

# NELSON

300 North Dearborn Street, Suite 200  
 Chicago, IL 60610  
 Phone: 312.467.1000  
 Fax: 312.467.1001  
 www.nelsonawc.com

**Client:**  
 Brixmor Property Group  
 401 S. State Street, Suite 500  
 Naperville, IL 60563  
 Phone: 630.206.1000  
 Fax: 630.206.1001  
 www.brixmor.com

**Project:**  
 Brixmor Property Group  
 401 S. State Street, Suite 500  
 Naperville, IL 60563  
 Phone: 630.206.1000  
 Fax: 630.206.1001  
 www.brixmor.com

**Site:**  
 401 S. State Street, Suite 500  
 Naperville, IL 60563  
 Phone: 630.206.1000  
 Fax: 630.206.1001  
 www.brixmor.com

**Design:**  
 312.467.1000  
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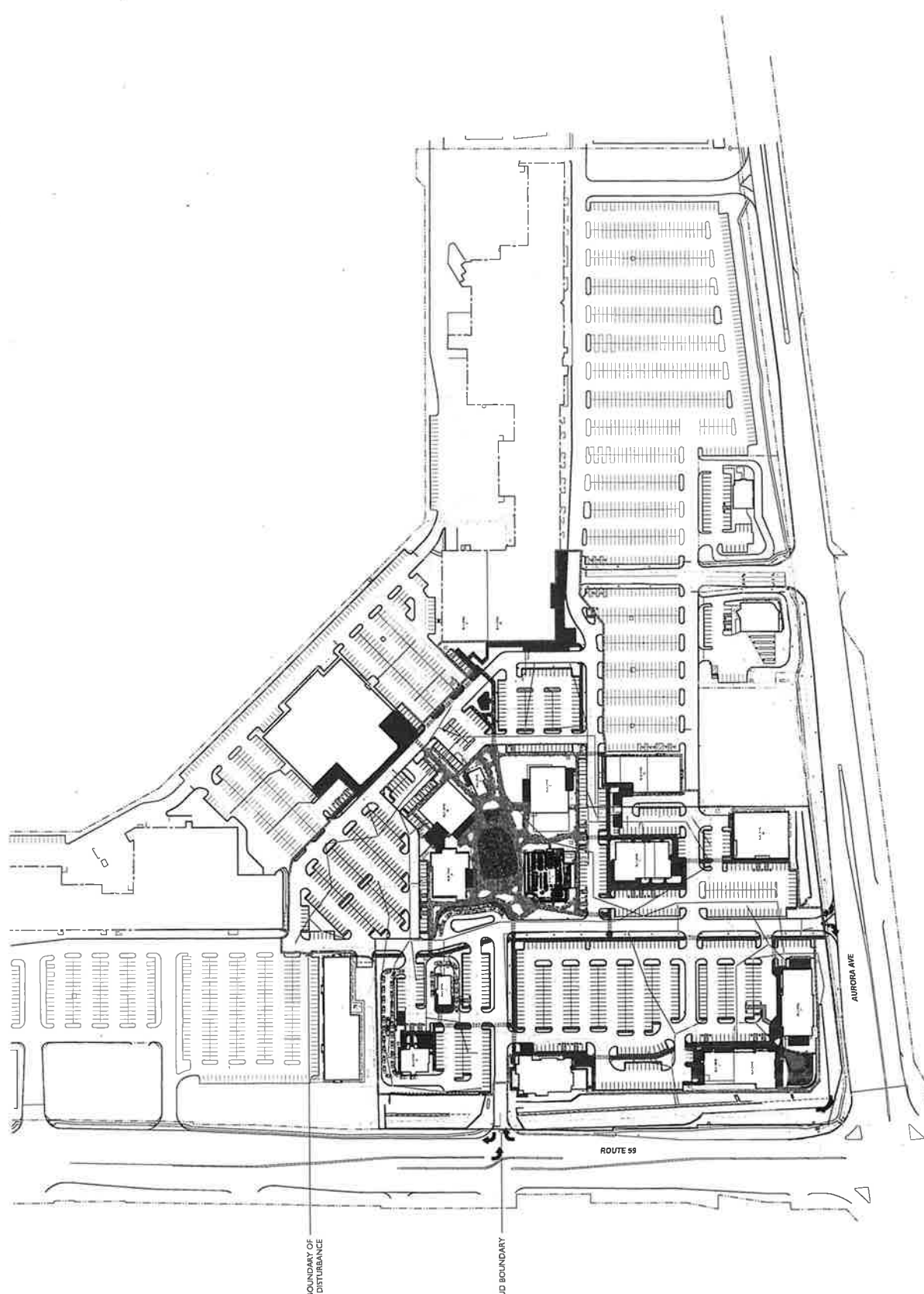
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## BRIXMOR

Property Group

Block 59  
 401 S. State Street, Suite 500  
 Naperville, IL 60563  
 Phone: 630.206.1000  
 Fax: 630.206.1001  
 www.brixmor.com

### OVERALL SITE PLAN



OVERALL SITE PLAN  
 SCALE: 1"=100'

EXHIBIT D

32 West Monroe Street, Suite 200  
Chicago, IL 60601  
Tel: 312.467.1000  
www.nelsonsworld.com

**Client:**  
Brixmor Property Group  
1001 S. State Road 59  
Naperville, IL 60563

**Lead Designer:**  
Landscape Architect  
1001 S. State Road 59  
Naperville, IL 60563

**Project:**  
1001 S. State Road 59  
Naperville, IL 60563

**Site:**  
1001 S. State Road 59  
Naperville, IL 60563

**Lead:**  
1001 S. State Road 59  
Naperville, IL 60563

**Environmental Graphics:**  
1001 S. State Road 59  
Naperville, IL 60563

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	11/15/17
2	REVISED PER PERMITTING	11/15/17
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10	REVISED PER PERMITTING	11/15/17

**BRIXMOR**  
Property Group

1001 S. State Road 59  
Naperville, IL 60563

**GREEN CALCULATION**

## GREEN CALCULATIONS (SF)

PROPOSED
OVERALL PUD BOUNDARY AREA
729,718
TOTAL OPEN SPACE SF
154,053
OPEN SPACE PERCENTAGE
21.1%

**AREA INCLUDED IN THE OPEN SPACE CALCULATIONS**

**AREA EXCLUDED IN THE OPEN SPACE CALCULATIONS**  
NOTE: VEHICULAR USE AREAS AND BUILDING FOOTPRINTS ARE NOT INCLUDED IN OPEN SPACE CALCULATION.

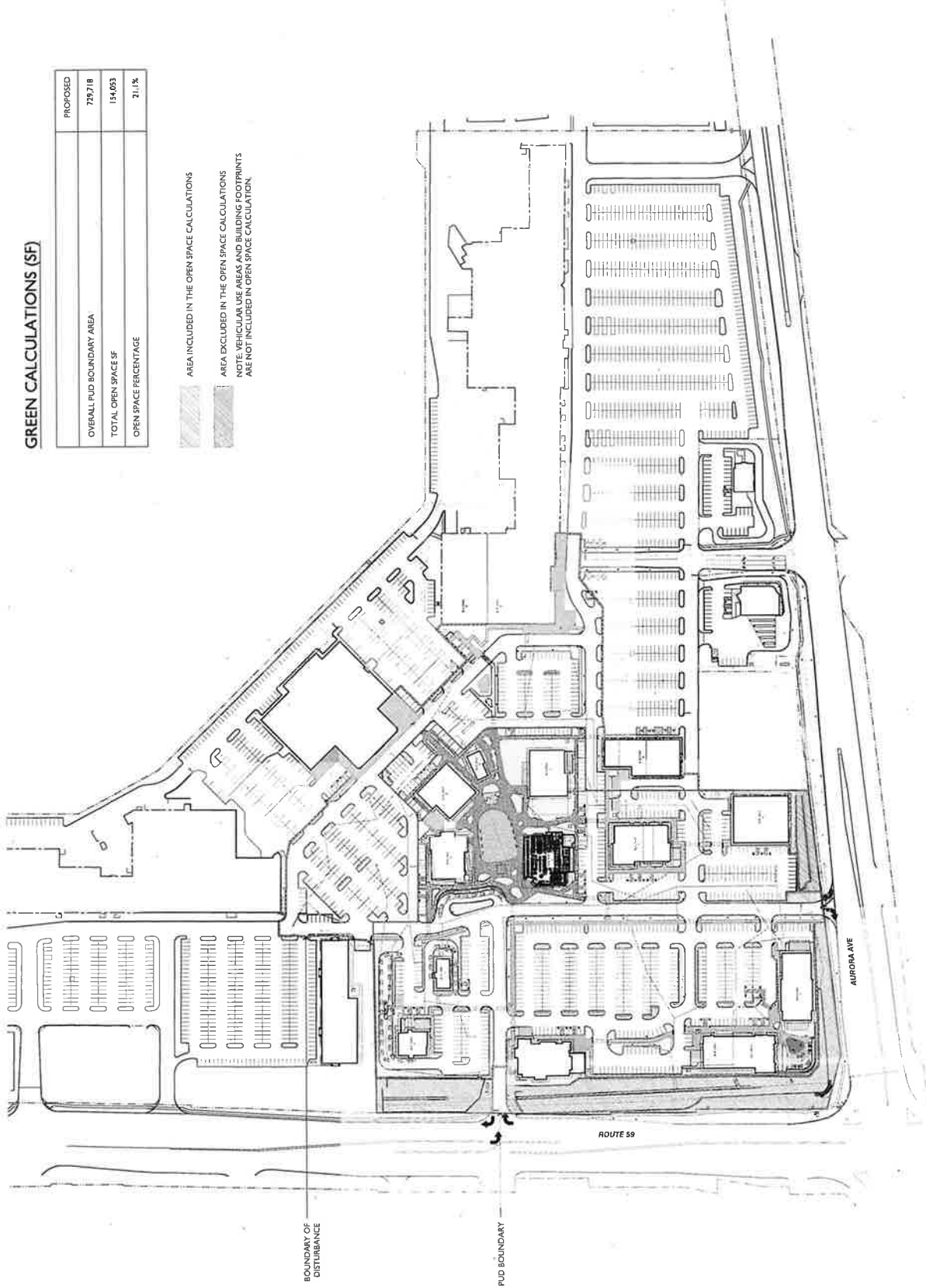


EXHIBIT D

OVERALL SITE PLAN  
SCALE 1"=100'

3000 WILSON AVENUE, SUITE 200  
 CHICAGO, ILLINOIS 60657  
 TEL: (773) 399-1000  
 FAX: (773) 399-1001  
 WWW.NELSONAWARD.COM

**Client:**  
 Property Group  
 401 S. State Street, Suite 500  
 Chicago, IL 60604  
 TEL: (312) 427-1000  
 FAX: (312) 427-1001  
 WWW.PROPERTYGROUP.COM

**Project:**  
 401 S. State Street, Suite 500  
 Chicago, IL 60604  
 TEL: (312) 427-1000  
 FAX: (312) 427-1001  
 WWW.PROPERTYGROUP.COM

**Architect:**  
 Brixmor  
 1111 North Dearborn Street, Suite 200  
 Chicago, IL 60610  
 TEL: (312) 427-1000  
 FAX: (312) 427-1001  
 WWW.BRIXMOR.COM

**Contractor:**  
 [Blank space for contractor information]






**Legal:**  
 [Blank space for legal information]

**Environmental:**  
 [Blank space for environmental information]

**Other:**  
 [Blank space for other information]

**Project Information:**  
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 Project Number: [Blank space]  
 Date: [Blank space]

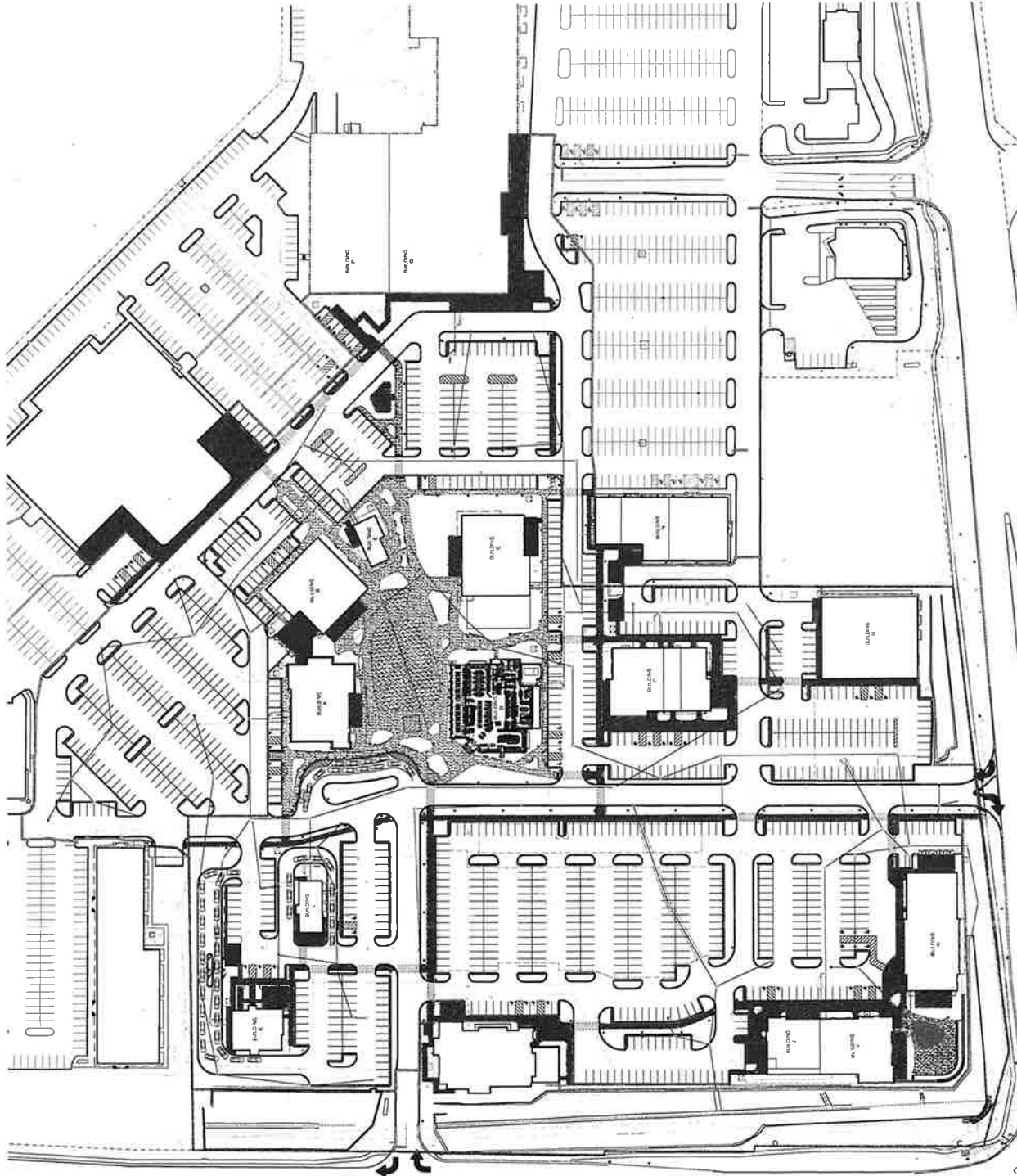
## PAVING LEGEND

-  1" THICK & TEXTURED CONCRETE
-  5" CIP CONCRETE BY TENANT
-  5" STANDARD CONCRETE
-  3" DECORATIVE GRAVEL
-  ARTIFICIAL TURF

FOR LIGHTING LAYOUT SEE LIGHTING SHEETS

## HARDSCAPE NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL HARDSCAPE ELEMENTS AND LAYOUT FOR REVIEW BY LANDSCAPE ARCHITECT.
2. CONTRACTOR SHALL ADJUST LAYOUT AS NECESSARY TO ACCOMMODATE ALL UTILITIES AND MAINTAINING LAYOUT POINTS THROUGHOUT CONSTRUCTION. THE COST OF SUBSEQUENT CONSTRUCTION SHALL BE AT THE CONTRACTOR'S RISK.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT COSTS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND MAINTAINING LAYOUT POINTS THROUGHOUT CONSTRUCTION. THE COST OF SUBSEQUENT CONSTRUCTION SHALL BE AT THE CONTRACTOR'S RISK.
5. ALL LINES SHALL BE STRAIGHT AND TRUE IN ACCORDANCE WITH THE DRAWINGS.
6. CURVES SHALL BE SMOOTH AND ACCORDANCE WITH THE DRAWINGS.
7. CONTRACTOR SHALL PROVIDE ALL NECESSARY MATERIALS AND LABOR FOR THE CONSTRUCTION OF ALL HARDSCAPE ELEMENTS. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO FABRICATION.
8. ALL FOOTINGS AND REINFORCEMENT PER THE DRAWINGS SHALL BE SHOWN FOR GENERAL DESIGN INTENT ONLY. ALL FINAL GRADING PER CIVIL.



OVERALL HARDSCAPE PLAN  
 SCALE: 1/8" = 1'-0"

EXHIBIT D ROUTE 59

## KEY PLAN



3125 West 10th Street  
 Suite 100  
 Denver, CO 80202  
 Phone: 303.733.8800  
 Fax: 303.733.8801  
 www.nelsonandassociates.com

**Client:** Brixmor  
**Project:** Brixmor  
**Location:** 401 S. Grant Street, Suite 500  
 Denver, CO 80202  
**Architect:** Brixmor  
**Landscaper/Architect:** Nelson & Associates

**Site:** 401 S. Grant Street, Suite 500  
 Denver, CO 80202  
**Project No.:** 10000000000000000000  
**Sheet No.:** L-101

**Notes:**  
 1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND PROVIDE STAKED AND PAINTED LAYOUT FOR REVIEW BY LANDSCAPE ARCHITECT.  
 2. CONTRACTOR SHALL ADJUST LAYOUT AS REQUIRED AT NO ADDITIONAL COST.  
 3. THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT COSTS.  
 4. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND/OR RE-ESTABLISHING AND MAINTAINING LAYOUT POINTS THROUGHOUT CONSTRUCTION AT THE CONTRACTOR'S COST.  
 5. ALL LINES SHALL BE STRAIGHT AND TRUE IN ACCORDANCE WITH THE DRAWINGS.  
 6. NON-FACED DIGITAL DRAWINGS SHALL BE PROVIDED TO THE CONTRACTORS' CONSTRUCTION SURVEYOR TO LAYOUT.  
 7. PROVIDE SHOP DRAWINGS FOR ALL CUSTOM AND SHOP-BUILT ITEMS FOR LANDSCAPE ARCHITECT REVIEW AND APPROVAL PRIOR TO FABRICATION AND INSTALLATION.  
 8. STRUCTURAL AND REINFORCEMENT PER GRADING SHOWN FOR GENERAL DESIGN INTENT ONLY. ALL FINAL GRADING PER CIVIL.

**Legend:**  
 1. TINTED & TEXTURED CONCRETE  
 2. 5" OF CONCRETE BY TENANT  
 3. 5" STANDARD CONCRETE  
 4. 3" DECORATIVE GRAVEL  
 5. ARTIFICIAL TURF

**HARDSCAPE NOTES**  
 FOR LIGHTING LAYOUT SEE LIGHTING SHEETS

**KEY PLAN**  
 L-101

**BRIXMOR**  
 Property Group  
 401 S. Grant Street, Suite 500  
 Denver, CO 80202

**HARDSCAPE PLAN**

**SCALE:** 1" = 30'

**DATE:** 10/15/2024

**PROJECT:** Brixmor

**SHEET:** L-101

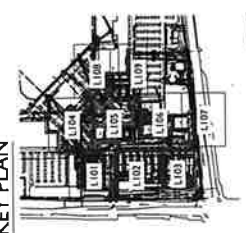
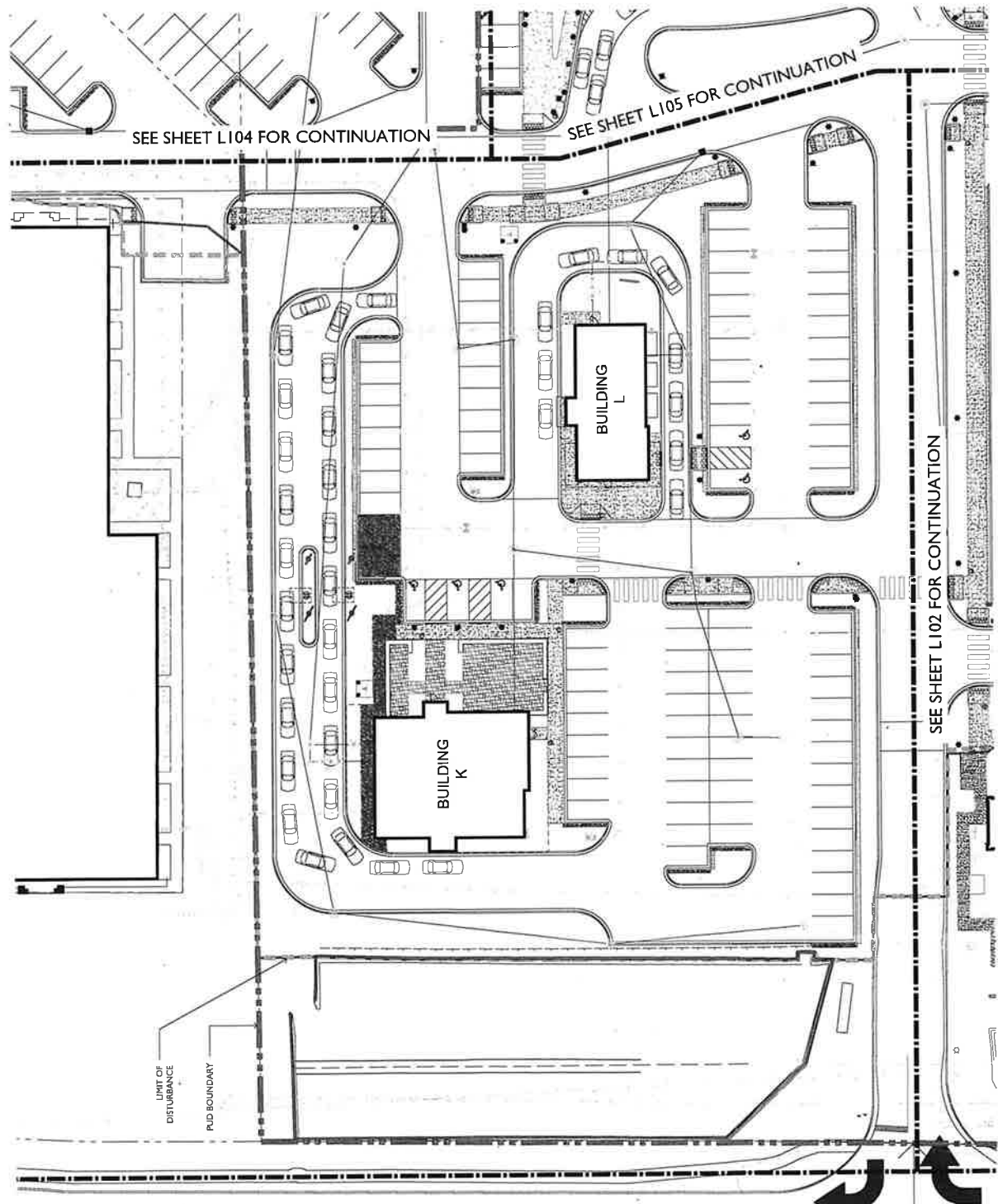


EXHIBIT D

3150 West Hubbard Street, Suite 200  
 Chicago, IL 60640  
 Tel: (773) 399-1100  
 Fax: (773) 399-1101  
 www.nelsonjameswhite.com

**Client:**  
 Project Name: [Redacted]  
 2200 S. State Street, Suite 200  
 Chicago, IL 60605  
**Landscaper/Architect:**  
 [Redacted]  
 3115 S. Dearborn Street, Suite 401  
 Chicago, IL 60608  
**MPA Approval:** [Redacted]

**Site:**  
 401 S. State Street, Suite 200  
 Chicago, IL 60605  
**Project:**  
 [Redacted]

**Drawn by:** [Redacted]  
**Checked by:** [Redacted]  
**Date:** [Redacted]

**Scale:** [Redacted]  
**Sheet:** [Redacted]

**Notes:**  
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**Legend:**  
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**Environmental Graphics:**  
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**BRIXAMOR**  
 Property Group  
 401 S. State Street, Suite 200  
 Chicago, IL 60605

**HARDSCAPE PLAN**

NO.	DESCRIPTION	DATE
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**BRIXAMOR**  
 Property Group

401 S. State Street, Suite 200  
 Chicago, IL 60605

**HARDSCAPE PLAN**

**L-102**

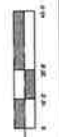
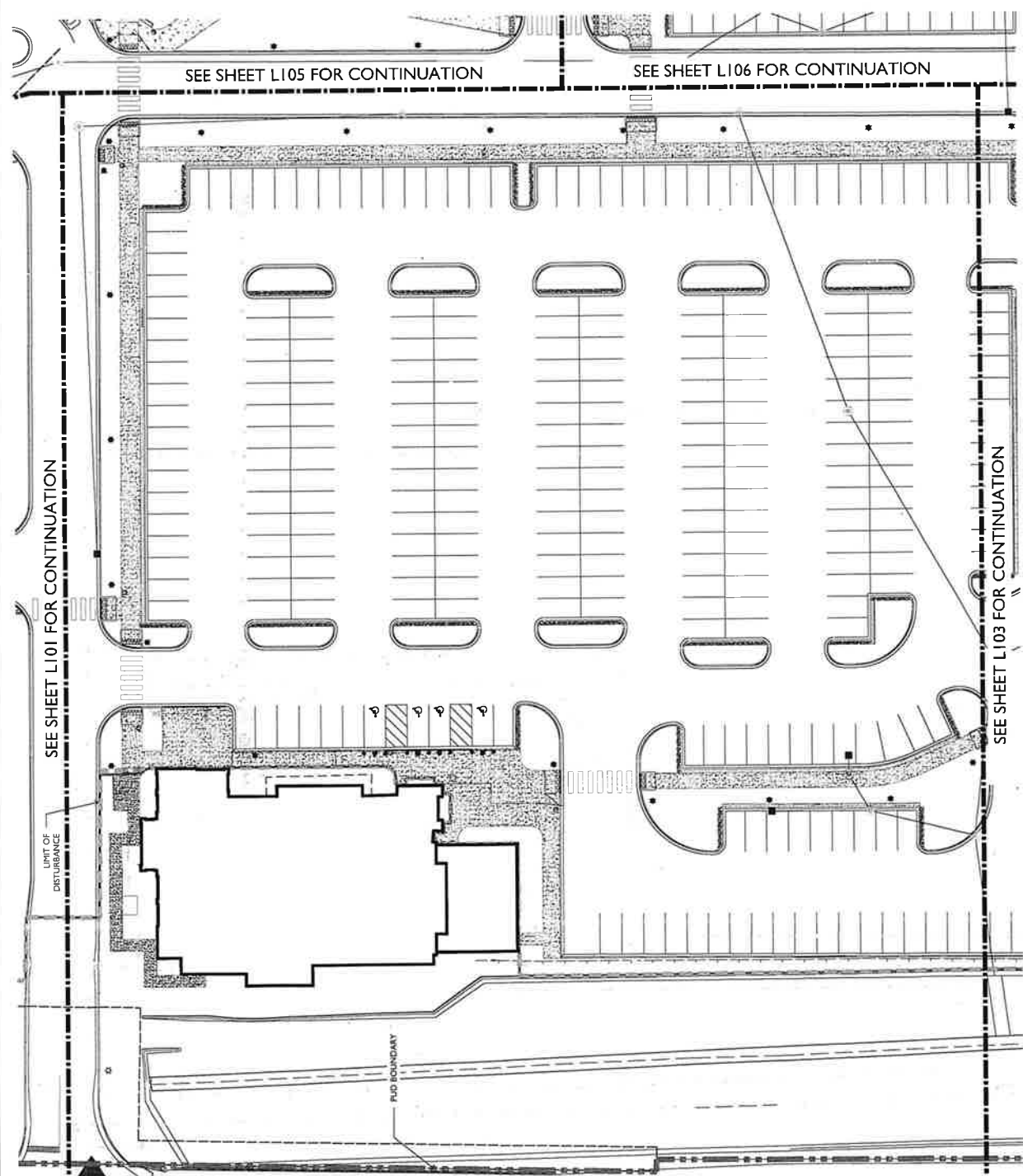
- ### PAVING LEGEND
- TINTED & TEXTURED CONCRETE
  - 5' CIP CONCRETE BY TENANT
  - 5' STANDARD CONCRETE
  - DECORATIVE GRAVEL
  - ARTIFICIAL TURF

FOR LIGHTING LAYOUT SEE LIGHTING SHEETS

### HARDSCAPE NOTES

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5. ALL LINES SHALL BE STRAIGHT AND TRUE IN ACCORDANCE WITH THE DRAWINGS. CURVES SHALL BE SMOOTH AND ALL ANGLES SHALL BE 90 DEGREES.
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### KEY PLAN



HARDSCAPE PLAN  
 SCALE: 1/8"=1'-0"



3000 West 13th Street  
 Suite 200  
 Phoenix, AZ 85026-3219  
 Phone: (602) 998-2200  
 Fax: (602) 998-2201  
 Email: info@nelsonaz.com

**Client:**  
 Phoenix Convention Center  
 1001 North Central Avenue, Suite 1000  
 Phoenix, AZ 85004  
 Phone: (602) 258-1000  
 Fax: (602) 258-1001  
 Email: info@phoenixconventioncenter.com

**Project:**  
 Phoenix Convention Center  
 1001 North Central Avenue, Suite 1000  
 Phoenix, AZ 85004  
 Phone: (602) 258-1000  
 Fax: (602) 258-1001  
 Email: info@phoenixconventioncenter.com

**Contractor:**  
 Brixmor Property Group  
 401 S. State Street, Suite 600  
 Phoenix, AZ 85004  
 Phone: (602) 442-1000  
 Fax: (602) 442-1001  
 Email: info@brixmor.com

**Architect:**  
 Nelson/Anderson  
 3000 West 13th Street, Suite 200  
 Phoenix, AZ 85026-3219  
 Phone: (602) 998-2200  
 Fax: (602) 998-2201  
 Email: info@nelsonaz.com

**Engineer:**  
 Brixmor Property Group  
 401 S. State Street, Suite 600  
 Phoenix, AZ 85004  
 Phone: (602) 442-1000  
 Fax: (602) 442-1001  
 Email: info@brixmor.com

**Professional Engineer:**  
 Nelson/Anderson  
 3000 West 13th Street, Suite 200  
 Phoenix, AZ 85026-3219  
 Phone: (602) 998-2200  
 Fax: (602) 998-2201  
 Email: info@nelsonaz.com

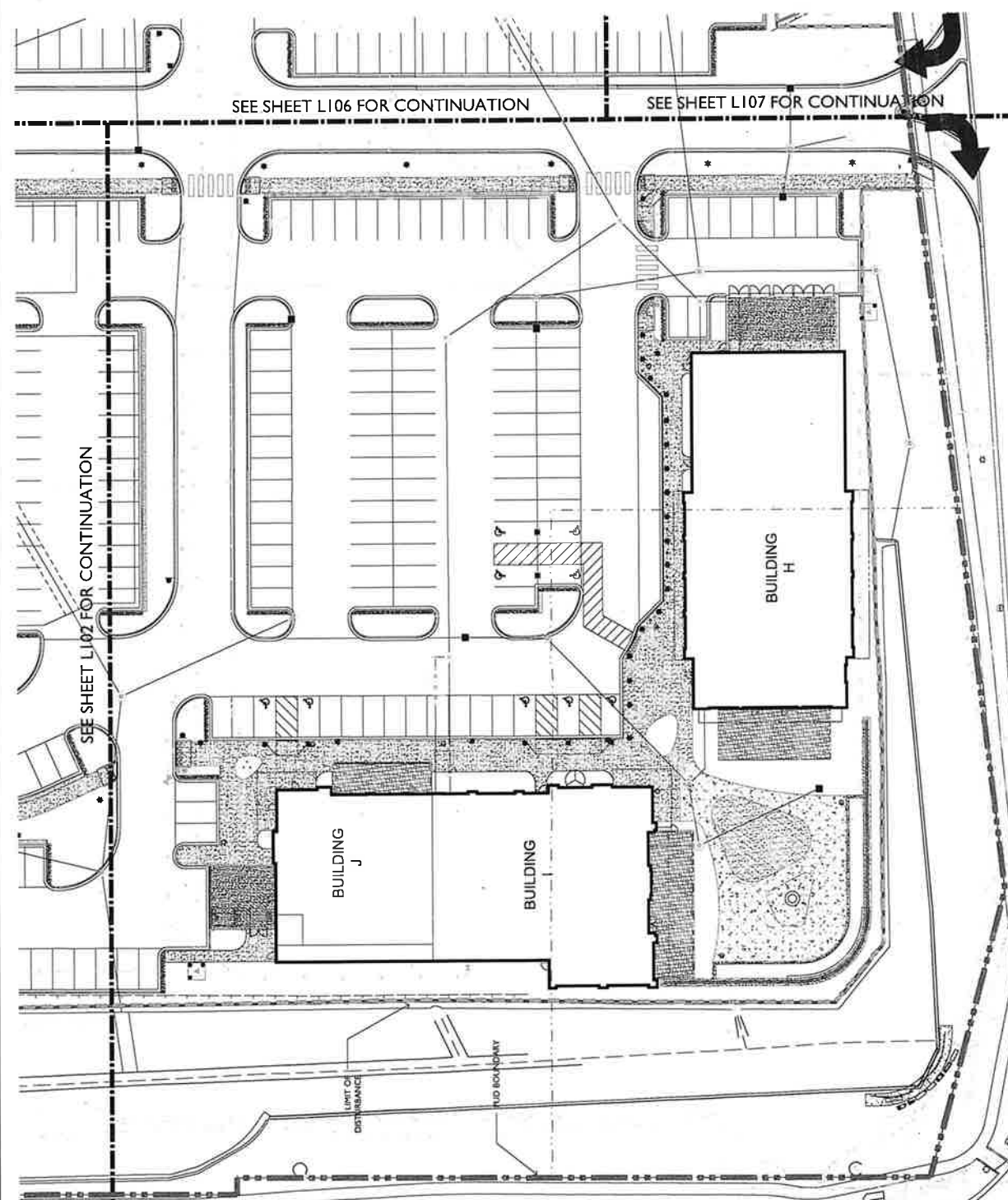
**Professional Engineer:**  
 Nelson/Anderson  
 3000 West 13th Street, Suite 200  
 Phoenix, AZ 85026-3219  
 Phone: (602) 998-2200  
 Fax: (602) 998-2201  
 Email: info@nelsonaz.com

### PAVING LEGEND

[Pattern]	TINTED & TEXTURED CONCRETE
[Pattern]	5" CIP CONCRETE BY TENANT
[Pattern]	5" STANDARD CONCRETE
[Pattern]	3" DECORATIVE GRAVEL
[Pattern]	ARTIFICIAL TURF

- ### HARDSCAPE NOTES
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND LOCATIONS OF EXISTING UTILITIES AND LAYOUT FOR REVIEW BY LANDSCAPE ARCHITECT.
  - CONTRACTOR SHALL ADJUST LAYOUT AS NECESSARY TO ACCOMMODATE ALL UTILITIES AND MAINTAINING LAYOUT POINTS THROUGHOUT CONSTRUCTION. THE COST OF SUBSEQUENT LAYOUTS SHALL BE AT THE CONTRACTOR'S RISK.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND LOCATIONS OF EXISTING UTILITIES AND MAINTAINING LAYOUT POINTS THROUGHOUT CONSTRUCTION. THE COST OF SUBSEQUENT LAYOUTS SHALL BE AT THE CONTRACTOR'S RISK.
  - ALL CURVES SHALL BE STRAIGHT AND TRUE IN ACCORDANCE WITH THE DRAWINGS.
  - CURVES SHALL BE SMOOTH AND NON-SPLICED. DIGITAL ADVANTAGES SHALL BE USED TO VERIFY ALL DIMENSIONS AND LOCATIONS OF EXISTING UTILITIES AND MAINTAINING LAYOUT POINTS THROUGHOUT CONSTRUCTION. THE COST OF SUBSEQUENT LAYOUTS SHALL BE AT THE CONTRACTOR'S RISK.
  - PROVIDE SHOP DRAWINGS FOR ALL HARDWARE AND FINISHES FOR LANDSCAPE ARCHITECT REVIEW AND APPROVAL PRIOR TO FABRICATION.
  - ALL FOOTINGS AND REINFORCEMENT PER GENERAL NOTES TO BE SHOWN FOR GENERAL DESIGN INTENT ONLY. ALL FINAL GRADING PER CIVIL.

FOR LIGHTING LAYOUT SEE LIGHTING SHEETS



**L-103**

HARDSCAPE PLAN  
 SCALE 1/4"=1'-0"

300 West Main Street, Suite 200  
 Portland, ME 04101  
 Tel: 603.686.1000  
 Fax: 603.686.1001  
 www.nelson-associates.com

**Client:**  
 300 West Main Street, Suite 200  
 Portland, ME 04101  
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 Fax: 603.686.1001  
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**Contractor:**  
 300 West Main Street, Suite 200  
 Portland, ME 04101  
 Tel: 603.686.1000  
 Fax: 603.686.1001  
 www.nelson-associates.com

**Architect:**  
 300 West Main Street, Suite 200  
 Portland, ME 04101  
 Tel: 603.686.1000  
 Fax: 603.686.1001  
 www.nelson-associates.com






**Engineer:**  
 300 West Main Street, Suite 200  
 Portland, ME 04101  
 Tel: 603.686.1000  
 Fax: 603.686.1001  
 www.nelson-associates.com

**Interior Designer:**  
 300 West Main Street, Suite 200  
 Portland, ME 04101  
 Tel: 603.686.1000  
 Fax: 603.686.1001  
 www.nelson-associates.com

**Landscaper:**  
 300 West Main Street, Suite 200  
 Portland, ME 04101  
 Tel: 603.686.1000  
 Fax: 603.686.1001  
 www.nelson-associates.com

**Other:**  
 300 West Main Street, Suite 200  
 Portland, ME 04101  
 Tel: 603.686.1000  
 Fax: 603.686.1001  
 www.nelson-associates.com

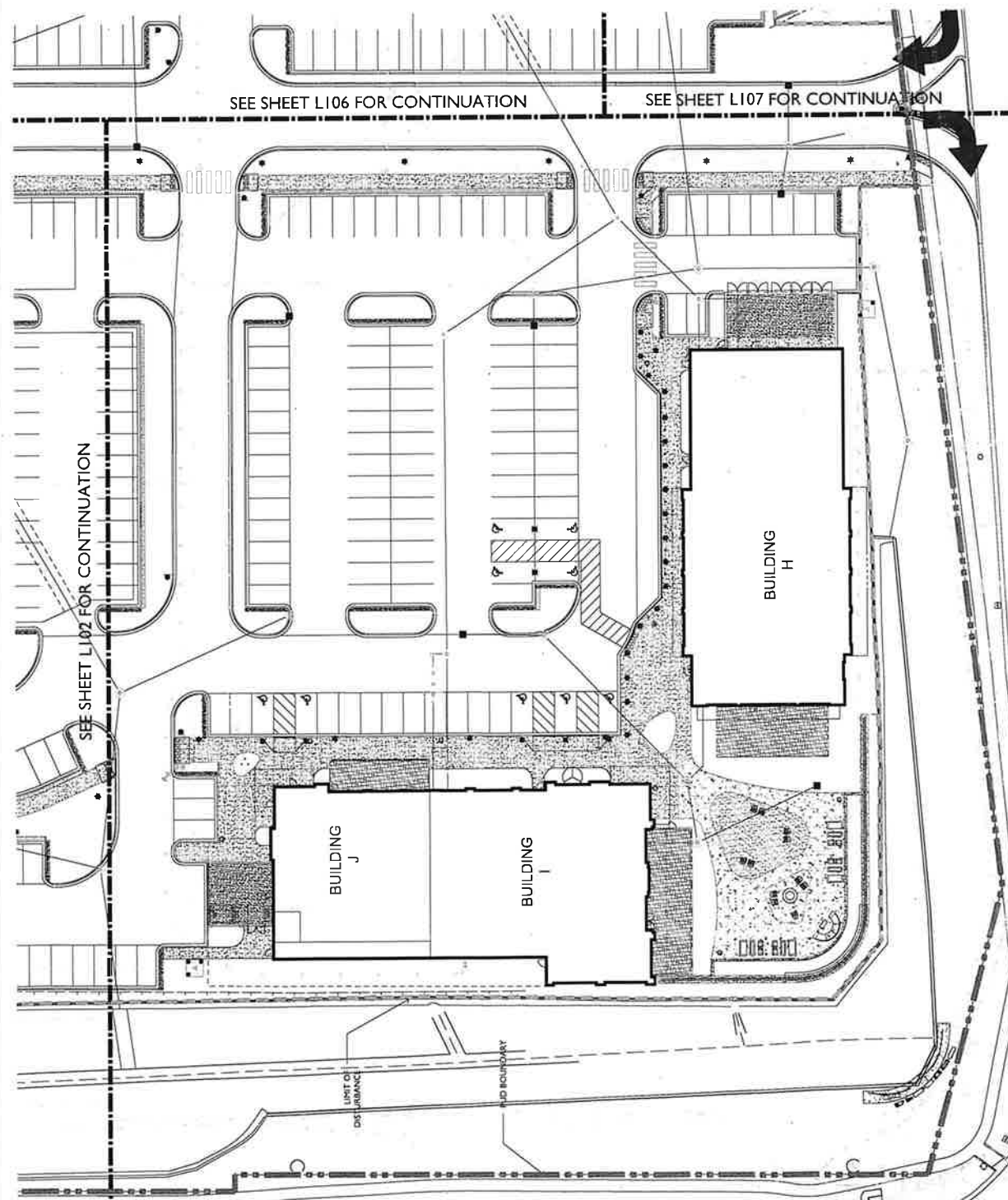
### PAVING LEGEND

-  TINTED & TEXTURED CONCRETE
-  5" CIP CONCRETE BY TENANT
-  5" STANDARD CONCRETE
-  3" DECORATIVE GRAVEL
-  ARTIFICIAL TURF

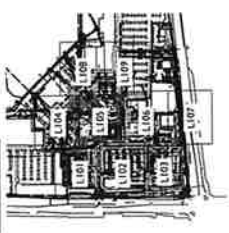
FOR LIGHTING LAYOUT SEE LIGHTING SHEETS

### HARDSCAPE NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND PROVIDE STAGED AND PAINTED LAYOUT FOR REVIEW BY LANDSCAPE ARCHITECT.
2. CONTRACTOR SHALL ADJUST LAYOUT AS NECESSARY TO ACCOMMODATE ALL UTILITY LOCATIONS AND MAINTAINING LAYOUT POINTS AND MAINTAINING LAYOUT POINTS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT COSTS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CURVES, ALL LINES SHALL BE STRAIGHT AND TRUE IN ACCORDANCE WITH THE DRAWINGS.
5. ALL CURVES SHALL BE SMOOTH AND TRUE IN ACCORDANCE WITH THE DRAWINGS.
6. ALL CURVES SHALL BE SMOOTH AND TRUE IN ACCORDANCE WITH THE DRAWINGS.
7. ALL CURVES SHALL BE SMOOTH AND TRUE IN ACCORDANCE WITH THE DRAWINGS.
8. ALL CURVES SHALL BE SMOOTH AND TRUE IN ACCORDANCE WITH THE DRAWINGS.
9. ALL CURVES SHALL BE SMOOTH AND TRUE IN ACCORDANCE WITH THE DRAWINGS.



### KEY PLAN



L-103.1

FURNITURE LAYOUT PLAN (FOR REFERENCE ONLY)  
 SCALE 1/8" = 1'-0"





## PAVING LEGEND

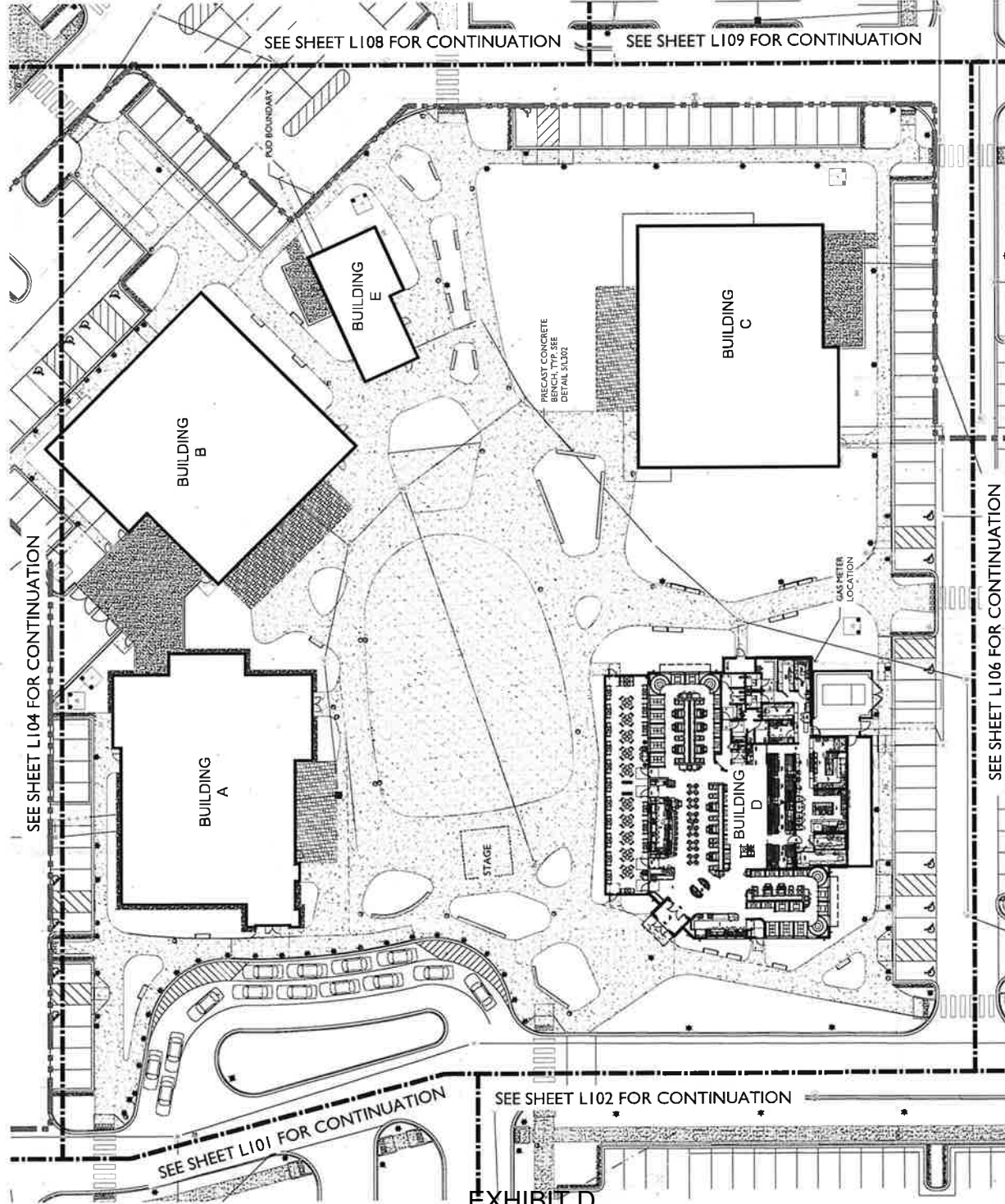
- TINTED & TEXTURED CONCRETE
- 5" CIP CONCRETE BY TENANT
- 5" STANDARD CONCRETE
- 3" DECORATIVE GRAVEL
- ARTIFICIAL TURF

FOR LIGHTING LAYOUT SEE LIGHTING SHEETS

## HARDSCAPE NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL HARDSCAPE LAYOUT FOR REVIEW BY LANDSCAPE ARCHITECT.
2. CONTRACTOR SHALL ADJUST LAYOUT AS NECESSARY TO ACCOMMODATE ALL UTILITIES AND MAINTAINING LAYOUT POINTS THROUGHOUT CONSTRUCTION. THE COST OF SUBSEQUENT LAYOUTS SHALL BE AT THE CONTRACTOR'S BEST JUDGMENT AND TRUE IN ACCORDANCE WITH THE DRAWINGS.
3. CURVES SHALL BE SMOOTH AND NON-FACETED. DIGITAL DRAWINGS SHALL BE USED TO VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL HARDSCAPE LAYOUT TO LAYOUT ALL CURVES.
4. PROVIDE SHOP DRAWINGS FOR ALL PRECAST CONCRETE AND REINFORCEMENT APPROVAL PRIOR TO FABRICATION.
5. ALL FOOTINGS AND REINFORCEMENT PER GRADING SHOWN FOR GENERAL DESIGN INTENT ONLY. ALL FINAL GRADING PER CIVIL.

## KEY PLAN



HARDSCAPE PLAN  
SCALE: 1"=20'

EXHIBIT D

### PAVING LEGEND

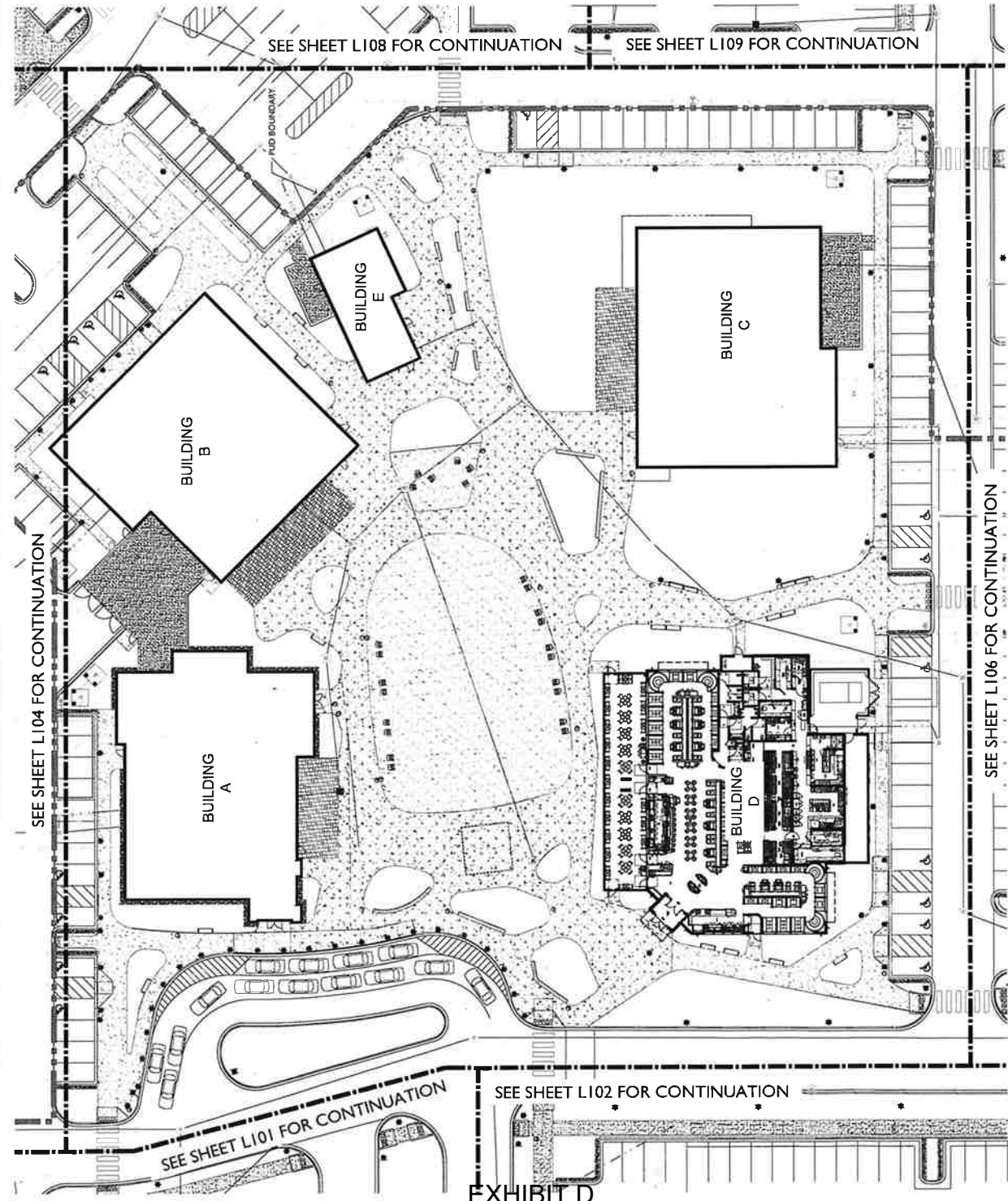
- TINTED & TEXTURED CONCRETE
- 5" GIP CONCRETE BY TENANT
- 5" STANDARD CONCRETE
- 3" DECORATIVE GRAVEL
- ARTIFICIAL TURF

### HARDSCAPE NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL HARDSCAPE ELEMENTS AND LAYOUT FOR REVIEW BY LANDSCAPE ARCHITECT.
2. CONTRACTOR SHALL ADJUST LAYOUT AS REQUIRED AT NO ADDITIONAL COST TO THE CLIENT IF ANY ADJUSTMENTS ARE REQUIRED TO ACCOMMODATE THE LAYOUT COSTS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND/OR RE-ESTABLISHING THROUGHOUT CONSTRUCTION THE COST OF SUBSEQUENT LAYOUTS SHALL BE AT THE CONTRACTOR'S COST.
4. ALL CURVES SHALL BE SMOOTH AND ACCORDANCE WITH THE DRAWINGS.
5. NON-FACTED DIGITAL DRAWINGS SHALL BE PROVIDED TO THE CONTRACTOR FOR CONSTRUCTION SURVEYOR TO LAYOUT ALL CURVES.
6. PROVIDE SHOP DRAWINGS FOR ALL HARDSCAPE ELEMENTS FOR LANDSCAPE ARCHITECT REVIEW AND APPROVAL PRIOR TO FABRICATION.
7. ALL FOOTINGS AND REINFORCEMENT PER DRAWINGS SHALL BE SHOWN FOR GENERAL DESIGN INTENT ONLY. ALL FINAL GRADING PER CIVIL.

### FOR LIGHTING LAYOUT SEE LIGHTING SHEETS

### KEY PLAN



FURNITURE LAYOUT PLAN (FOR REFERENCE ONLY)  
SCALE: 1/8" = 1'-0"

SEE SHEET L106 FOR CONTINUATION

SEE SHEET L109 FOR CONTINUATION

SEE SHEET L108 FOR CONTINUATION

SEE SHEET L104 FOR CONTINUATION

SEE SHEET L101 FOR CONTINUATION

SEE SHEET L102 FOR CONTINUATION

EXHIBIT D



NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR PERMIT	08/14/19	MM	MM
2	ISSUED FOR CONSTRUCTION	08/14/19	MM	MM
3	ISSUED FOR CONSTRUCTION	08/14/19	MM	MM
4	ISSUED FOR CONSTRUCTION	08/14/19	MM	MM
5	ISSUED FOR CONSTRUCTION	08/14/19	MM	MM
6	ISSUED FOR CONSTRUCTION	08/14/19	MM	MM
7	ISSUED FOR CONSTRUCTION	08/14/19	MM	MM
8	ISSUED FOR CONSTRUCTION	08/14/19	MM	MM
9	ISSUED FOR CONSTRUCTION	08/14/19	MM	MM
10	ISSUED FOR CONSTRUCTION	08/14/19	MM	MM

**BRIXMOR**  
Property Group

400 S. State Street, Suite 500  
Rapidville, NJ 07074  
Tel: 973-881-1111  
www.brixmor.com

FURNITURE LAYOUT PLAN  
(FOR REFERENCE ONLY)

312 West Adams Street  
Chicago, IL 60604  
Tel: 312.427.1200  
Fax: 312.427.1201  
www.nelsonjameswhite.com

**Client:**  
Brixmor Property Group  
2710 West Loop South, Suite 200  
Dallas, TX 75240  
Tel: 972.342.1200  
Fax: 972.342.1201  
www.brixmor.com

**Project:**  
The Woodlands (Phase 1) (14-000001)  
2710 West Loop South, Suite 200  
Dallas, TX 75240  
Tel: 972.342.1200  
Fax: 972.342.1201  
www.brixmor.com

**Structural Engineer:**  
The Woodlands (Phase 1) (14-000001)  
2710 West Loop South, Suite 200  
Dallas, TX 75240  
Tel: 972.342.1200  
Fax: 972.342.1201  
www.brixmor.com






**Site Plan Designer:**  
The Woodlands (Phase 1) (14-000001)  
2710 West Loop South, Suite 200  
Dallas, TX 75240  
Tel: 972.342.1200  
Fax: 972.342.1201  
www.brixmor.com

**Site Plan Designer:**  
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2710 West Loop South, Suite 200  
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Tel: 972.342.1200  
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2710 West Loop South, Suite 200  
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Tel: 972.342.1200  
Fax: 972.342.1201  
www.brixmor.com

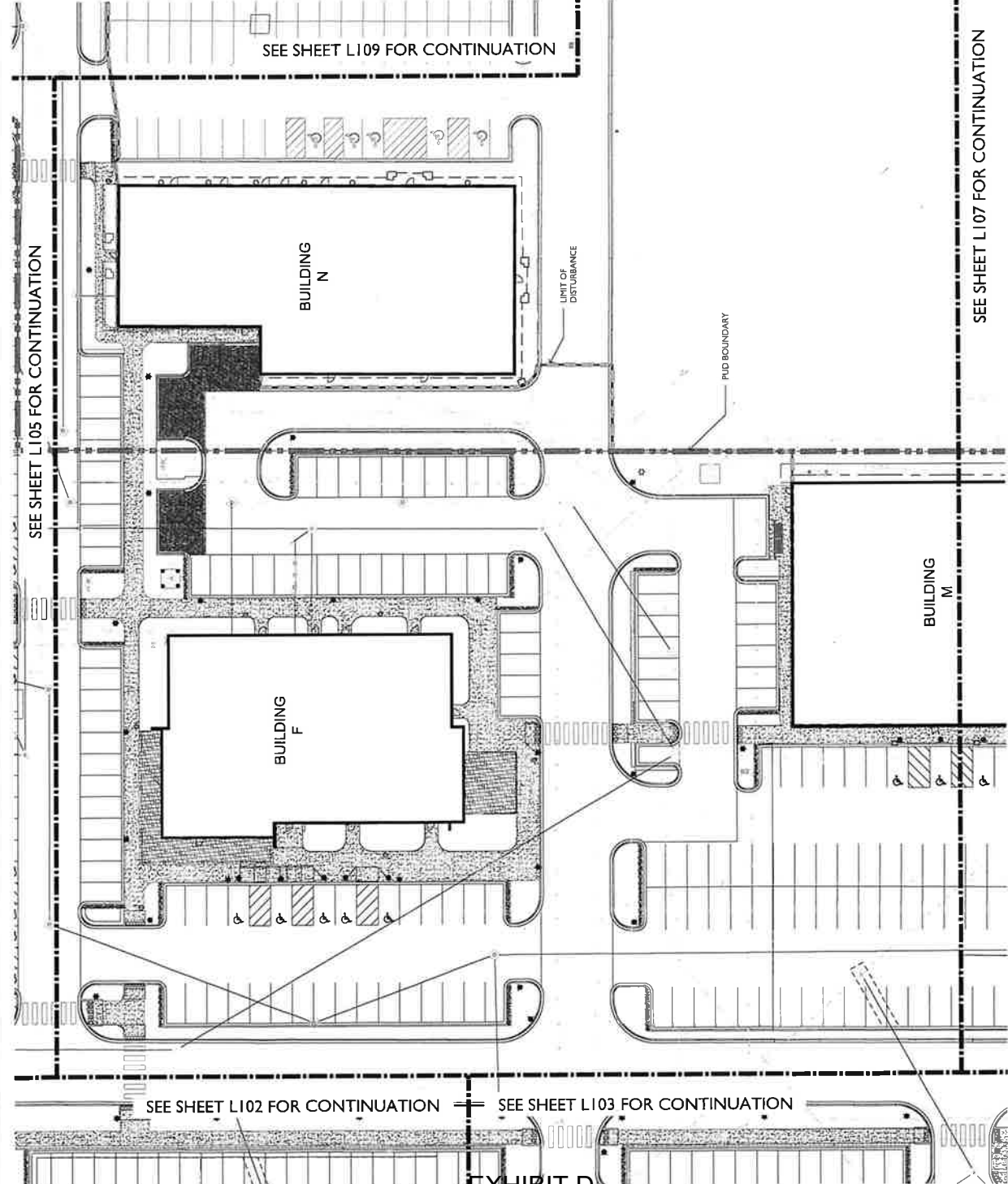
## PAVING LEGEND

-  TINTED & TEXTURED CONCRETE
-  5" CIP CONCRETE BY TENANT
-  5" STANDARD CONCRETE
-  3" DECORATIVE GRAVEL
-  ARTIFICIAL TURF

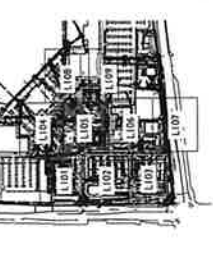
FOR LIGHTING LAYOUT SEE LIGHTING SHEETS

## HARDSCAPE NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND PROVIDE STAKED AND PAINTED LAYOUT FOR REVIEW BY LANDSCAPE ARCHITECT.
2. CONTRACTOR SHALL VERIFY LAYOUT AS REQUIRED AT NO ADDITIONAL COST. THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT COSTS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SETTING AND MAINTAINING LAYOUT POINTS THROUGHOUT CONSTRUCTION. THE COST OF SUBSEQUENT LAYOUTS SHALL BE AT THE CONTRACTOR'S RISK.
4. ALL LINES SHALL BE STRAIGHT AND TRUE IN ACCORDANCE WITH THE DRAWINGS. CURVES SHALL BE SMOOTH AND SHALL BE PROVIDED TO THE CONTRACTOR'S CONSTRUCTION SURVEYOR TO LAYOUT ALL CURVES.
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND PROVIDE STAKED AND PAINTED LAYOUT FOR REVIEW BY LANDSCAPE ARCHITECT.
6. CONTRACTOR SHALL VERIFY LAYOUT AS REQUIRED AT NO ADDITIONAL COST. THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT COSTS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SETTING AND MAINTAINING LAYOUT POINTS THROUGHOUT CONSTRUCTION. THE COST OF SUBSEQUENT LAYOUTS SHALL BE AT THE CONTRACTOR'S RISK.
8. ALL LINES SHALL BE STRAIGHT AND TRUE IN ACCORDANCE WITH THE DRAWINGS. CURVES SHALL BE SMOOTH AND SHALL BE PROVIDED TO THE CONTRACTOR'S CONSTRUCTION SURVEYOR TO LAYOUT ALL CURVES.
9. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND PROVIDE STAKED AND PAINTED LAYOUT FOR REVIEW BY LANDSCAPE ARCHITECT.
10. CONTRACTOR SHALL VERIFY LAYOUT AS REQUIRED AT NO ADDITIONAL COST. THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT COSTS.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SETTING AND MAINTAINING LAYOUT POINTS THROUGHOUT CONSTRUCTION. THE COST OF SUBSEQUENT LAYOUTS SHALL BE AT THE CONTRACTOR'S RISK.
12. ALL LINES SHALL BE STRAIGHT AND TRUE IN ACCORDANCE WITH THE DRAWINGS. CURVES SHALL BE SMOOTH AND SHALL BE PROVIDED TO THE CONTRACTOR'S CONSTRUCTION SURVEYOR TO LAYOUT ALL CURVES.



## KEY PLAN



HARDSCAPE PLAN  
SCALE: 1"=20'



330 West Madison Street, Suite 300  
Chicago, IL 60606  
Phone: (312) 467-1000  
Fax: (312) 467-1001  
www.nelsonjameswhite.com

**Client:**  
The University of Chicago  
1307 East Chicago Avenue, Suite 801  
Chicago, IL 60620  
Phone: (773) 492-3000  
www.uchicago.edu

**MEP Engineer:** The University of Chicago  
1307 East Chicago Avenue, Suite 801  
Chicago, IL 60620  
Phone: (773) 492-3000  
www.uchicago.edu

**Architect:** The University of Chicago  
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Chicago, IL 60620  
Phone: (773) 492-3000  
www.uchicago.edu






**Contractor:** The University of Chicago  
1307 East Chicago Avenue, Suite 801  
Chicago, IL 60620  
Phone: (773) 492-3000  
www.uchicago.edu

**Legal:** The University of Chicago  
1307 East Chicago Avenue, Suite 801  
Chicago, IL 60620  
Phone: (773) 492-3000  
www.uchicago.edu

**Property Group:** The University of Chicago  
1307 East Chicago Avenue, Suite 801  
Chicago, IL 60620  
Phone: (773) 492-3000  
www.uchicago.edu

**Block 59**  
404 S. State Street S9  
Naperville, IL 60563

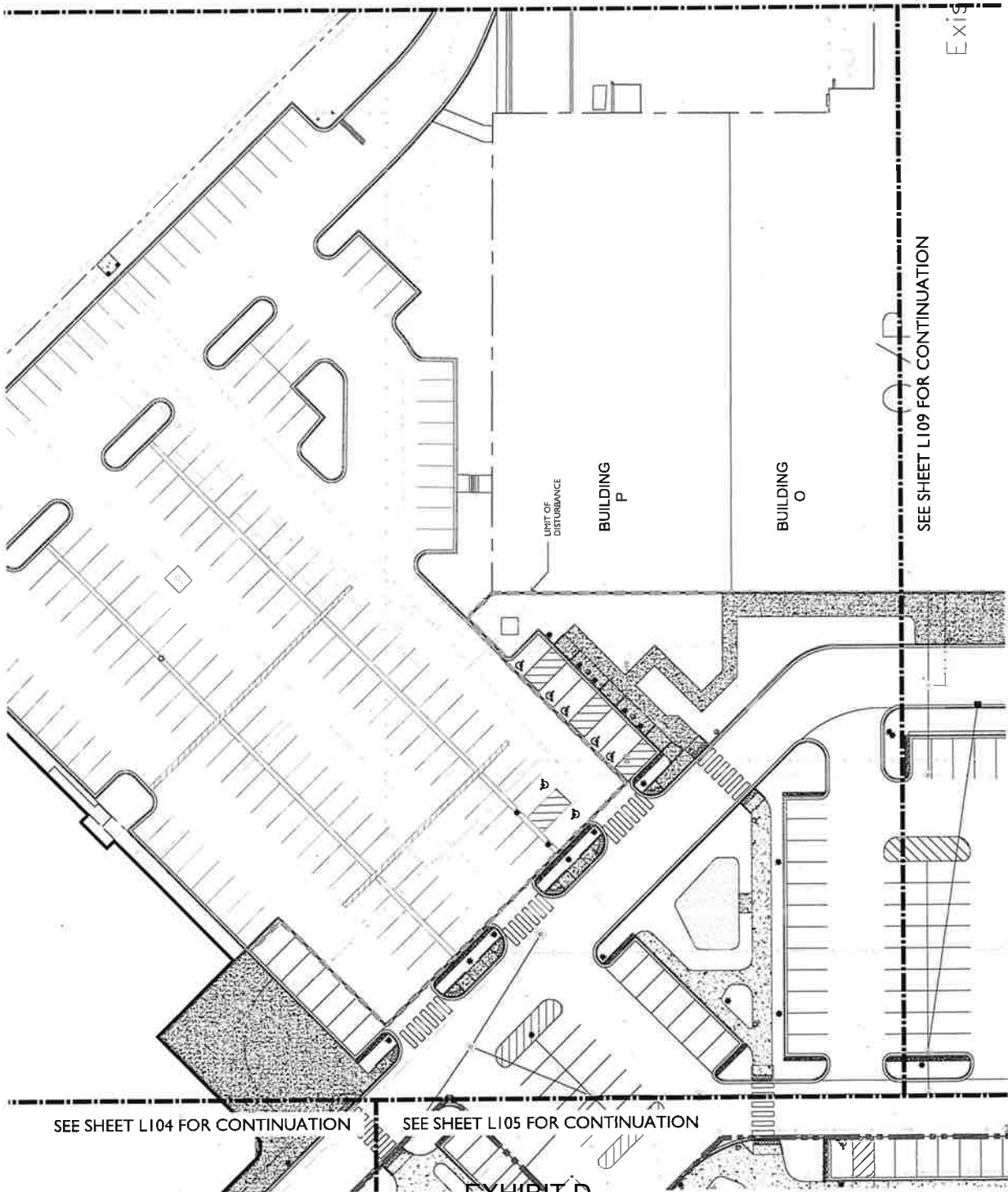
### PAVING LEGEND

-  TINTED & TEXTURED CONCRETE
-  5" CIP CONCRETE BY TENANT
-  5" STANDARD CONCRETE
-  3" DECORATIVE GRAVEL
-  ARTIFICIAL TURF

FOR LIGHTING LAYOUT SEE LIGHTING SHEETS

### HARDSCAPE NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND PROVIDE STAKED AND PAINTED LAYOUT FOR REVIEW BY LANDSCAPE ARCHITECT.
2. CONTRACTOR SHALL ADJUST LAYOUT AS REQUIRED AT NO ADDITIONAL COST.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT COSTS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR STABILIZING AND/OR REPAIRING EXISTING AND MAINTAINING LAYOUT POINTS THROUGHOUT CONSTRUCTION. THE COST OF SUBSEQUENT LAYOUTS SHALL BE AT THE CONTRACTOR'S RISK.
5. ALL LINES SHALL BE STRAIGHT AND TRUE IN ACCORDANCE WITH THE DRAWINGS.
6. CURVES SHALL BE SMOOTH AND ALL ANGLES SHALL BE 90 DEGREES UNLESS OTHERWISE PROVIDED TO THE CONTRACTORS CONSTRUCTION SURVEYOR TO LAYOUT ALL CURVES.
7. CONTRACTOR SHALL PROVIDE DRAINAGE FOR ALL CUSTOM AND SHOP-BUILT ITEMS FOR APPROVAL PRIOR TO FABRICATION.
8. ALL CHANGING AND REINFORCEMENT PER STRUCTURAL DRAWINGS SHALL BE SHOWN IN GRADING SHOWN FOR GENERAL DESIGN INTENT ONLY. ALL FINAL GRADING PER CIVIL.



SEE SHEET L104 FOR CONTINUATION

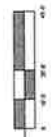
SEE SHEET L105 FOR CONTINUATION

SEE SHEET L109 FOR CONTINUATION



### KEY PLAN

HARDSCAPE PLAN  
SCALE: 1"=20'





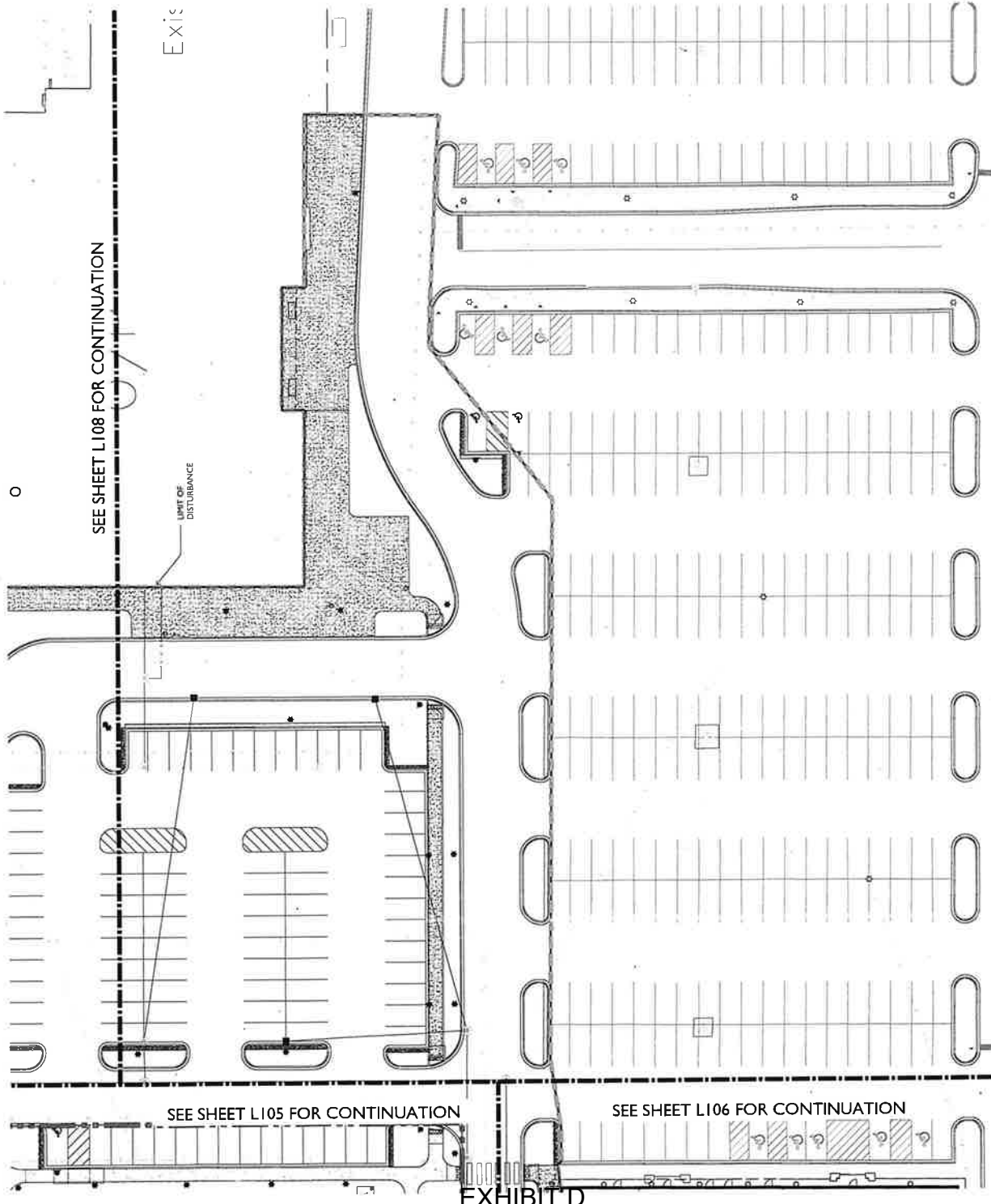
**PAVING LEGEND**

	TINTED & TEXTURED CONCRETE
	5\"/>
	5\"/>
	3\"/>
	ARTIFICIAL TURF

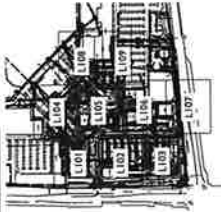
FOR LIGHTING LAYOUT SEE LIGHTING SHEETS

**HARDSCAPE NOTES**

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND PROVIDE STAGED AND PAINTED LAYOUT FOR REVIEW BY LANDSCAPE ARCHITECT. CONTRACTOR SHALL ADJUST LAYOUT AS REQUIRED AT NO ADDITIONAL COST. THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT COSTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND MAINTAINING LAYOUT POINTS THROUGHOUT CONSTRUCTION. THE COST OF SUBSEQUENT LAYOUTS SHALL BE AT THE CONTRACTOR'S RISK.
- ALL LINES SHALL BE STRAIGHT AND TRUE IN ACCORDANCE WITH THE DRAWINGS.
- CURVES SHALL BE SMOOTH AND ACCORDANCE WITH THE DRAWINGS SHALL BE PROVIDED TO THE CONTRACTORS CONSTRUCTION SURVEYOR TO LAYOUT ALL CURVES.
- CONTRACTOR TO PROVIDE ALL MATERIALS, CUSTOMER AND SHOP-BUILT ITEMS FOR APPROVAL PRIOR TO FABRICATION. ALL JOINTS AND REINFORCEMENT PER GRADING SHOWN FOR GENERAL DESIGN INTENT ONLY. ALL FINAL GRADING PER CIVIL.



**KEY PLAN**



# NELSON

30 West Division Street - Suite 200  
Chicago, IL 60654-3859  
Tel: 312.467.1000  
Fax: 312.467.1001  
www.nelsonjameswhite.com

**Client:**  
Brixmor Property Group  
401 S. State Street, Suite 500  
Naperville, IL 60563  
Tel: 630.206.1000  
Fax: 630.206.1001  
www.brixmor.com

**Project:**  
Brixmor Property Group  
401 S. State Street, Suite 500  
Naperville, IL 60563  
Tel: 630.206.1000  
Fax: 630.206.1001  
www.brixmor.com

**Structural Engineer:**  
The Structural Engineer (11/12/2012) - 031  
1. 210 N. LaSalle Street, Suite 1100  
Chicago, IL 60610  
Tel: 312.467.1000  
Fax: 312.467.1001  
www.brixmor.com

**Site Engineer:**  
The Structural Engineer (11/12/2012) - 031  
1. 210 N. LaSalle Street, Suite 1100  
Chicago, IL 60610  
Tel: 312.467.1000  
Fax: 312.467.1001  
www.brixmor.com

**Contractor:**  
The Structural Engineer (11/12/2012) - 031  
1. 210 N. LaSalle Street, Suite 1100  
Chicago, IL 60610  
Tel: 312.467.1000  
Fax: 312.467.1001  
www.brixmor.com

**Legal:**  
Davis & Davis  
100 W. Madison Street, Suite 2111  
Chicago, IL 60601  
Tel: 312.467.1000  
Fax: 312.467.1001  
www.brixmor.com

**Environmental Graphics:**  
Environmental Graphics  
276 North LaSalle Street, Suite 1425  
Chicago, IL 60610  
Tel: 312.467.1000  
Fax: 312.467.1001  
www.brixmor.com

NO.	DATE	DESCRIPTION
1	11/12/2012	ISSUED FOR PERMIT
2	11/12/2012	ISSUED FOR PERMIT
3	11/12/2012	ISSUED FOR PERMIT
4	11/12/2012	ISSUED FOR PERMIT
5	11/12/2012	ISSUED FOR PERMIT
6	11/12/2012	ISSUED FOR PERMIT
7	11/12/2012	ISSUED FOR PERMIT
8	11/12/2012	ISSUED FOR PERMIT
9	11/12/2012	ISSUED FOR PERMIT
10	11/12/2012	ISSUED FOR PERMIT

**BRIXMOR**  
Property Group

Block 59  
401 S. State Street, Suite 500  
Naperville, IL 60563

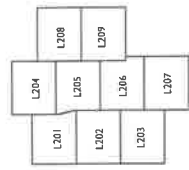
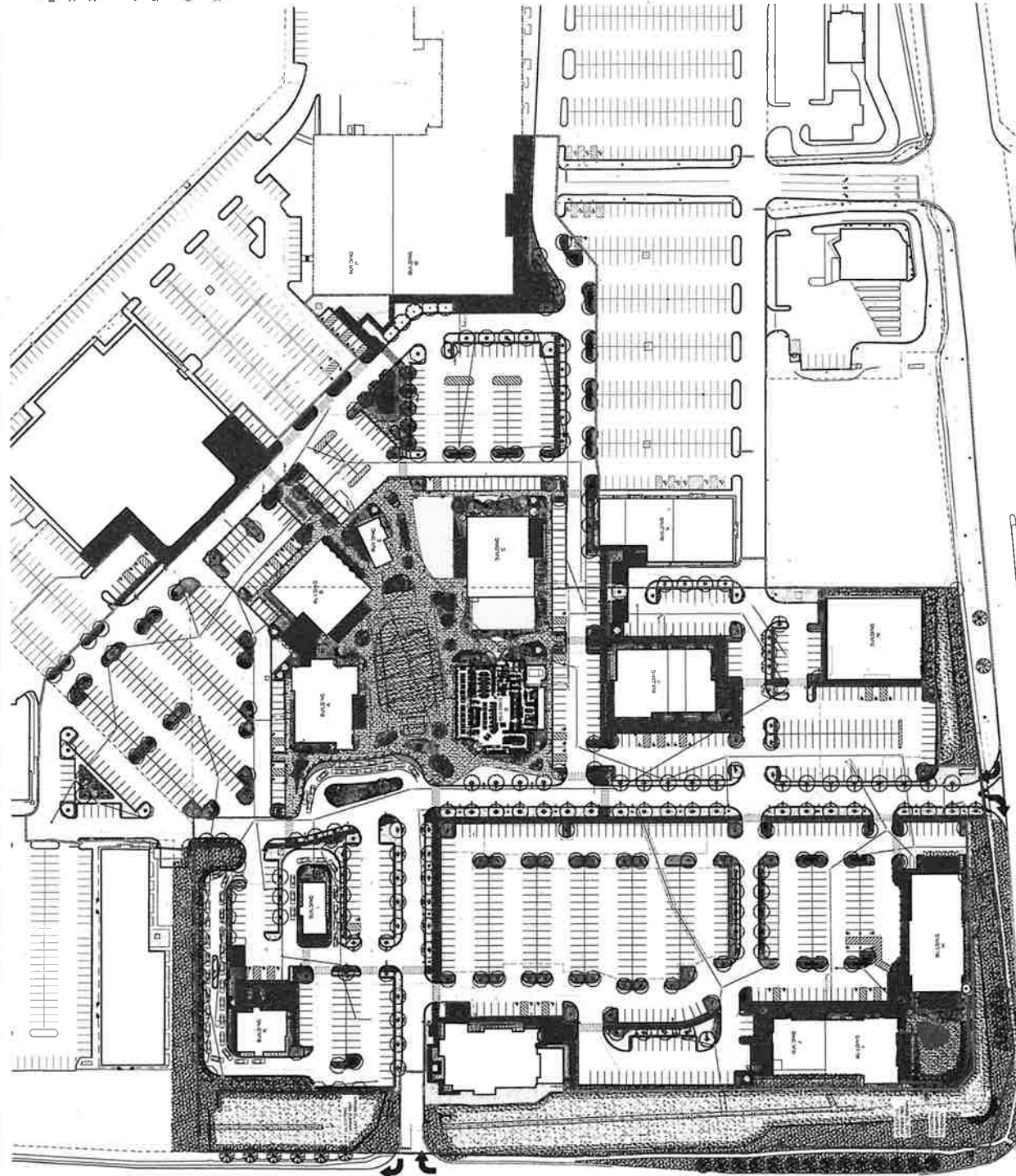
## OVERALL LANDSCAPE PLAN

**L-200**

### PLANTING NOTES

- ALL PLANTING AREAS TO RECEIVE AUTOMATIC IRRIGATION SYSTEM. SEE IRRIGATION PLAN.
- PROVIDE 1 YEAR WARRANTY ON ALL PLANTING.
- PROVIDE LIVE FRESH BERRIES CONTROL PLANTING AREAS WITH GRADES 3.1 OR GREATER.
- ALL PLANTING SHALL RECEIVE 2" LAYER OF SHREDDED HARDWOOD MULCH.
- INTERPLANTING LAYOUT TO BE FIELD DIRECTED BY LANDSCAPE ARCHITECT. PLAN SHALL TAKE PRECEDENCE SHOULD ANY DISCREPANCIES EXIST BETWEEN PLAN AND FIELD.
- UPON AUTHORIZATION TO PROCEED WITH THE WORK, A SCHEDULE INDICATING THE DATES OF EACH OF THE FOLLOWING ITEMS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT:
  - CONTRACTOR AND SUBMITTED TO THE LANDSCAPE ARCHITECT
  - TAGGING OF PLANT MATERIAL IN FIELD
  - DELIVERY OF PLANT MATERIAL ON SITE
  - PLANTING SCHEDULE

FOR LIGHTING LAYOUT SEE LIGHTING SHEETS



### KEY PLAN

EXHIBIT D ROUTE 59

OVERALL LANDSCAPE PLAN  
SCALE: 1/8" = 1'-0"

NO.	DATE	DESCRIPTION
1	11/11/11	ISSUED FOR PERMIT
2	11/11/11	ISSUED FOR PERMIT
3	11/11/11	ISSUED FOR PERMIT
4	11/11/11	ISSUED FOR PERMIT
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10	11/11/11	ISSUED FOR PERMIT

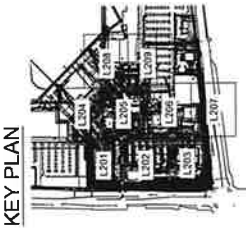
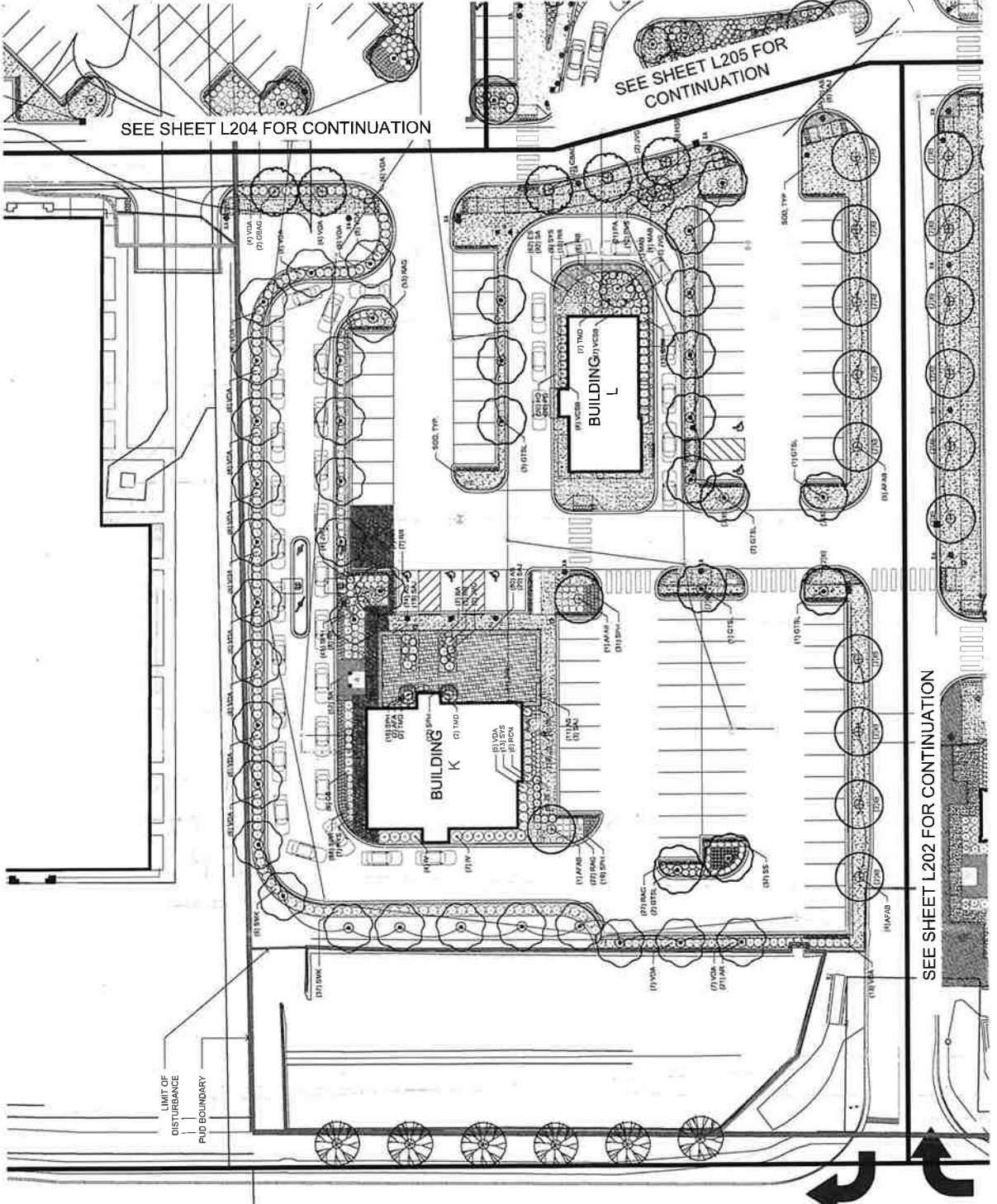
**BRIXMOR**  
 Property Group  
 Block 59  
 401 S. State Street S/D  
 Naperville, IL 60563  
 Project No. 11-001

LANDSCAPE PLAN

L-201

- ### PLANTING NOTES
1. ALL PLANTING AREAS TO RECEIVE AUTOMATIC IRRIGATION SYSTEM. SEE IRRIGATION PLAN FOR SCHEDULE.
  2. PROVIDE 1 YEAR WARRANTY ON ALL PLANTING.
  3. PROVIDE LITE FRESH BERRIES CONTROL PLANTING TO BE PLANTED IN ALL PLANTING AREAS WITH GRADES 31 OR GREATER.
  4. ALL PLANTING SHALL RECEIVE 2" LAYER OF SHREDDED HARDWOOD MULCH.
  5. INTERPLANTING LAYOUT TO BE FIELD DIRECTED BY LANDSCAPE ARCHITECT. PLAN SHALL TAKE PRECEDENCE SHOULD ANY DISCREPANCIES EXIST BETWEEN PLAN AND FIELD.
  6. UPON AUTHORIZATION TO PROCEED WITH THE WORK, A SCHEDULE INDICATING THE DATES OF EACH OF THE FOLLOWING ITEMS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT:
    - A. CONTRACTOR AND SUBMITTED TO THE LANDSCAPE ARCHITECT
    - B. TAGGING OF PLANT MATERIAL IN FIELD
    - C. STAGING OF PLANT MATERIAL ON SITE
    - D. DELIVERY OF PLANT MATERIAL ON SITE
    - E. PLANTING SCHEDULE

FOR LIGHTING LAYOUT SEE LIGHTING SHEETS



1000 West 10th Street, Suite 202  
 Colorado Springs, CO 80902  
 Phone: (719) 520-1234  
 Fax: (719) 520-1235  
 Email: info@nelson.com

**Client:**  
 Project Name: [Redacted]  
 Project Address: [Redacted]  
 Project Location: [Redacted]

**Landscaping Architect:**  
 Project Name: [Redacted]  
 Project Address: [Redacted]  
 Project Location: [Redacted]

**Legal:**  
 Project Name: [Redacted]  
 Project Address: [Redacted]  
 Project Location: [Redacted]

**Environmental/Utilities:**  
 Project Name: [Redacted]  
 Project Address: [Redacted]  
 Project Location: [Redacted]

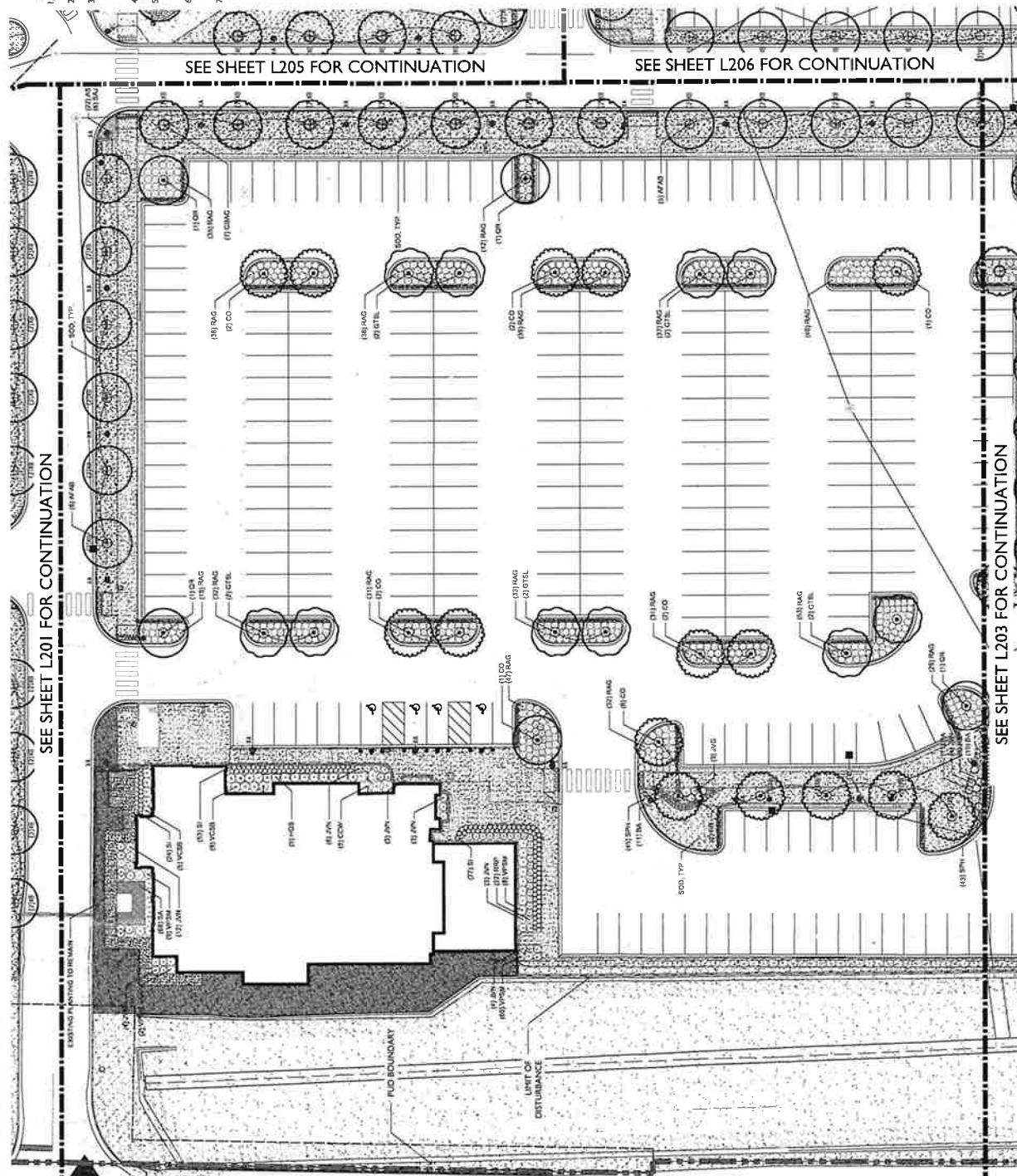
**BRIXFOR**  
 Property Group  
 4715 S. State Plaza, 5th  
 Suite 500, Colorado Springs, CO 80906

**LANDSCAPE PLAN**

**L-202**

### PLANTING NOTES

1. ALL PLANTING AREAS TO RECEIVE AUTOMATIC IRRIGATION SYSTEM. SEE IRRIGATION PLAN FOR DETAILS.
2. PROVIDE 1 YEAR WARRANTY ON ALL PLANTING. SEE IRRIGATION PLAN FOR DETAILS.
3. PLANTING SHALL BE INSTALLED IN PLACE FOR ALL PLANTING AREAS WITH GRADES 3.1 OR GREATER.
4. ALL PLANTING SHALL RECEIVE 2" LAYER OF ORGANIC MULCH. PERENNIAL AND BULB PLANTING SHALL RECEIVE 3" LAYER OF ORGANIC MULCH.
5. INTERPLANTING LAYOUT TO BE FIELD DIRECTED BY LANDSCAPE ARCHITECT. PLANTING SHALL TAKE PRECEDENCE SHOULD ANY CONFLICTS EXIST BETWEEN PLAN AND PLANT LIST.
6. UPON AUTHORIZATION TO PROCEED WITH THE WORK, A SCHEDULE INDICATING THE DATES OF EACH OF THE FOLLOWING ITEMS SHALL BE PROVIDED BY THE CONTRACTOR AND SUBMITTED TO THE LANDSCAPE ARCHITECT:  
 A. SCHEDULING OF PLANT MATERIAL IN THE FIELD.  
 B. SCHEDULING OF PLANT MATERIAL ON SITE.  
 C. STAKING OF PLANT LOCATING ON SITE.  
 D. DELIVERY OF PLANT MATERIAL ON SITE.  
 E. PLANTING SCHEDULE.
7. FOR LIGHTING LAYOUT SEE LIGHTING SHEETS.

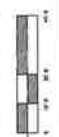


SEE SHEET L201 FOR CONTINUATION

SEE SHEET L205 FOR CONTINUATION

SEE SHEET L206 FOR CONTINUATION

SEE SHEET L203 FOR CONTINUATION



LANDSCAPE PLAN  
 SCALE: 1"=20'







240 West Madison Street - Suite 200  
Chicago, IL 60606-2689  
Tel: 312.567.1100  
Fax: 312.567.1101  
www.nelsonsworld.com

**Client**  
Brixmor Property Group  
1000 North Dearborn Street, Suite 1000  
Chicago, IL 60610  
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**Project**  
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Fax: 312.567.1101  
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**Project Engineer**  
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**Project Designer**  
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**Project Architect**  
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**Project Engineer**  
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**Project Designer**  
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**Environmental Graphics**  
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www.brixmor.com

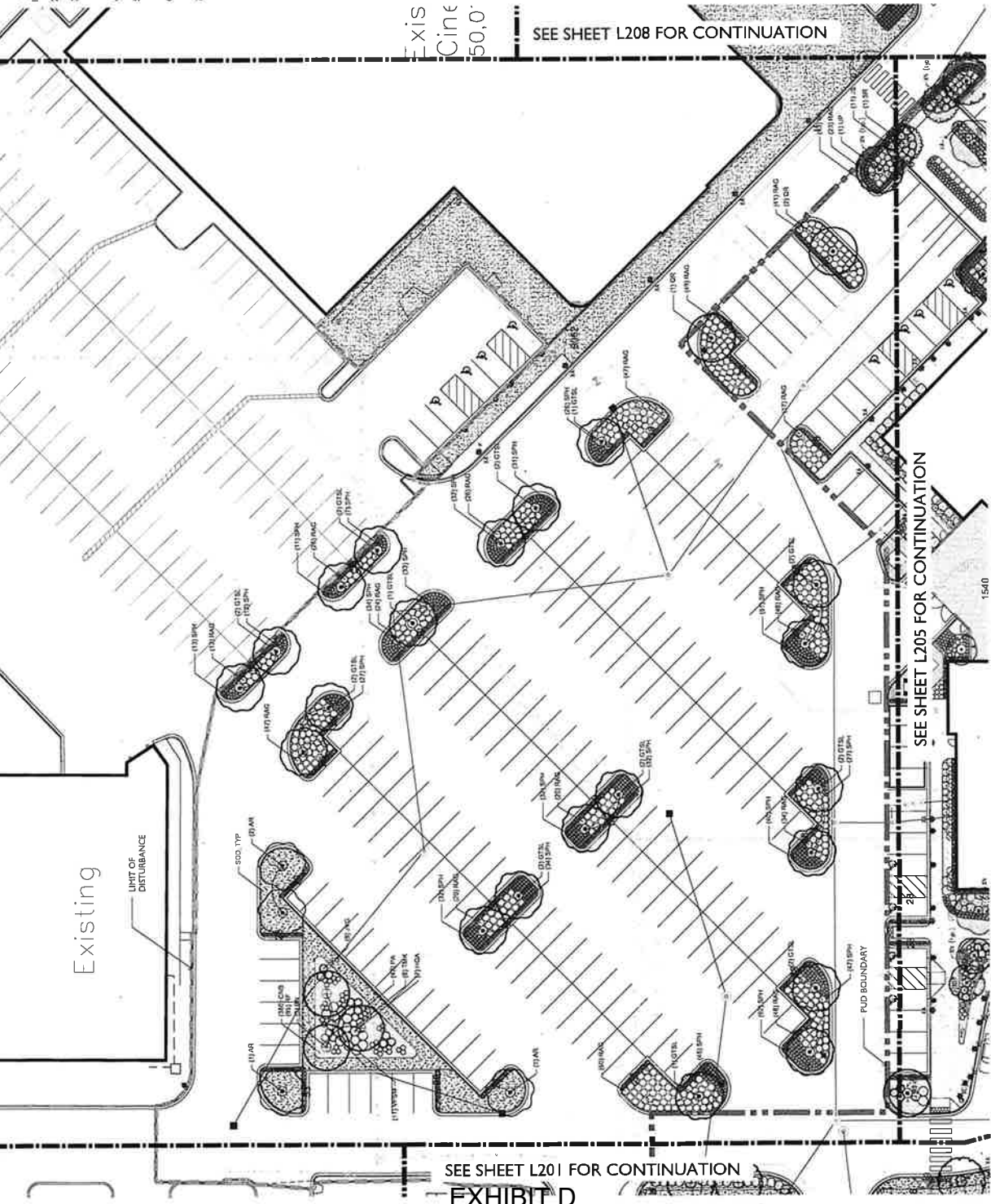
**Scale**  
1" = 10'-0"

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50	REVISED PER COMMENTS	08/15/11

**BRIXMOR**  
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Chicago, IL 60610  
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Fax: 312.567.1101  
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**LANDSCAPE PLAN**

- PLANTING NOTES**
1. ALL PLANTING AREAS TO RECEIVE AUTOMATIC IRRIGATION SYSTEM. SEE IRRIGATION PLAN FOR DETAILS.
  2. PROVIDE 1 YEAR WARRANTY ON ALL PLANTING.
  3. PROVIDE LUTE FRESH EROSION CONTROL BLANKET STOPPED IN PLACE FOR ALL PLANTING AREAS WITH GRASSES OR GREATER.
  4. ALL PLANTING SHALL RECEIVE 2" LAYER OF SHREDDED HARDWOOD MULCH.
  5. INTERIM PLANTING LAYOUT TO BE DETERMINED BY LANDSCAPE ARCHITECT. PLAN SHALL TAKE PRECEDENCE SHOULD ANY DISCREPANCIES EXIST BETWEEN PLAN AND INTERIM LAYOUT.
  6. THE WORK SHALL BE PROCEEDED WITH UPON AUTHORIZATION TO PROCEED WITH THE WORK. A SCHEDULE INDICATING THE DATE OF EACH OF THE FOLLOWING ITEMS SHALL BE PREPARED BY THE TRADES AND SUBMITTED TO THE LANDSCAPE ARCHITECT:
    - A. TAGGING OF PLANT MATERIAL IN NURSERIES
    - B. DELIVERY OF PLANT MATERIAL ON SITE
    - C. DELIVERY OF PLANT MATERIAL ON SITE
    - D. DELIVERY OF PLANT MATERIAL ON SITE
    - E. PLANTING SCHEDULE.
- FOR LIGHTING LAYOUT SEE LIGHTING SHEETS



Axis Cine 50.0'

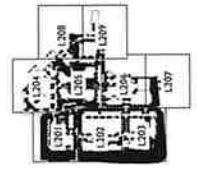
SEE SHEET L208 FOR CONTINUATION

SEE SHEET L205 FOR CONTINUATION

SEE SHEET L201 FOR CONTINUATION

EXHIBIT D

**KEY PLAN**



LANDSCAPE PLAN  
SCALE: 1"=30'

# NELSON

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Landscape Architect  
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Chicago, IL 60601  
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Fax: 312.467.1001  
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**Contract:**  
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Fax: 312.467.1001  
www.nelsonjameswhite.com

**Approval:**  
Landscape Architect  
311 E. Wacker Drive, Suite 600  
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Fax: 312.467.1001  
www.nelsonjameswhite.com

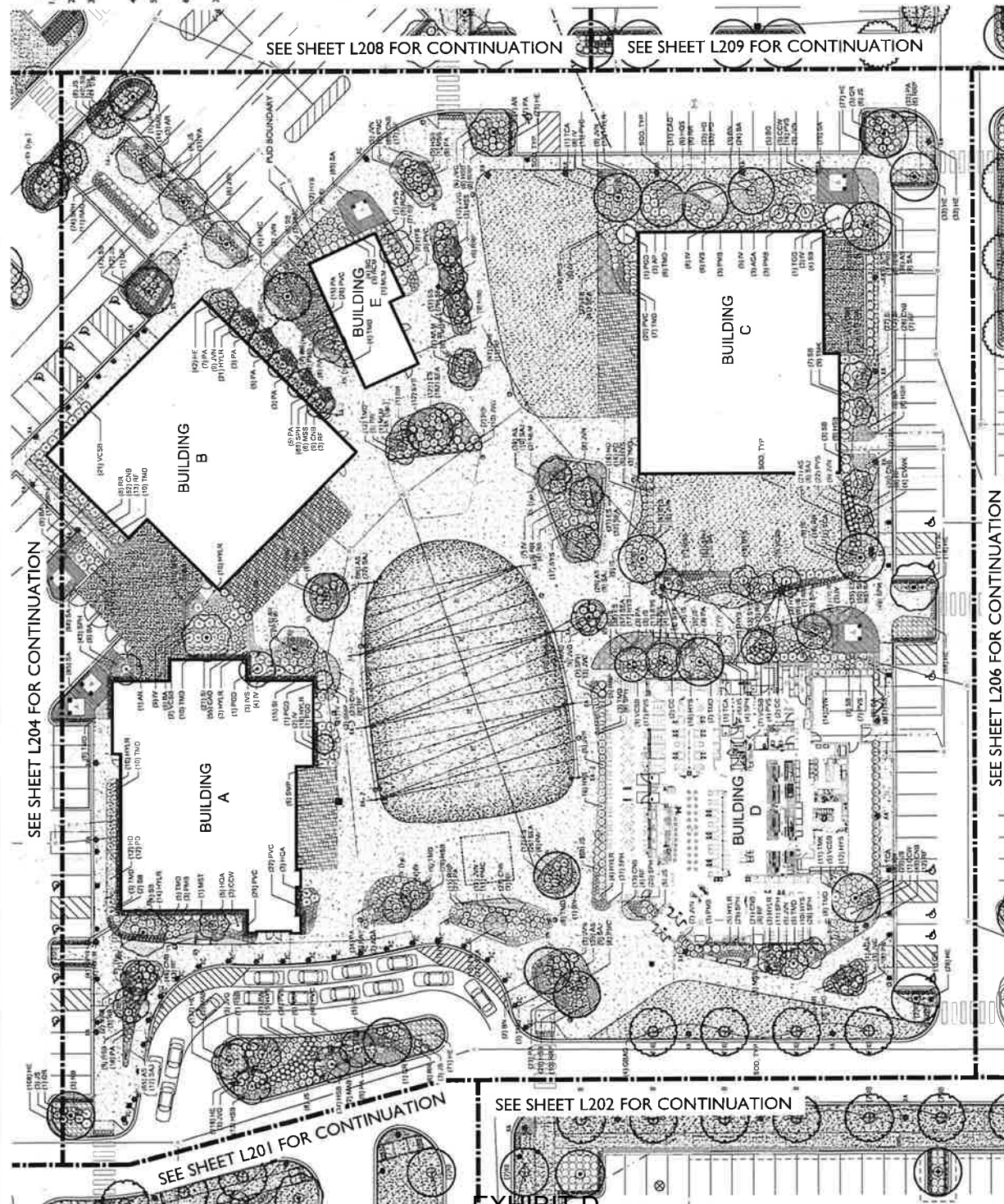
**Revision:**  
Landscape Architect  
311 E. Wacker Drive, Suite 600  
Chicago, IL 60601  
Tel: 312.467.1000  
Fax: 312.467.1001  
www.nelsonjameswhite.com

**Scale:**  
Landscape Architect  
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Chicago, IL 60601  
Tel: 312.467.1000  
Fax: 312.467.1001  
www.nelsonjameswhite.com

**PLANTING NOTES**

- ALL PLANTING AREAS TO RECEIVE AUTOMATIC IRRIGATION SYSTEM. SEE IRRIGATION PLAN PROVIDE 1 YEAR WARRANTY ON ALL PLANTING.
- PLANTING TO BE PERFORMED UNDER CLOSE SUPERVISION OF THE LANDSCAPE ARCHITECT. PLANTING TO BE PERFORMED IN PLACE FOR ALL PLANTING AREAS WITH GRADES 3:1 OR GREATER.
- ALL PLANTING SHALL RECEIVE 2" LAYER OF ORGANIC MULCH. PERENNIAL AND BULB PLANTING SHALL TAKE PRECEDENCE SHOULD ANY INTERFERING LAYOUT TO BE FIELD CORRECTED BY LANDSCAPE ARCHITECT.
- PLANTING SHALL TAKE PRECEDENCE SHOULD ANY INTERFERING LAYOUT TO BE FIELD CORRECTED BY LANDSCAPE ARCHITECT.
- UPON AUTHORIZATION TO PROCEED WITH THE WORK, A SCHEDULE INDICATING THE DATES OF PREPARATION OF THE WORKS SHALL BE PREPARED BY THE LANDSCAPE ARCHITECT AND SUBMITTED TO THE LANDSCAPE ARCHITECT.
- TAGGING OF PLANT MATERIAL IN CONFORMANCE WITH THE IRRIGATION PLAN SHALL TAKE PRECEDENCE ON SITE.
- DELIVERY OF PLANT MATERIAL ON SITE.
- PLANTING SCHEDULE.

FOR LIGHTING LAYOUT SEE LIGHTING SHEETS



SEE SHEET L204 FOR CONTINUATION

SEE SHEET L208 FOR CONTINUATION

SEE SHEET L209 FOR CONTINUATION

SEE SHEET L201 FOR CONTINUATION

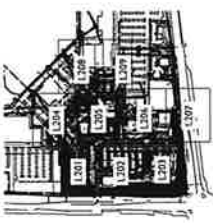
SEE SHEET L202 FOR CONTINUATION

SEE SHEET L206 FOR CONTINUATION

EXHIBIT D

LANDSCAPE PLAN  
SCALE: 1"=20'

KEY PLAN



L-205

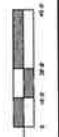
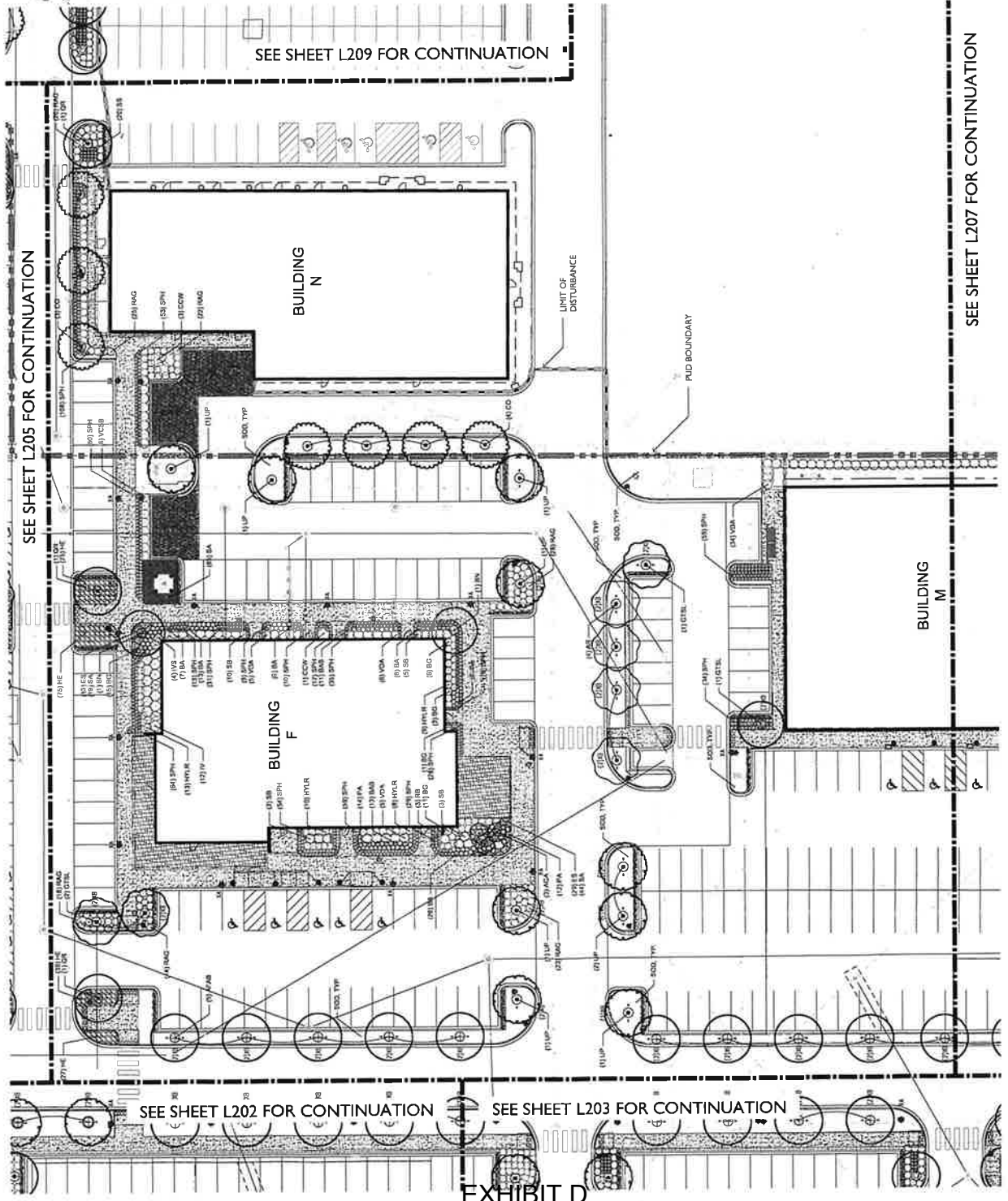
**BRIXMOR**  
Property Group

401 S. State Street, Suite 500  
Chicago, IL 60601  
Tel: 312.467.1000  
Fax: 312.467.1001  
www.brixmor.com

LANDSCAPE PLAN

NO.	DATE	DESCRIPTION
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3	12/15/14	REVISIONS
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99	12/15/22	REVISIONS
100	01/15/23	REVISIONS

- ### PLANTING NOTES
- ALL PLANTING AREAS TO RECEIVE AUTOMATIC IRRIGATION SYSTEMS. SEE IRRIGATION PLAN FOR SCHEDULE.
  - PROVIDE 1 YEAR WARRANTY ON ALL PLANTING.
  - PROVIDE TREE FRESH BROWN CONTROL DISINFECTANT APPLIED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
  - ALL PLANTING SHALL RECEIVE 2" LAYER OF SHREDDED BARK MULCH, PERMANENT AND BULB INTERPLANTING LAYOUT TO BE FIELD DIRECTED BY LANDSCAPE ARCHITECT. PLANT SHALL TAKE PRECEDENCE SHOULD ANY DISCREPANCIES EXIST BETWEEN PLAN AND FIELD NOTES.
  - UPON AUTHORIZATION TO PROCEED WITH THE WORK, A SCHEDULE INDICATING THE DATES OF EACH OF THE FOLLOWING ITEMS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT:
    - CONTRACTOR AND SUBMITTED TO THE LANDSCAPE ARCHITECT
    - TAGGING OF PLANT MATERIAL IN FIELD
    - STAKING OF PLANT LOCATING ON SITE
    - DELIVERY OF PLANT MATERIAL ON SITE
    - PLANTING SCHEDULE
- FOR LIGHTING LAYOUT SEE LIGHTING SHEETS



LANDSCAPE PLAN  
 SCALE 1"=20'









505 S. ROSS AVE. INC.  
 2ND FLOOR  
 1001 E. 10TH AVE. SUITE 100  
 DENVER, CO 80202  
 TEL: 303.733.1100  
 FAX: 303.733.1101  
 WWW.NELSONAKERS.COM

**Client:**  
 The University of Colorado  
 1001 E. 10TH AVE. SUITE 100  
 DENVER, CO 80202  
**Landscaper:**  
 LANDSCAPE ARCHITECTS  
 3715 S. UNIVERSITY BLVD. SUITE 400  
 DENVER, CO 80202  
**Project:**  
 THE UNIVERSITY OF COLORADO  
 1001 E. 10TH AVE. SUITE 100  
 DENVER, CO 80202

**Contract:**  
 1. 1001 E. 10TH AVE. SUITE 100  
 2. 1001 E. 10TH AVE. SUITE 100  
 3. 1001 E. 10TH AVE. SUITE 100  
 4. 1001 E. 10TH AVE. SUITE 100  
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 10. 1001 E. 10TH AVE. SUITE 100

**Legal:**  
 1. 1001 E. 10TH AVE. SUITE 100  
 2. 1001 E. 10TH AVE. SUITE 100  
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 4. 1001 E. 10TH AVE. SUITE 100  
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 10. 1001 E. 10TH AVE. SUITE 100

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	10/15/10
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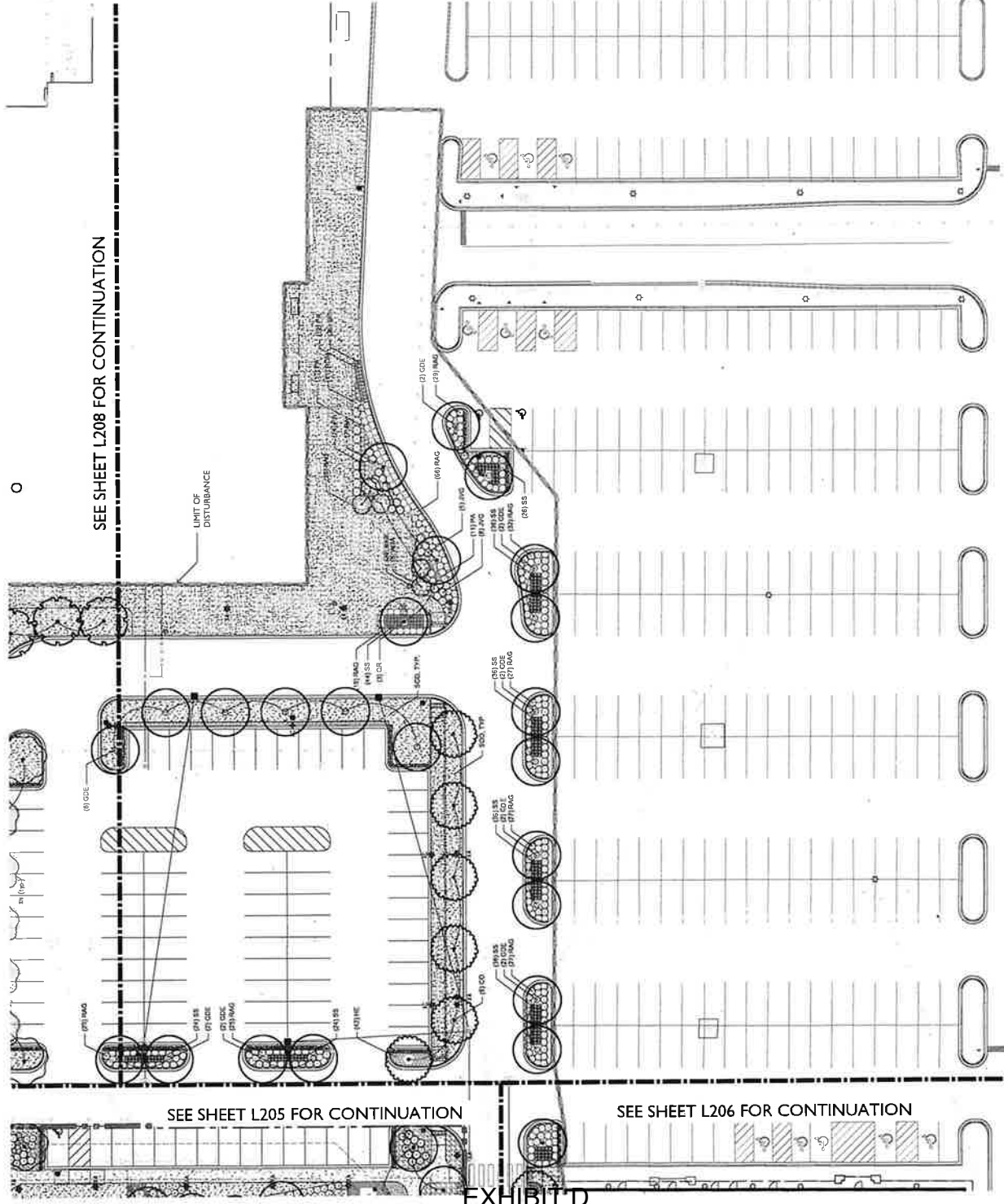
**BRIXIA-MOR**  
 Property Group  
 401 S. GARDEN PLACE 300  
 DENVER, CO 80202  
 TEL: 303.733.1100  
 FAX: 303.733.1101  
 WWW.BRIXIA-MOR.COM

**LANDSCAPE PLAN**

### PLANTING NOTES

1. ALL PLANTING AREAS TO RECEIVE AUTOMATIC IRRIGATION. PROVIDE IRRIGATION PLAN AND IRRIGATION SCHEDULE TO ALL PLANTING CONTRACTORS.
2. PROVIDE JUTE FIBER EROSION CONTROL MATS TO ALL PLANTING AREAS WITH GRADES 31 OR GREATER.
3. ALL PLANTING SHALL RECEIVE 2" LAYER OF SHIPPED HARDWOOD MULCH TO ALL PLANTING AREAS WITH GRADES 31 OR GREATER.
4. INTERPLANTING LAYOUT TO BE FIELD-DIRECTED BY LANDSCAPE ARCHITECT. PLAN SHALL TAKE PRECEDENCE SHOULD ANY DISCREPANCIES EXIST BETWEEN PLAN AND FIELD CONDITIONS.
5. UPON AUTHORIZATION TO PROCEED WITH THE WORK, A SCHEDULE INDICATING THE DATES OF EACH OF THE FOLLOWING ITEMS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT:
  - A. CONTRACTOR AND SUBMITTED TO THE LANDSCAPE ARCHITECT
  - B. TAGGING OF PLANT LOCATING ON SITE
  - C. STAKING OF PLANT MATERIAL ON SITE
  - D. DELIVERY OF PLANT MATERIAL ON SITE
  - E. PLANTING SCHEDULE

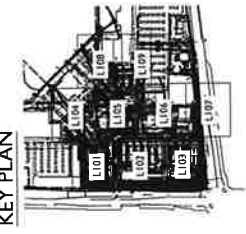
FOR LIGHTING LAYOUT SEE LIGHTING SHEETS



SEE SHEET L208 FOR CONTINUATION

SEE SHEET L205 FOR CONTINUATION

SEE SHEET L206 FOR CONTINUATION



LANDSCAPE PLAN  
 SCALE 1"=20'



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**Design:**  
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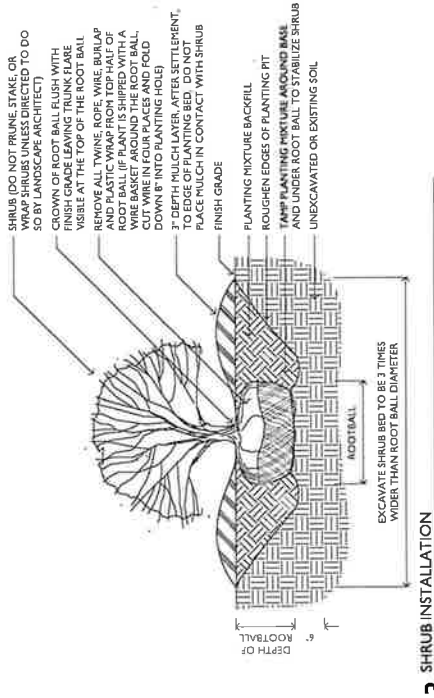
**MEP Engineers:**  
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Fax: 312.467.1001  
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**Structural Engineer:**  
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Fax: 312.467.1001  
www.nelsonjames.com

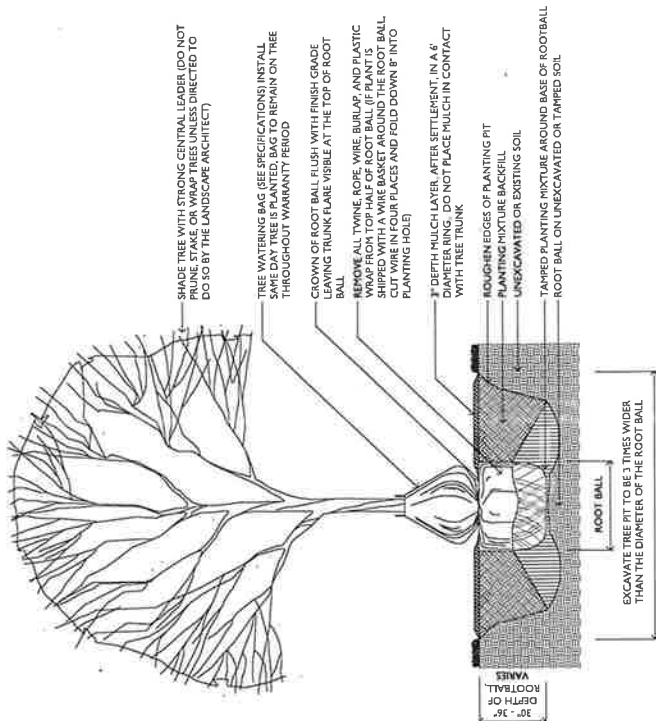
**Electrical Engineer:**  
Nelson James Corp.  
400 West Superior Street, Suite 200  
Chicago, IL 60610-3997  
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Fax: 312.467.1001  
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**Cost:**  
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Chicago, IL 60610-3997  
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Fax: 312.467.1001  
www.nelsonjames.com

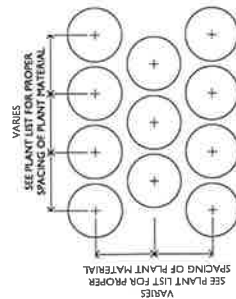
**Contractor:**  
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Fax: 312.467.1001  
www.nelsonjames.com



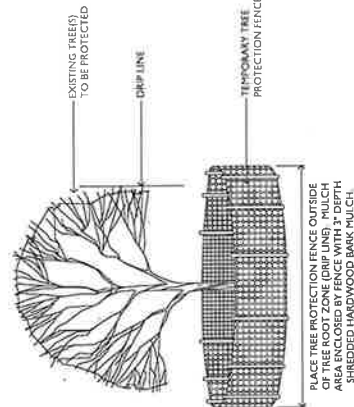
**3 SHRUB INSTALLATION**  
SCALE: 1/8" = 1'-0"



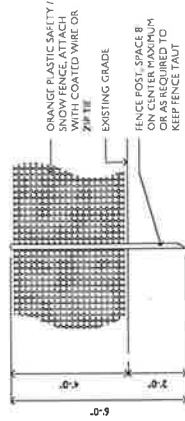
**1 DECIDUOUS TREE INSTALLATION**  
SCALE: 1/8" = 1'-0"



**2 ORNAMENTAL GRASS AND PERENNIAL INSTALLATION DETAIL**  
SCALE: 1" = 1'-0"



**4 TREE PROTECTION**  
SCALE: 1/8" = 1'-0"



**LANDSCAPE DETAILS**

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	...	...	...	...	...
2	...	...	...	...	...
3	...	...	...	...	...
4	...	...	...	...	...
5	...	...	...	...	...
6	...	...	...	...	...
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8	...	...	...	...	...
9	...	...	...	...	...
10	...	...	...	...	...
11	...	...	...	...	...
12	...	...	...	...	...
13	...	...	...	...	...
14	...	...	...	...	...
15	...	...	...	...	...
16	...	...	...	...	...
17	...	...	...	...	...
18	...	...	...	...	...
19	...	...	...	...	...
20	...	...	...	...	...
21	...	...	...	...	...
22	...	...	...	...	...
23	...	...	...	...	...
24	...	...	...	...	...
25	...	...	...	...	...
26	...	...	...	...	...
27	...	...	...	...	...
28	...	...	...	...	...
29	...	...	...	...	...
30	...	...	...	...	...
31	...	...	...	...	...
32	...	...	...	...	...
33	...	...	...	...	...
34	...	...	...	...	...
35	...	...	...	...	...
36	...	...	...	...	...
37	...	...	...	...	...
38	...	...	...	...	...
39	...	...	...	...	...
40	...	...	...	...	...
41	...	...	...	...	...
42	...	...	...	...	...
43	...	...	...	...	...
44	...	...	...	...	...
45	...	...	...	...	...
46	...	...	...	...	...
47	...	...	...	...	...
48	...	...	...	...	...
49	...	...	...	...	...
50	...	...	...	...	...

**BRIXMOR**  
Property Group

400 S. State Street, Suite 50  
Chicago, IL 60610

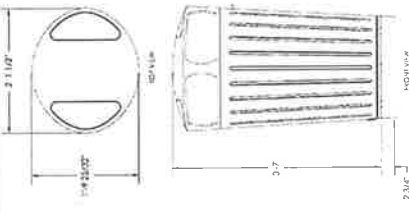
3100 West Alton Road, Suite 200  
 Longwood, FL 32750-3300  
 Phone: (407) 329-1000  
 Fax: (407) 329-1001  
 Website: www.nelsonlandscape.com

**Client:**  
 Florida Department of Transportation  
 1111 North West 17th Avenue, Suite 1200  
 Fort Lauderdale, FL 33311  
**Project:**  
 Landscape Architecture  
 1111 North West 17th Avenue, Suite 1200  
 Fort Lauderdale, FL 33311  
**Project Name:**  
 Fort Lauderdale Airport  
 1111 North West 17th Avenue, Suite 1200  
 Fort Lauderdale, FL 33311

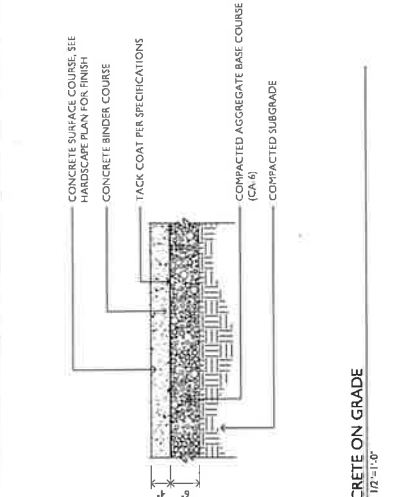
**Drawn by:**  
 J. M. [Name]  
**Checked by:**  
 J. M. [Name]  
**Project Manager:**  
 J. M. [Name]  
**Scale:**  
 As Shown  
**Date:**  
 11/11/2011

**Notes:**  
 1. ALL DIMENSIONS UNLESS OTHERWISE NOTED.  
 2. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.  
 3. ALL MATERIALS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.  
 4. ALL MATERIALS SHALL BE INSTALLED ACCORDING TO THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS FOR THE STATE OF FLORIDA.

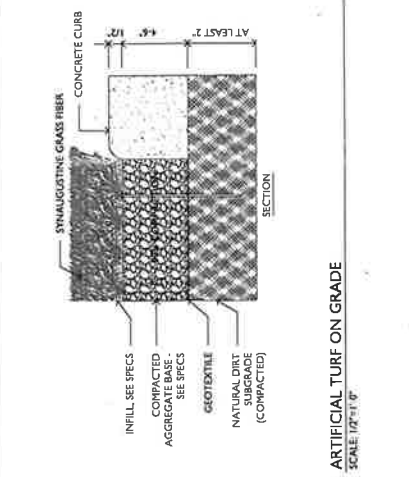
**NOTES:**  
 1. FORM SURFACES DISPATCH LITTER & RECYCLING RECEPTACLE  
 2. CONCRETE BASE PER MANUFACTURER  
 3. MANUFACTURER TO SUPPLY SHOP DRAWINGS  
 4. SOLID CAST ALUMINUM CONSTRUCTION WITH POWDERCOAT FINISH, COLOR TBD



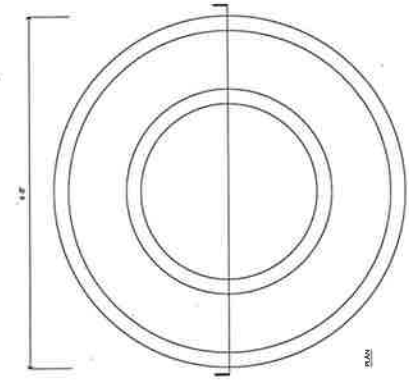
**3 LITTER RECEPTACLE**  
 SCALE: 1/2"=1'-0"



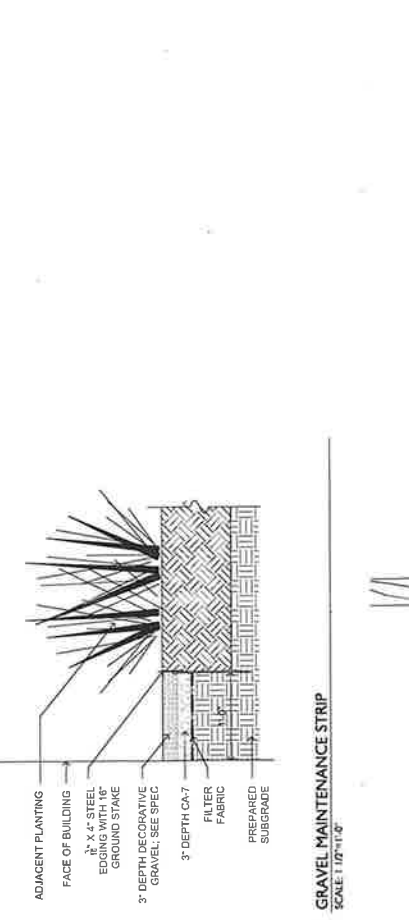
**2 CONCRETE ON GRADE**  
 SCALE: 1/2"=1'-0"



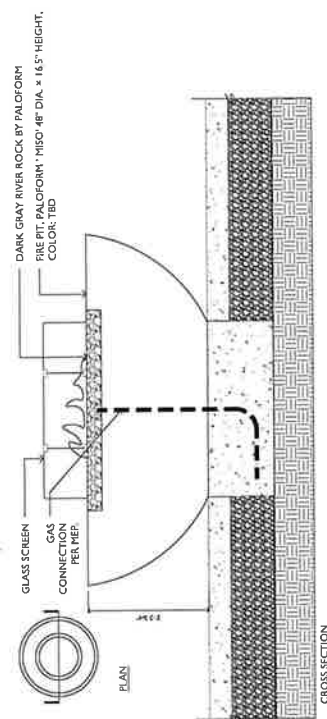
**1 ARTIFICIAL TURF ON GRADE**  
 SCALE: 1/2"=1'-0"



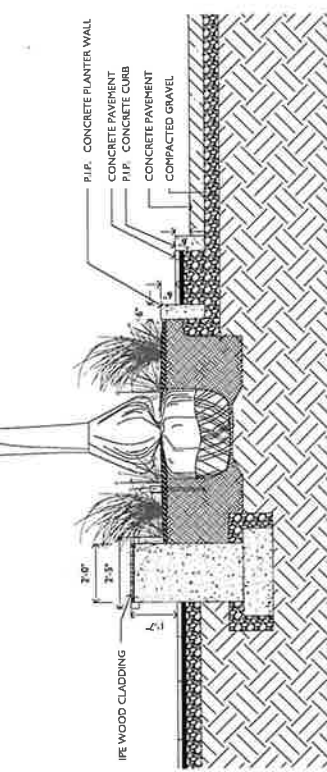
**5 FIRE PIT**  
 SCALE: 1/2"=1'-0"



**4 GRAVEL MAINTENANCE STRIP**  
 SCALE: 1/2"=1'-0"



**6 FIRE PIT ON GRADE**  
 SCALE: 1/2"=1'-0"



**5 PLANTER WITH BENCH**  
 SCALE: 1/2"=1'-0"

**NOTES:**  
 1. ALL MATERIALS SHALL HAVE UL LISTED ELECTRIC IGNITION AND THERMALLY STABLE CONTROLS AT A REASONABLE DISTANCE AWAY FROM FIRE PIT LOCATION.  
 2. ALL MATERIALS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

Item	Description	Quantity	Unit
1	Concrete on Grade	100	Sq. Yd.
2	Litter Receptacle	1	Each
3	Artificial Turf	100	Sq. Yd.
4	Gravel Maintenance Strip	100	Lf.
5	Fire Pit	1	Each
6	Planter with Bench	1	Each

**BRITANNIA**  
 Property Group  
 401 S. South Florida Blvd  
 Ft. Lauderdale, FL 33301

**HARDSCAPE DETAILS**  
 11/11/2011

**L-302**