineer.
- ii. Construct the Wolf's Crossing Road Improvements per the Final Engineering Plans for "Proposed Roadway Network Improvements Wolf's Crossing Road" prepared by INTECH Consultants, Inc. dated February 10, 2017 and last revised March 23, 2017, including but not limited to any necessary utility relocation, the Wolf's Crossing Shared Use Path (as defined in Section 10.3 hereof) and any associated parkway restoration.
- iii. Provide any necessary construction engineering services as required by the City Engineer.
- iv. Provide construction management services not to exceed thirty thousand dollars (\$30,000.00).
- 6.2 The Wolf's Crossing Road Improvements shall be completed in two phases as follows:
 - 6.2.1 Phase One of the Wolf's Crossing Road Improvements shall include: a) the full cross-section of that portion of Wolf's Crossing Road from 95th Street to just north of the existing Wolf's Crossing Road (Station 28 + 00 as shown on the Final Engineering Plans for "Proposed Roadway Network Improvements Wolf's Crossing Road" prepared by INTECH Consultants, Inc. dated February 10, 2017 and last revised March 23, 2017); and b) a temporary transition from Station 28 + 00 to the existing Wolf's Crossing Road.

Phase One of the Wolf's Crossing Road Improvements is be substantially completed and is "Open for Traffic" as determined by the City Engineer. All outstanding items for the Wolf's Crossing Road Improvements as determined by the City Engineer, including but not limited to installation of landscaping, street lights and the Wolf's Crossing Shared Use Path described in Section 10.3 hereof, must be completed to the satisfaction of the City Engineer no later than August 31, 2018. The CITY shall have the right to withhold issuance of any further building and occupancy permits for failure to complete the punch list items by August 31, 2018.

6.2.2 Phase Two of the Wolf's Crossing Road Improvements shall include the full cross-section of that portion of Wolf's Crossing Road from Station 28 + 00 to Normantown Road. Phase Two shall be fully completed and approved by the City Engineer no later than August, 31, 2018. The CITY shall have the right to withhold issuance of any further building and occupancy permits for failure to complete construction of Phase Two of the Wolf's Crossing Road Improvements by August 31, 2018.

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The CITY acknowledges and agrees that in order to construct Phase Two of the Wolf's Crossing Road Improvements, the existing section of Wolf's Crossing Road from 248th Avenue west to the railroad tracks shall be completely closed to all traffic during a portion of the construction period as approved by the City Engineer.

- 6.2.3 To the extent of any conflict in the schedule for completion of the Wolfs Crossing Road Improvements as set forth in this Agreement and the First Amendment to the Ashwood (A/K/A 248th Assemblage North) Annexation Agreement, the schedule set forth in this Agreement shall prevail.
- 6.3 The CITY agrees to reimburse the OWNER AND DEVELOPER fifty percent (50%) of the actual costs of the Wolf Crossing Road Improvements for the items described in Sections 6.1 (i), (ii), (iii) and (iv) above with the exception of the construction costs for that portion of the Wolf's Crossing Shared Use Path adjacent to the SUBJECT PROPERTY. The OWNER AND DEVELOPER shall be responsible for one hundred percent (100%) of the construction costs associated with that portion of the Wolf's Crossing Shared Use Path adjacent to the SUBJECT PROPERTY. As construction proceeds, the CITY shall pay said costs to the OWNER AND DEVELOPER within sixty (60) days of receipt of periodic invoicing from the OWNER AND DEVELOPER specifying the costs incurred. Payment of such invoices is subject to review and approval by the City Engineer which shall not be unreasonably withheld or delayed.
- Assemblage North) Annexation Agreement between the CITY and Pulte Home Corporation ("Pulte") provides that Pulte is obligated to construct a portion of Wolf's Crossing Road between the east side of the Normantown Road right-of-way to just west of the proposed North Perimeter Collector Roadway (Trumpet Avenue") and the transition to the existing Wolf's Crossing Road as depicted on EXHIBITS "FA-L1" and as listed on EXHIBIT "FA-L2" to said agreement, which improvements are to include but not be limited to pavement, curb and gutter, street lights, storm sewer, bike trail, and parkway restoration. The OWNER AND DEVELOPER of this Agreement shall be jointly and severally responsible for the obligations set forth in Section S19.0 of the First Amendment to the Ashwood (A.K/A 248th Assemblage North) Annexation Agreement. Notwithstanding the foregoing, the OWNER AND DEVELOPER shall be released of said obligations upon completion of the items described in Sections 6.1 (i), (ii), (iii) and (iv) and acceptance of the Wolf's Crossing Road Improvements by the CITY.
- 6.5 OWNER AND DEVELOPER shall require contractors performing work on the Wolf's Crossing Road Improvements to provide warranties for their work to the CITY in addition to the OWNER AND DEVELOPER or to agree that OWNER AND DEVELOPER will transfer the contractors' warranties concurrent with the CITY'S final payment for its portion of the costs as referenced in Section 6.3. OWNER AND DEVELOPER shall not be required to guaranty the Wolf's Crossing Road Improvements following the CITY'S final payment nor shall OWNER AND DEVELOPER be required to post SURETY associated with any maintenance period for the Wolf's Crossing Road Improvements.

SECTION 7. RIGHT-OF-WAY VACATION

- 7.1 On February 21, 2017, the Naperville City Council passed Ordinance 17-020 vacating a portion of the Wolf's Crossing Road Right-of-Way as depicted on the Plat of Vacation prepared by CEMCON, Ltd., dated September 30, 2016, last revised February 15, 2017 attached hereto and incorporated herein as **EXHIBIT** #7 (hereafter referred to as "SUBJECT ROW"). Pursuant to provisions in Ordinance 17-020, the vacation of the SUBJECT ROW shall be effective only upon recordation of the Plat of Vacation with the Will County Recorder's Office. The prerequisites to recordation of the Plat of Vacation as set forth in Section S15.1 of the Annexation Agreement has been met. Therefore, upon submission of a fully and properly executed Plat of Vacation, said Plat of Vacation shall be recorded with the Will County Recorder without unreasonable delay.
- 7.2 Upon recordation of the Plat of Vacation, title to the vacated SUBJECT ROW shall vest in the OWNER AND DEVELOPER.
- 7.3 The Plat of Vacation shall be recorded prior to recordation of any final plat of subdivision for the SUBJECT PROPERTY.

SECTION 8. TRUMPET AVENUE IMPROVEMENTS

- 8.1 The OWNER AND DEVELOPER agrees to: (i) design and construct the remainder of Trumpet Avenue between Stations 10+00 and 16+25 to the CITY's collector road standards including installation of street lights and landscaping; (ii) design and install traffic signals at Trumpet Avenue and 248th Avenue and at Trumpet Avenue and the reconfigured Wolf's Crossing Road; and (iii) design and install the Trumpet Avenue Shared Use Path as defined in Section 10.4 hereof. The improvements described in Subsections (i), (ii) and (iii) shall be designed and installed in accordance with final engineering plans to be approved by the City Engineer and are collectively referenced herein as the "Trumpet Avenue Improvements".
- 8.2 The Trumpet Avenue Improvements shall be fully completed and approved by the City Engineer by August 31, 2018 unless otherwise agreed in writing by the City Engineer. In the absence of full completion and approval of the Trumpet Avenue Improvements as provided above, the CITY shall have the right to withhold issuance of any further building and occupancy permits for the SUBJECT PROPERTY
- 8.3 The OWNER AND DEVELOPER shall be responsible for all costs associated with the Trumpet Avenue Improvements except that the CITY shall reimburse the OWNER AND DEVELOPER: i) ninety thousand dollars (\$90,000.00) per traffic signal for a total of one hundred and eighty thousand dollars (\$180,000.00), which sum represents the sums previously donated to the City for installation of said traffic signals under the First Amendment to the Annexation Agreement for Ashwood (A/K/A 248th Assemblage North), and ii) one-third of the actual costs of the design, acquisition and installation of the traffic signals at Trumpet Avenue and 248th Avenue and at Trumpet Avenue and the reconfigured Wolf's Crossing Road. The CITY shall reimburse the first one hundred and eighty thousand dollars (\$180,000.00) of costs to the OWNER and

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DEVELOPER within sixty (60) days of receipt of periodic invoicing from the OWNER AND DEVELOPER specifying the costs incurred. The City shall reimburse its one-third share of the actual costs of the design, acquisition and installation of the traffic signals within sixty (60) days following the City's Engineer's certification that installation has been completed and approved. Payment of such invoices is subject to review and approval by the City Engineer which shall not be unreasonably withheld or delayed.

8.4 "Road Improvements" herein shall be defined as including both Wolf's Crossing Road Improvements and Trumpet Avenue Improvements.

SECTION 9. INTERIM LEFT TURN LANE ON 248TH AVENUE

9.1 The OWNER AND DEVELOPER agrees to, at its sole cost, design and construct an interim/temporary left turn lane for north-bound 248th Avenue to west-bound Trumpet Avenue in accordance with final engineering plans approved by the City Engineer. The left turn lane shall be substantially completed, as determined by City Engineer, prior to issuance of any final occupancy permits for the SUBJECT PROPERTY. All outstanding punch list items, including but not limited to street lights and landscaping, as determined by the City Engineer, must be completed to the satisfaction of the City Engineer within twelve (12) months of issuance of the first final occupancy permit for the SUBJECT PROPERTY. In the absence of full completion of the punch list items as set forth above, the CITY shall have the right to withhold issuance of any further building and occupancy permits for the SUBJECT PROPERTY.

SECTION10. SHARED-USE PATHS

10.1 The OWNER AND DEVELOPER agrees to install a ten foot (10') wide asphalt shared-use path, at the OWNER AND DEVELOPER'S sole cost, across the 248th Avenue frontage of the SUBJECT PROPERTY as depicted on the Final Engineering Plans for Ashwood Crossing prepared by CEMCON, Ltd., dated March 15, 2017, last revised May 25, 2017 (herein "248th Avenue Shared Use Path"). Said 248th Avenue Shared Use Path shall be constructed and approved by the City Engineer no later than April 11, 2019. An extension of this timeframe may be granted in writing at the discretion of the City Engineer. In the event that said 248th Avenue Shared Use Path is not constructed and approved by April 11, 2019, or any approved extension of that timeframe, the CITY may withhold issuance of further building and occupancy permits for the SUBJECT PROPERTY.

The 248th Avenue Shared Use Path shall be owned and maintained by the OWNER AND DEVELOPER or the Ashwood Crossing Homeowners' Association, but access to said path is granted to the general public pursuant to a public access easement dedicated on the Final Plat of Subdivision for Ashwood Crossing, prepared by CEMCON Ltd., dated March 15, 2017, last revised May 25, 2017.

10.2 The OWNER AND DEVELOPER agrees to install a ten foot (10') wide asphalt shared use path along the perimeter of the detention pond on the SUBJECT PROPERTY at the OWNER AND DEVELOPER'S sole cost as depicted on the Final Engineer Plans for Ashwood Crossing prepared by CEMCON, Ltd., dated March 15, 2017,

last revised May 25, 2017 (herein "On-Site Shared Use Path"). Said On-Site Shared Use Path shall be constructed and approved by the City Engineer no later than April 11, 2019. An extension of this timeframe may be granted in writing at the discretion of the City Engineer. In the event that said On-Site Shared Use Path is not constructed and approved within said two (2) year timeframe, or any approved extension of that timeframe, the CITY may withhold issuance of further building and occupancy permits for the SUBJECT PROPERTY. The On-Site Shared Use Path is not intended to be a public path and shall be owned and maintained by the OWNER AND DEVELOPER or the Ashwood Crossing Homeowners' Association.

- 10.3 The Wolf's Crossing Road Improvements as described in Section 6 of this Agreement includes a shared-use path along the east side of Wolf's Crossing Road between Normantown Road and 95th Street (herein "Wolf's Crossing Shared Use Path"). The OWNER AND DEVELOPER shall install the Wolf's Crossing Shared Use Path as part of the Wolf's Crossing Road Improvements pursuant to the provisions of Section 6 and the CITY shall reimburse its share of the costs of the Wolf's Crossing Shared Use Path pursuant to the provisions of Section 6.3 above. The Wolf's Crossing Shared Use Path shall be owned and maintained by the CITY.
- 10.4 The Trumpet Avenue Improvements as described in Section 8 of this Agreement includes a 10' wide asphalt shared-use path along the south side of Trumpet Road between Wolf's Crossing Road and Empress Drive (herein "Trumpet Avenue Shared Use Path"). The OWNER AND DEVELOPER shall install the Trumpet Avenue Shared Use Path at the OWNER AND DEVELOPER'S sole cost as part of the Trumpet Avenue Improvements pursuant to the provisions of Section 8. The Trumpet Avenue Shared Use Path shall be owned and maintained by the CITY.

SECTION 11. SIDEWALKS

- 11.1 The OWNER AND DEVELOPER agrees to install public sidewalk, at the OWNER AND DEVELOPER'S sole cost, across the frontage of the SUBJECT PROPERTY along 95th Street and that portion of Trumpet Avenue between 248th Avenue and Tala Lane prior to issuance of the first final occupancy permit for the SUBJECT PROPERTY or April 11, 2020, whichever comes first. Said timeframe may be modified by written approval of the City Engineer.
- 11.2 The OWNER AND DEVELOPER agrees to install public sidewalk, at the OWNER AND DEVELOPER'S sole cost, along all of the right-of-way internal to the SUBJECT PROPERTY. Said sidewalk shall be installed for each residential lot prior to issuance of a final occupancy permit for said lot. Notwithstanding the foregoing, all internal sidewalk along all of the right-of-way internal to the SUBJECT PROPERTY shall be installed not later than April 11, 2020. Said timeframes may be modified by written agreement of the City Engineer.

SECTION 12. BUILDING PERMIT ISSUANCE

12.1 The OWNER AND DEVELOPER may submit building permit applications to the CITY for master plan approval of each of the unit types contemplated for the

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SUBJECT PROPERTY. Master plan approval of unit type shall not relieve OWNER AND DEVELOPER from the obligation, as set forth in the Municipal Code, to submit a separate building permit for each lot prior to the commencement of construction, but shall serve as a mechanism to facilitate prompt and efficient review of individual building permit applications by the CITY.

- 12.2 To avoid monotony within the Ashwood Crossing Subdivision, single family and duplex residential units within the Ashwood Crossing Subdivision shall be subject to anti-monotony standards as follows:
 - 12.2.1 The OWNER AND DEVELOPER shall comply with the following standards for single family detached units, which are also visually illustrated in **EXHIBIT** #8 attached hereto and make a part hereof:
 - i. Homes along the same street frontage and immediately adjacent to the Subject Homesite (as shown on Exhibit H) shall not have the same front elevation or the same color exterior siding, and
 - ii. Homes along the same street frontage and immediately opposite the Subject Homesite shall not have the same front elevation or the same color siding.
 - 12.2.2 The OWNER AND DEVELOPER shall alternate building elevations for the duplex units in compliance with the Site Diagram and Color Palette in **EXHIBIT** #9, attached hereto and make a part hereof.
- 12.3 The OWNER and DEVELOPER shall submit, concurrent with the building permit application for any lot on the SUBJECT PROPERTY, an exhibit to evidence compliance with the anti-monotony standards set forth herein.

SECTION 13. REQUIRED LANDSCAPING

- 13.1 The OWNER AND DEVELOPER agrees to install trees and other landscaping materials on and adjacent to the SUBJECT PROPERTY as depicted on the Final Landscape Plan prepared by the Signature Design Group, dated April 12, 2017, last revised April 25, 2017, attached hereto as **EXHIBIT** #10 (hereinafter "Final Landscape Plan"), with the exception of the "Individual Lot Parkway Trees" identified on the Final Landscape Plan which are addressed in Section 13.2 below. The landscaping must be completed to the satisfaction of the City Engineer no later than December 31, 2018. The CITY shall have the right to withhold issuance of any further building and occupancy permits for failure to complete the punch list items by December 31, 2018.
- 13.2 Prior to issuance of a building permit for each residential lot within the SUBJECT PROPERTY, the OWNER AND DEVELOPER shall pay a fee-in-lieu, consistent with the CITY'S policies, for the CITY to plant parkway trees in front of each lot in compliance with Section 5-10-3:3 of the Naperville Municipal Code, which parkway trees are identified as "Individual Lot Parkway Trees" on the Final Landscape Plan.

SECTION 14. ENGINEERING REVIEW FEES

- 14.1 The OWNER AND DEVELOPER shall pay the following Engineering Review Fees (1.5% of the approved engineer's cost estimate) prior to recordation of this Agreement and the Final Plat of Subdivision for the SUBJECT PROPERTY:
 - i. Wolf's Crossing Road Improvements Engineering Review Fee: \$11,207.89. This fee has been paid by the OWNER AND DEVELOPER.
 - ii. Ashwood Crossing Subdivision Engineering Review Fee: \$42,527.78
 - iii. Trumpet Avenue Traffic Signals Engineering Review Fee: \$891.54
 - iv. 248th Avenue Left Turn Lane Engineering Review Fee: \$1,645.73

SECTION 15. SURETY

- 15.1 "Surety" shall be defined as a cash deposit or letter of credit pursuant to such form and from such parties as shall be reasonably approved by the City Attorney. A bond or other appropriate form of security may be used as Surety only with the express agreement of the City Attorney and City Engineer. The Parties hereby agree that OWNER AND DEVELOPER shall submit separate SURETY (as defined in this Section) for each of: (i) the OWNER AND DEVELOPER'S share of the Road Improvements (see Sections 6 and 8), and (ii) all other on-site and off-site improvements related to the development of the SUBJECT PROPERTY, specifically including, but not limited to, soil erosion and sediment control and the improvements specified in Sections 2, 9, 10, 11, 13 of this Agreement (collectively the "Site Improvements"). The Parties further agree that the Road Improvements and the Site Improvements shall be separately permitted by the CITY.
- 15.2 For purposes of the Site Improvements, OWNER AND DEVELOPER shall submit Surety to the CITY in an amount approved by the CITY ENGINEER based on 110% of the OWNER AND DEVELOPER'S engineer's cost estimate for the Site Improvements and maintenance surety in compliance with the CITY Code. For purposes of the Road Improvements, OWNER AND DEVELOPER shall submit Surety to the CITY in an amount approved by the City Engineer based on 110% of the OWNER AND DEVELOPER'S engineer's cost estimate for the Road Improvements less the CITY's share of the Road Improvements. The Surety shall guarantee the completion of the Road Improvements or Site Improvements, as applicable. No maintenance Surety shall be required for the Wolf's Crossing Road Improvements.
- 15.3 Notwithstanding the provision of any Surety, until the improvements covered by such Surety have been accepted by the CITY, or approved by the City Engineer, as applicable, the OWNER AND DEVELOPER shall remain obligated for completion of said improvements and/or (at the CITY's sole discretion) to pay any costs for said improvements to the extent that the Surety is not sufficient to pay for them, or in the event of any denial, or partial denial, of coverage by the surety, or failure of the surety to timely respond to a demand for payment.

SECTION 16. INSURANCE

16.1 The OWNER AND DEVELOPER shall require that, during the course of construction of the Wolf's Crossing Road Improvements, the City of Naperville and its officers, agents, and employees be added as additional insureds on insurance provided for the Road Improvements and for the interim left turn lane described in Section 9.1 hereof. OWNER AND DEVELOPER shall provide the City Attorney with additional insured endorsements to evidence such coverage.

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SECTION 17. PRECEDENCE OF AGREEMENTS/BINDING EFFECT

- 17.1 To the extent there is any inconsistency between the terms or conditions of the provisions of this Agreement and the terms or conditions of the Annexation Agreement for Ashwood Crossing which was recorded and effective on April 11, 2017, the terms and conditions set forth in this Agreement shall prevail. To the extent that provisions in this Agreement and the Annexation Agreement are not inconsistent, they shall be read together.
- 17.2 This Agreement will be recorded with the office of the Recorder in which the SUBJECT PROPERTY is located. The undersigned acknowledges and agrees that the terms contained herein shall be binding upon and inure to the benefit of the City of Naperville, the OWNER AND DEVELOPER, and the successors, assigns, and any subsidiary, affiliate or parent of the OWNER AND DEVELOPER.

The undersigned warrants that it is the OWNER AND DEVELOPER of the SUBJECT PROPERTY, and that it is the duly authorized representative of the OWNER AND DEVELOPER. The undersigned has full power and authority to sign this Agreement and voluntarily agrees to the provisions set forth herein.

EXHIBIT LIST:

- 1. Statement of General Conditions
- 2. Age Restriction Covenant
- 3. Letter from School District #204
- 4. Park Donation Worksheet
- 5. Letter from Park District
- 6. Park Donation Credit Worksheet
- 7. Plat of Vacation
- 8. Anti-monotony Diagram for Single Family Units
- 9. Site Diagram and Color Palette for Duplex Units
- 10. Final Landscape Plan

~ SIGNATURES ON FOLLOWING PAGE ~

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IN WITNESS WHEREOF, the parties hereto set their hands and seals.

CITY OF NAPERVILLE

		Attest
Ву:		Ву:
Steve Ch Mayo		Pam Gallahue, Ph.D. City Clerk
State of Illinois)		
)	
County of DuPage)	
		me by Steve Chirico, Mayor, and Pam, 2017.
		Notary Public
-seal-		
-50ai-		

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OWNER AND DEVELOPER:

Pulte Home Company, LLC, a Michigan limited liability company, successor in interest to Pulte Home Corporation, with offices at 1900 E. Golf Road, Suite 300, Schaumburg, IL 60173

[Print Name] CAEG A. SALINAS
[Print Title] DIVISION PRESIDENT

The foregoing instrument was acknowledged before me by day of May, 2017.

OFFICIAL SEAL
JOANNE M BOWERS
NOTARY PUBLIC - STATE OF ILLINOIS
MY COMMISSION EXPIRES:07/21/17

STATEMENT OF GENERAL CONDITIONS

The following information represents general requirements to be fulfilled by the property OWNER AND DEVELOPER through the development of the SUBJECT PROPERTY, as approved by City Council. This list is not intended to be comprehensive and does not preclude all other requirements as set forth in the Naperville Municipal Code. These requirements are in addition to those that were listed in the Developer's Acknowledgement & Acceptance Letter for your development.

Building Permits: No building permits shall be issued for a particular lot or parcel within the subject property until the Transportation, Engineering, and Development Business Group; Public Utilities Department; and Fire Department have determined that sufficient improvements have been installed and are functioning to protect the health, safety, and welfare of the public.

Infrastructure Availability Charges and User Fees: Any OWNER or DEVELOPER requesting connection and service to the City's water or sanitary system shall pay for all infrastructure availability charges and user fees in accordance with Title 8 of the Naperville Municipal Code, as amended from time to time, as are applicable to that portion of the SUBJECT PROPERTY for which connection and service is requested.

Facility Installation Charges and User Fees: Any OWNER or DEVELOPER requesting connection and service to the City of Naperville electric system shall pay for all Facility Installation Charges (FIC) and user fees in accordance with Title 8 of the Naperville Municipal Code, as amended from time to time, as are applicable to that portion of the SUBJECT PROPERTY for which connection and service is requested.

ASHWOOD CROSSING SUBDIVISION AGE RESTRICTION COVENANT

Pursuant to the provisions of Sections S9 and S	S10 of the Annexation Agreement for Ashwood
Crossing approved by City of Naperville Ordinan	nce Number 17 and recorded with the Will
County Recorder as R	_, the Ashwood Crossing Subdivision, legally
described on Exhibit A and depicted on Exhibit	it B attached hereto and made part hereof (the
"Subject Property"), shall be developed by the	e Developer as an age-restricted, single-family
residential community (the "Community") as se	et forth therein and as set forth in this Ashwood
Crossing Subdivision Age Restriction Covenant ((hereinafter "Covenant").

I. HOUSING FOR OLDER PERSONS EXEMPTION

- (a) The Community shall be developed by Pulte Home Company, LLC, ("Developer") as an age-restricted, single-family home community in accordance with the Fair Housing Amendments Act of 1988, as amended from time-to-time ("FHAA"), including, but not limited to, the provisions of the "Housing for Older Persons Act of 1995" ("HOPA"). The Developer of the Community will build homes for sale in the Community for single-family occupancy. Developer will include in its home purchase agreement with all buyers in the Community an Age Verification Addendum, an example of which is attached as Exhibit C, to its home purchase agreement to verify the age of the residents in the Community to ensure that the buyers of the homes qualify for the "Housing for Older Persons" Exemption under FHAA.
- (b) The Community will be governed by Covenants, Conditions and Restrictions that will be recorded against the Subject Property prior to the conveyance of the first home in the Community to a home buyer ("CC&Rs"). The CC&Rs will provide for the creation of a homeowners association (the "Association") to administer the requirements of the CC&Rs and govern the Community. The CC&Rs shall contain rules and regulations for the occupancy of homes in the Community including a requirement that at all times, at least 80% of the homes within the Community shall be occupied by at least one (1) resident who is 55 years of age or older ("Age-Qualified Occupant") and prohibit the residency of anyone under the age of twenty-two (22), except as otherwise required by law.
- (c) If an Age-Qualified Occupant's occupancy is terminated for any occupied dwelling unit in the Community, then other occupants of that particular dwelling unit, who are twenty-two (22) years of age or older, may continue to occupy that Dwelling unit provided that the requirements of the Housing for Older Persons Exemption are satisfied, including, but not limited to, the requirement that at least 80% of all of the occupied dwelling units in the Community have at least one occupant who is fifty-five (55) years of age or older.

- (d) The Association shall adopt, implement and enforce rules, regulations and procedures to ensure that at all times the Community shall qualify for the "Housing for Older Persons" exemption under the FHAA, including, without limitation, rules, regulations and procedures to verify such compliance. The Association shall maintain appropriate records evidencing such compliance on an ongoing basis and shall maintain said records (on a rolling basis) for a minimum period of ten (10) years.
- (e) The age-restriction hereby imposed upon the Community shall apply equally to homeowners and lessors. To the extent that the CC&Rs permit a dwelling unit to be leased, the CC&Rs shall require that the owner of the unit include notice of the age restriction and requirements of this Covenant in any lease for the property. The CC&Rs shall also provide that the owner of any dwelling unit within the Community shall be jointly and severally liable for damages under this Covenant for any violation thereof.

II. PROHIBITION OF PERSONS UNDER THE AGE OF 22 AND PROHIBITION OF ANY SCHOOL ENROLLMENT FROM THE COMMUNITY

(a) **RESTRICTION/PENALTY.** No person under the age of twenty-two (22) years, except as otherwise required by law, shall be a resident (as the term is defined below) of any dwelling unit in the Community. As a condition to the City of Naperville's annexation and zoning of the Subject Property, no resident, occupant or owner of any dwelling unit shall enroll, attempt to enroll, or assist in any way in enrolling in the Indian Prairie Community Unit School District No. 204 ("**School District**") at any time. The provisions of this Covenant shall not prohibit any resident, occupant or owner from enrolling in non-credit, enrichment, adult education classes offered by the School District.

In the event that any resident, occupant, or owner of any dwelling unit in the Community enrolls, attempts to enroll, or assists in any way in enrolling any person under the age of twenty-two (22) in any school within the School District ("Student Generator"), then said Student Generator shall be liable (i) to the School District for the cost of educating any child or children so enrolled by the Student Generator from the Community in an amount determined in accordance with Section 10-20.12a of the Illinois School Code (105 ILCS 5/10-20.12a) as amended from time to time; (ii) to pay the School District a fine in the amount of three times the cost of educating any child or children enrolled as provided in (i) above or \$50,000, whichever is greater; and (iii) for all reasonable costs of any enforcement action taken by the Association, School District, or City, including but not limited to pre-litigation expenses, litigation expenses, title reports and attorneys' fees and costs (whether in-house or outside counsel) incurred as a result of such enforcement.

Any costs and fines not paid in full by the Student Generator as provided herein, plus Six Percent (6%) Interest thereon, may be recorded by the School District as a lien against the dwelling unit(s) of the Student Generator in addition to any other remedies available at law or in equity.

Nothing contained herein shall be construed as prohibiting a person under the age of twenty-two (22) years from being a guest of a resident in the Community during the calendar year provided, however, any guest of a resident who is under the age of twenty-two (22) shall visit for no more than thirty (30) days during the period from August 15 through June 15, inclusive, no more than fourteen (14) of which days are consecutive.

(b) **ASSOCIATION'S RIGHTS, OBLIGATIONS AND DUTIES.** It shall be the right, obligation and duty of the Association to enforce the restrictions contained in this Covenant in a proactive and diligent manner. The Association shall adopt, implement and enforce rules, regulations and procedures to ensure that at all times the restrictions contained herein are followed.

At any time, the Association may request any owner or lessor of a dwelling unit in the Community verify the ages of all persons residing in the applicable dwelling unit. Additionally, the Association shall ensure that each person purchasing a dwelling unit in the Community receive a copy of this Covenant and a copy of the CC&Rs for the Community.

- (c) ASSOCIATION'S FAILURE TO ENFORCE OR COOPERATE. At all times, the Association shall have an obligation to cooperate with the School District and the City in enforcement efforts pursuant to this Covenant. Such cooperation shall include, but not be limited to: (i) requiring the owner or lessor of a dwelling unit to complete an Age Verification Addendum; and (ii) providing copies of all other records in the Association's possession or control regarding the ages of persons residing in any occupied dwelling unit in the Community.
- (d) **INVESTIGATIONS.** The Association, the School District and the City shall each have the right to investigate any suspected violations of this Covenant, and the Association will cooperate with all investigations undertaken by the School District or the City as provided herein. If an investigation conducted by the School District or the City reveals that the Covenant has been violated by any owner or lessor of any dwelling unit in the Community by enrolling or attempting to enroll any person under the age of twenty-two (22) in any school within the School District, the School District or the City, as the case may be, shall notify the Association in writing, and within ninety (90) days of the Association's receipt of such written notification, the Association shall assess a penalty in the amount set forth above and file and enforce a lien against the dwelling unit for the restriction/penalty set forth above accordance with the terms and conditions of the CC&Rs. The Association shall, upon collection of any penalty assessed on behalf

of the School District or the City, promptly remit payment of same to the School District or the City, as may be applicable.

(e) SCHOOL BOARD AND CITY'S RIGHT TO ENFORCE. The School District and the City are hereby given the right to enforce the restrictions set forth in this Covenant by any proceeding at law or in equity against any owner or tenant of any dwelling unit in the Community determined or suspected by the School District or the City of enrolling or attempting to enroll any person under the age of twenty-two (22) in the schools of the School District. The School District's and the City's rights to enforce this Covenant, however, shall not be construed as a limitation or restriction of the Association's duty and obligation to enforce this Covenant proactively and diligently as set forth herein. The Association's right of enforcement, and the rights of the School District and the City to enforce this Covenant, are not cumulative. Upon the commencement of an enforcement proceeding hereunder by any one of them, the other entity shall no longer have the right to commence another proceeding against the Student Generator for the same enrollment, or attempted enrollment, event. Provided that, should the association commence but, in the judgment of the School District or the City, abandon or fail to adequately pursue such enforcement action, the School District or the City may take action for the same enrollment event.

III. COVENANT RUNS WITH THE LAND

The impositions, obligations and restrictions set forth in this Covenant shall be covenants running with the land and inuring to the benefit of the City of Naperville and Indian Prairie Community Unit School District No. 204 and their respective successors and assigns.

IV. REQUIREMENTS FOR ANY MODIFICATION OF THIS COVENANT

(a) The provisions of this Covenant shall survive the expiration of the Annexation Agreement for Ashwood Crossing and may only be modified by the concurrence of all of the following: i) one hundred percent (100%) of the then current owners of property within the Community, ii) a two-thirds (2/3) majority vote of the corporate authorities then holding office with the City Council of the City of Naperville, as a major change to the PUD or other appropriate action and iii) a two-thirds (2/3) majority vote of the School Board of Indian Prairie Community Unit School District No. 204, or their respective successors or assigns. The approval of any modification that results in the generation of students from the Ashwood Crossing Subdivision must be conditioned upon the payment of a full school donation fee for the Ashwood Crossing Subdivision in accordance with the applicable Naperville Municipal Code provisions in effect at the time, unless the School Board approves a Resolution that accepts less than a full fee.

(b) In the event that any provision of this Covenant is deemed to be unenforceable, such provision shall be deemed stricken, and adjudication shall not affect the validity of the remainder of the terms of this Agreement as a whole or of any section, subsection, sentence or clause not adjudged to be invalid.

V. GENERAL PROVISIONS

- (a) **GOVERNING LAW AND VENUE.** This Covenant will be governed by and construed in accordance with the laws of the State of Illinois without regard to conflict of law provisions. Venue for all disputes involving this Covenant shall be proper only in the Circuit Court for the Eighteenth Judicial Circuit, DuPage County, Illinois. For the purposes of determining whether a person is a resident of the Community or general residency requirements, the term "Resident" and the conditions of residency shall have the same meaning as that term is defined in Section 10-20.12b of the Illinois School Code (105 ILCS 5/10-20.12b) and as established case law in the State of Illinois promulgated thereunder, relating to the enrollment of pupils in the public schools.
- (b) **SEVERABILITY.** If any provision of this Covenant is held by a court of competent jurisdiction to be invalid or unenforceable, such provision will be enforced to the fullest extent that it is valid and enforceable under law. All other provisions of this Covenant shall remain in full force and effect.
- (c) **PAYMENT OF COSTS/FINES.** When any provision herein calls for a payment to be made for any reason, including but not limited to attorneys' fees, such payment shall be made within thirty (30) days of receipt of an invoice therefor. In the event that such payment is not made in full on a timely basis, the School District or the City, as applicable, may take any action at law or in equity as it deems fit and in addition to such remedies record and enforce a lien against any dwelling unit where a violation of this Covenant has been determined to have occurred.

(SIGNATURE PAGE TO FOLLOW)

IN WITNESS WHEREOF, Pulte Home Company, LLC, has caused this Covenant to be executed by its legally authorized members, whose signatures are hereunto subscribed on this day of, 2017.
Pulte Home Company, LLC, A Michigan limited liability company
By:
Name:
Title:
State of Illinois) County of)
County of
(County of
The foregoing instrument was acknowledged before me by,
, as, this
, as, this
Notary Public

EXHIBIT A

LEGAL DESCRIPTION

Insert Lot & Block Description post recordation of Final Plat of Subdivision.

EXHIBIT B

DEPICTION OF SUBJECT PROPERTY

Insert recorded copy of Final Plat of Subdivision

FRANCZEKRADELET

ATTORNEYS & COUNSELORS

300 SOUTH WACKER DRIVE, SUITE 3400 | CHICAGO, IL 60606 T: 312.986.0300 | F: 312.986.9192 | WWW.FRANCZEK.COM

> ARES G. DALIANIS 312.786.6163 agd@franczek.com

May 17, 2017

VIA ELECTRONIC MAIL

Ms. Patricia Lord Senior Assistant City Attorney City of Naperville Law Dept. 400 S. Eagle St. Naperville, IL 60540

Re: Ashwood Crossing Age Restriction Covenant

Dear Pat:

I am writing to inform you that the Age Restriction Covenant negotiated with counsel for Pulte Homes is acceptable to Indian Prairie School District 204 in relation to the Ashwood Crossing Development. I have attached a copy of the final version of the Covenant.

Please let me know if you need anything further from me or District 204.

Very truly yours,

Ares G. Dalianis

AGD:mes Enclosure

cc: Jay Strang – Indian Prairie School District 204

Russell Whitaker – Attorney for Pulte Homes

Park Donation Work Sheet

Name of Subdivision Ashwood Crossing Park Donation Worksheet

\$5,009.20 Cash \$515,947.84 Land 1.5944 Park Donation =

=Round((Total People Produced x 0.0086),4) = Land Donation x \$323,600.00

Type of Unit	Pre-School 0 - 4 Yrs	ă ō	Elementary Grades K-5	nd P	Junior High Grades 6-8	Hig Gra	High School Grades 9-12		Adults 18-up	⊥	Total per Unit	
Detached Single-family												
2-bedroom	0.127	0.000	0.327	0.000	0.102	0.000	0.118	0.000	1.779	0.000	2.453	0.000
3-bedroom	0.244	0.000	0.440	0.000	0.179	0.000	0.177	0.000	1.892	0.000	2.930	0.000
4-bedroom	0.348	0.000	0.522	0.000	0.235	0.000	0.265	0.000	2.116	0.000	3.486	0.000
5-bedroom	0.333	0.000	0.533	0.000	0.262	0.000	0.279	0.000	2.344	0.000	3.750	0.000
2040cHA												
Single-Family												
1-Bedroom										0.000		0.000
2-Bedroom	0.072	0.000	0.091	0.000	0.044	0.000	0.080	0.000	1.610	0.000	1.897	0.000
3-Bedroom	0.157	0.000	0.178	0.000	090.0	0.000	0.113	0.000	1.746	0.000	2.253	0.000
4-Bedroom	0.217	0.000	0.358	0.000	0.154	0.000	0.198	0.000	2.127	0.000	3.053	0.000
Apartments												
103 Efficiency									1.800	185.400	1.800	185.400
1-Bedroom	0.015	0.000	0.033	0.000	0.013	0.000	0.013	0.000	1.691	0.000	1.764	0.000
2-Bedroom	0.037	0.000	0.063	0.000	0.028	0.000	0.030	0.000	1.748	0.000	1.906	0.000
3-Bedroom	0.037	0.000	0.152	0.000	0.091	0.000	0.083	0.000	2.330	0.000	2.692	0.000
People Produced		0.000		0.000		0.000		0.000		185.400		185.400



320 W. Jackson Ave., Naperville, IL 60540 • 630-848-5000 • Fax 630-848-5001 • napervilleparks.org

January 13, 2017

Mayor Steve Chirico and City Council City of Naperville 400 S Eagle Street Naperville, IL 60540

Re: Ashwood Crossing Park Donation

Mayor Chirico and Council Members:

The Park District is providing this letter to support the Developer's request for use of an alternative method of calculation for the donation to the park district required under Municipal Ordinance 7-3-5 for an age restricted community of persons 55+.

Previously, the Park District supported an alternative calculation for the Carillon Club because (like Ashwood Crossing) the development was restricted to persons age 55+. A 2005 memorandum from Margo Ely to City Council (enclosed) sets forth the agreement of the Park District and the developer of the Carillon Club to an alternative calculation premised upon a population generation of 1.8 persons per unit. The Park District believes this figure is appropriate for use for Ashwood Crossing as well. A draft population generation table is included for reference.

Please advise if you have any questions. As always, thank you for your continued support of this ordinance to serve the immediate and future park and recreation needs of Naperville residents.

Sincerely,

NAPERVILLE PARK DISTRICT

Rich Janor, President, Park Board of Commissioners

Cc: Park Board of Commissioners

Ray McGury, Executive Director

Derke Price, Legal Counsel

Enc.: Memorandum from Margo Ely to City Council

Draft Population Generation Table













Park Donation Work Sheet

Ashwood Crossing Park Donation Credit Name of Subdivision

Land 0.0252

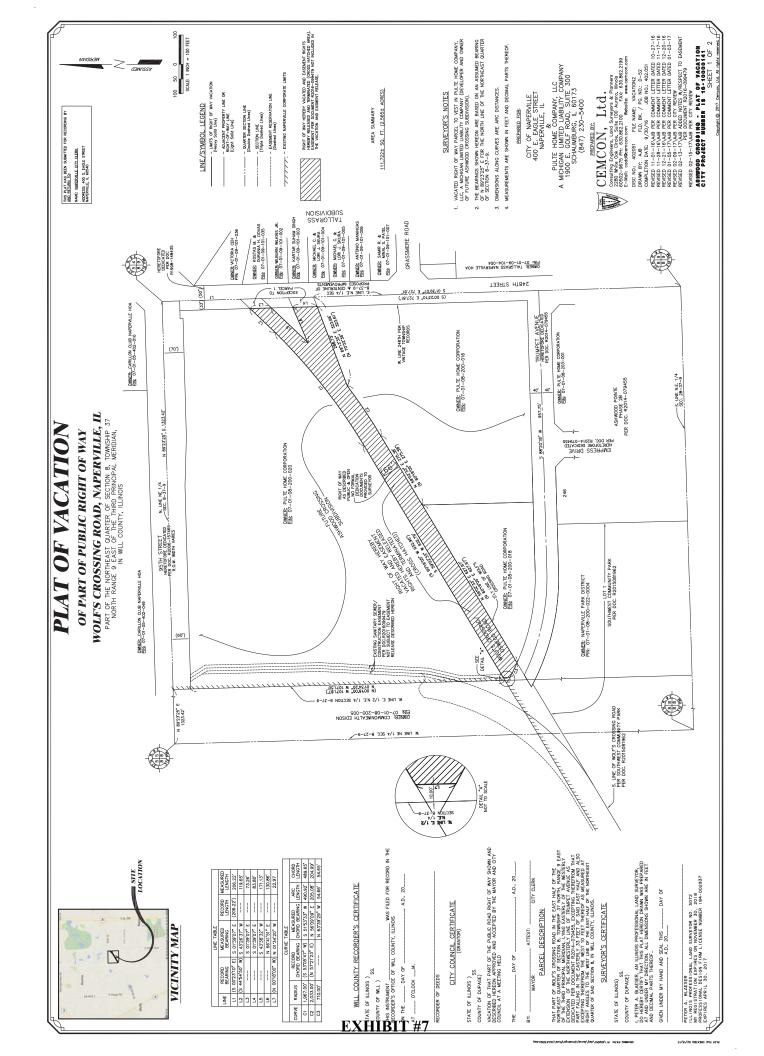
Park Donation =

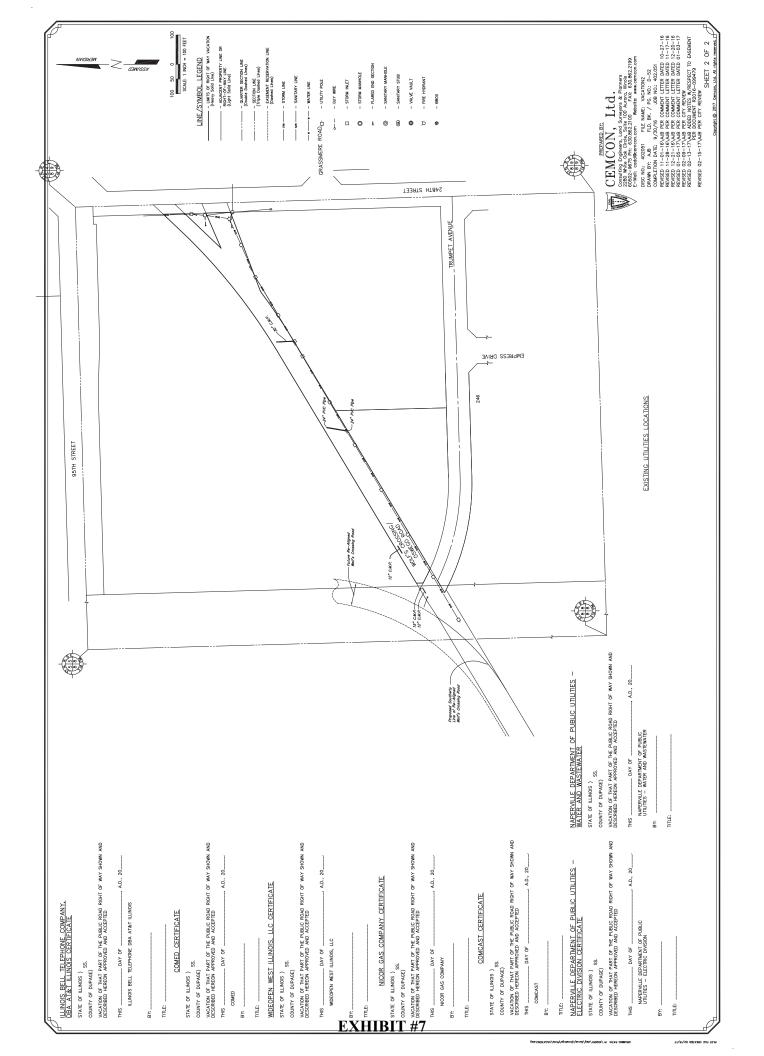
Cash \$8,154.72

= Land Donation x \$323,600.00

=Round((Total People Produced x 0.0086),4)

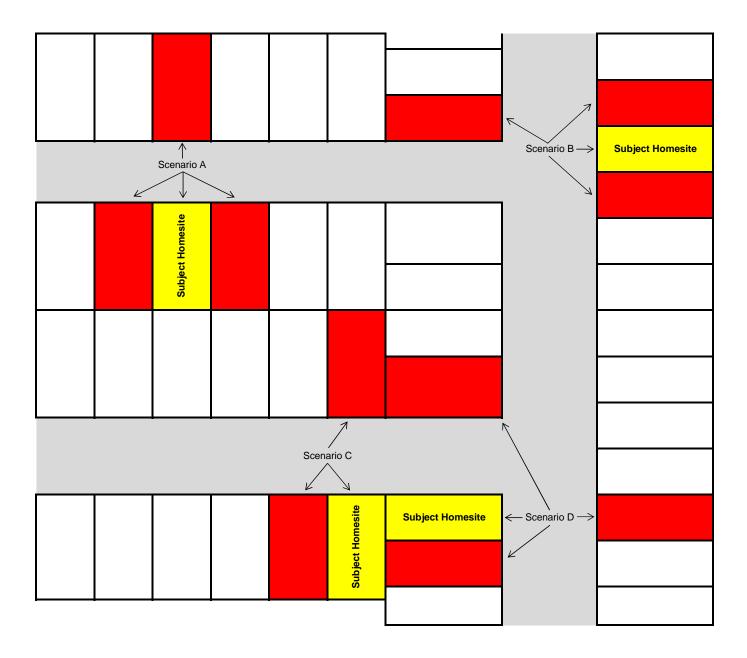
Type of Unit	Pre-School 0 - 4 Yrs	Ele Gra	Elementary Grades K-5	nç Ö	Junior High Grades 6-8	Hig	High School Grades 9-12		Adults 18-up		Total per Unit	
Detached Single-family												
2-bedroom	0.127	0.000	0.327	0.000	0.102	0.000	0.118	0.000	1.779	0.000	2.453	0.000
1 3-bedroom	0.244	0.244	0.440	0.440	0.179	0.179	0.177	0.177	1.892	1.892	2.930	2.930
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3-Bedroom	0.037	0.000	0.152	0.000	0.091	0.000	0.083	0.000	2.330	0.000	2.692	0.000
						į		!				
People Produced		0.244		0.440		0.179		0.177		1.892		2.930

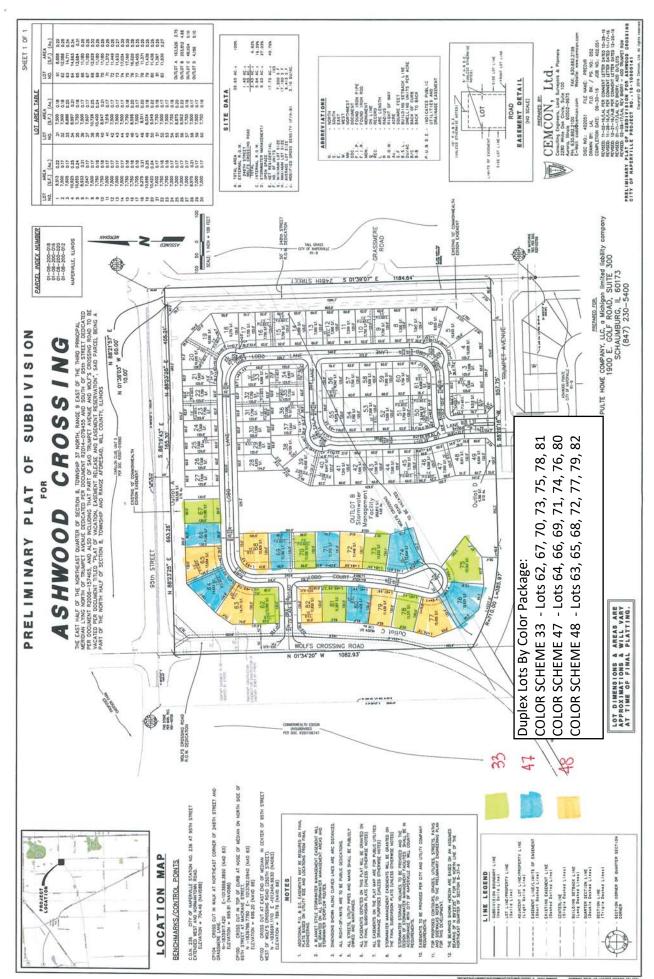




Ashwood Crossing 3/10/2017

Single Family Anti-Monotony Standard







Exterior Color Collections

Illinois Division

February 6,2017 Siding - White Trim

Scheme #33

Shingle Roofing Tamko Dimensional Weathered Wood

Shingle Roofing Tamko 3-Tab Weathered Wood



Metal Roof Mastic Metals Terra Bronze

Shake/Board & **Batten Siding** Monterey Sand

Entry Door

French Roast

SW6069

Horizontal Siding English Saddle (Premium)

Shutters

Federal Brown

Windows White

Vinyl Trim Glacier White

Brick Veneer **Brick Craft** Signature Blend





Garage Doors & Painted Trim Pure White SW7005

Manufactured Stone Coronado Stone Country Rubble Dakota Brown

Stone Veneer Arriscraft Shadow Stone Jasper



Color selections created by: Main Street Designs of Georgia, LLC www.MainStreetDesignsLLC.com



Exterior Color Collections

Illinois Division

February 6,2017 Siding - White Trim

Scheme #47

Shingle Roofing Tamko Dimensional Rustic Black

Shingle Roofing Tamko 3-Tab Rustic Black



Metal Roof Mastic Metals Terra Bronze

Shake/Board & **Batten Siding** Glacier White

Horizontal Siding Storm (Premium)

Shutters

Black

Windows White

Vinyl Trim Glacier White

Brick Veneer



Entry Door Tricorn Black SW6258

Garage Doors & Painted Trim Pure White SW7005





Manufactured Stone Coronado Stone Country Rubble Dakota Brown

Stone Veneer Arriscraft Laurier Oakwood



Color selections created by: Main Street Designs of Georgia, LLC www.MainStreetDesignsLLC.com



Exterior Color Collections

Illinois Division

February 6,2017 Siding - White Trim

Scheme #48

Shingle Roofing Tamko Dimensional Weathered Wood

Shingle Roofing Tamko 3-Tab Weathered Wood



Metal Roof Mastic Metals Terra Bronze

Shake/Board & Batten Siding Natural Linen

Horizontal Siding Canyon Drift (Premium)

> Shutters Musket Brown

> > Windows White

Vinyl Trim Glacier White

Brick Veneer Brick Craft Cedar Creek



Entry Door Maison Blanche SW7526

Garage Doors & Painted Trim
Pure White
SW7005





Manufactured Stone Coronado Stone Tuscan Villa Romano

Stone Veneer Arriscraft Citadel Algonquin



Color selections created by: Main Street Designs of Georgia, LLC www.MainStreetDesignsLLC.com

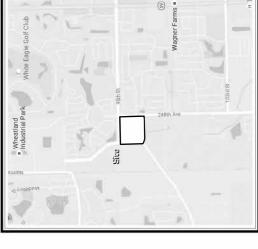




4.25.2017 - Per City Review Comments dated 4.12.2017

OSSING JOMHST

NAPERVILLE, ILLINOIS



LOCATION MAP

City of Naperville Project No. 17-10000029

INDEX OF DRAWINGS

- Overall Landscape Plan -andscape Plan - North Landscape Plan - South
- Parkway Tree & Turf Exhibit L.102 L.103
 - **Enlargement Area Details** L.104 L.105
- General Landscape Specifications Native Planting Specifications Native Planting Details L.106
- Construction Details Construction Details Construction Details .108
- TS.101 Existing Tree Survey TS.102 Tree Inventory Data

(8)

EXHIBIT #10

1900 E. Golf Road - Suite 300 Schaumburg, Illinois 60173 DEVELOPER:

(847) 230.5331 voice

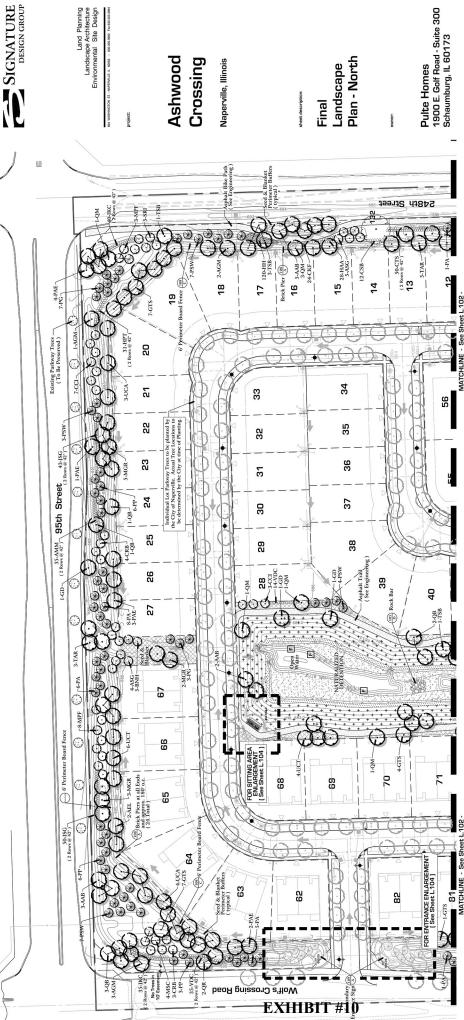
2280 White Oak Circle (630) 862.2100 voice Aurora, Illinois 60502 CEMCON, Ltd.

ENGINEER:

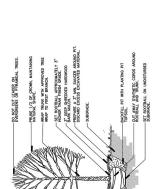
Project Manager: Chris Morgart, P.E.

Signature Design Group, Inc. LANDSCAPE ARCHITECT:

Naperville, Illinois 60540 (630) 305.3980 Fax: (630) 305.3994 Project Manager: Greg G. Sagen, RLA 132 N. Washington Street



Land Scape Architecture
Environmental Site Design





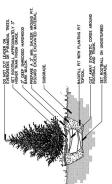
Typical Tree Planting Detail

For General Landscape Specifications - See Sheet L.107

For SWM Basin Seed / Plug Mixes - See Sheet L.106

For Parkway Trees & Turf Info - See Sheet L.103

For Plant Material List - See Sheet L.100



Typical Evergreen Planting Detail

- SET CROWN OF SHRUB SO THE TOP OF THE BALL IS 1" ABOVE THE ADJACENT FINISHED GRADE. - 3" LAYER SHREDDED HARDWOOD BARK MULCH. PLANTING SOIL MIX. FINISH GRADE.

Typical Shrub Planting Detail

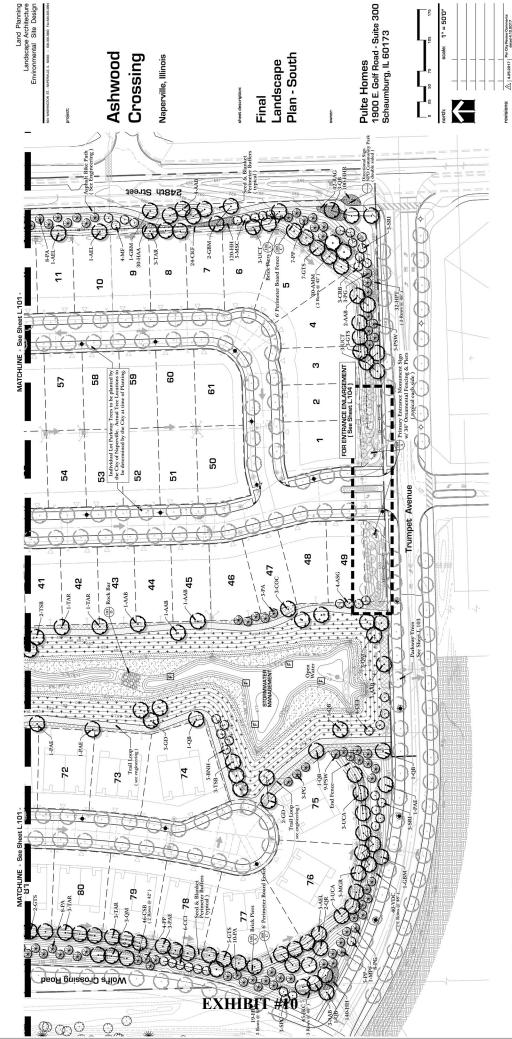
L.101 sheet no.:

project no. 26029

15 March 2017 A | 4.25.2017 | Per City Review Comment

original issue date:





- For Plant Material List See Sheet L.100
- For Parkway Trees & Turf Info See Sheet L.103
- For SWM Basin Seed / Plug Mixes See Sheet L.106
- For General Landscape Specifications See Sheet L.107

drawn by:
checked by:
proplect ms: 26029
sheet no:
L.102

15 March 2017

original issue date:

Sheet L.103 Only] Parkway Tree List :

Code	Scientific Name	Common Name	Size	Qmty	Remarks
WW	Acer x freemanii 'Manno'	Marmo Maple	2.5	10	B&B
VAMS.3	MMS.3 Acer miyabei 'Morton'	State Street Maple	3.0*	7	B&B
NPS	Acer platanoides 'Superform'	Superform Norway Maple	2.5	14	888
00	Celtis occidentalis	Common Hackberry	2.5	8	B&B
gg	Gymnochdus dioicus	Kentucky Coffeetree	2.5	5	B&B
GTS.3	Gleditsia triacanthos var. inermis 'Skyline'	Skyline Honeylocust	3.0.	80	B&B
3VE	Platanus x acerifolia Tixclamation'	Exclamation London Planetree	2.5	10	B&B
98	Quercus bicolor	Swamp White Oak	2.5	3	888
583	Quercus bicolor	Swamp White Oak	3.0*	3	888
CAR	Tilia americana Redmond'	Redational American Lindon	2.5	6	B&B
CA	Ulmus carpinifolia 'Morton'	Accolade Elm	2.5	6	B&B

This list is for Common Area Parkway Trees ONLY to be planted by Pulte at the time of improvement.

Parkway Construction Notes :

- No more than 10% of the same species may be used in total. No more than 5 trees of the same species may be planted adjace

Ture Establishment Legend :

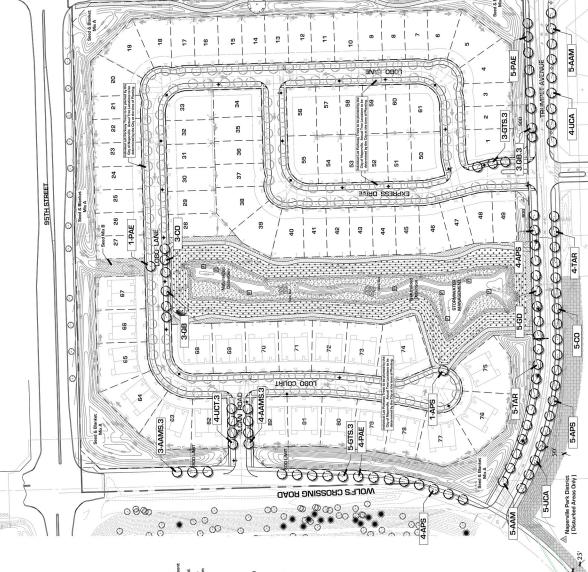
1	. Priore in the regular	. 2
#1	- SOD	[Entrance Areas as Noted] 2,400 SY
0	- General Turf Mix A	(All Perimeter Berms & ROW) 4.55 Ac
	- Low Maint. Fescue Mix B	(Basin Perimters, Trail to Lot Line) 0.58 Ac
	- Wet-Mesic Prairie Mix C	(Trail to El. 679.0)
	- Prairie Forb Enhance Mix H	[Trail to El. 679.0]
	- Wet Meadow Seed Mix D	(El. 680.0 to El. 677.0) 0.27 Ac
	- Wet Meadow Plug Mix D	(El. 678.0 to El. 677.2)
	- Shallow Emergent Plug Mix E	- Shallow Emergent Plug Mix E (ខ. 677.2 សខា6765) 4,300 Each
16	- Deep Emergent Plug Mix F	(El. 676.0 to El. 675.0 where shown on plan) 384 Each
	- Park District Seed Mix G	[Disturbed Park Areas]

See Sheet L.106 for Seed & Plug Mixes

1 3 Page 1

WARNING

CALL BEFORE YOU DIG 800-892-0123





Land Scape Architecture
Environmental Site Design

Ashwood

Crossing

Naperville, Illinois

133818 HT8<u>45</u>

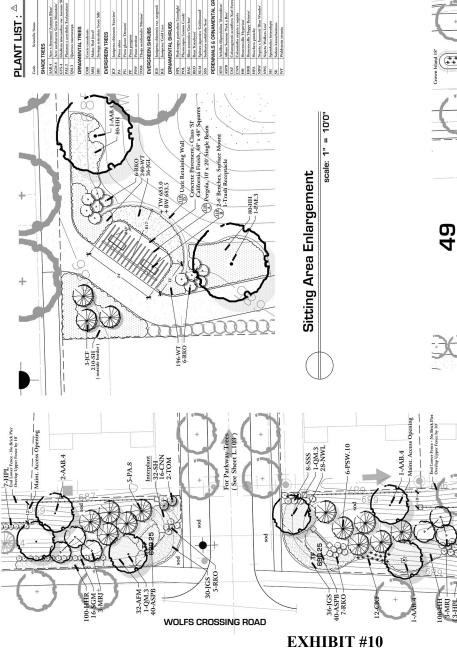
Turf Establishment Parkway Tree & Plan

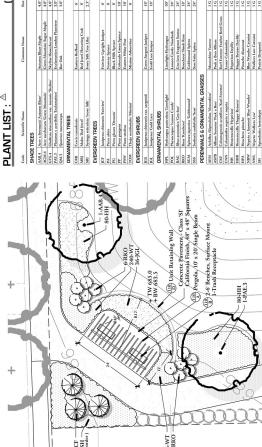
1900 E. Golf Road - Suite 300 Schaumburg, IL 60173 Pulte Homes



15 March 2017 A | 4.25.2017 | Per City Review Common original issue date:

project no. 26029 sheet no.: L.103





[Sheet L.104 Only]

SIGNATURE DESIGN GROUP

Land Scape Architecture
Environmental Site Design

	Scientific Name	Common Name	Size	Quty	Remarks	- 1
	JE TREES					
1	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	4.0	-	B&B	Г
	Acer saecharum Green Mountain'	Green Mountain Sugar Maple	4.0	2	B&B	
	Gleditsia triacanthos var. inermis 'Skyline'	Skyline Honeylocust	4.0.	2	B&B	
	Platanus x acerifolia Exclamation	Exclanation London Planetree	3.0	-	B&B	
	Quereus macrocarpa	Bur Oak	3.0.	2	B&B	
5	AMENTAL TREES					
	Cercis canadensis	Eastern Redbud	.9	00	B&B, Multi-Stem	
	Malus 'Red Jewel'	Red Jewel Flowering Crab	ão	9	B&B, Multi-Stem	
	Syringa reticulata Tvory Silk	Ivory Silk Tree Lilac	2.5	3	B&B	
O	GREEN TREES					
	Juniperus chinensis Fairview	Fairview Upright Juniper	:0	0	888	
	Picea abies	Norway Sprace	ão	5	B&B	
	Picea glauca Densata'	Black Hills Spruce	ão	50	B&B	
	Picea pungens	Colorado Green Spruce	10.	=	B&B	
	Pinus strobus	Eastern White Pine	10.	6	B&B	
	Thuja occidentalis Mission'	Mission Arborvitae	.9	2	B&B	
Ö	GREEN SHRUBS					
	Juniperus chinensis var. sargentii	Green Sargent Juniper	-81	102	5 Gallon Container	
ш	Juniperus Gold Lace	Gold Lace Juniper	.81	2.0	5 Gallon Container	
5	AMENTAL SHRUBS					
	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	30.	38	5 Gallon Container	
	Physocarpus Lemon Candy	Lemon Candy Ninebark	24.	17	5 Gallon Container	
	Rhus aromatica 'Gro-low'	Gro-Low Fragrant Sumac	24	22	5 Gallon Container	
	Rosa 'Knockout'	Knockout Shrub Rose	.81	39	3 Gallon Container	
	Spiraea japonica 'Goldmound'	Goldmound Spiren	24	91	5 Gallon Container	
	Sorbaria sorbifolia 'Sem'	Sem False Spirea	24	s	5 Gallon Container	
12	NNIALS & ORNAMENTAL GRASSES					
	Achilles filipendelina 'Moonshine'	Moonshine Yarrow	1 G	45	Container	
	Allium Summer Peek a Boo'	Peek a Boo Allium	16	80	Container	
	Calamagrostis acutiflora 'Karl Forester'	Karl Forester Feather Reed Grass	1 6	33	Container	
	Calamintha nepeta x nepeta	Lesser Calamintha	9	91	Container	
1 1	Hemerocallis Hyperion'	Hyperion Daylily	1.6	450	Container	
	Hemerocallis Happy Returns'	Happy Return Daylily	5 1	100	Container	
	Heuchera pistache	Pistache Alumroot	9	09	Container	
	Nepeta x fanssenii Blue Wonder	Blue Wonder Catmint	51	135	Container	
	Nepeta Walkers Low	Walkers Low Catmint	9	28	Container	П
	Second of the Control of	Desired Decreesed		243	Container	

Ashwood Crossing

Naperville, Illinois

Enlargement Details

1900 E. Golf Road - Suite 300 Pulte Homes

5-PG.8

-AAB.4

1-AAB.4-

-8-HPL

Schaumburg, IL 60173



- A | 4.25.2017 | Per City Review Commen

11-CKF

(109) Monument Sign Wall

scale: 1" = 20'0"

Wolf's Crossing Entrance

- 5-RKO - 1-AGM.4 30-HPA

- 15 March 2017 original issue date:
- project no.: 26029

scale: 1" = 20'0"

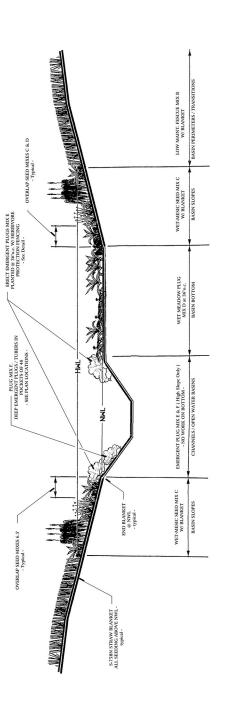
3 Brick Piers w/ Ornamental Fencing, 36" High (1995) (Typical Each Side)

Trumpet Ave. Entrance Enlargement

For General Landscape Specifications - See Sheet L.107 For SWM Basin Seed / Plug Mixes - See Sheet L.106 For Parkway Trees & Turf Info - See Sheet L.103 For Plant Material List - See Sheet L.100

L.104

sheet no.:



TYPICAL NATIVE BASIN SECTION 4

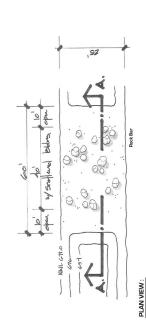
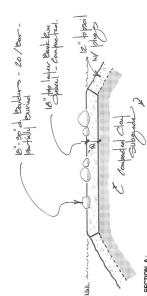


EXHIBIT #10



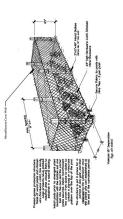


ROCK BAR DETAIL



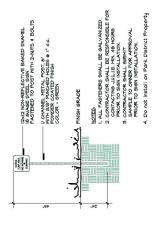


N.T.S.



HERBIVORE PROTECTION FENCING DETAIL

a



NATIVE AREA SIGN DETAIL

SIGNATURE DESIGN GROUP

Landscape Architecture
Environmental Site Design

Ashwood Crossing

Naperville, Illinois

sheet description

Planting Details Native

1900 E. Golf Road - Suite 300 Schaumburg, IL 60173 Pulte Homes



15 March 2017 A | 4.25.2017 | Per City Review Comments original issue date: revisions:

checked by:

project no.: 26029 sheet no.:

L.105

ESCRIPTION OF WORK

As part of the project stormwater management basis wall be planted with notive vegetation. The purpose of the plant is a monature the university of the management was the pressiting and management are the plant community. These safets plant communities will provide a distinction and another plant communities will are safety as management and management and provide a color of section and sediment control, stormwater filtration, infinition, and validited in tubbal.

PART 1 - NATURALIZED AREAS PLANTING SPECIFICATIONS

1.01 QUALITY CONTROL PROCEDURES

Cares landing Cares paragraphicides v. cephalicides Elmus canaderates Farricum virgatum Parricum virgatum Scriptus pendiculae Sorginestrum nuters Surfine pendiculaes

- A Native seed and the season that he shipped, stored and handled in a manner that will manuse up operation from matter beinghost, stored and handled in a manner that will manuse protection than understand, will operate or continue that would incoparation visibility or classes germented notice stellarisms. The store of the store stellarisms are stored to the store of the store of
- 1.02 CONTRACTOR EXPERIENCE

- 1.4 EVENDORARYER, ASCALGUERRERY, SEQUERRERY, SEQUERRER

1.04 EARTHWORK COORDINATION A. The Native Landscape Contract

THE WAS A CONTRACT OF A CONTRACT OF THE WAS AND A CONTRACT OF THE WAS A CONTRACT OF THE WAS A CONTRACT OF THE

Sub Total Total

Wet Prairie - Wet Meadow Seed Mix D: To be Planted between El. 680 - El. 677

(

Wet Prairie - Wet Meadow Seed Mix

C. Il computed recours, the assi must be regard included, or dimensional bosoned to a depth of a classification for plant of more and to a more and a particular and a section in a more and a selfund must not control plant plants and produced from a more and a more and selfund must not control plant and and more and a occurs, the soil must be ripped, disked, or otherwise loosened to a depth of these until compaction readings average below 250 psi. to provide proper plant root growth.

Adequated by the project deglescent, are restroom and adelimentation cooled polarine.

The proposed complete and a proposed complete and a proposed connector, the patient polarine and a proposed connector, and a proposed connector, and a proposed connector, and a proposed connector, and a proposed connector and a propos

- 10. Sp. DANT MAXINGS TO A DANT MAXINGS TO THE special and proportions as specified.
 A Provided is their claims root of the species and proportions as special follows:
 B. Mysormatis Institute the all by adding and missed at 10, ppr are on with the fine seeds. Before installation. This incombate shall comit an devene minute of Commiste target. Seedes (Common 124) in patients of the special specimes and their top grown autificant to reach above waster level and public special by demonstrating and their special specimen (2012). The part and the principle of the special specimen (2012) and the special specimen (2012) and the special specimen of the special specimen (2012).

 Fig. 2012 and 10. The special sp

General Turf Mix A: To be diffeseded and covered with an S-75 BN straw blankel, in all maintained furf areas as specified on the plans. Seed shall be installed at a rate of 2000bs, per acre.

65% Improved Kentucky Bluegrass (minimum three varieties) 25% Improved Perennial Ryegrass (minimum two varieties with 10% Creeping Red Fescue

Low Maintenance Fescue Turf Mix B: The Low Administrator Info Gass is to be resistled as a tracision area to the native innuisape as specified on the plants. To be diff seeded and covered with an S-75 RH straw blanks.

	arieties:	
DOT 1B Low Maintenance Mix:	Fine Leaf Turf-Type Fescue - 3 va	. 10 to 10 miles 14
O	75%	

150#

(½ Crossfire II TTF)*
(½ Baderunner TTF)*
(½ Cayenner TTF)*
(Y Cresping Red Fescue
(Red Top 10% 5% 5%

Wet to Mesic Prairie Seed Mix C: To be planted on the basin slopes between the trail and EI. 679.0

Wet to Mesic Prairie Seed Mix

			wet meadow Flug
	Outpeach Acres	Botanical Name	Common Nar
ŀ	200000000000000000000000000000000000000	Grasses:	
t	90 00	Leersia organides	Rice Cutgrass
t	18.00	Panicum vigatum	Prairie Switch
t	7.60		
t	0	Sedges, Rushes, and Reeds	
t	000	Carex comosa	Bristly Sedge
t	63.00	Carex cristatella	Crested Oval 8
t	10.50	Carex stipata	AM-Fruited Se
t	0.50	Carex vulpinoidea	Fox Sedge
t	1800	Juncus tombyi	Torrey's Rush
t	24.00	Scripus cyperinus	Woolgrass
Total C	20.12		Red Bulrush
D O	250.00	Scripus validus	Softstern Buln
t	640.00		
t	188.00	Forbs:	
Lotol	726.00	Asciepies incamete	Swamp Milkw
		Eupatorium perfoliatum	Common Boni
t	0.25	Iris virginica shrever	Blue Flag Iris
t	0.75	Polygonum amphibium stipulaceum	Water Smartw
t	6.00		
H	3.00		
H	0.50		
H	2.00		
H	0.25	And a second second	T. L.
H	0.25	Deep Emergent Plant MIX F:	MIX F:
H	2.50	To be planted in 2-3ft, water depth (Below	oth (Belor
	0.50	pods of 48 as shown on the plan. El. 676	in. El. 676
ŀ			

Common Oat Annual Rye

Temporary Cover: Avena sativa Lotum mutitiorum

bs: er novae-angliae bisia factea

Sotanical Name	Common Name	Qty/Pod
Pontendaria cordata	Pickeral Weed	18
Vymphaea fuberosa	White Waterlily	10 stapled tubers
Potamogeton peetinatus	Sago Pondweed	10
Ranunculus longinostris	White Water Crowfoot	10
	Total	48 / POD

Wet Meadow Plug Mix D:
To be planted on the full basin bottom, below Normal Water Line
(NWL) to the edge of openwater sedimentation pools / channels,
and as specified on the plans, (36°0.c.)

Botanical Name	Common Name	Plugs/Acre
Grasses		
Leersia oryzoldes	Rice Cutgrass	400
Panicum virgatum	Prairie Switchgrass	400
	Subtotal	800
Sedges, Rushes, and Reeds		
Carex comosa	Bristly Sedge	400
Carex cristatella	Crested Oval Sedge	400
Carex stipata	Aw-Fruited Sedge	400
Carex vulpinoidea	Fox Sedge	400
Juncus torreys	Torrey's Rush	400
Scripus cyperinus	Woolgrass	400
Scripus pendulus	Red Bulrush	400
Scripus validus	Softstem Burush	400
	Subtotal	3200
Forbs:		
Asciepies incernate	Swamp Milkweed	200
Eupatonum perfoliatum	Common Boneset	200
Iris virginica shrever	Blue Flag Iris	200
Polygonum amphibium stipuleceum	Water Smartweed	200
	Subtotal	800
	Total	4800

w Emergent Plugs) in to El. 675

Botanical Name	Common Name	Qty/Pod
Pontendaria cordata	Pickeral Weed	18
Nymphaea fuberosa	White Waterlily	10 stapled tubers
Potamogeton peetinatus	Sago Pondweed	10
Ranunculus longirostris	White Water Crowfoot	10
	Total	48 / POD

PART 2 - NATURALIZED AREAS MONITORING

A. A framed goose protection structural pods made of wood posts and chicken wire (hardware codin) staff the staffed prior terrepent (puls) plant installation as specified on plan. The structure shall remain in place for a period of at least one year, and then removed by the Contractior most the grains are wall established. 2.01 HERBIVORE PROTECTION
A. A framed goose protection

SIGNATURE DESIGN GROUP

nstalled in the appropriate water depths in the herbivore 2.02 PLANT/PLUG INSTALLATION
A. All aquatic plants must be inst

protection pods.

B. Evenly distribute each species around the pond, planting groups of 5 to 7 plants of each

2.03 SEEDING IMPLIMENTATION * Counting normalising must occur when soil moleture is appropriate for the seeding operation

When potenting and the time of the state of

After seeding operation is completed, install arosion control blanket per manufacturer's specifications upon all areas at or above the normal water level.

A RESISTION CONTINUE, LEALMENT.

A SERVIN CONTINUE, LEALMENT.

The SERVIN CONTINUE AND SERVIN CONTINUE AND

2.05 "NO MOWING AND/OR NO DUMPING SIGNAGE
A. TNo Mowing" signage shall be installed along the perimeter of the basin to define the

Leading Powerfor Busin and adjourn (properfers, B. Sign shall be 12' x12' Nor-reflective Based Ensemi of Gauge steel and displace at 10' and and eleany staff where Inf Area Norling's Contractor shall submit sample to Owner for sporoul prior to installistic. Sign shall be installed 4 bove the first flow on the staff of the staff

During landicape work, store materials and equipment where directed. Keep pavements, work areas and additing associations are other mort in orderly overflow and and principal season between the orderly overflow and are trained in order than the orderly overflow and are trained in order than the orderly overflow and are trained in orderly order trained and the order presents which produced normal maintenance orderly are trained and orderly the maintenance percent. Thest, now, or replace dismaged in miscape work as directed by the

2.0 MSREEDIDISA, MACCRETANGE PRINCE AT THE OWNER AND CHECKETANGE There is a prince of grown or all the below patholing becompliers with replacement that will are the complication of t

C. Nahive Landscape Contractor is to notify Owner or Owner's Representative within five days after completing initial and/or supplemental plantings in each area.

PART 3 - NATURALIZED AREAS MANAGEMENT

Management of the naturalized area is essential to the realization of potential functional and habitat benefits of designed native vegetation. Listed below are the management activities for

3.01 FRST SELSON. Now the planted areas (not including the emergent awea) in our force inner along the growth and the planted planted and weekly species are flowering to as to prevent seed set. Chanted of undescribes plant appears are weekly species, when the planted in the planted planted and the planted planted and the planted planted and the planted planted and the planted planted planted planted planted and along our above growth and planted the planted planted planted planted planted and planted and planted planted planted and planted and planted planted planted and planted and planted planted

3.02 SECOND SEASON - Control of undesimble plant species during the second growing season shall be controlled by hard guiling and selective herbicide application. Moving shall be conducted two look four lines to a height of six (6) to eight (3) inches to prevent annual weeds from producing seed.

3.03 THIRD THROUGH FIFTH SEASON - Management of undesirable plant species during the third growing season shall be controlled by hand pulling and selective herbicide.

A the composition of the accord or that of the growing season depending on freel availability) after global and a season of the first for the properties of the season of

iDOT Class 1 Lawn Mixture : (Kentucky Bluegrass, Perennial Ryegrass & Creeping Red Fescue)

△ Park District Seed Mix G:
To be dill-seeded and covered with Envolat DS 150 short term
photosegradable Enrosin Control Blanket. Stakes must be
nate of 200 bs 1 acre.

Subtotal

Jungus torreys
Scirpus atroxivens
Scirpus operatious
Scirpus pendulus
Scirpus validus creber

oted Spike Rush

Sedges, Rushes, and Reeds Carex bebbii

and a fair lorn mall be regogeded on the unablighty which goody related to the quantity and catality of the sun mall of the sun of the sun management are sun of other amplies of management goods. Generally, burns shall be the sun of the supported of the support of the sun and other subjects of management area. Generally, as they part of the support of

Large prairie tracts shall not be burned completely each burn session. Management areas stable divided into sections, depending on the size of the fact, and burned on a rotational basis. Burning of a section of a prairie may occur each year with the entire prairie burned over a 2-3 year period.

2.0 ELOGICEME, a heart are not may received undergood management analysis and to be considered management and to be considered or elemented. Once accepted by the Ones of Ones's (proposessions) and ones of the Ones of Ones's (proposessions) and ones of the Ones's of Ones's (proposessions) and ones of the Ones's of Ones's (proposessions) and ones of Ones's (proposessions) and ones of Ones's (proposessions) and ones of Ones's (proposessions) and one

Sand Coreopies

Sand Coreopies

Broad-Leaved Puple Confilower

Wild Lupine

Wild Bergamot

Frogbre Beard Tongue

Yellow Corefflower

Yellow Corefflower

correspondentes assurcinates
Correspondentes infracerasis
Echiniacea purpurea
Lupinus perennis
Monarda fistulosa
Pensternon digitalis
Raticia primate
Rutbeccia hirta

Subtotal Total Plugs/Acre

Sommon Arrowhead

Sagistaria Astifolia

Annual Perennial Forbs Seed Mix

Permanent Native Species: Chamaecrists fasciculata

Common Rush Water Willow Hard-Stemmed Bulrush River Bulrush Common three-square Sofsstem Bulrush Common Bur Reed

Justicis americans Scripus et rius Scripus fuviatile Scripus pengens Scripus validus creber Sperganium eurycarpum Botanical Name Sedges/Rushes/Reeds:

rbs: crus calamus s virginica shavel ntenderia cordata

Botanical Name

To be planted in conjuction with Seed Mix C. between trail and El. 679.0 orb Enhancement Mix H:

Shallow Emergent Plug Mix E: To be planted on the basin fridge and bottom between EI. 677.2 to EI. 676.5 and as specified on the plans (24* o.c.)

4

Emergent Wetland Plug Mix Common Name

Land Scape Architecture Environmental Site Design project

Ashwood Crossing

Naperville, Illinois

Specifications Planting Native

1900 E. Golf Road - Suite 300 Schaumburg, IL 60173 Pulte Homes



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urdwn by.	checked by:	project no.:

15 March 2017

original issue date:

L.106 sheet no.:

LAT BECORE DE VOIDING.

TOTAL DESCRIPTION OF A THREE AND A SHARE A SHARE AND A SHARE A SHARE AND A SHA

A SUBSTITUTIONS

A Substitution for the approved plans will be accepted when sasisfuactory evidence in witning is submitted to the Landscape Activities, showing that the plant specified is not available.

B. Landscape Contractor shall submit request for approval to ladded and the machine. Only those B. Landscape Contractor shall submit request for approval to submit and any and any and approval to the machine available material by the contractor shall submit to expect the approval to the contractor.

disease of an expension with management and early expension of the property of the second section of the property of the second section of the property of the

When reported by callent provide the documental trees with a single main truck. When specied by callent provide the documental trees with a single main truck. When specied by callent provide the document to the same as man's amount plants with rate parameter as a man's amount plant shift not parameter. There is provide the value of the truck of man from the document and many district and the provide and many and m

a. The measurements for height shall be taken from the ground level to the average height of the
opp of the petal man for the longest branch.
 b. Singe teammed or thin patriats will be rejected.
 c. Side benaches shall be generious, well-wingped, and the plant as a whole well-bushed to the

ground,
d. Flusts stall be in a most, ligational concilion, less from deud wood, brokent, or other root or
d. The stands before the stall be contained grown to specified stall.
The roots is improved preferred paths shall be container grown to specified stall.
B. Soat, Therefore supports contenting promit health of the roots of the stall of the work. Soat before the stall within roops contained the lands in the contained for work. Soat before the stall of the roots of the stall of the work soat before the stall and the st

E. Drainage fil: AASHTO M43 (30° to 34°) clean uniformly grade stone or gravel.
F. Filler fabric: DuPont Typar or other approved non-woven porous, Polypropolene fabric.

by Ambridge (page) in making on spigod and on the properties of page of page

our relative and againsts, mon-burning fertilizer from a commercial source. Fertilizer types, ratios and application rates shall be as follows:

a J.FGS; PAR EX slow release fertilizer with IBDU or approved equal. 10-18-22 ratio.

use.

The control of the composed of not less than 50% organic stow acting, guaranteed site modestional feetilizer.

Starter feetilizer with an approximate analysis of BN, 24P2O5, 24K2O, or stimilar approver

3.06 TURF INSTALLATION A. Sod

Confident with respect regressed septembers as the confidence of t

PART 3 - INSTALLATION AND EXECUTION

- Incrementary of planings interplaced and but claring normal planings assessor for each type of material required.

- Tree of planings are marked that the contemporary and a second material planing of an advanced by the original planing of the contemporary and a second material planing and an advanced by the original planing of the contemporary and a second material planing and the right planin will a sill be descended and the contemporary and a second material planing and the contemporary and a second material planing operations.

- Secondary The grownian paragraphs to the planing operations.

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- The body of the grownian paragraphs of the planing operations of the secondary planing and planing planing only expendenced evolved the times with particip under the approvision of a qualitied supportion of an against a supportion.

- Closel planing a planing as all approved in the field by the Landschook Arriage Little and approved in the field by the Landschook Arriage Little and approved in the field by the Landschook Arriage Little and provided in the field by the Landschook Arriage Little and provided in the field by the Landschook Arriage Little and provided in the field by the Landschook Arriage Little and provided the contemporary and a secondary and provided the field of the Landschook Arriage Little and provided the contemporary and a secondary and approved in the field by the Landschook Arriage Little and a secondary and approved in the field by the Landschook Arriage Little and a secondary and a secondary and a secondary and approved in the field by the Landschook Arriage Little and a secondary and a

ons.

In the same and approved in the field by the Landscape Architect. If obstructions are ered that are not shown on the drawings, do not proceed with planting operations until alternate

the exception of the list on Assistance in the Secretary of the College of the Part of the College of the Colle

I. Find a refer of possibility before seeding the bewind not on the will possible or the definition of the desirable of the property of the pr

all non-biodegradable strings and twine from top of ball. Remove non-biodegradable burlap 11.0 of ball after the plant is set in the planting hole. The wire basket should remain. Fold the new wire basket into the hole.

3.08 CLEANING intercept cleaning of the project area daily during installation of the work and upon competion.

A Perform through cleaning of the project area daily during installation of the work and upon competion.

Work remove from site all excess materials, debrist, and equipment and repair damage resulting from all oppositions.

to treat who provides are not after each or better than the country of the countr of the beautiful to the beautiful to the bound of the beautiful to the bea

PART 4 - WARRANTY AND ACCEPTANCE

4.01 PRELIMINARY ACCEPTANCE A. It shall be the responsibility of the company of t

If the Landscape Contractor to complete and verify all work is completed for the ined as per plan prior to notifying the Landscape Architect for inspection of

inference processor of the make institution of the part makes and an a tentile processor occupies that the part makes and the p The the promote contenting parties are minimized in contenting to the contenting parties and the contenting parties are proposed to the plant.

Some addition, contenting and man contenting to the plant contenting compared and the contenting contenting to the contenting and the contenting contenting to the content content contenting to the content contenting to the contenting to the contenting to the content contenting to the content contenting to the content content content contenting to the content content content contenting to the content content content content contenting to the content conte

to seal action or evaporous an observation and management and seal of the seal

- Leader Stogger stage; for the such distance with spicified leight in the such and deside of the clinic Do not orderly design to stage the such as a such

MANAMATER SERVERATION IN CONTRIBUTION TO INC. TO INCREMENT AND ADMINISTRY OF MANAMATER AND ADMINISTRY OF THE CONTRIBUTION OF T

F. The Landscape Contractor shall make all necessary repairs of damage due to plant replacements. Such replacements and Splage due to plant replacements. Such Splagements shall be in avvenue...

istely after preparation of bed. ed. areas adjoining contract limits disturbed as a result of ed areas within contract limits and areas adjoining contract limits disturbed as a result of

ction operations. It is soil is dry and when winds do not exceed 10 miles per hour seeding operations when the soil is dry and when winds do not exceed 10 miles per hour

Son graits are only appropriate load next rate transport or gath.
 Bondants Seeding, Apply seed with a regard or dony per distribution, install seed evenly by sowing equal authorities in the disclaimed, ast light supplex oracle order. After seeding, rate soil surface lightly except contents and Rost with light learn order.
 Bondants Seeding, Lightly and Perform the seed or some seed ready or except a seed.
 Bondants Seeding, Lightly and Perform the Seeding or the seed ready process the seed ready or except a seed intercept seed.

resists shall be in accordance with and subject to all requienments of landscape installation, ments shall be in accordance with and subject to all requienments of landscape installation, menteriors, warmany and accordance proceedures. Treator is responsible for the watering and maintenance necessary to ensure establishment of the end plants until the Landscape Architect inspects the replacement plants and issues final ent plants until the Landscape Architect inspects the replacement plants and issues final

Organization controller in the detection at right largets are securior-controller controller in the controller controlle

gradual.

Collished all bare and comparished areas thoroughly.

Remove topical containing

Remove the con

seed. 6. Water newly seeded areas. Maintain adequate soil moisture until new grass is established.

equipment and movement of construction vehicles.

Provide lostificat, seed and as required to the state of provides as stated to provide stated to the state of the provides the stated to the state and meet new finish.

SIGNATURE DESIGN GROUP

Landscape Architecture
Environmental Site Design

Ashwood Crossing

Naperville, Illinois

General

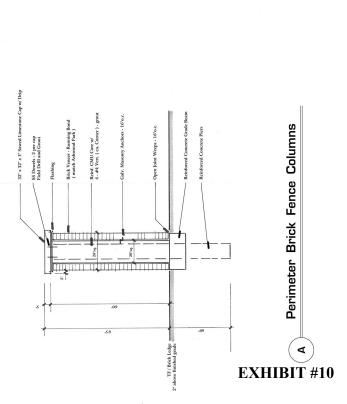
Specifications Landscape

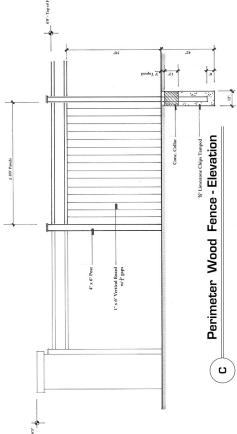
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15 March 2017 revisions: A | 4.25.2017 | Per City Review Comments original issue date:

project no. 26029 sheet no.: checked by:

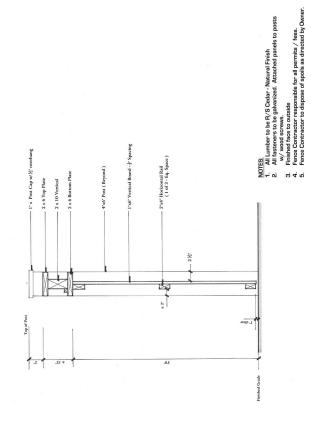
L.107





SIGNATURE DESIGN GROUP

Landscape Architecture
Environmental Site Design



2 1/2 sq. w/ Ball Post Cap

" max. Picket Spacing

Perimeter Wood Fence - Section 0

NOTES:
1. Submit shop drawings for all installations
2. Height and panel width may vary
3. Color: Black

Typical Aluminum Fence Detail - Trumpet Entrance

m

Naperville, Illinois

Ashwood Crossing

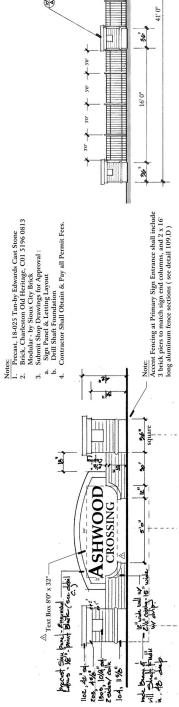
Details - Fencing Construction

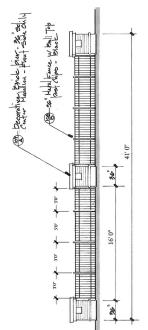
1900 E. Golf Road - Suite 300 Schaumburg, IL 60173 Pulte Homes



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project no.: 26029 sheet no.: L.108





SIGNATURE DESIGN GROUP

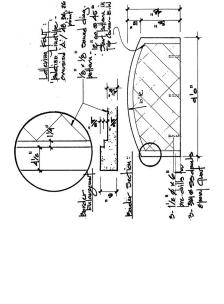
Land Planning Landscape Architecture Environmental Site Design

Trumpet Entrance Decorative Fencing

Monument Sign - Front Elevation

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EXHIBIT #10



18,0" <u>_0</u>

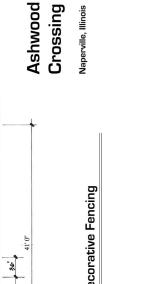
181 18

Dearing .

Sign Panel - Detail

Monument Sign - Plan View

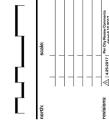
В



1900 E. Golf Road - Suite 300 Schaumburg, IL 60173 Pulte Homes

Details - Signage

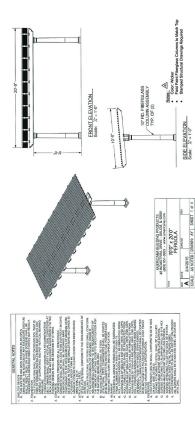
Construction



15 March 2017 sheet no.: checked by:

original issue date:

L.109 project no.: 26029



Pergola Details

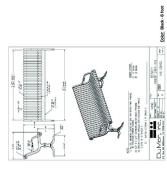


EXHIBIT #10

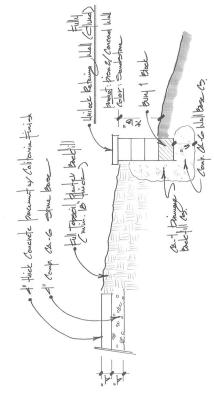
Bench Detail

m



Trash Receptacle

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SIGNATURE
DESIGN GROUP
Land Seque Architecture
Environmental Site Design

project:

Ashwood Crossing

Naperville, Illinois

Unit Retaining Wall Detail

sheet description:

Construction Details Pulte Homes 1900 E. Golf Road - Suite 300 Schaumburg, IL 60173



north:		scale:
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revisions:	A 4.25.2017	A 4.25.2017 Per City Review Comments dated 4.12.2017
original issue date:	date:	15 Manch 2017

checked by:
project no.: 26029

L.110

LEGEND

Existing Tree & Tag No.

- Existing Tree - to be Preserved O - Existing Tree - To Be Removed

- Tree Preservation Fencing

TREE SURVEY DATE:

Existing tree inventory and rating completed by Signature Design Group on October 3, 2016. Location Survey and Tree Sizing Plan prepared by CEMCON, Ltd.

See Sheets TS.102 for Existing Tree Inventory Data

TO BE PRESERVED **EXHIBIT #10**

PROOF ZONE EQUALS 1 FT. DISTANCE EQUALS 1 FT. FROM TREE TROUK FOR EACH INCH OF D.B.H.

SNOW FENCE PLACED CUTSIDE OF CRITICAL ROOT ZONE

Tree Preservation Fencing Detail ERECT PROTECTIVE, SNOWFENCE, PRIOR TO ANY CONSTRUCTION ACTIVITY. DO NOT STORE ANY EQUIPMENT WITHIN THE PROTECTED AREA. REMOVE THE PROTECTIVE FENCE ONLY AFTER CONSTRUCTION OPERATIONS ARE COUNETED.

WOOD/ PLASTIC SNOWFENCE 4' HEIGHT, ATTACHED TO METAL 'T' STAKES @ 8' 9-0-0-

ROOT ZONE

TREE PRESERVATION NOTES:

- . Tree Removal Permit Required: A tree removal permit shall be required for the removal of any tree in the Site. No person shall, directly or indirectly, remove, damage or destroy a woodland without having secured a TRP. . The Owner or his/her designee shall be responsible for construction and maintenance of temporary fencing or other tree protection measures, to be used during construction.

 - Snow fercing shall be temporarily installed at the critical root zone for protection of trees prior to any construction activities and materialsed requigation the extract propert. The Critical Root zones equals one locit (1) for each one insch (1) of tunk diameter measured 4.5 led above ground. See detail A.
 Conditing and construction equipment shall be torbidden from encoaching within the drip line of a tree.
- No construction activity, movement, and/or placement of equipment or materials or spoils storage shall be permitted within the ordical not zone of a producted free or at any higher focation when desingen toward the free could conceivably afted the health of the tee. No excess soil, additional fill, liquids or construction debrie shall be placed within the ordical not zone of a producted tree.
 - No attachments, fences, or wires, other than those approved for braiding, guying or wapping, shall be attached to trees during the construction period.
 Grade change the allowed under the dróp line of any trees designated for preservation only if tree trunks and branches are protected when construction must occur within tree drip line areas.

 - To improve the survival rate of trees, root pruning and/or thinning shall be perfostandards and practices and where indicated on the plan.





Land Scape Architecture
Environmental Site Design

Ashwood Crossing

Naperville, Illinois

Existing Tree Survey

1900 E. Golf Road - Suite 300 Schaumburg, IL 60173 Pulte Homes





15 March 2017

original issue date:

project no. 26029

TS.101 sheet no.:

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TREE INVENTORY DATA:

R Remarks		topped		topped		Key Tree	dead				Fork @ 18"								55074								Key Tree				topped	Key Tree	Key Tree	95th Parkway	95th Parkway	95th Parkway	95th Parkway	95thParkway	95th Parkway	95th Parkway	95th Parkway						
N 5/1	~	œ	~	œ	ď	œ	œ	œ	œ	œ	ď	ď	œ	œ	œ	œ	œ	œ	~	~	œ	œ	œ	œ	œ	œ	~	ď	ď	ď	œ	S	œ	S	S	S	S	S	s	S	s	s	s	s	s	~	~
DBH Condition S/R	2	4	2	2	7	1	2	2	2	2	3	4	m	4	4	2	m	e	2	m	m	4	2	2	n	2	2	4	4	2	4	1	7	m	n	4	4	m	4	4	n	2	7	e	2	2	2
DBH	17	14	22	14	28	10	24	22	M/S	7	M/S	17	20	6	9	12	10	10	6	10	24	16	M/S	15	17	15	19	12	20	15	21	56	24	4	9	4	2	2	3	2	4	2	9	2	2	19	M/S
Common Name	Blue Spruce	Scotch Pine	Silver Maple	Crabapple	Silver Maple	Sugar Maple	Ash	Sycamore	Mulberry	White Pine	White Pine	Austrian Pine	Austrian Pine	White Pine	White Pine	Black Hills Spruce	White Pine	White Pine	Norway Maple	White Pine	Mulberry	Austrian Pine	River Birch	Ash	Norway Maple	Red Maple	Tuliptree	Colorado Spruce	Blue Spruce	Blue Spruce	Blue Spruce	Pin oak	Swamp White Oak	Autumn Blaze Maple	Red Maple	Autumn Blaze Maple	Autumn Blaze Maple	Autumn Blaze Maple	Autumn Blaze Maple	Autumn Blaze Maple	Autumn Blaze Maple	Silver Maple	Pear				
Botanical Name	Picea pungens g.	Pinus sylvestris	Acer saccharinum	Malus sp.	Acer saccharinum	Acer saccharum	Fraxinus sp.	Platanus occidentalis	Morus alba	Pinus strobus	Pinus strobus	Pinus nigra	Pinus nigra	Pinus strobus	Pinus strobus	Picea glauca	Pinus strobus	Pinus strobus	Acer platanoides	Pinus strobus	Morus alba	Pinus nigra	Betula nigra	Fraxinus sp.	Acer platanoides	Acer rubrum	Liriodendron tulipifera	Picea pungens	Picea pungens g.	Picea pungens g.	Picea pungens g.	Quercus palustris	Quercus bicolor	Acer x freemanii	Acer rubrum	Acer x freemanii	Acer saccharinum	Pyrus calleryana									
Key#	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125		121 X		129	130 130	131 131					136	137	138	139	140	141	142	143	144	145	146	147

Condition Rating Key :

Rating	Rating Description	General Criteria
н	Excellent	The tree is typical of the species, has less than 10% deadwood in the crown that is attributable to normal causes, has no other observed problems, and requires no remedial action
2	Good	The tree is typical of the species and / or has less than 20% deadwood in the crown, only 1 or 2 minor problems that are easily corrected with normal care.
m	Fair	The tree is typical of the species and / or has less than 40% deadwood in the crown, only 1 or 2 minor problems that are not imminently lethal to the tree most imminently lethal to the tree and the reverse must have remedial are above morning continued health.
4	Poor	the tree is not typical of the species and for his over 50% deadwood in the crown, major deady or structural problems, is hazardous or is surveyl involved with insects, disease, or other problems that even if aggressively corrected would not result in the long term survival of the tree.
s	Dead	Less than 10% of the tree shows signs of life

Status Key:

S - Save - To Be Preserved R - Remove



Land Planning Landscape Architecture Environmental Site Design

project:

Ashwood Crossing

Naperville, Illinois

sheet description:

Inventory Existing Tree

Pulte Homes 1900 E. Golf Road - Suite 300 Schaumburg, IL 60173



north:	scale:
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revisions:	A 4.25.2017 Per City Review Comments
original issue date:	date: 15 March 2017

project no. 26029 sheet no.: TS.102 checked by: