To whom it may concern,

I trust this message finds you well. I appreciate your prompt attention to this matter. Below, you'll find an explanation regarding the project's deviation from the approved scope and the lack of notification to city staff.

Project Commencement (11/28/23)-The project initiated adhering to the initially approved scope.

Discovery of Unforeseen Challenges:

- Unanticipated issues arose, necessitating careful evaluation and adjustments.
- Partial of the of north and south elevation were initially intended to be retained, but due to termite and weather damage, the wood was deteriorating and changes were necessary.
- The east elevation porch overhang and the 2nd-floor wall could not be saved. The existing wall wasn't strong enough to sister the new lumber to.
- The south elevation required an entirely new foundation, and the east wall needed a new concrete bracing wall due to damage.
- The west elevation wall, sitting on cobblestone and not a foundation, led us to opt for new concrete.
- This decision added to the overall cost, unplanned but prioritized for safety.

Thorough Assessment and Revision:

- An internal assessment gauged the challenges' extent and their implications on the project timeline and scope.
- Given our past experience working with cities, we've regularly verified and coordinated with inspectors, adjusting plans quarterly.
- Unforeseen delays during similar projects in other cities prompted us to communicate with inspectors on-site and revise plans accordingly.
- The inspector on-site advised us to revise plans promptly. The application was amended to reflect the revised scope, accompanied by a brief explanation of the changes.

I trust this detailed explanation provides a comprehensive overview. We are committed to collaborating closely with the city legal team to ensure transparency and adherence to necessary procedures.

Thank you for your understanding and consideration.

Best Regards,

MKJH Remodeling LLC
Moses Khalil
708-372-5766

COA 23-4821-

Convert 2-Unit to Single Family Residence. Interior Rehab & New 2-Story Frame Addition including New Partitions, New Electrical, Mechanical & Plumbing Systems, New Roof System & New Rear Deck & Balcony per Plans.

223 Center Street, Naperville Illinois 60540

Building Info: 2-Story, Residential Use, Frame Building

DRAWING SHEET INDEX

CITY OF NAPERVILLE ADOPTED CODES

2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL RESIDENTIAL CODE
2012 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL FIRE CODE
2018 LIFE SAFETY CODE
ILLINOIS PLUMBING CODE
2018 INTERNATIONAL FUEL GAS CODE
2018 INTERNATIONAL PROPERTY MAINTENANCE CODE
2017 NATIONAL ELECTRICAL CODE
2021 INTERNATIONAL ENERGY CONSERVATION CODE
2018 INTERNATIONAL EXISTING BUILDING CODE

STATEMENT OF COMPLIANCE

THIS IS TO CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF CONFORM TO THE REQUIREMENTS OF THE CITY OF NAPERVILLE ADOPTED BUILDING CODES.

SIGNED: _____ DATE: 07-04-2023

ILLINOIS: LIC. NO. 001-016881, EXP. DATE: 11-30-2024

LICENSED ARCHITECT RADULE TEPAVCEVIC 001-016881 STATE OF ILLINOIS

ENERGY CONSERVATION CODE COMPLIANCE STATEMENT

I CERTIFY THAT I AM A THE REGISTERED DESIGN PROFESSIONAL FOR THIS PROJECT. I ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THE ATTACHED PLANS FOR: **223 CENTER STREET, NAPERVILLE, IL 60540** FULLY COMPLY WITH THE REQUIREMENTS OF THE 2021 INTERNATIONAL ENERGY CONSERVATION CODE, ADOPTED INTO THE CITY OF NAPERVILLE ORDINANCE

SIGNED: _____ DATE: 07-04-2023

ILLINOIS: LIC. NO. 001-016881, EXP. DATE: 11-30-2024

LICENSED ARCHITECT RADULE TEPAVCEVIC 001-016881 STATE OF ILLINOIS

LIABILITY INSURANCE:

PROVIDE LIABILITY INSURANCE (HOLD HARMLESS AGREEMENT) THE CONTRACTOR SHALL MAINTAIN CONTRACTUAL LIABILITY INSURANCE TO COVER LIABILITY ASSUMED UNDER THE FOLLOWING AGREEMENT. THE CONTRACTOR AND ANY SUBCONTRACTOR SHALL INDEMNIFY AND SAVE HARMLESS OWNER AND ARCHITECT/ENGINEER (A/E), AND THEIR PARTNERS, AGENTS AND EMPLOYEES AGAINST ANY LOSS, DAMAGE OR EXPENSE FOR WHICH THE OWNER AND A/E MAY BECOME LIABLE ON AN ACCOUNT OF BODILY INJURY INCLUDING DEATH, OR PROPERTY DAMAGE SUSTAINED BY ANYONE WHICH MAY ARISE OUT OF OR RESULT FROM THE OPERATIONS OF THE CONTRACTOR OR OF THOSE EMPLOYED BY HIS AGENTS OR SERVANTS INCLUDING HIS SUBCONTRACTORS, IN THE EXECUTION OF ANY WORK INCLUDED UNDER THIS CONTRACT, WHETHER OR NOT IT SHALL BE CLAIMED THAT THE INJURY OR DAMAGE WAS CAUSED THROUGH A NEGLIGENT ACT OR OMISSION OF THE OWNER AND A/E, THEIR AGENTS, SERVANTS OR EMPLOYEES, OR BY ANY OTHER PERSONS WHOMSOEVER: AND THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, APPEAR, DEFEND, PAY ALL COSTS AND EXPENSES, INCLUDING ATTORNEY'S FEES AND ALL JUDGEMENTS IN CONNECTION WITH LIABILITY ASSUMED HERE UNDER. THE FOLLOWING INDEMNIFICATION SHALL ALSO INCLUDE ALL LIABILITY OF THE OWNER, A/E AND OTHER MENTIONED PERSONS ARISING UNDER THE SO CALLED "STRUCTURAL WORK ACT" (CH. 48 SEC. 60-90 ILLINOIS REVISED STATS.) EACH AND EVERY CONTRACTOR AND SUBCONTRACTOR WHEN ACCEPTING CONTRACTUAL OBLIGATIONS FOR THIS PROJECT SHALL UNDERSTAND THAT A PREREQUISITE TO ANY OPERATION AT PROJECT WHETHER FILED WITH OWNER OR NOT, THAT THEY HAVE IMPLIED AGREEMENT TO THE ABOVE ITEM, (HOLD HARMLESS AGREEMENT AND ITS SPECIFIC WORDING)

LIMIT OF WARRANTY OF ARCHITECT'S WORK PRODUCT:

THE A/E AND HIS CONSULTANTS DO NOT WARRANTY OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE WORK BEYOND A REASONABLE DILIGENCE. IF ANY ERRORS, DISCREPANCIES OR OMISSIONS ARE FOUND TO EXIST IN THE WORK PRODUCT, THE A/E SHALL BE PROMPTLY NOTIFIED SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE A/E OF SUCH CONDITIONS SHALL ABSOLVE THE A/E FROM ANY RESPONSIBILITY OF SUCH FAILURE. ACTION TAKEN WITHOUT KNOWLEDGE AND CONSENT OF THE A/E OR IN CONTRADICTION TO THE WORK PRODUCT OR THE RECOMENDATIONS OF THE A/E SHALL BECOME THE RESPONSIBILITY OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

NOTES:

1. THE INFORMATION SHOWN ON THESE DRAWINGS IS BASED ON THE BEST INFORMATION AVAILABLE AT THE TIME TO THE A/E THIS INFORMATION CANNOT BE GUARANTEED TO SHOW EVERY EXISTING CONDITIONS. THE CONTRACTORS SHALL READ AND STUDY THE TOTAL SET OF PLANS FOR ALL WORK. CONTRACTOR MUST VISIT THE SITE AND DETERMINE ALL FIELD CONDITIONS. ALL DIMENSIONS SHALL BE FIELD VERIFIED AND ALL DISCREPANCIES SHALL BE REPORTED TO A/E PRIOR TO BID SUBMISSIONS.
2. THE INFORMATION SHOWN IN THESE DRAWINGS ARE FOR BIDDING PURPOSES ONLY. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL PROVIDE SHOP DRAWINGS COORDINATED WITH ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL AND STRUCTURAL DESIGN FOR REVIEW AND APPROVAL BY THE A/E OF RECORD. (R.T. 10.17.2023)

ADDITIONAL GENERAL NOTES

1. THE WORK SHALL NOT CAUSE THE STRUCTURE TO BECOME UNSAFE OR ADVERSELY AFFECT THE PERFORMANCE OF THE BUILDING.
2. STRUCTURAL ELEMENTS THAT ARE UNCOVERED DURING THE COURSE OF THE ALTERATION AND THAT ARE FOUND TO BE UNSOUND OR DANGEROUS SHALL BE MADE TO COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE 2018 IRC.
3. IN THE EXISTING HOUSE, A SMOKE DETECTOR MUST BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EVERY FLOOR.
4. SMOKE ALARMS IN THE PORTION OF THE RESIDENCE THAT IS NOT IMPACTED BY THE SCOPE OF WORK SHALL BE PERMITTED TO BE BATTERY POWERED AND INTERCONNECTED. SMOKE ALARMS WITHIN THE AREA OF THE SCOPE OF WORK SHALL BE INTERCONNECTED, 110V, HARD WIRED, WITH BATTERY BACKUP. 2018 IRC NAPERVILLE R314.
5. IN THE EXISTING HOUSE, A MINIMUM OF ONE CARBON MONOXIDE DETECTOR SHALL BE INSTALLED WITHIN 15 FEET OF ANY SLEEPING AREA WITHIN ANY DWELLING UNIT. CARBON MONOXIDE DETECTORS IN THE PORTION OF THE RESIDENCE THAT IS NOT IMPACTED BY THE SCOPE OF WORK SHALL BE PERMITTED TO BE BATTERY POWERED.
6. ALL ILLINOIS HOMES ARE REQUIRED TO HAVE SMOKE ALARMS WITH A SELF-CONTAINED, NON-REMOVABLE, LONG TERM (10-YEAR LITHIUM) BATTERY, EFFECTIVE JAN. 1ST, 2023
7. ANY EXISTING NON-HARDWIRED, BATTERY-POWERED SMOKE ALARMS MUST BE REPLACED WITH A 10-YEAR SEALED BATTERY SMOKE ALARM IF ANY OF THE FOLLOWING IS TRUE:
   - THE UNIT IS 10 YEARS OLDER THAN THE DATE OF MANUFACTURE (OR IF THERE IS NO MANUFACTURED DATE ON THE DEVICE).
   - THE UNIT IS NO LONGER IN OPERATION OR FAILS TO RESPOND TO OPERABILITY TESTING
   - A NEW DEVICE IS BEING INSTALLED

REVISIONS

NO:	BY:	DATE:	DESCRIPTION:
	RT	07/07/2023	Review
	RT	07/24/2023	Permit

Convert 2-Unit to Single Family Residence. Interior Rehab & New 2-Story Frame Addition including New Partitions,

R.T. ARC

RADULE
7501 BROW
FOREST I
TEL: (
rtepavce

PROJECT ARC
RT

DRAFTPERSO
CS

APPROVED:
RT

PREPARED FO
OWNER

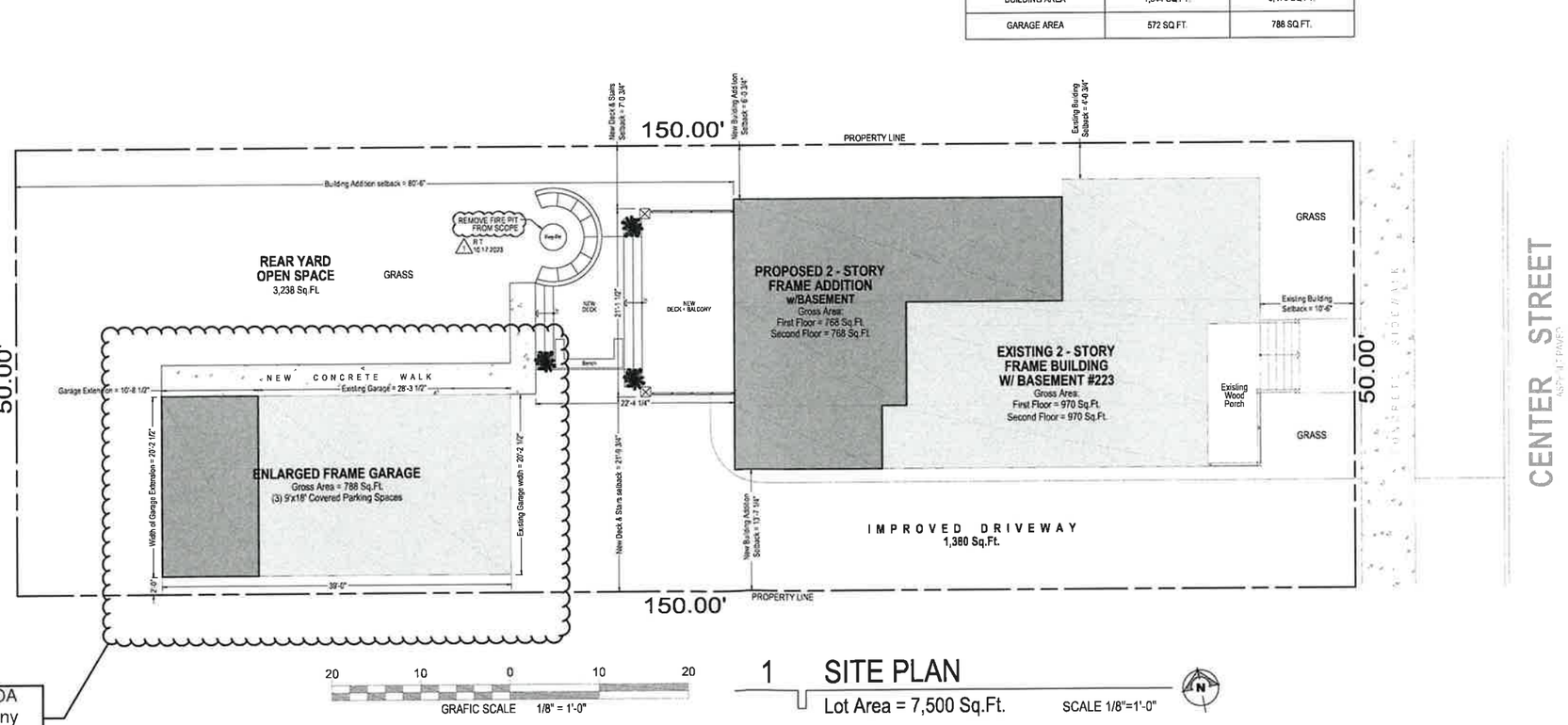
LOCATION:
223 Center Stre
Naperville, IL 6

JOB NUMBER:
223CS-070420

SHEET No:

SHEET Name:
Title Sh

BUILDING INFORMATION		
	EXISTING	PROPOSED
YEAR BUILT	1865	---
STORIES	TWO	TWO
No. OF BUILDINGS / MATERIAL	ONE / FRAME	ONE / FRAME
FLOOR AREA RATIO	0.33	0.57
LOT COVERAGE	0.20	0.33
RESIDENTIAL UNITS	ONE	ONE
LOT AREA	7,500 SQ.FT.	7,500 SQ.FT.
BUILDING AREA	1,944 SQ.FT.	3,476 SQ.FT.
GARAGE AREA	572 SQ.FT.	788 SQ.FT.



1 SITE PLAN

Lot Area = 7,500 Sq.Ft. SCALE 1/8"=1'-0"

The scope of approval for COA 23-4821 does NOT include any work to the detached garage

REVISIONS:

NO:	BY:	DATE:	DESCRIPTION:
	RT	07/24/2023	Review
	RT	10/31/2023	Permit

Convert 2-Unit to Single Family Residence. Interior Rehab & New 2-Story Frame Addition including New Partitions,

R.T. ARC
RADULE
7501 BROA
FOREST
TEL.: (
rtepave

PROJECT AR
RT
DRAFTPERS
CS
APPROVED.
RT
PREPARED F
OWNER
LOCATION:
223 Center St
Naperville, IL
JOB NUMBE
223CS-07042

SHEET No.

SHEET Name:
Site Pla

LICENSED ARCHITECT
RADULE TEPAVCEVIC
001-015861
STATE OF ILLINOIS

ABBREVIATIONS

A		**G**		**Q**	
AC	Accustical ceiling	GA	Gauge	QTY	Quantity
A/C	Air conditioning	GALV	Galvanized		
ADJ	Adjacent	GC	General Contractor	**R**	
AFF	Above finished floor	GL	Glass	R	Radius
ALT	Alternate	GRD	Ground	RAD	Radius
AL	Aluminum	GWB	Gypsum Wallboard	RD	Roof Drain
ALUM	Aluminum	GYP	Gypsum	REF	Reference
AP	Access panell			REINF	Reinforced, Reinforcing
APPROX	Approximately	**H**		REQD	Required
		HB	Hose Bibb	REV	Revise(d), Revision
B		HC	Handicapped Accessible	RM	Room
B/	Bottom, Bottom of	HDWE	Hardware	RO	Rough Opening
BD	Board	HM	Hollow Metal		
BLDG	Building	HORIZ	Horizontal	**S**	
BLK	Block, Blocking	HP	High Point	S	South
BM	Beam	HVAC	Heating, Ventilation & A/C	SC	Solid Core
BSMT	Basement			SECT	Section
		I		SF	Square feet
C		IN	Inch	SHT	Sheet
CAB	Cabinet	INSUL	Insulated, Insulation	SIM	Similar
C/C	Center-to-center	INT	Interior	SPEC	Specification
CJ	Control joint			SPKR	Speaker
CL	Center line	**J**		SPRK	Sprinkler
CLG	Ceiling	JT	Joint	SS	Stainless Steel
CLR	Clear			ST	Stainless
CMU	Concrete Masonry Unit	**L**		STD	Standard
COL	Column	LAM	Laminate	STL	Steel
CONC	Concrete	LAV	Lavatory	STRUCT	Structural
CONST	Construction	LP	Low Point	SUSP	Suspended
CONT	Continuous	LT	Light		
CORR	Corridor	LTG	Lighting	**T**	
CPT	Carpet			T/	Top of
CT	Ceramic tile	**M**		T&B	Top and bottom (of)
		MACH	Machine	T&G	Tongue & groove
D		MAS	Masonry	TEL	Telephone
DIA	Diameter	MATL	Material	THK	Thick
DIM	Dimension	MAX	Maximum	TYP	Typical
DN	Down	MECH	Mechanical		
DR	Door	MFR	Manufacturer	**U**	
DTL	Detail	MIN	Minimum	UL	Underwriters Laboratory
DWG	Drawing	MISC	Miscellaneous	UNO	Unless noted otherwise
		MO	Masonry Opening		
E		MTL	Metal	**V**	
E	East	MULL	Mullion	VB	Vapor Barrier
EA	Each			VCT	Vinyl Composition Tile
ELEC	Electric, Electrical	**N**		VERT	Vertical
ELEV	Elevator, Elevation	N	North	VIF	Verify in field
EQ	Equal	NC	Non-combustible	VT	Vinyl tile
EX	Existing	NIC	Not in Contract	VWC	Vinyl wall covering
EXIST	Existing	NO	Number		
EXP	Exposed	NOM	Nominall	**W**	
EXT	Exterior	NRC	Noise Reduction Coefficient	W	Width
		NTS	Not to scale	W/	With
F				W/O	Without
FD	Floor Drain	**O**		WC	Water closet
FDN	Foundation	OC	On center	WD	Wood
FF	Finished Floor	OCC	Occupancy, Occupant(s)	WDV	Wood veneer
FIN	Finish, Finished	OH	Opposite Hand	WH	Water heater
FL	Floor	OPNG	Opening	WP	Waterproofing, Work point
FLR	Floor	OPP	Opposite	WWF	Welded Wire Fabric
FTG	Footing				
FUT	Future	**P**			
		PLAM	Plastic Laminate		
		PLBG	Plumbing		
		PLWD	Plywood		
		PROP	Property		
		PTD	Painted		
		PVC	Polyvinyl Chloride		

WORKING DRAWING NOTES

1. CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO BIDDING AND START OF AND DURING CONSTRUCTION. IF ANY DISCREPANCIES OR OMISSIONS ARE FOUND, THE ARCHITECT SHALL BE NOTIFIED, IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
2. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL RELY ON WRITTEN DIMENSIONS GIVEN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATIONS. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR AND COORDINATED WITH ALL OF THE WORK OF ALL TRADES, IF DISCREPANCIES ARE FOUND , THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING FOR CLARIFICATION BEFORE THE COMMENCEMENT OR RETURN TO WORK.
3. ABBREVIATIONS THROUGHOUT THE PLANS ARE THOSE IN COMMON USE . NOTIFY THE ARCHITECT OF ANY ABBREVIATIONS IN QUESTION.
4. DIMENSIONS SHOWN ON FLOOR PLANS , SECTIONS, ELEVATIONS, AND DETAILS ARE TO FINISH FACE OF WALL, MASONRY, OR CONCRETE, UNLESS OTHERWISE NOTED.
5. IN THE CASE OF A CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS, SPECIFICATIONS SHALL TAKE PRECEDENCE, CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER OF ANY CONFLICT BEFORE PROCEEDING WITH THE WORK.
6. THE SPECIFICATIONS AND ALL CONSULTANT DRAWINGS ARE SUPPLEMENTAL TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF ANY OF THE CONSULTANT'S WORK AND TO BRING ANY DISCREPANCIES OR CONFLICTS TO THE ATTENTION OF THE ARCHITECT, IN WRITING FOR CLARIFICATION. IMPROPERLY INSTALLED WORK SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT HIS EXPENSE AND AT NO EXPENSE TO THE ARCHITECT, HIS/HER CONSULTANTS, OR THE OWNER
7. THE ARCHITECT SHALL BE CONSULTED IN ALL CASES WHERE CUTTING INTO AN EXITING STRUCTURAL PORTION OF ANY BUILDING IS EITHER EXPIDIENTOR NECESSARY. PRIOR TO PROCEEDING WITH WORK, REINFORCEMENT AND/OR SUPPORT SATISFACTORY TO ARCHITECT AND STRUCTURAL ENGINEER SHALL BE PROVIDED BY CONTRACTOR PRIOR TO CUTTING INTO STRUCTURAL PORTIONS OF ANY BUILDING.
8. LEGAL EXITS SHALL NOT BE BLOCKED AT ANY TIME.
9. FINAL CLEAN UP AND DISPOSAL: REMOVE DEBRIS, RUBBISH, AND WASTE MATERIALS FROM THE OWNERS PROPERTY TO A LAWFUL DISPOSAL AREA AND PAY ALL HAULING AND DUMPING COSTS. CONFORM TO PERTAINING FEDERAL, STATE AND LOCAL LAWS, REGULATIONS AND ORDERS UPON COMPLETION OF WORK, ALL CONSTRUCTION AREAS SHALL BE LEFT VACUUM-CLEAN AND FREE FROM DEBRIS, CLEAN ALL DUST, DIRT, STAINS, HANDMARKS, PAINT SPOTS, DROPPINGS AND OTHER BLEMISHES.
10. PRIOR TO INSPECTION OF EXISTING FACILITY, THE CONTRACTOR MUST RECEIVE PERMISSION FOR SITE ACCESS FROM THE OWNER OR THE DESIGNATED REPRESENTATIVE.
11. WHEN IT IS NECESSARY TO INTERRUPT ANY EXISTING UTILITY SERVICE TO MAKE CORRECTIONS AND/OR CONNECTION, A MINIMUM OF 48 HOURS ADVANCE NOTICE SHALL BE GIVEN TO THE OWNER. INTERRUPTIONS IN UTILITY SERVICES SHALL BE OF THE SHORTEST POSSIBLE DURATION FOR THE WORK AT HAND AND SHALL BE APPROVED IN ADVANCE BY THE OWNER.
12. IN THE EVENT THE UTILITY SERVICE IS INTERRUPTED WITHOUT THE REQUIRED 48 HOUR NOTICE, THEN THE CONTRACTOR SHALL BE FINANCIALLY LIABLE FOR ALL DAMAGES SUFFERED BY THE OWNER DUE TO THE UNAUTHORIZED INTERRUPTION. RECONNECTION SHALL BE MADE IMMEDIATELY.
13. IF THE CONTRACTOR ASCERTAINS AT ANY TIME THAT THE REQUIREMENTS OF THIS CONTRACT CONFLICT WITH, OR ARE IN VIOLATION OF, APPLICABLE LAWS, CODES, REGULATIONS, AND ORDINANCES, HE SHALL NOT PROCEED THE WORK IN QUESTION, EXCEPT AT HIS OWN RISK, UNTIL ARCHITECT HAS BEEN NOTIFIED IN WRITING AND WRITTEN DETERMINATION IS MADE BY THE ARCHITECT. WHERE COMPLETED OR PARTIALLY COMPLETED WORK IS DISCOVERED TO BE IN VIOLATION WITH APPLICABLE LAWS, CODES, REGULATIONS AND ORDINANCES, CONTRACTOR SHALL BE REQUIRED TO REMOVE THAT WORK WITH ALL NEW COMPLYING WORK AT NO ADDITIONAL EXPENSE TO THE OWNER, ARCHITECT OR CONSULTANTS.
14. ANY WORK INSTALLED IN CONFLICT WITH THE CONTRACT DOCUMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS/HER EXPENSE AND AT NO ADDITIONAL EXPENSE TO THE OWNER, ARCHITECT OR CONSULTANTS.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING FLOOR-TO FLOOR ELEVATIONS; THE NEW BUILDING EXPANSION'S GROUND FLOOR SHALL ALIGN IN ELEVATION WITH RESPECTIVE FLOORS IN EXISTING BUILDING.
16. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, EQUIPMENT, TRANSPORTATION AND SERVICES NECESSARY FOR THE SATISFACTORY COMPLETION OF WORK UNLESS DESIGNATED (N.I.C) OR (O.F.O.I.). ALL EQUIPMENT, WORK AND MATERIALS SHALL COMPLY WITH ALL CURRENT AND LOCAL APPLICABLE CODES AND GOVERNING REGULATIONS, AND CONTRACT DOCUMENTS.
17. THE CONTRACTOR SHALL PROTECT ALL FINISH WORK AND SURFACES FROM DAMAGE DURING THE COURSE OF CONSTRUCTION AND SHALL REPLACE AND/OR REPAIR ALL DAMAGED SURFACES CAUSED BY THE CONTRACTOR OR SUBCONTRACTOR PERSONNEL TO THE SATISFACTION OF THE OWNER AND ARCHITECT.
18. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PERMITS AND INSPECTIONS.
19. SPECIAL NOTICE TO CONTRACTOR: ALL CONTRACTORS PERFORMING WORK ON THE PREMISES SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING A REASONABLE AND PRUDENT SAFETY PROGRAM INCLUDING BUT NOT LIMITED TO THE ISOLATION OF WORK AREAS AND PROMPT REMOVAL OF ANY DEBRIS OR TOOLS WHICH MAY ENDANGER VISITORS AND STAFF OF THE OWNER OR ARCHITECT.
20. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES BELOW GRADE AND RELATED SERVICE CONNECTIONS WITH THE RESPECTIVE UTILITY COMPANIES.
21. THE CONTRACTOR SHALL PROVIDE SANITARY FACILITIES FOR WORKER'S USE. EXISTING FACILITIES SHALL AND MAY NOT BE USED.
22. THE CONTRACTOR SHALL OBTAIN OSHA PERMITS FOR ANY VERTICAL EXCAVATION OVER 5'-0" DEEP INTO WHICH PERSONS MUST DESCENT.
23. CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING ALL PERMITS AND FEES REQUIRED, NOT NORMALLY COVERED BY THE BUILDING PERMITS.
24. DRAWINGS OF EXISTING CONDITIONS HAVE BEEN COMPILED FROM EXISTING DATA SUPPLIED BY THE OWNER TO THE ARCHITECT. THE ARCHITECT MAKES NO WARRANTY EITHER EXPRESSED OR IMPLIED, FOR THE ACCURACY OR COMPLETENESS OF THE EXISTING INFORMATION RECORDED. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS. NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
25. THE EXIT DOOR MUST OPEN OVER A LANDING NOT MORE THAN 1'-0" BELOW THE THRESHOLD.
26. OVERHEAD DOORS ARE NOT PERMITTED AS EXIT DOORS.
27. THE CONSTRUCTION OR DEMOLITION OF ANY BUILDING STRUCTURE, SCAFFOLDING OR FALSEWORK MORE THAN THREE STORIES OR 36'-0" IN HEIGHT REQUIRES A PERMIT FROM THE STATE OF ILLINOIS DIVISION OF INDUSTRIAL SAFETY (OR EQUAL) PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
28. APPROVED NUMBERS AND ADDRESSES SHALL BE PROVIDED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET.

MATERIAL NOTES

WOOD

1. SOUTHERN YELLOW PINE, PRESSURE TREATED USING ACQ-C, ACQ-D, CBA-A OR CA-B PRESERVATIVE. GRADE No.1 OR BETTER SHALL BE USED FOR COLUMNS AND GRADE No2 OR BETTER SHALL BE USED FOR ALL OTHER MEMBERS
2. ALL WOOD CONSTRUCTION SHALL CONFORM TO THE AITC (AMERICAN INSTITUTE OF TIMBER CONSTRUCTION) AND THE APA (AMERICAN PLYWOOD ASSOCIATION) NATIONAL DESIGN SPECIFICATIONS.
3. ALL WOOD CONSTRUCTION EXPOSED TO WEATHER TO BE PRESSURE TREATED.

FASTENERS

FASTENERS SHALL BE AS FOLLOWS:
1. NAILS: STAINLESS STEEL OR HOT-DIPPED GALVANIZED, SIZED AS SPECIFIED IN DETAILS.
2. DECK SCREWS: 2-1/2" TO 3-1/2" LONG, #8 MINIMUM SIZE, STAINLESS STEEL OR HOT-DIPPED GALVANIZED.
3. LAG BOLTS: STAINLESS STEEL OR HOT-DIPPED GALVANIZED, SIZED AS SPECIFIED IN DETAILS. MATERIAL SHALL BE SAE GRADE #2.
4. HEX BOLTS: STAINLESS STEEL OR HOT-DIPPED GALVANIZED, SIZED AS SPECIFIED IN DETAILS. MATERIAL SHALL BE ASTM A307

CONCRETE

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE "AMERICAN CONCRETE INSTITUTE BUILDING CODE" (ACI 318) AND WITH "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 301), LATEST EDITION.
2. ALL NORMAL WEIGHT CONCRETE (145 P.C.F.) SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH AS FOLLOWS:
   FOOTINGS - 3500 PSI
   PEDESTALS - 3500 PSI
3. PROVISIONS MUST BE TAKEN TO PROTECT ALL CONCRETE WORK FROM FROST DAMAGE WITH SPECIAL ATTENTION PAID TO FOOTING AND OTHER ON-GRADE CONSTRUCTION PRIOR TO BACKFILLING AND ENCLOSING THE BUILDING.
4. CALCIUM CHLORIDE AND/OR ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL NOT BE USED IN CONCRETE.
5. ALL CONCRETE SUBJECT TO EXTERIOR EXPOSURE WITH SPECIFIED STRENGTH LESS THAN 6000 PSI SHALL BE AIR ENTRAINED 4% TO 6%.
6. COLD WEATHER CONCRETING SHALL BE DONE IN ACCORDANCE WITH ACI-306, HOT WEATHER CONCRETING SHALL BE DONE IN ACCORDANCE WITH ACI-305.
7. EXCAVATION WORK TO BE PERFORMED BY A LICENSED, INSURED & BONDED, EXCAVATION CONTRACTOR, WITH THE CITY OF NAPERVILLE.

REINFORCEMENT BARS

1. REINFORCEMENT BARS SHALL BE ASTM A615, GRADE 60 STEEL.

MASONRY

1. MASONRY UNITS SHALL COMPLY WITH APPLICABLE ASTM STANDARDS, AND MORTAR SHALL BE TYPE M OR S, WITH f'm≥ 1,150 PSI

METAL CONSTRUCTION CONNECTORS

1. SHALL BE STAINLESS STEEL, HOT-DIPPED GALVANIZED OR TRIPLE ZINC GALVANIZED (G-185), SIMPSON STRONG TIE, UNITED STEEL PRODUCTS OR EQUAL, TO BE USED FOR JOIST HANGER, COLUMN BASE, METAL STRAP AND METAL ANGLE CONNECTIONS. NOTE THAT IF HOT-DIPPED GALVANIZED OR TRIPLE ZINC GALVANIZED CONNECTORS ARE USED, ALL THE FASTENERS FOR THAT CONNECTION MUST BE HOT-DIPPED GALVANIZED AS WELL, SINCE THE STAINLESS STEEL COULD DAMAGE THE GALVANIZING.

FLASHING AND SEALANTS

1. FLASHING SHALL BE 28 GA. STAINLESS STEEL (0.015 in MINIMUM THICKNESS ASTM A167, TYPE 304) OR 16oz ROLLED COPPER (0.021 in MINIMUM THICKNESS ASTM B370). CARLISLE COATINGS' CCW-705 SELF-ADHERING VAPOR/AIR BARRIER SYSTEM OR EQUAL SHALL BE USED FOR THE VAPOR BARRIER AT THE LEDGER BEAM CONNECTIONS. SEALANT SHALL BE 100% SILICONE RUBBER SEALANT WITH A 50 YEAR DURABILITY GUARANTEE.

STRUCTURAL STEEL

1. ALL STRUCTURAL STEEL SHALL BE ASTM A-36, COATED WITH A RUST PROHIBITED PRIMER WITH A MINIMUM DRY THICKNESS OF 3 MILS.

TABLE A - METAL CONNECTORS

ITEM	SST MODEL#	USP MODEL#	GAGE	INSTALLATION HARDWARE
SINGLE JOIST HANGER 1	LUS210 Z OR SS	JUS210 TZ, SS	18	4-10d (Joist), 8-10d (Header)
DOUBLE JOIST HANGER 2	LUS210-2Z OR SS	JUS210-2TZ, SS	18	6-16d (Joist), 8-16d (Header)
SINGLE JOIST HANGER 3	LUS28 Z	JUS28 TZ, SS	18	4-10d (Joist), 6-10d (Header)
DOUBLE JOIST HANGER 4	LUS28-2Z	JUS28-2TZ	18	4-16d (Joist), 6-16d (Header)
METAL ANGLE 1	L90 Z	AC9 TZ	16	10-10d, 5 each Leg
METAL ANGLE 2	A23 Z	A3 TZ	18	5-10d x 1-1/2", 4 each Leg
METAL ANGLE 3	TA9 Z OR KT	SCA9 TZ	12	5-1/4" dia. x 1-1/2" wood Screw
COLUMN BASE, 6"x6" POST	CBSQ66-SDS2 HDG	CBSQ66-SDS2 TZ	12	14-1/4" dia. x 2" wood Screws
COLUMN BASE, 6"x6" POST	ABU66Z	---	12	12-16d, (2) 1/2" Ø Bolts, 5/8" Anchor
POST BASE, RAILING POST	PBS44A HDG	WAS 44 TZ	12	14-16d, (2) 1/2" dia. Bolts
METAL STRAP	MSTA12 Z OR SS	MSTA12 TZ, SS	18	10-10d
POST BASE PLATE	CPS4	CPB44	--	4-10d

NOTES:
1. USE SMALLER LENGTH NAILS WITH SPECIFIED PENNY WEIGHT.
2. SST = SIMPSON STRONG TIE, USP = UNITED STEEL PRODUCTS, HDG = HOT DIPPED GALVANIZED
SS = STAINLESS STEEL, Z = ZAMAX GALVANIZED (G-185), TZ = TRIPLE ZINC GALVANIZED (G-185)

FLAME SPREAD RATING

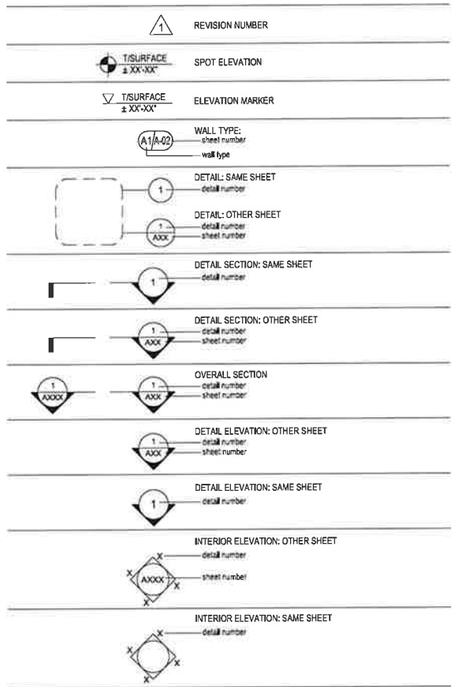
MATERIALS USED FOR INTERIOR WALL AND CEILING FINISH SHALL CONFORM AS FOLLOWS:	
STAIRWAYS, PUBLIC LOBBIES & PUBLIC CORRIDORS	CLASS 1
BUSINESS UNITS	CLASS 2
RESIDENTIAL UNITS	CLASS 1

FLAME SPREAD RATING		
CLASSIFICATION	FLAME SPREAD RATING	SMOKE DEVELOPED
CLASS 1	0 TO 12	200
CLASS 2	26 TO 76	450
CLASS 3	76 TO 200	450

BUILDING DESIGN LOADS

ROOF LOADS	
LIVE LOAD	15 PSF
DEAD LOAD	15 PSF
SNOW LOAD	25 PSF
DRIFT SNOW LOAD	15 PSF
FIRST FLOOR LOADS	
LIVE LOADS	
RESIDENTIAL	40 PSF
DEAD LOADS	20 PSF
LATERAL LOADS	
WIND LOADS	20 PSF

GENERAL DRAWING SYMBOLS



REVISIONS:

NO:	BY:	DATE:	DESCRIPTION:
	RT	07/04/2023	Review
	RT	09/04/2023	Permit

Convert 2-Unit to Single Family Residence, Interior Rehab & New 2-Story Frame Addition including New Partitions,

R.T. ARC
RADULE
7501 BROV
FOREST
TEL.: (
rtepavc

PROJECT AR
RT

DRAFTPERSO
CS

APPROVED:
RT

PREPARED F
OWNER

LOCATION:
223 Center St
Naperville, IL

JOB NUMBER
223CS-07042

SHEET No.:

SHEET Name:
Genera
Informa

DIVISION 1 GENERAL REQUIREMENTS

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES AND ORDINANCES AND ALL AUTHORITIES HAVING JURISDICTION.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH WORK AND NOTIFY SUPERINTENDENT AT ONCE OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
3. PLUMBING SCHEMATIC DRAWING, HVAC DRAWING, SEWER MAIN, ELECTRICAL OUTLETS, SWITCHES, LIGHT LOCATIONS FOR ROUTING ALL PLUMBING, MECHANICAL AND ELECTRICAL WORK IS TO BE COORDINATED BETWEEN THE TRADES AFFECTED BY THE WORK AS PART OF THEIR INSTALLATION LAYOUT. NO PLUMBING, MECHANICAL OR ELECTRICAL INFORMATION IS TO BE SCALED FROM THE DRAWING.
4. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF EACH SUBCONTRACTOR.
5. EXTRAS SHALL BE AUTHORIZED IN WRITTEN CHANGE ORDERS ONLY BY THE A/E OF RECORD, OWNER TO AUTHORIZE CHANGE ORDERS IF CONTRACT BETWEEN OWNER & CONTRACTOR ALOWS THEM.
6. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER.
7. EACH CONTRACTOR SHALL INCLUDE LABOR, MATERIALS, TOOLS, EQUIPMENT, ETC., FOR THE COMPLETE CONSTRUCTION OF WORK INDICATED AND SPECIFIED BY THE DRAWINGS AND SPECIFICATIONS.
8. MATERIALS AS SPECIFIED ON DRAWINGS SHALL BE USED OR EQUAL APPROVED.
9. SUBSTITUTION OF MATERIALS SHALL NOT BE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE GENERAL CONTRACTOR.
10. EACH SUBCONTRACTOR SHALL AMEND AND MAKE GOOD AT HIS/HER OWN COST, ANY DEFECT OR OTHER FAULTS IN THEIR WORK OR MATERIAL.
11. EACH CONTRACTOR IS TO CLEAN UP DEBRIS INSIDE AND OUTSIDE THE BUILDING SITE WHICH HAS BEEN CAUSED BY THEIR WORK OR BE BACKCHARGED AT A RATE OF $45.00 PER HOUR.
12. THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION.
13. ALL WORK AND USE OF MATERIALS SHALL BE IN ACCORDANCE WITH THE APPLICABLE MANUFACTURER'S TRADE ASSOCIATION AND/OR INSTITUTE STANDARDS AND SPECIFICATIONS.
14. OWNER WILL REQUIRE THE SUBCONTRACTORS TO OBTAIN AND MAINTAIN COMMERCIAL GENERAL LIABILITY INSURANCE WITH BROAD FROM PROPERTY DAMAGE COVERAGE AND CONTRACTUAL LIABILITY ENDORSEMENT INSURING THE INDEMNITY REQUIRED OF THE CONTRACTOR. THE INDEMNITIES ENDORSEMENT INCLUDED ON THE CONTRACTOR'S COMMERCIAL GENERAL LIABILITY POLICY WILL PROVIDE THE FOLLOWING:
    A. THAT THE COVERAGE AFFORDED THE ADDITIONAL INSURED WILL BE THE PRIMARY INSURANCE FOR THE ADDITIONAL INSURED WITH RESPECT TO CLAIMS ARISING OUT OF OPERATIONS PERFORMED ON OR ON BEHALF OF THE CONTRACTOR.
    B. THAT IF THE ADDITIONAL INSURED HAVE OTHER INSURANCE WHICH IS APPLICABLE TO THE LOSS SUCH OTHER INSURANCE WILL BE ON AN EXCESS OR CONTINGENT BASIS.
    C. THAT THE AMOUNT OF THE COMPANY'S LIABILITY UNDER THE INSURANCE POLICY WILL NOT BE REDUCED BY THE EXISTENCE OF SUCH OTHER INSURANCE.
    D. THAT ADDITIONAL INSURED WILL BE GIVEN NOT LESS THAN 30 DAYS PRIOR WRITTEN NOTICE OF ANY CANCELLATION THEREOF.
    E. SUBCONTRACTORS SHALL CARRY THE FOLLOWING MINIMUM INSURANCE COVERAGE:

LIABILITY:	$ 1,000,000.00
BODILY INJURY:	$ 1,000,000.00
PROPERTY DAMAGE:	$ 1,000,000.00

DIVISION 2 SITE WORK

1. REMOVE EXISTING CONSTRUCTION AND PERFORM DEMOLITION WORK AS NECESSARY TO PREPARE THE SITE FOR THE NEW WORK AS FURTHER DESCRIBED IN THE CONTRACT DOCUMENTS.
2. REMOVE ALL DEMOLISHED MATERIALS FROM SITE IMMEDIATELY.
3. MAINTAIN EXIT AND ACCESS WAYS IN A CLEAN, UNOBSTRUCTED, AND PROPERLY ILLUMINATED MANNER AT ALL TIMES.
4. PROTECT UNAFFECTED SPACES FROM DUST, NOISE AND DAMAGE. MAINTAIN SITE IN A CLOSED AND
5. SECURE MANNER TO PREVENT THEFT, VANDALISM, AND UNAUTHORIZED ENTRY.

DIVISION 3 CONCRETE

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE "AMERICAN CONCRETE INSTITUTE BUILDING CODE" (ACI 318) AND WITH "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 301), LATEST EDITION.
2. ALL NORMAL WEIGHT CONCRETE (145 P.C.F.) SHALL OBTAINA MINIMUM 28 DAY COMPRESSIVE STRENGTH AS FOLLOWS:
    A. FOOTINGS 3500 PSI
    B. FOUNDATION WALLS 3500 PSI
3. CALCIUM CHLORIDE AND/OR ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL NOT BE USED IN CONCRETE.
4. ALL CONCRETE SUBJECT TO EXTERIOR EXPOSURE WITH SPECIFIED STRENGTH LESS THAN 6000 PSI SHALL BE AIR ENTRAINED 4% TO 6%.
5. COLD WEATHER CONCRETING SHALL BE DONE IN ACCORDANCE WITH ACI-306, HOT WEATHER CONCRETING SHALL BE DONE IN ACCORDANCE WITH ACI-305.
6. BEARING CAPACITY OF SOIL SHALL BE 3000 LB/SF.
7. IN CASE OF OVEREXCAVATING FOR FOOTING, ALL EVEREXCAVATION UNDER FOOTING SHALL BE FILLED WITH CONCRETE.

DIVISION 4 MASONRY

1. CLAY, BRICK, AND CONCRETE MASONRY CONSTRUCTION SHALL CONFORM TO THE "BUILDING CODE REQUIREMENTS FOR ENGINEERED BRICK MASONRY" ISSUED BY THE BRICK INSTITUTE OF AMERICA AND "SPECIFICATION FOR THE DESIGN AND CONSTRUCTION OF LOAD BEARING CONCRETE MASNRY" ISSUED BY THE NATIONAL CONCRETE MASONRY ASSOCIATION, LATEST EDITION.
2. GIVEN DESIGN DATA ASSUMES THE EXISTENCE OF ADEQUATE FIELD SUPERVISION OF CONSTRUCTION, FULFILLING THE "WITH INSPECTION" CRITERIA OF THE CODES.
3. MASONRY MATERIALS SHALL CONFORM TO THE LATEST EDITIONS OF HE FOLLOWING SPECIFICATIONS:
    A. HOLLOW-LOAD BEARING UNITS, ASTM C90, COMPRESSIVE STRENGTH SHALL BE OVER 1,600 PSI ON AVERAGE NET AREA OF UNITS.
    B. SOLID-LOAD BEARING UNITS, ASTM C145, COMPRESSIVE STRENGTH SHALL BE OVER 1,551 PSI ON AVERAGE GROSS AREA OF UNITS.
    C. MORTAR, ASTM C270, TYPE "M" OR "S", ONLY. FOR REINFORCED MASONRY MORTAR SHALL BE ASTM C476, TYPE "S".
    D. METAL WIRES USED AS TIES AND ANCHORS SHALL CONFORM TO ASTM A82, ONLY CORROSION-RESISTANT METALS OR METALS WITH SUCH COATING SHALL BE USED.
    E. REINFORCEMENT, WHEN INDICATED SHALL BE ASTM A615, GRADE 60.
4. CONCRETE MASONRY STRENGTH, f'm AT 28 DAYS SHALL BE 1,350 PSI MINIMUM.
5. CALCIUM CHLORIDE AND/OR ADMIXTURES CONTAINING CALCIUM CHLORIDE, SHALL NOT BE INCLUDED IN MORTAR OR GROUT MIX.
6. NO EXTERIOR MASONRY SHALL BE LAID WHEN THE OUTSIDE TEMPERATURE IS LESS THAN 40 DEGREES FARENHEIT UNLESS ADEQUATE PROTECTION, APPROVED BY THE ARCHITECT IS USED.
7. MASONRY WALLS SHALL BE ADEQUATELY BRACED DURING ERECTION.
8. TYPICAL JOINT REINFORCEMENT SHALL BE #9 GA., CONTINUOUS SIDE WIRES WITH #9 GA. CROSS TIES, SPACING 16" O.C. (VERTICALLY).

DIVISION 5 METALS

1. STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE AISC "SPECIFICATION FOR DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" AND THE AISC "CODE OF STANDARD PRACTICE".
2. STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS (UNLESS OTHERWISE NOTED):
    STRUCTURAL SHAPES AND PLATES: A36
    STRUCTURAL TUBING: A-500 GRADE B
3. TYPICAL CONNECTIONS FOR STEEL BEAMS SHALL BE STANDARD AISC FRAMED BEAM CONNECTIONS, EXCEPT WHERE SHOWN WELDED, SHALL BE BOLTED WITH 3/4" DIA. HIGH STRENGTH BOLTS CONFORMING TO ASTM A-325-N, OR GREATER, UNLESS OTHERWISE NOTED. CONNECTIONS SHALL BE DESIGNED FOR 60% OF THE TOTAL ALLOWABLE UNIFORM LOAD DERIVED FROM THE AISC MANUAL'S TABLE OF "UNIFORM LOAD CONSTANTS" FOR NON-COMPOSITE BEAMS.
4. ALL COPED BEAMS TO BE DESIGNED IN ACCORDANCE WITH APPENDIX "B" OF THE AISC MANUAL "ENGINEERING FOR STEEL CONSTRUCTION". PROVIDE REINFORCING AS REQUIRED. ALL RE-ENTRANT CORNERS TO BE SHAPED, NOTCH-FREE, TO A RADIUS OF AT LEAST 1/2".
5. ALL WELDING ELECTRODES SHALL BE E-70XX. ALL SHOP AND FIELD WELDING SHALL BE MADE IN ACCORDANCE WITH A.W.S. D1.1-88 "CODE FOR WELDING IN BUILDING CONSTRUCTION", AND SHALL BE MADE BY QUALIFIED "CERTIFIED" WELDERS.
6. ALL STRUCTURAL STEEL EXPOSED TO THE ELEMENTS SHALL RECEIVE ONE COAT OF APPROVED SHOP PAINT, IN ADDITION TO FIELD PAINT AS SPECIFIED IN THE ARCHITECTURAL SPECIFICATIONS.
7. PROVIDE MINIMUM WELD SIZE PER AISC 1.17.2.

DIVISION 6 CARPENTRY

1. FLEXURAL FRAMING MEMBERS SHALL BE AS FOLLOWS:
    A. RAFTERS: SPRUCE-PINE-FIR #2
    B. FLOOR JOISTS: SPRUCE-PINE-FIR #2
    C. CEILING JOISTS: SPRUCE-PINE-FIR #2
2. LAMINATED VENEER LUMBER ("MICROLLAMS") SHALL BE BY TRUSS JOISTS MACMILLIAN OR ARCHITECT APPROVED EQUAL. MINUMUM STRUCTURAL REQUIREMENTS; Fb=2,600 psi, MODULUS OF ELASTICITY=1,900,000.
3. PROVIDE 1" x 4" OR METAL CROSS BRIDGING NOT OVER 8' ON CENTER FOR ALL WOOD JOISTS.
4. PROVIDE SOLID BLOCKING OF THE SAME DIMENSION AS THE JOISTS BETWEEN THE JOISTS AT ALL SUPPORTS.
5. ALL PLYWOOD SHOWN FOR FLOOR/ROOF DECKS AND AS WALL SHEATING SHALL BE OF THE TICKNESS SHOWN ON THE DRAWINGS AND SHALL MEET ALL THE REQUIREMENTS OF U.S. PRODUCT STANDARD PS 1, LATEST EDITION, FOR STRUCTURAL 1 GRADE MATERIAL.
6. FOR HEADERS WITH SPANS IN EXCESS OF 6 FEET, MIN. END BEARING AT HEADERS SHALL BE 2-2x4 (JACKS) AND 1-2x4 FULL HEIGHT (KING) STUD.
7. PROVIDE DOUBLE JOISTS UNDER ALL BEARING PARTITIONS.
8. NOTCHING IS PERMITTED TO 1/6 JOISTS DEPTH, EXCEPT NOTCHING IS NOT PERMITTED @ MIDDLE 1/3 OF SPAN.
9. HOLES MAY BE BORED THROUGH FRAMING NOT TO EXCEED 2" IN DIAMETER, OR BE CLOSER THAN 2" TO TOP OR BOTTOM OF MEMBER.
10. WOOD SILL PLATES ON TOP OF FOUNDATION WALLS SHALL BE PRESSURE TREATED, ON A 1/2" FOAM SILL SEALER WITH CEDAR SHIMS @ 16" O.C. (MAXIMUM) AND ANCHORED WITH BOLTS AS SHOWN IN DRAWINGS.
11. ALL BOTTOM PLATES OF BASEMENT PARTITIONS TO BE PRESSURE TREATED.
12. ALL WALL PARTITIONS TO HAVE STUDS @ 16" O.C. MAXIMUM SPACING. DOUBLE TOP PLATES @ ALL EXTERIOR BEARING WALL WITH MINIMUM LAP OF 48".
13. BALLOON FRAME WALLS @ VOLUME CEILINGS.
14. ALL SUBFLOORS TO BE 3/4" TONGUE AND GROOVE PLYWOOD GLUED AND SCREWED @ 6" O.C. @ EDGES AND 12" O.C. @ FIELD.
15. ALL EXTERIOR DECK FRAMING SHALL BE PRESSURE TREATED.
16. ADHERE TO TJI-MACMILLIAN REQUIREMENTS FOR MINIMUM END BEARING @ LVL's.

DIVISION 7 INSULATION

1. PROVIDE INSULATION IN ACCORDANCE WITH PLANS AND SPECIFICATIONS AND AS NEEDED TO ACHIEVE THE FOLLOWING VALUES FOR COMPLETED ASSEMBLIES ACCORDING TO 2018 IECC:
    A. FENESTRATION: U-FACTOR = 0.30
    B. SKYLIGHT: U-FACTOR = 0.55
    C. CEILING: R-VALUE = 49
    D. EXTERIOR FRAME WALL: R-VALUE = 20 or 13+5 (Cavity + Continuous)
    E. MASS WALL: R-VALUE = 13/17
    F. FLOOR: R-VALUE = 30
    G. CRAWL SPACE WALL: R-VALUE = 15/19
2. INSTALL INSULATION MATERIALS IN ACCORDANCE TO MANUFACTURER'S RECOMMENDATIONS. FILL CAVITIES COMPLETELY AND TAPE JOINTS BETWEEN BOARDS.
3. FILL GAPS BETWEEN JAMBS AND FRAMING WITH NON-FORMALDEHYDE FOAM FILLER.
4. INSULATE DUCTS AND PLUMBING PIPES SUBJECT TO SWEATING

DIVISION 8 WINDOWS & DOORS

INTERIOR DOORS

1. PROVIDE BLOCKING @ HINGES AND JAMB REINFORCING AS RECOMMENDED BY DOOR FRAME MANUFACTURER.
2. BI-FOLD DOORS SHALL BE IN ALIGNMENT WITH ONE ANOTHER AND PARALLEL TO THE TRACK WHEN CLOSED. PROVIDE SPACERS AS REQUIRED. BI-FOLD DOORS SHALL BE 1 3/8", 2 PANEL FOR PAINT WITH HEAVY-DUTY TRACK. TRACK TO BE CONCEALED BY 1/4 ROUND WOOD TRIM. BI-FOLD DOOR JAMBS TO BE TRIMMED OUT WITH 1x POPLAR JAMBS AND DOOR CASING AS NOTED ABOVE.
3. ALL INTERIOR SWING DOORS SHALL BE 1-3/4" SOLID CORE, 2-PANEL DOORS FOR PAINT FINISH.
4. INTERIOR DOORS SHALL BE TRIMMED WITH 1x POPLAR JAMBS AND DOOR CASING AND PLINTH BLOCKS AS SPECIFIED ABOVE.
5. PROVIDE THRESHOLDS FOR EXTERIOR DOOR, NEOPRENE WEATHER STRIPPING, TYPICAL AT HEADS, JAMBS AND SILLS.

DOOR HARDWARE

1. PROVIDE HARDWARE COMPATIBLE WITH DOOR THICKNESS, WEIGHT AND MATERIAL.
2. ALL DOORS SHALL HAVE 1-1/2" PAIR HINGES FOR SIZES UP TO 3'x7'.
3. LATCH BOLTS SHALL HAVE 5/8" TTHROW AT ALL LATCH SETS AND LOCKSETS.
4. EXTERIOR DOOR HARDWARE SHALL BE LEVER TYPE, STANDARD GRADE, CYLINDER LATCH BY BALDWIN (OR OWNER APPROVED EQUAL).
5. INTERIOR DOOR HARDWARE SHALL BE LEVER TYPE, RESIDENTIAL GRADE, CYLINDER LATCH BY SCHLAGE (OR EQUAL).

DIVISION 9 FINISHES

FINISHES GENERAL NOTES

1. ALL FINISHES SHALL BE CLASS 1, 0-25 FLAME SPREAD RATING.
2. CLEAN AND PREPARE PRIME SURFACES IN COMPLIANCE WITH THE FINISH MATERIAL'S MANUFACTURER'S INSTRUCTIONS.
3. PROVIDE A MINIMUM OF ONE PRIME COAT AND ONE FINISH COAT FOR ALL PAINTED SURFACES.
4. DO NOT PAINT OVER LABELS, FACTORY FINISH METAL TRIM, DOOR HARDWARE, ELECTRICAL FIXTURES, EQUIPMENT, SPRINKLER HEADS, OR MILLWORK ASSEMBLIES.
5. PROVIDE TOUCH-UP PAINTING TO MATCH EXISTING PAINT COLORS AND TEXTURES WHERE INFILL OR PATCH AND REPAIR WORK IS REQUIRED AT EXISTING CONSTRUCTION.
6. ALL DRYWALL SURFACES SHALL BE PAINTED EXCEPT WHERE CERAMIC TILE IS SPECIFIED.
7. PROVIDE CORNER AND J-BEADS AT ALL TERMINATIONS AND CORNERS OF GYPSUM BOARD.
8. ALL DIMENSIONS TO FACE OF DRYWALL.
9. GENERAL CONTRCTOR SHALL COORDINATE STAIR CONSTRUCTION WITH FINAL FLOOR FINISH SELECTIONS TO OBTAIN PROPER HEIGHTS.
10. PROVIDE CEMENTITIOUS BACKER BOARD AT ALL TILE LOCATIONS AND WET SURFACES.
11. PROVIDE THRESHOLDS AS REQUIRED OR AS NOTED AT ALL FLOOR MATERIAL TRANSITIONS. PROVIDE BLOCKING AS REQUIRED BY DRAWINGS. COORDINATE WITH OTHER TRADES FOR SIZE AND LOCATION.

GYPSUM BOARD

1. PROVIDE ALL LABOR AND MATERIALS NECESSARY TO COMPLETE THE WORK IN ACCORDANCE WITH ALL CODE AND GOVERNING ORDINANCES.
2. ALL DRYWALL SHAL BE MINIMUM 5/8" THICK UNO.
3. COMPLY WITH THE RECOMMENDATIONS OF THE GYPSUM CONSTRUCTION HANDBOOK PUBLISHED BY THE USG CORPORATION, LATEST EDITION, FOR METHODS AND INSTALLATION OF METAL FRAMING AND GYPSUM DRYWALL SYSTEMS
4. PROVIDE METAL CORNER REINFORCEMENT TRIM AT ALL OUTSIDE CORNER CONDITIONS. TRIM SHALL BE USG-DUR-A-BED OR EQUAL.
5. PROVIDE CONTINUOUS BED OF SOUND SEALANT AT TOP AND BOTTOM OF ALL SOUND RATED INSULATED PARTITIONSAND AT PARTITION PENETRATIONS, INCLUDING ELECTRICAL OPENINGS.
6. COORDINATE WITH OTHER TRADES FOR INSTALLATION OF WOOD BLOCKING.
7. PROVIDE GYPSUM BOARD EDGE TRIM, USG-801-A AT EXPOSED EDGES OF ALL NON-FULL HEIGHT GYPSUM DRYWALL PARTITIONS EXCEPT WHERE TOP OF WALL HAS DRYWALL FINISH.
8. FINISH DRYWALL JOINTS AND CONCEAL ALL FASTENERS USING USG 'PERF-A-TAPE' SYSTEM OR EQUAL. APPLY FINISHING COMPOUND, SAND AND REPEAT AS NEEDED TO COMPLETELY CONCEAL ALL JOINTS AND FASTENERS.
9. PROVIDE ADDITIONAL SUPPORTS, BRACKETS, TIES, AND FRAMING AS RECOMMENDED OR REQUIRED FOR PROPER INSTALLATION AND RIGID ASSEMBLY.
10. CLEAN ALL SURFACES AND LEAVE READY FOR PAINT. REMOVE ALL EXCESS MATERIALS AND DEBRIS FROM SITE.
11. ALL DRYWALL USED ON WALLS IN THE TOILET ROOMS SHALL BE WATER RESISTANT RATED.
12. DRYWALL SUPPORT SYSTEMS AND FRAMING SHALL BE OF SUFFICIENT CAPACITY AND RIGIDITY TO SUPPORT THE ASSEMBLY WITH A MAXIMUM DEFLEXION OF L/240 WHERE 'L' REPRESENTS THE LENGTH OF THE SPAN. DEFLECTION LIMIT INCLUDES LIVE LOADS AND DEAD LOADS SIMULTANEOUSLY IMPOSED.

PAINTING

1. PREPARE SUBSTRATES AS REQUIRED TO RECEIVE PAINT. PATCH ALL NAIL HOLES, REPAIR DEFECTS.
2. PRIME ALL EXPOSED GYPSUM BOARD SURFACES. SPRAYED SURFACES SHALL BE ROLLED OUT WITH A MEDIUM NAP ROLLER.
3. INTERIOR MILLWORK TO BE FOR PAINT SHAL BE PRIMED WITH OIL BASED PRIMER. FINISH PAINT SHALL BE TWO COATS HIGH GLOSS ALKYD ENAMEL (SAND BETWEEN COATINGS).
4. CEILINGS (SLOPED & FLAT) SHALL BE PAINTED WITH TWO COATS CEILING FLAT LATEX PAINT-WHITE.
5. WALLS SHALL BE PAINTED WITH TWO COATS EGSHELL ENAMEL.

CERAMIC TILE

CERAMIC TILE FOR FLOORS SHALL BE 12"x 12" x 3/8" FLOOR TILE UNLESS OTHERWISE NOTED. ORDER SELECTION SHALL PREVAIL. INSPECT SUBSTRATE PRIOR TO INSTALLATION REPAIR ANY AND ALL DEFECTS. LEVEL NEW CONCRETE SLAB WITH APPROPRIATE LEVELING MATERIAL. SET TILES WITH LATEX THINSET BEDDING COMPOUND.
WALL TILES SHALL BE INSTALLED ONLY ON CEMENTITIOUS BACKER BOARD UNITS (durock) THAT IS LEVEL AND FREE OF DEBRIS, WITH APPROPRIATE LATEX THINSET SETTING MATERIAL.
GROUT SHALL BE UNSANDED TYPE FOR GROUT JOINTS LESS THAN 1/8" AND SANDED FOR JOINTS 1/8" AND LARGER.
LAYOUT TILE SUCH THAT TILE IS NOT LESS THAN 1/2 THE WIDTH OF THE TILE.

REVISIONS:

NO:	BY:	DATE:	DESCRIPTION:
	RT	07/04/2023	Review

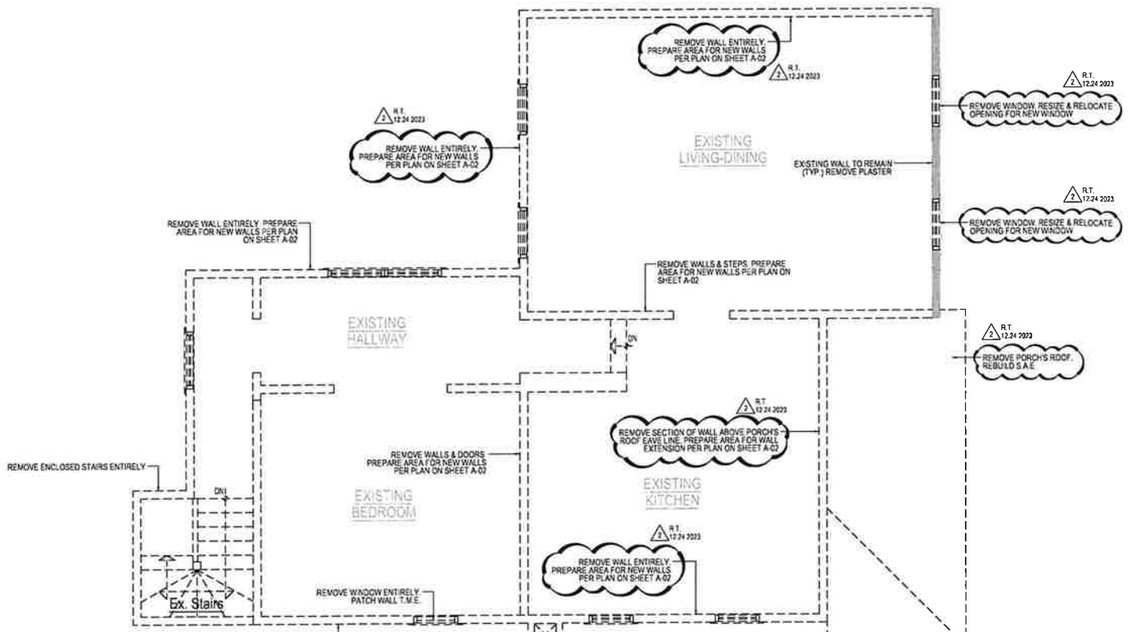
Convert 2-Unit to Single Family Residence, Interior Rehab & New 2-Story Frame Addition including New Partitions,

R.T. ARC
RADUL
7501 BRO
FOREST
TEL.: (
rtepave

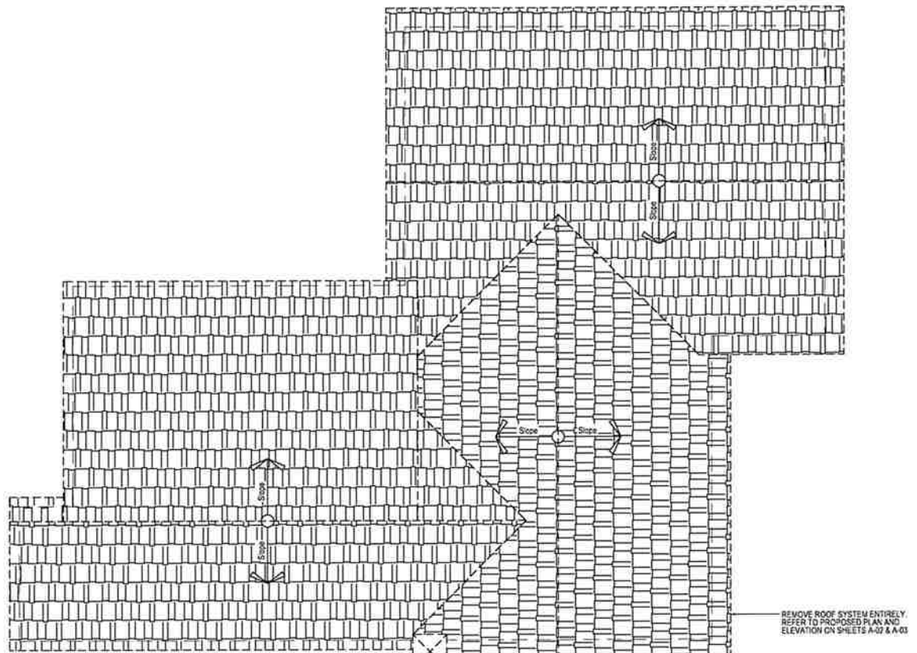
PROJECT AR
RT
DRAFTPERS
CS
APPROVED:
RT
PREPARED F
OWNER
LOCATION:
223 Center St
Naperville, IL
JOB NUMBE
223CS-07042

SHEET No.:

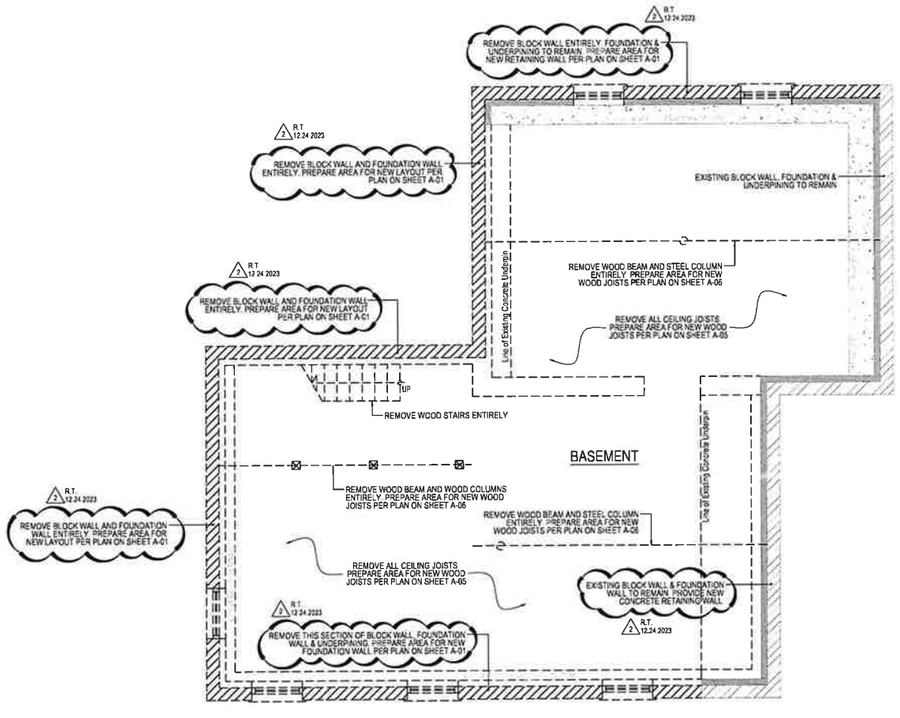
SHEET Name:
Specifi



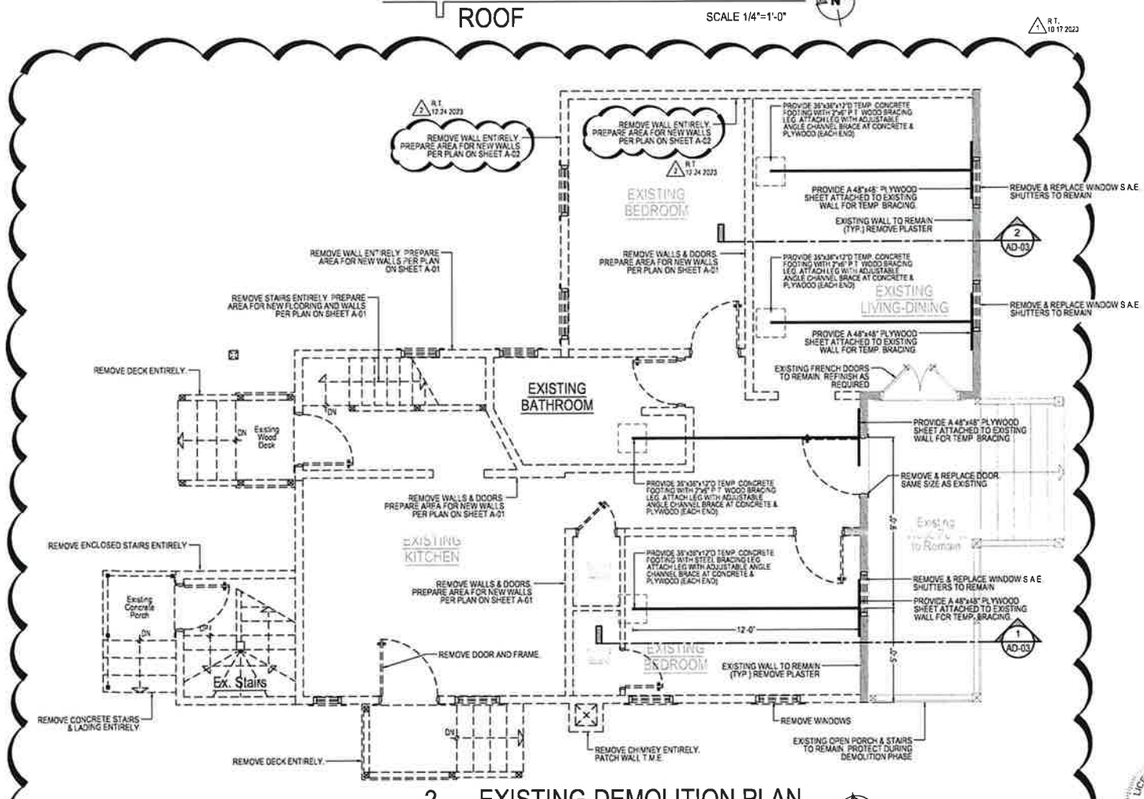
3 EXISTING-DEMOLITION PLAN
SECOND FLOOR
SCALE 1/4"=1'-0"



4 DEMOLITION PLAN
ROOF
SCALE 1/4"=1'-0"



1 EXISTING-DEMOLITION PLAN
BASEMENT
SCALE 1/4"=1'-0"



2 EXISTING-DEMOLITION PLAN
FIRST FLOOR
SCALE 1/4"=1'-0"

LICENSED ARCHITECT
RADULE TEPAVCEVIC
001-016881
STATE OF ILLINOIS

REVISIONS:

NO.	BY:	DATE:	DESCRIPTION:
	RT	07/04/2023	Review
	RT		Permit

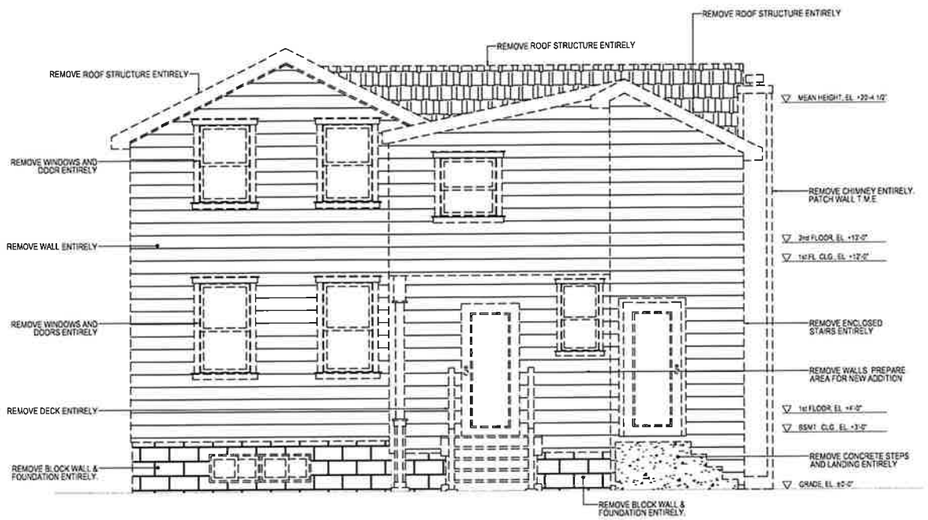
Convert 2-Unit to Single Family Residence. Interior Rehab & New 2-Story Frame Addition including New Partitions,

R.T. ARC
RADULE
7501 BRON
FOREST
TEL.: (
rtepavc

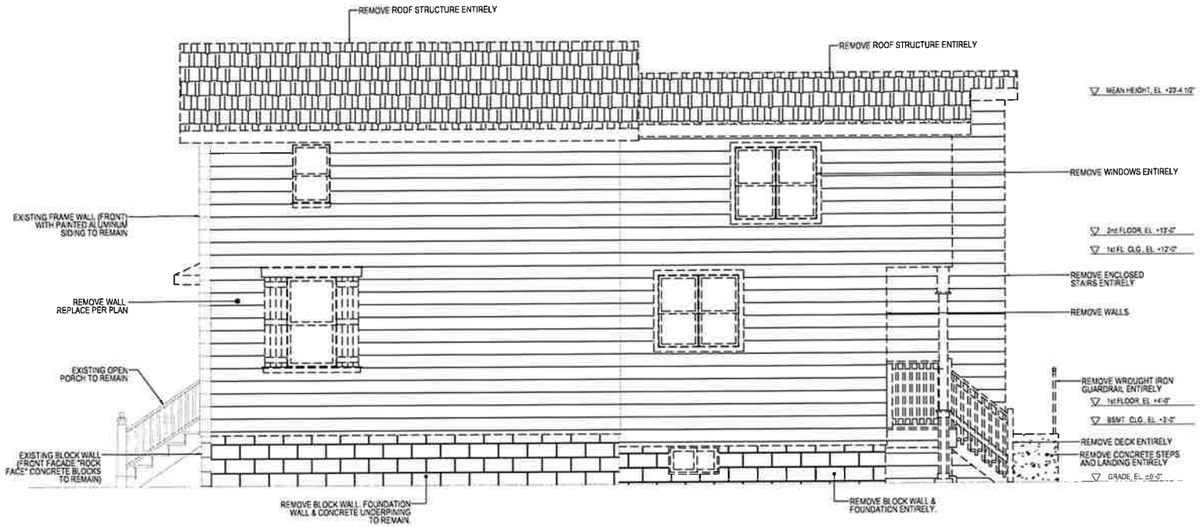
PROJECT AR
RT
DRAFTPERS
CS
APPROVED:
RT
PREPARED F
OWNER
LOCATION:
223 Center St
Naperville, IL
JOB NUMBER
223CS-07042

SHEET No.

SHEET Name:
Existing
Floor Pl



3 EXISTING-DEMOLITION WEST ELEVATION
(REAR ELEVATION)
SCALE 1/4"=1'-0"



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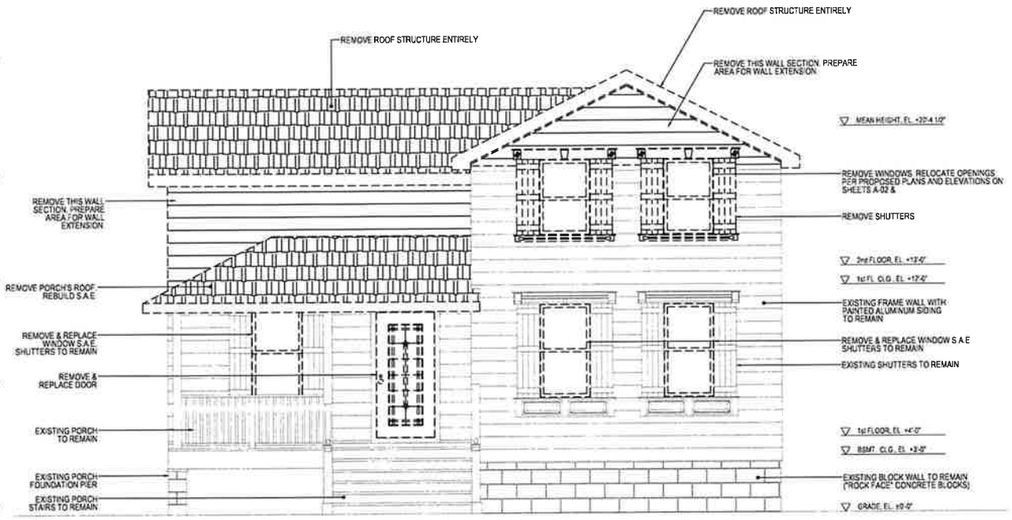
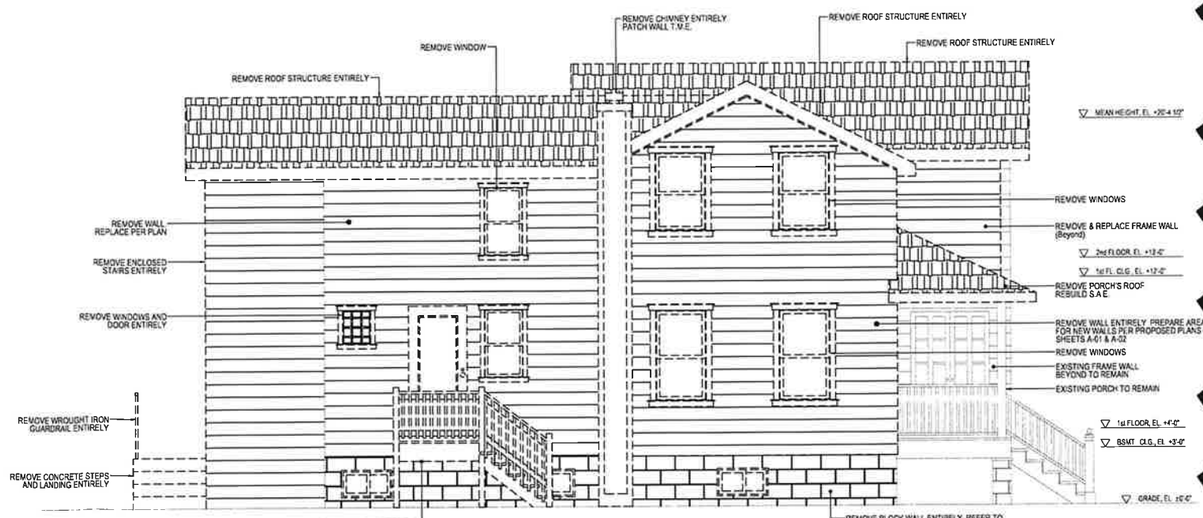
SCALE 1/4"=1'-0"



1 EXISTING-DEMOLITION EAST ELEVATION
(FRONT ELEVATION)
SCALE 1/4"=1'-0"



2 EXISTING-DEMOLITION SOUTH ELEVATION
SCALE 1/4"=1'-0"

R.T
12.24.2023

REVISIONS:

NO:	BY:	DATE:	DESCRIPTION:
1	RT	07/04/2023	Review
2	RT	12/24/2023	Permit

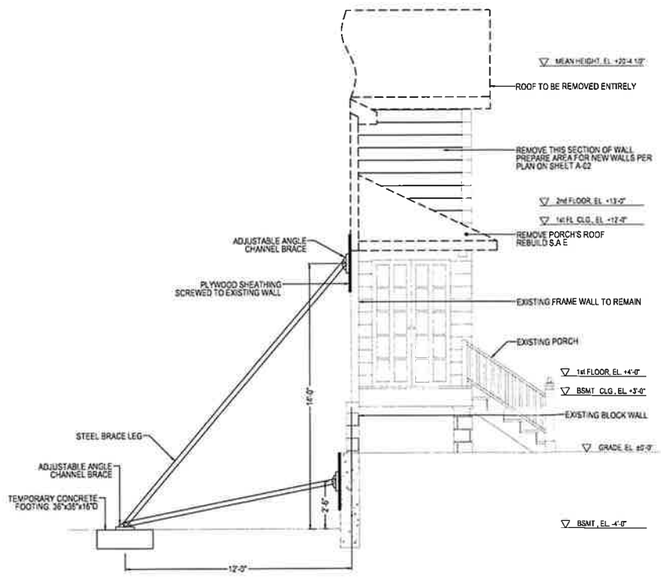
Convert 2-Unit to Single Family Residence. Interior Rehab & New 2-Story Frame Addition including New Partitions,

R.T. ARC
RADULE
7501 BRO
FOREST
TEL.: (
rtepavc

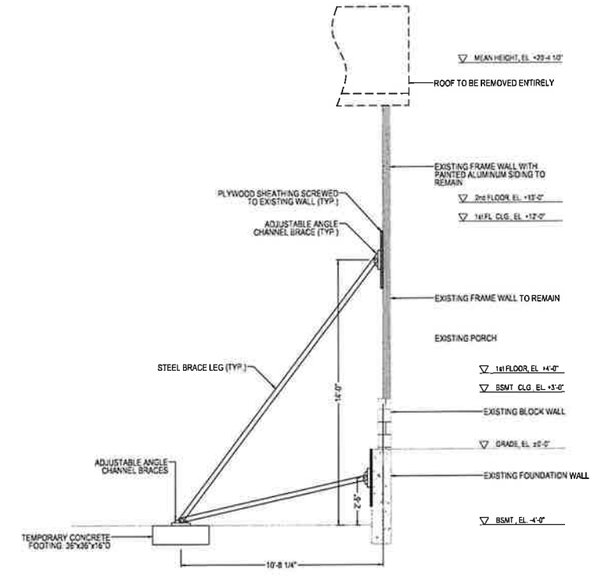
PROJECT AR
RT
DRAFTPERS
CS
APPROVED:
RT
PREPARED F
OWNER
LOCATION:
223 Center St
Naperville, IL
JOB NUMBE
223CS-07042

SHEET No :
SHEET Name
Existing
Elevati

LICENSED ARCHITECT
RADULE TEPAVCEVIC
001-016891
STATE OF ILLINOIS



1 EXISTING BUILDING SECTION
BRACING DETAIL SCALE 1/4"=1'-0"



2 EXISTING BUILDING SECTION
BRACING DETAIL SCALE 1/4"=1'-0"

R.T. 12.24 2023

R.T. 10.17 2023

REVISIONS:

NO.:	BY:	DATE:	DESCRIPTION:
	RT	07/24/2023	Review
	RT	09/18/2023	Permit

Convert 2-Unit to Single Family Residence, Interior Rehab & New 2-Story Frame Addition including New Partitions,

R.T. ARC

RADULE
7501 BROW
FOREST
TEL.: (
rtepavc

PROJECT AR
RT

DRAFTPERS
CS

APPROVED:
RT

PREPARED F
OWNER

LOCATION:
223 Center St
Naperville, IL 6

JOB NUMBER
223CS-07042

SHEET No.

SHEET Name:
Braced

LICENSED ARCHITECT
RADULE TEPAVCEVIC
001-016881
STATE OF ILLINOIS

NEW WINDOW SCHEDULE

TAG No.	NET SIZE	NET GLASS (Sq.Ft.)	NET VENT (Sq.Ft.)	TYPE	FRAME MATERIAL	REMARKS
W01	3'-0"x5'-0"	12.33	12.33	ESCAPE WINDOW	VINYL	NEW WINDOW, THERMOPANE, LOW-E GLAZING
W02	3'-0"x2'-8"	5.12	5.12	AWNING	VINYL	NEW WINDOW, THERMOPANE, LOW-E GLAZING
W03	2'-8"x5'-0"	11.56	5.83	DOUBLE-HUNG	VINYL	NEW WINDOW, THERMOPANE, LOW-E GLAZING
W04	3'-0"x5'-8"	13.20	6.90	DOUBLE-HUNG	VINYL	NEW WINDOW, THERMOPANE, LOW-E GLAZING
W05	(3) 4'-0"x5'-0"	50.34	0.00	FIXED	VINYL	NEW WINDOW, THERMOPANE, LOW-E GLAZING

ROOM FINISH SCHEDULE

ROOM No.	ROOM NAME	FLOOR	BASE	WALLS N	WALLS E	WALLS S	WALLS W	CEILING	CEILING HEIGHT	REMARKS
B01	BASEMENT	VP	WD	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	8'-0"	
B02	STORAGE	VP	WD	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	8'-0"	
B03	BEDROOM #3	VP	WD	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	8'-0"	
B03a	WALK IN CLOSET	VP	WD	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	8'-0"	
B04	BATHROOM	VP	WD	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	8'-0"	CT AT TUB WALLS
B05	LAUNDRY	VP	WD	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	8'-0"	
B05a	UTILITY	VP	WD	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	8'-0"	
101	DINING ROOM	HWD	WD	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	10'-0"	
102	KITCHEN	HWD	WD	---	DW/PT	DW/PT	DW/PT	DW/PT	10'-0"	CT AT KITCHEN BACK-SPLASH
102a	PANTRY	CT	WD	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	10'-0"	
103	MUDROOM	CT	WD	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	10'-0"	
104	FAMILY ROOM	HWD	WD	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	10'-0"	
105	STAIRCASE	HWD	WD	DW/PT	DW/PT	----	DW/PT	DW/PT	10'-0"	
106	OFFICE	HWD	WD	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	10'-0"	
107	POWDER ROOM	CT	WD	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	10'-0"	
201	HALLWAY	HWD	WD	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	10'-0"	
202	GUEST BEDROOM	HWD	WD	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	10'-0"	
202a	BATHROOM	CT	WD	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	10'-0"	CT AT TUB WALLS
202b	CLOSET	HWD	WD	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	10'-0"	
203	BEDROOM #1	HWD	WD	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	10'-0"	
203a	CLOSET	HWD	WD	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	10'-0"	
204	BATHROOM	CT	WD	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	10'-0"	CT AT SHOWER WALLS
205	BEDROOM #2	HWD	WD	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	10'-0"	
206	MASTER BEDROOM	HWD	WD	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	10'-0"	
206a	WALK IN CLOSET	HWD	WD	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	10'-0"	
206b	MASTER BATHROOM	CT	WD	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	10'-0"	CT AT SHOWER WALLS
207	LAUNDRY	CT	WD	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	10'-0"	
207a	UTILITY ROOM	CT	WD	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	10'-0"	

FINISHES NOTES:
1. PROVIDE WATER & MOLD RESISTANT GYPSUM BOARD AT WET AREAS
2. COLOR & TEXTURE OF FINISHES TO BE SELECTED BY OWNER
3. ALL FINISHES ARE NEW U.N.O.

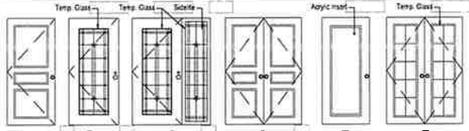
FINISHES ABBREVIATIONS:
CT= CERAMIC TILE, PT= PAINT, DW= DRYWALL, WD = WOOD, HWD = HARDWOOD, CC=CONCRETE, VP = VINYL PLANKS, EX = EXISTING, N/I = NO IMPROVEMENT

NEW DOOR AND FRAME SCHEDULE

DOOR No.	DOOR TYPE	DOOR SIZE	DOOR THICK	DOOR MATERIAL	DOOR FINISH	DOOR GLAZING	DOOR CORE	FRAME TYPE	FRAME MATERIAL	FRAME FINISH	FIRE RATING	HARDWARE SET	REMARKS
B02	A	3'-0"x7'-0"	1-3/8"	WD	PTD	---	SC	PH	WD	PTD	N/R	GROUP #2	STORAGE
B03	A	3'-0"x7'-0"	1-3/8"	WD	PTD	---	SC	PH	WD	PTD	N/R	GROUP #1	BEDROOM
B03a	D	5'-0"x7'-0"	1-3/8"	WD	PTD	---	SC	PH	WD	PTD	N/R	GROUP #3	DOUBLE DOOR
B04	A	2'-6"x6'-8"	1-3/8"	WD	PTD	---	SC	PH	WD	PTD	N/R	GROUP #1	BATHROOM
B05	E	3'-0"x6'-8"	1-3/8"	WD	PTD	---	SC	PH	WD	PTD	N/R	GROUP #2	ACRYLIC INSERT
B05a	A	2'-4"x6'-8"	1-3/8"	WD	PTD	---	SC	PH	WD	PTD	N/R	GROUP #3	24"x8" BOTTOM LOUVER
101	B	3'-0"x7'-0"	1-3/8"	WD	PTD	TEMP.	SC	PH	WD	PTD	N/R	GROUP #1	ENTRY
102	C	3'-0"x7'-0"	1-3/8"	WD	PTD	TEMP.	SC	PH	WD	PTD	N/R	GROUP #1	ENTRY
102a	A	2'-8"x5'-0"	1-3/8"	WD	PTD	---	SC	PH	WD	PTD	N/R	GROUP #2	ACRYLIC INSERT
103	C	3'-0"x5'-8"	1-3/8"	WD	PTD	TEMP.	SC	PH	WD	PTD	N/R	GROUP #1	ENTRY
105	F	5'-0"x5'-8"	1-3/8"	WD	PTD	---	SC	PH	WD	PTD	N/R	GROUP #3	FRENCH STYLE
107	A	2'-6"x5'-8"	1-3/8"	WD	PTD	---	SC	PH	WD	PTD	N/R	GROUP #1	POWDER ROOM
202	A	3'-0"x6'-8"	1-3/8"	WD	PTD	---	SC	PH	WD	PTD	N/R	GROUP #1	BEDROOM
202a	A	2'-6"x6'-8"	1-3/8"	WD	PTD	---	SC	PH	WD	PTD	N/R	GROUP #1	BATHROOM
202b	A	2'-6"x6'-8"	1-3/8"	WD	PTD	---	SC	PH	WD	PTD	N/R	GROUP #2	CLOSET
203	A	3'-0"x6'-8"	1-3/8"	WD	PTD	---	SC	PH	WD	PTD	N/R	GROUP #1	BEDROOM
203a	A	2'-6"x6'-8"	1-3/8"	WD	PTD	---	SC	PH	WD	PTD	N/R	GROUP #2	CLOSET
204	A	2'-6"x6'-8"	1-3/8"	WD	PTD	---	SC	PH	WD	PTD	N/R	GROUP #1	BATHROOM
204a	A	2'-6"x6'-8"	1-3/8"	WD	PTD	---	SC	PH	WD	PTD	N/R	GROUP #1	BATHROOM
205	A	3'-0"x6'-8"	1-3/8"	WD	PTD	---	SC	PH	WD	PTD	N/R	GROUP #1	BEDROOM
205a	A	2'-6"x6'-8"	1-3/8"	WD	PTD	---	SC	PH	WD	PTD	N/R	GROUP #2	CLOSET
206	A	3'-0"x6'-8"	1-3/8"	WD	PTD	---	SC	PH	WD	PTD	N/R	GROUP #1	BEDROOM
206a	A	2'-0"x6'-8"	1-3/8"	WD	PTD	---	SC	PH	WD	PTD	N/R	GROUP #4	POCKET DOOR
206b	A	2'-6"x6'-8"	1-3/8"	WD	PTD	---	SC	PH	WD	PTD	N/R	GROUP #1	BATHROOM
207	D	5'-0"x6'-8"	1-3/8"	WD	PTD	---	SC	PH	WD	PTD	N/R	GROUP #3	DOUBLE DOOR
207a	A	2'-6"x6'-8"	1-3/8"	WD	PTD	---	SC	PH	WD	PTD	N/R	GROUP #3	24"x8" BOTTOM LOUVER

DOOR SCHEDULE LEGEND
WD=WOOD; AL=ALUMINUM CLAD; TEMP=TEMPERED; PTD=PAINTED; HC=HOLLOW CORE; PH=PREHUNG; VY=VINYL; MTL=METAL; STN=STAINED; N/R=NO REQUIREMENT

DOOR ELEVATION TYPES

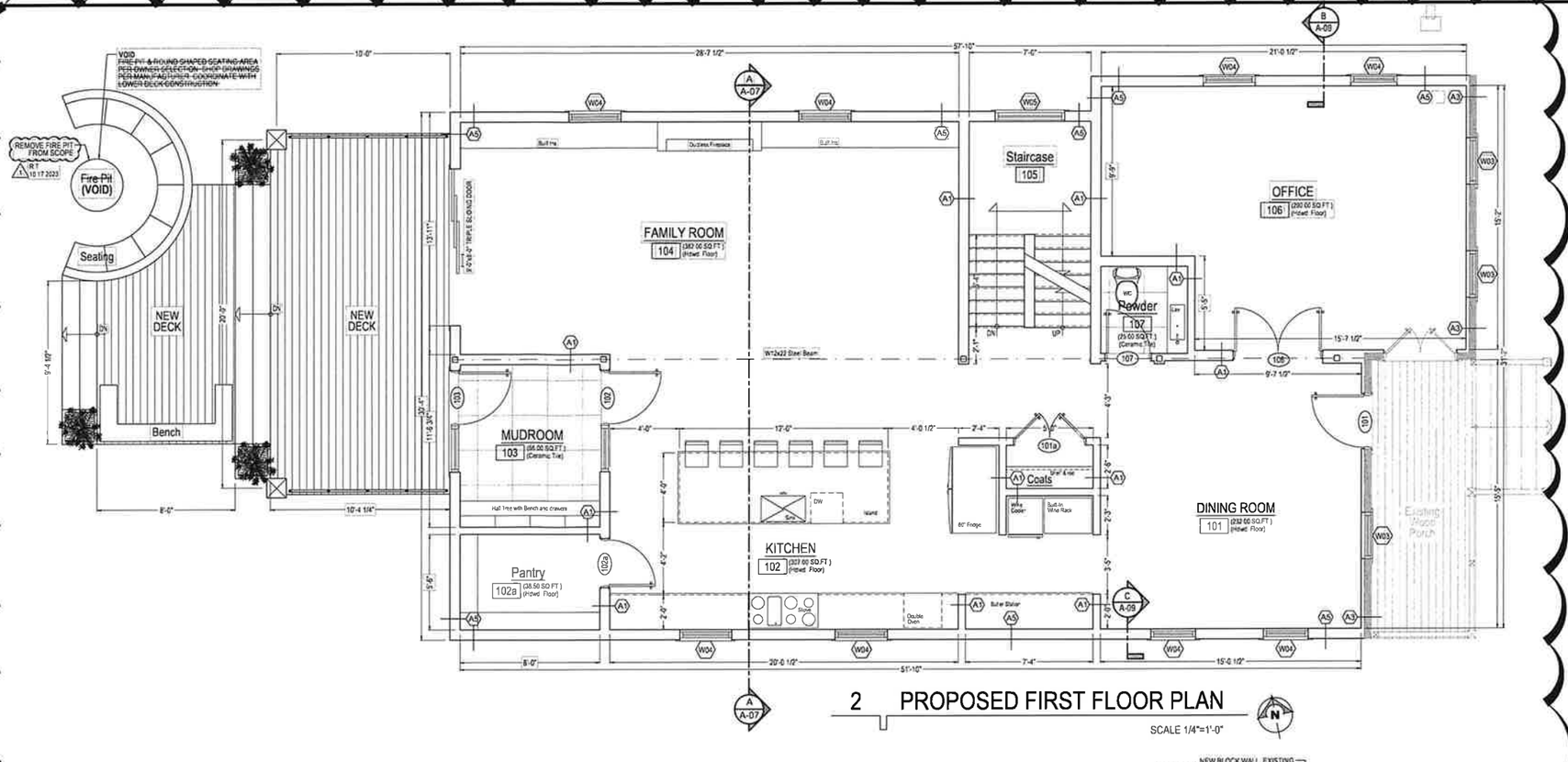


HARDWARE

GROUP #1	GROUP #2	GROUP #3	GROUP #4
3 HINGES	3 HINGES	6 HINGES	1 POCKET DOOR SET
1 PRIVACY SET	1 PASSAGE SET	FRENCH STYLE SET	
1 WALL STOP	1 WALL STOP	2 WALL STOP	

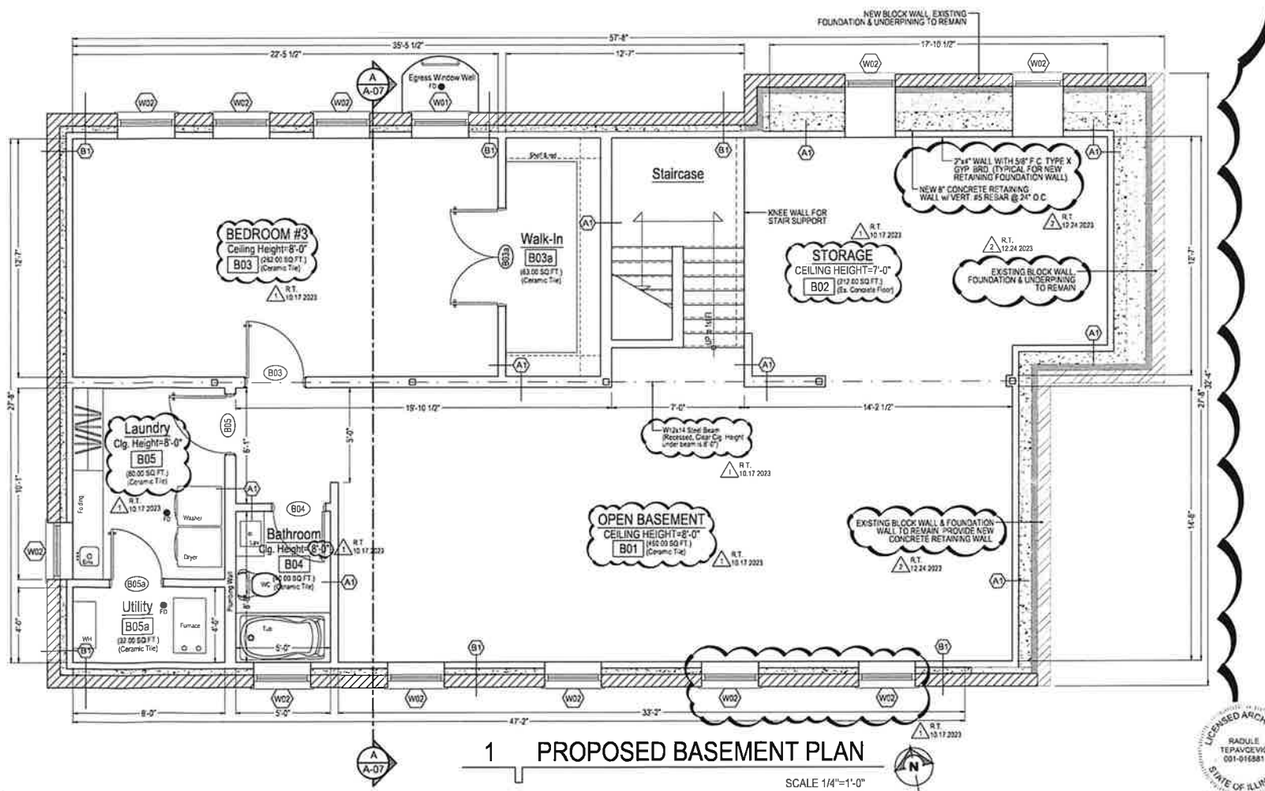
LIGHT AND VENTILATION SCHEDULE

FLOOR	ROOM / NUMBER	AREA (SQ. FT.)	ORDINANCE REQ'D (SQ. FT.) NAT. LIGHT	ORDINANCE REQ'D (SQ. FT.) NAT. VENT	ACTUAL (SQ. FT.) NAT. LIGHT	ACTUAL (SQ. FT.) NAT. VENT
BASEMENT & FIRST	BASEMENT - B01	480.00	N/R	9.29	24.48	24.48
	STORAGE - B-02	212.00	N/R	N/R	12.24	12.24
	BEDROOM #3 - B03	282.00	22.58	11.28	30.69	30.69
	WALK-IN CLOSET - B03a	63.00	N/R	N/R	0.00	0.00
	BATHROOM - B04	40.00	N/R	N/R	6.12	6.12
	LAUNDRY - B05	80.00	N/R	N/R	6.12	6.12
	DINING ROOM - 101	232.00	18.56	9.29	34.98	17.49
	KITCHEN - 102	307.00	24.56	12.28	26.40	13.20
	MUDROOM - 103	48.00	N/R	N/R	22.00	24.00
	FAMILY ROOM - 104	382.00	30.56	15.28	90.40	55.56
	STAIRCASE - 105	63.00	N/R	N/R	50.34	0.00
	OFFICE - 106	290.00	23.20	11.60	48.64	23.32
	POWDER ROOM - 107	25.00	N/R	N/R	0.00	0.00
	TOTALS	2,521.00	119.44	68.92	350.41	213.52
SECOND	HALLWAY - 201	122.00	N/R	N/R	0.00	0.00
	GUEST BEDROOM - 202	237.00	18.96	9.48	34.98	17.49
	BATHROOM - 202a	40.00	N/R	N/R	0.00	0.00
	BEDROOM #1 - 203	157.00	12.56	6.28	23.32	11.66
	BATHROOM - 204	60.00	N/R	N/R	11.66	5.83
	BEDROOM #2 - 205	150.00	12.00	6.00	23.32	11.66
	MASTER BEDROOM - 206	295.00	23.60	11.80	90.40	55.88
	WALK-IN-CLOSET - 206a	98.00	N/R	N/R	0.00	0.00
	MASTER BATHROOM - 206b	131.00	N/R	N/R	11.66	5.83
	LAUNDRY - 207	71.00	N/R	N/R	0.00	0.00
	TOTALS	1,359.00	67.12	33.56	195.34	108.33



2 PROPOSED FIRST FLOOR PLAN

SCALE 1/4"=1'-0"



1 PROPOSED BASEMENT PLAN

SCALE 1/4"=1'-0"

REVISIONS:

NO.	BY:	DATE:	DESCRIPTION:
	RT	07/04/2023	Review

Convert 2-Unit to Single Family Residence, Interior Rehab & New 2-Story Frame Addition including New Partitions,

R.T. ARC
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PROJECT AR
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LOCATION:
223 Cenier St
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JOB NUMBER
223CS-07042

SHEET No.:

SHEET Name
Propose
Floor Pl

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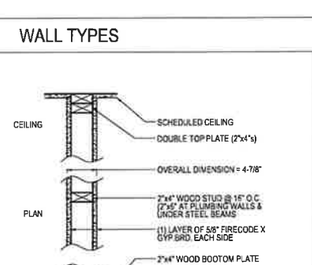
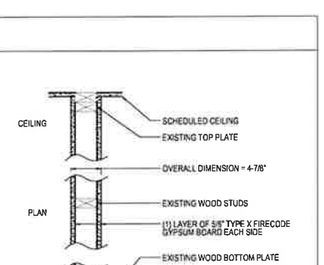
RADULE
TEPAVCEVIC
001-016881
STATE OF ILLINOIS

WALL TYPES



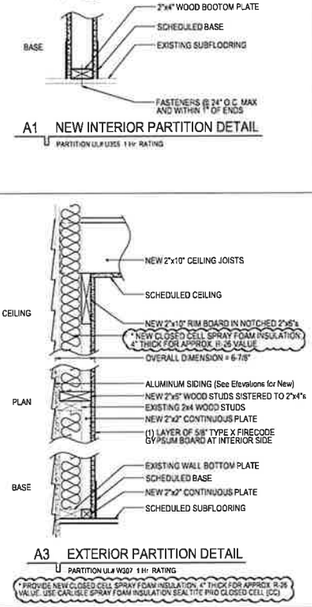
A1 NEW INTERIOR PARTITION DETAIL

PARTITION UL# U305 1 Hr RATING



A2 INTERIOR PARTITION DETAIL

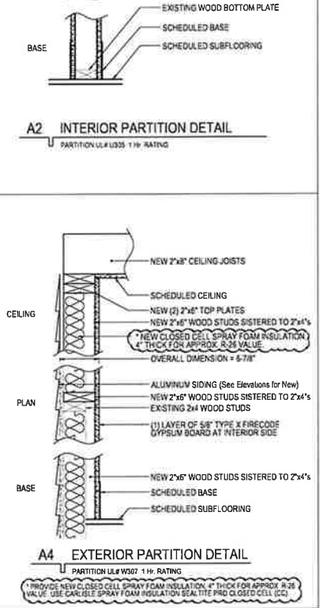
PARTITION UL# U305 1 Hr RATING



A3 EXTERIOR PARTITION DETAIL

PARTITION UL# W307 1 Hr RATING

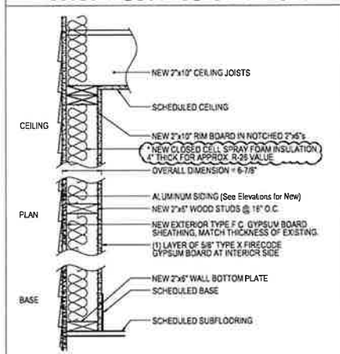
* PROVIDE NEW CLOSED CELL SPRAY FOAM INSULATION, 4" THICK FOR APPROX. R-26 VALUE. USE CARLISLE SPRAY FOAM INSULATION SEALTITE PRO CLOSED CELL (CC)



A4 EXTERIOR PARTITION DETAIL

PARTITION UL# W307 1 Hr RATING

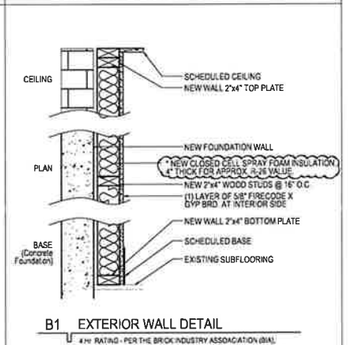
* PROVIDE NEW CLOSED CELL SPRAY FOAM INSULATION, 4" THICK FOR APPROX. R-26 VALUE. USE CARLISLE SPRAY FOAM INSULATION SEALTITE PRO CLOSED CELL (CC)



A5 EXTERIOR PARTITION DETAIL

PARTITION UL# W307 1 Hr RATING

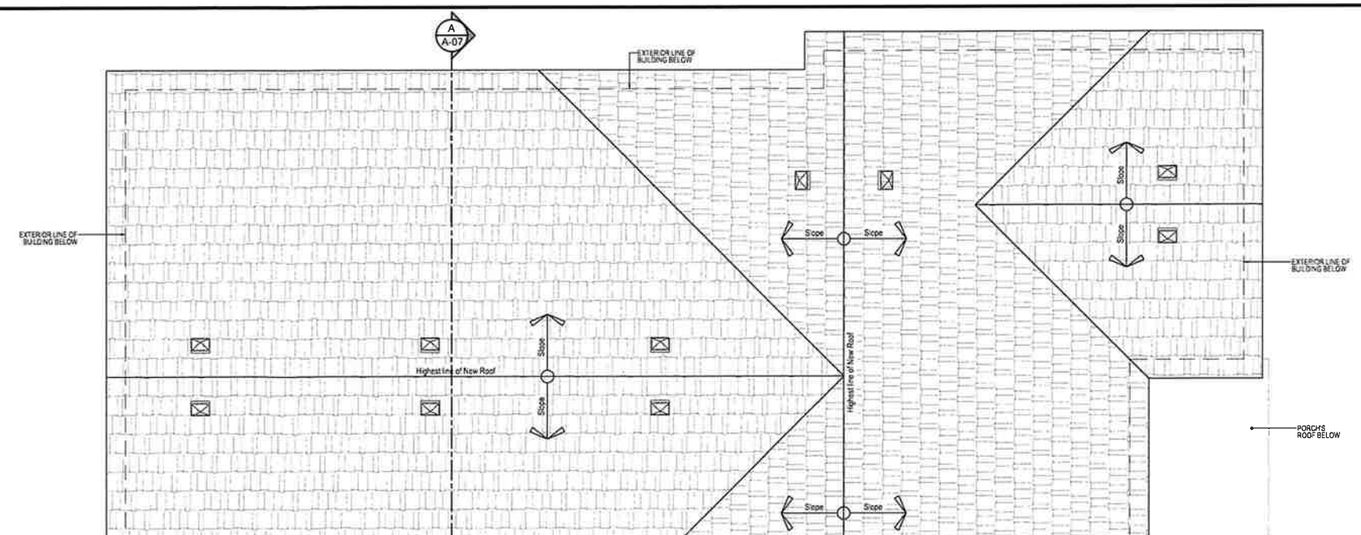
* PROVIDE NEW CLOSED CELL SPRAY FOAM INSULATION, 4" THICK FOR APPROX. R-26 VALUE. USE CARLISLE SPRAY FOAM INSULATION SEALTITE PRO CLOSED CELL (CC)



B1 EXTERIOR WALL DETAIL

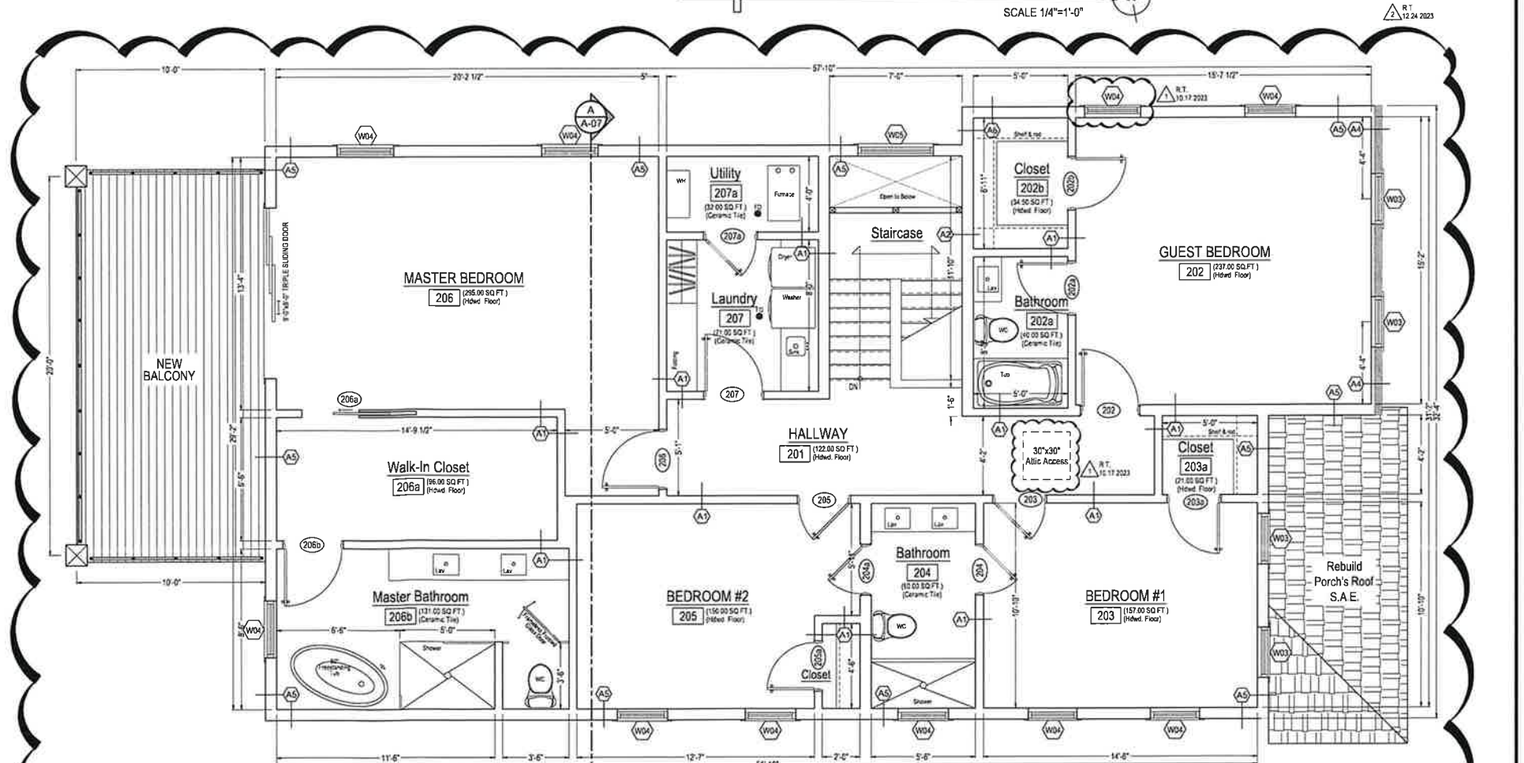
4 Hr RATING - PER THE BRICK INDUSTRY ASSOCIATION (BIA) TEST ASTM E119, AND 2006 IBC TABLE 720.1, METHOD DESCRIBED IN NBS BMS 92. FIRE-RESISTANCE CLASSIFICATIONS OF BUILDING CONSTRUCTION

* PROVIDE NEW CLOSED CELL SPRAY FOAM INSULATION, 4" THICK FOR APPROX. R-26 VALUE. USE CARLISLE SPRAY FOAM INSULATION SEALTITE PRO CLOSED CELL (CC)



2 PROPOSED ROOF PLAN

SCALE 1/4"=1'-0"



1 PROPOSED SECOND FLOOR PLAN

SCALE 1/4"=1'-0"

R.T. 12.24.2023

R.T. 10.17.2023

R.T. 10.17.2023

REVISIONS:		
NO:	BY:	DATE:
	RT	07/07/2023

DESCRIPTION: Review

Convert 2-Unit to Single Family Residence. Interior Rehab & New 2-Story Frame Addition including New Partitions.

R.T. ARC

RADULE
7501 BROO
FOREST
TEL.: (
rtepavc

PROJECT AR
RT

DRAFTPERSO
CS

APPROVED:
RT

PREPARED F
OWNER

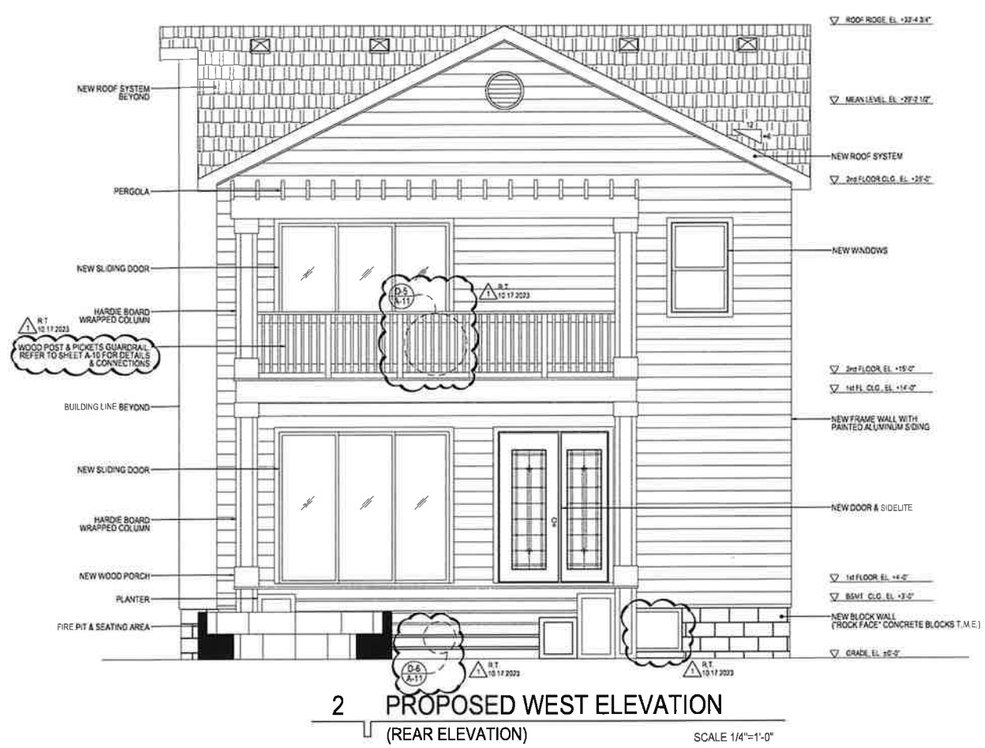
LOCATION:
223 Center St
Naperville, IL

JOB NUMBER
223CS-07042

SHEET No.

SHEET Name:
Propose
Floor Pl

LICENSED ARCHITECT
RADULE TEPAVCEVIC
001-016581
STATE OF ILLINOIS



2 PROPOSED WEST ELEVATION

(REAR ELEVATION) SCALE 1/4"=1'-0"

1 PROPOSED EAST ELEVATION

(FRONT ELEVATION) SCALE 1/4"=1'-0"

REVISIONS:

NO:	BY:	DATE:	DESCRIPTION
	RT	07/14/2023	Review

Convert 2-Unit to Single Family Residence. Interior Rehab & New 2-Story Frame Addition including New Partitions.

R.T. ARC

RADULE
7501 BROO
FOREST
TEL.:
rtepave

PROJECT AR
RT

DRAFTPERS
CS

APPROVED:
RT

PREPARED F
OWNER

LOCATION:
223 Center St
Naperville, IL

JOB NUMBE
223CS-07042

SHEET No.

SHEET Name:
Propose
Elevatio

LICENSED ARCHITECT
RADULE TEPAVCEVIC
001-016881
STATE OF ILLINOIS

2 PROPOSED NORTH ELEVATION

SCALE 1/4"=1'-0"

1 PROPOSED SOUTH ELEVATION

SCALE 1/4"=1'-0"

REVISIONS:

NO	BY:	DATE:	DESCRIPTION:
	RT	01/04/2023	Review

Convert 2-Unit to Single Family Residence, Interior Rehab & New 2-Story Frame Addition including New Partitions,

R.T. ARC
RADULE
7501 BRO
FOREST
TEL.:
rtepave

PROJECT AR
RT

DRAFTPERS
CS

APPROVED:
RT

PREPARED F
OWNER

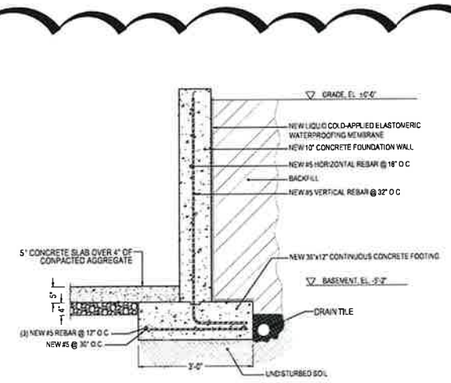
LOCATION:
223 Center St
Naperville, IL

JOB NUMBE
223CS-07042

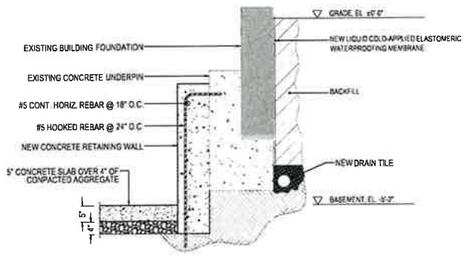
SHEET No.

SHEET Name:
Propose
Elevatio

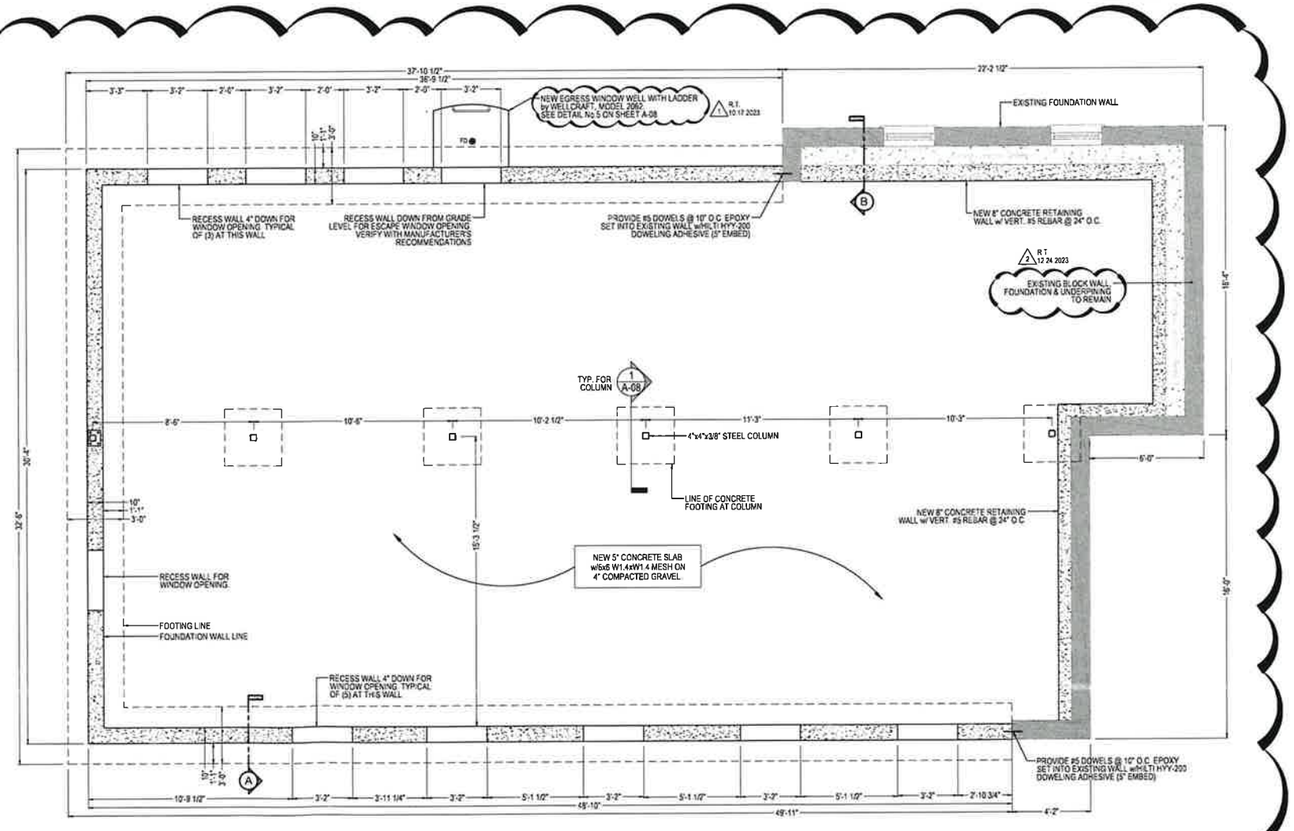
LICENSED ARCHITECT
RADULE TEPAVCEVIC
001-016881
STATE OF ILLINOIS



A FOUNDATION SECTION
REAR BUILDING ADDITION



B FOUNDATION SECTION
@ EXISTING WALL



8 PROPOSED FOUNDATION PLAN
REAR BUILDING ADDITION

LICENSED ARCHITECT
RADULE TEPAVCEVIC
031-016881
STATE OF ILLINOIS

REVISIONS

NO:	BY:	DATE:	DESCRIPTION:
	RT	07/02/2023	Review
	RT	12/22/2023	Permit

Convert 2-Unit to Single Family Residence, Interior Rehab & New 2-Story Frame Addition including New Partitions,

R.T. ARC
RADULE
7501 BROV
FOREST
TEL: (
rtepavc

PROJECT AR
RT

DRAFTPERS
CS

APPROVED:
RT

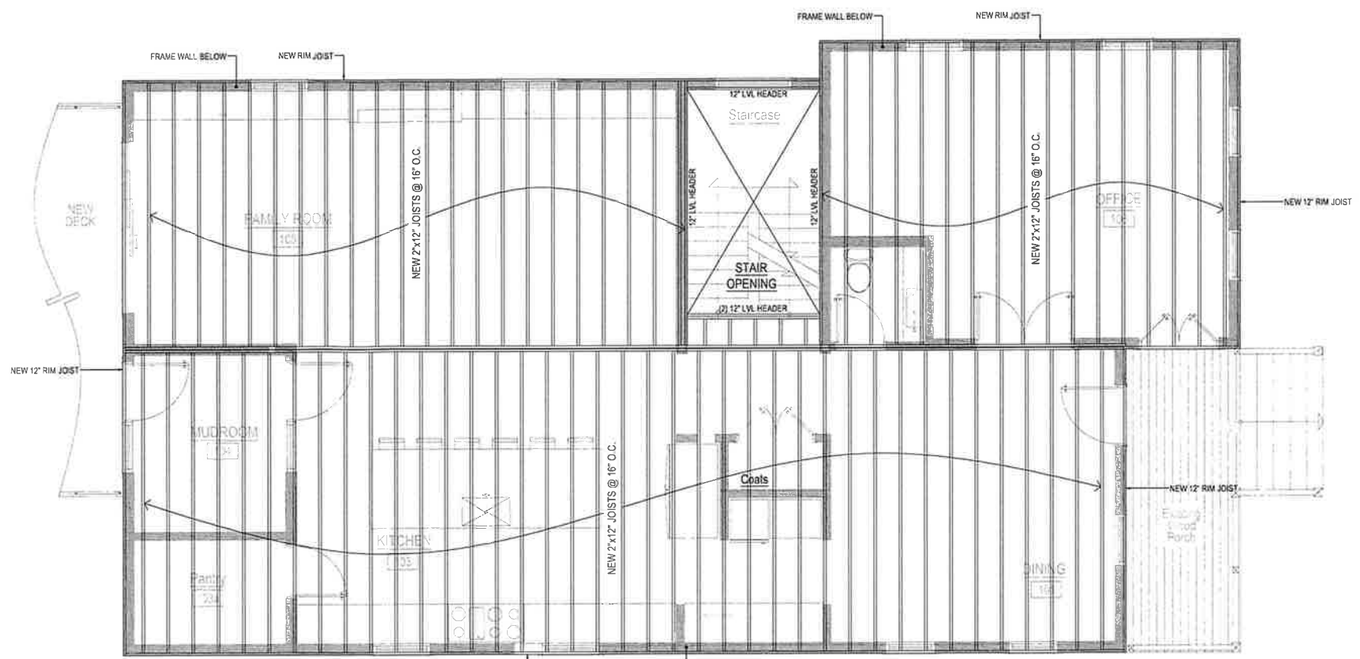
PREPARED F
OWNER

LOCATION:
223 Center St
Naperville, IL

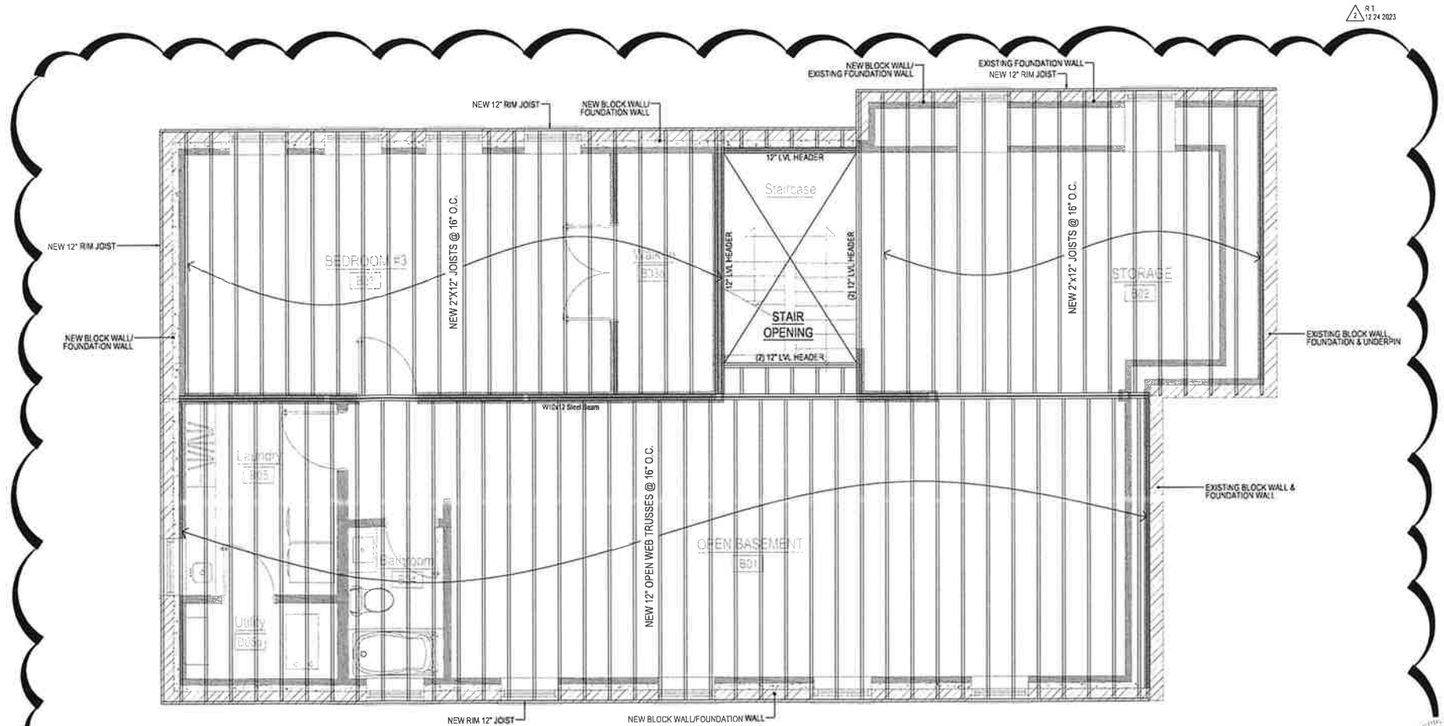
JOB NUMBER
223CS-07042

SHEET No

SHEET Name:
Addition
Founda



2 PROPOSED FRAMING PLAN
SECOND FLOOR DECK SCALE 1/4"=1'-0"



1 PROPOSED FRAMING PLAN
FIRST FLOOR DECK SCALE 1/4"=1'-0"

R.T.
12 24 2023

REVISIONS:

NO:	BY:	DATE:	DESCRIPTION:
	RT	07/24/2023	Review
	RT	12/24/2023	Permit

Convert 2-Unit to Single Family Residence. Interior Rehab & New 2-Story Frame Addition including New Partitions,

R.T. ARC

RADULE
7501 BROW
FOREST
TEL.: (
rtepavc

PROJECT AR
RT

DRAFTPERSO
CS

APPROVED:
RT

PREPARED F
OWNER

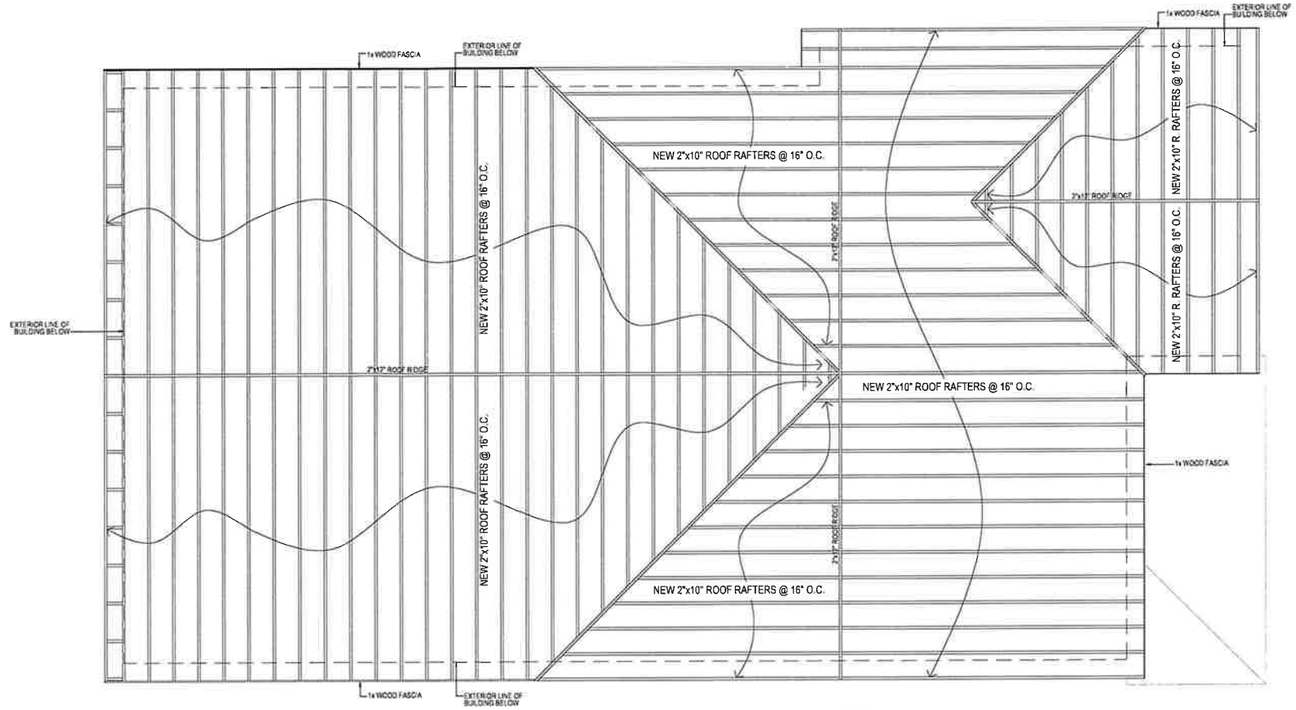
LOCATION:
223 Center St
Naperville, IL 6

JOB NUMBER
223CS-07042

SHEET No.

SHEET Name:
Propose
Framing

LICENSED ARCHITECT
RADULE
TEPAVCEVIC
001-016881
STATE OF ILLINOIS



2 PROPOSED ROOF FRAMING PLAN

SCALE 1/4"=1'-0"

1 PROPOSED FRAMING PLAN
SECOND FLOOR CEILING SCALE 1/4"=1'-0"

REVISIONS

NO:	BY:	DATE:	DESCRIPTION:
	RT	07/04/2023	Review

Convert 2-Unit to Single Family Residence, Interior Rehab & New 2-Story Frame Addition including New Partitions,

R.T. ARC

RADULE
7501 BRO
FOREST
TEL: (
rtepave

PROJECT AR
RT

DRAFTPERS
CS

APPROVED:
RT

PREPARED F
OWNER

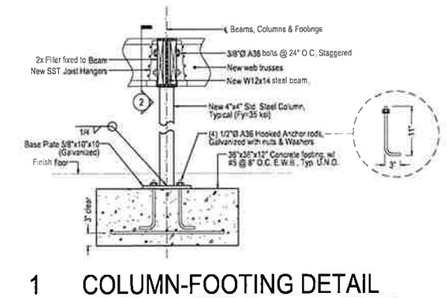
LOCATION:
223 Center St
Naperville, IL

JOB NUMBE
223CS-07042

SHEET No:

SHEET Name:
Propose
Framing

LICENSED ARCHITECT
RADULE
TEPAVCEVIC
001-015881
STATE OF ILLINOIS

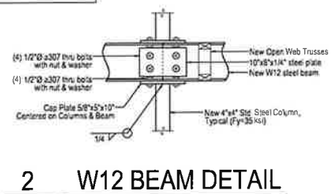


1 COLUMN-FOOTING DETAIL

SCALE 3/4"=1'-0"

NOTES:

W8x10 : ASTM A992, Fy=50 ksi
HSS PIPE : ASTM A53, Fy=35 ksi
PLATES : ASTM A36, Fy=36 ksi
ANCHOR BOLTS : ASTM A36, Fy=36 ksi
GALVANIZE BASE PLATES
SHOP PAINT ALL OTHER STEEL
PAINT FIELD WELDS w/ZINC RICH PAINT
CONCRETE : f'c=3500 psi
REBAR : Fy=60,000 psi
SOIL (Q) allow = 2,500 psf Min (Service)
CONFIRM IN FIELD



2 W12 BEAM DETAIL

SCALE 3/4"=1'-0"

ATTIC VENTILATION CODE REQUIREMENT

REQUIRED ATTIC VENTILATION:
According to IRC, Section R806.2.
V = Ventilating Area = (1/300)*A
A = Attic Area = 1,738 Square Feet

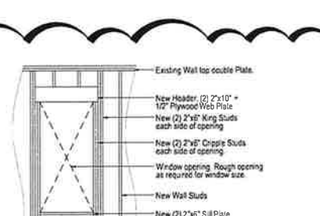
V = (1/300)*(1,738) = 5.80 Square Feet (835.2 Square Inches)

PROVIDED VENTILATION:
Using Vent Soffit LSV8 Series by "GAF", which comes in 8' long sections with a net free area of 68 square inches each and Roof Vents Model RT-65 by "GAF" with a net free area of 60 square inches.
Soffit Vents = (8)*(68) = 544 square inches, and
Roof vents = (12)*(60) = 720 square inches
total vent area = 1,264 square inches > 835.2

NOTES:
1. A VAPOR BARRIER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING (6-mil polyethylene plastic sheathing used).
2. VENTILATING OPENINGS SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE MESH, WITH 1/8" MINIMUM TO 1/4" MAXIMUM OPENINGS.
3. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT.

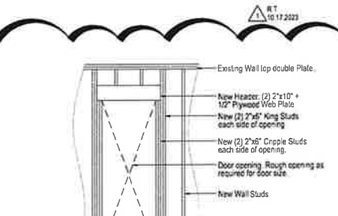
GENERAL FRAMING NOTES

1. PROVIDE DIAGONAL METAL BRACING @ BOTH ENDS OF EXTERIOR FRAME WALLS. USE SIMPSON STRONG TIE TWB-22 GA. WALL BRACING OR EQUAL APPROVED.
2. ALL DIMENSIONS ON DRAWINGS TO BE CHECKED AGAINST ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS BY THE GENERAL CONTRACTOR. ANY DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT/ENGINEER OF RECORD IMMEDIATELY.
3. GENERAL CONTRACTOR SHALL INSPECT ALL EXISTING (TO REMAIN) STRUCTURAL MEMBERS PRIOR TO COMMENCEMENT OF ANY NEW WORK. GENERAL CONTRACTOR SHALL INFORM THE ARCHITECT/ENGINEER (A/E) OF RECORD OF ANY DAMAGED AND/OR MISSING PARTS OF STRUCTURAL SUPPORT MEMBERS IMMEDIATELY. NO WORK SHALL BE DONE UNLESS ARCHITECT/ENGINEER HAS GIVEN THE WRITTEN AUTHORIZATION TO CONTINUE AND THE CONSIDERATIONS TO BE DONE ACCORDING TO EXISTING CONDITIONS.



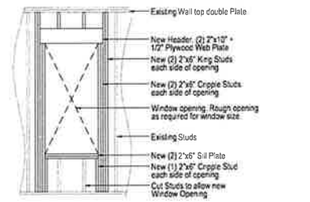
5 FRAMING - NEW WINDOW

TYPICAL DETAIL FOR NEW WALL



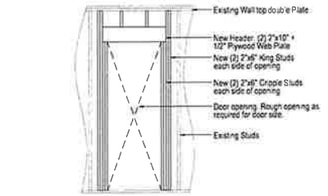
6 FRAMING - NEW DOOR

TYPICAL DETAIL FOR NEW WALL



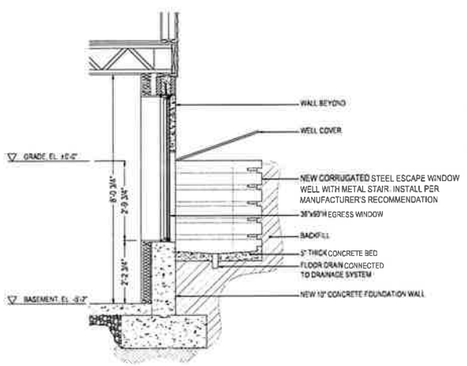
3 FRAMING - NEW WINDOW

TYPICAL DETAIL FOR EXISTING WALL



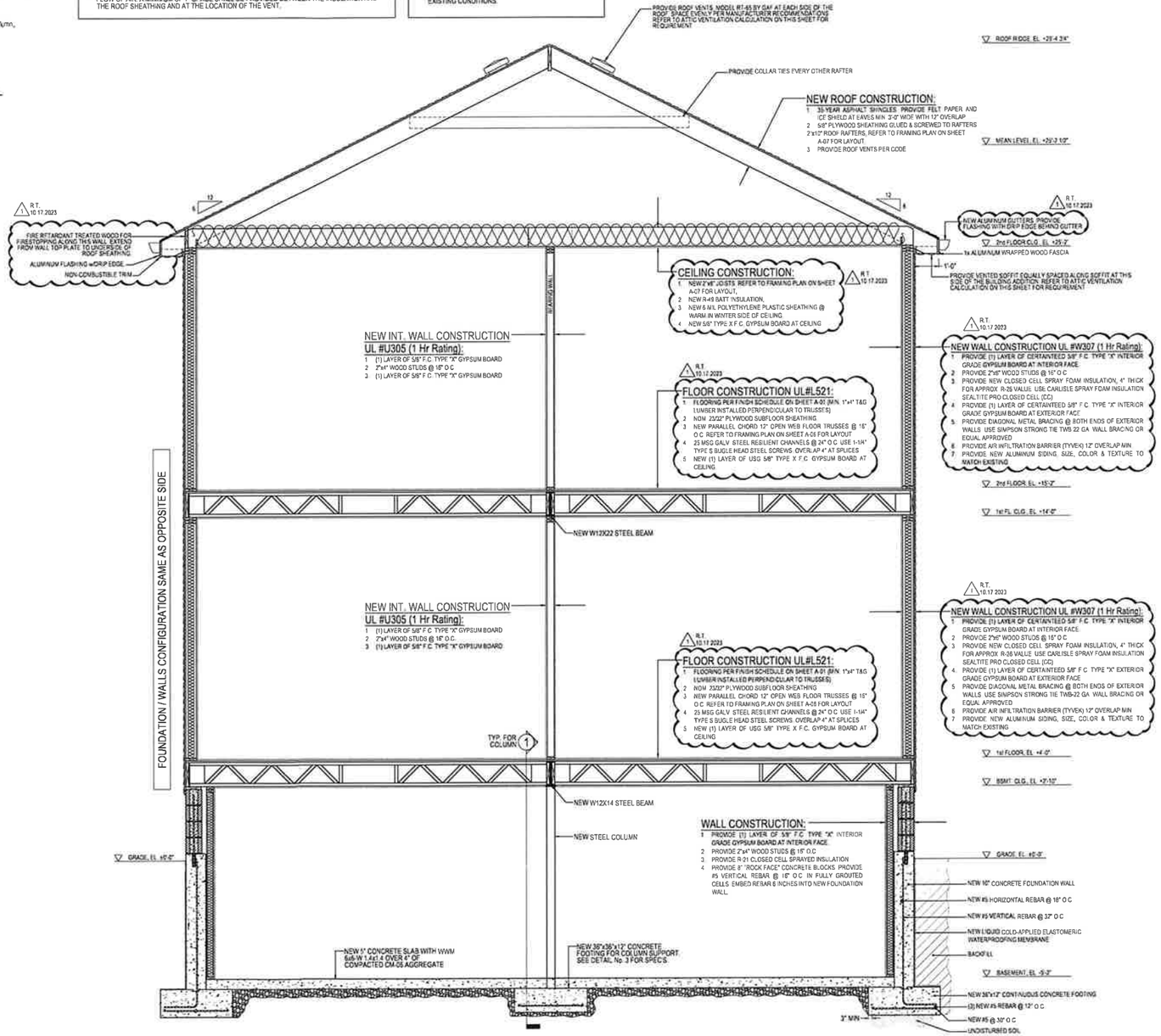
4 FRAMING - NEW DOOR

TYPICAL DETAIL FOR EXISTING WALL



5 EGRESS WINDOW

SECTION DETAIL



A-A BUILDING OVERALL SECTION

SCALE 3/8"=1'-0"

REVISIONS

NO.	BY:	DATE:	DESCRIPTION:
	RT	07/04/2023	Renew
	RT	10/17/2023	Revise

Convert 2-Unit to Single Family Residence, Interior Rehab & New 2-Story Frame Addition including New Partitions,

R.T. ARC
RADULE
7501 BROW
FOREST
TEL.: (
rtepavc

PROJECT AR
RT

DRAFTPERSO
CS

APPROVED:
RT

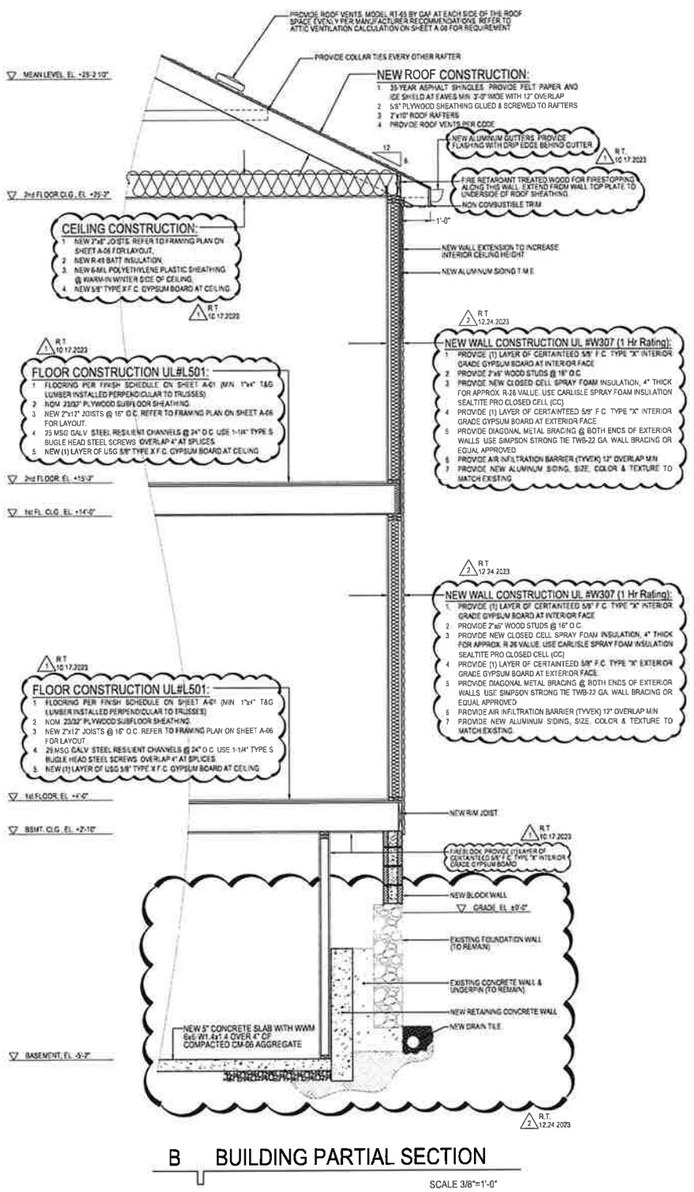
PREPARED F
OWNER

LOCATION:
223 Cenler Str
Naperville, IL 6

JOB NUMBER
223CS-07042

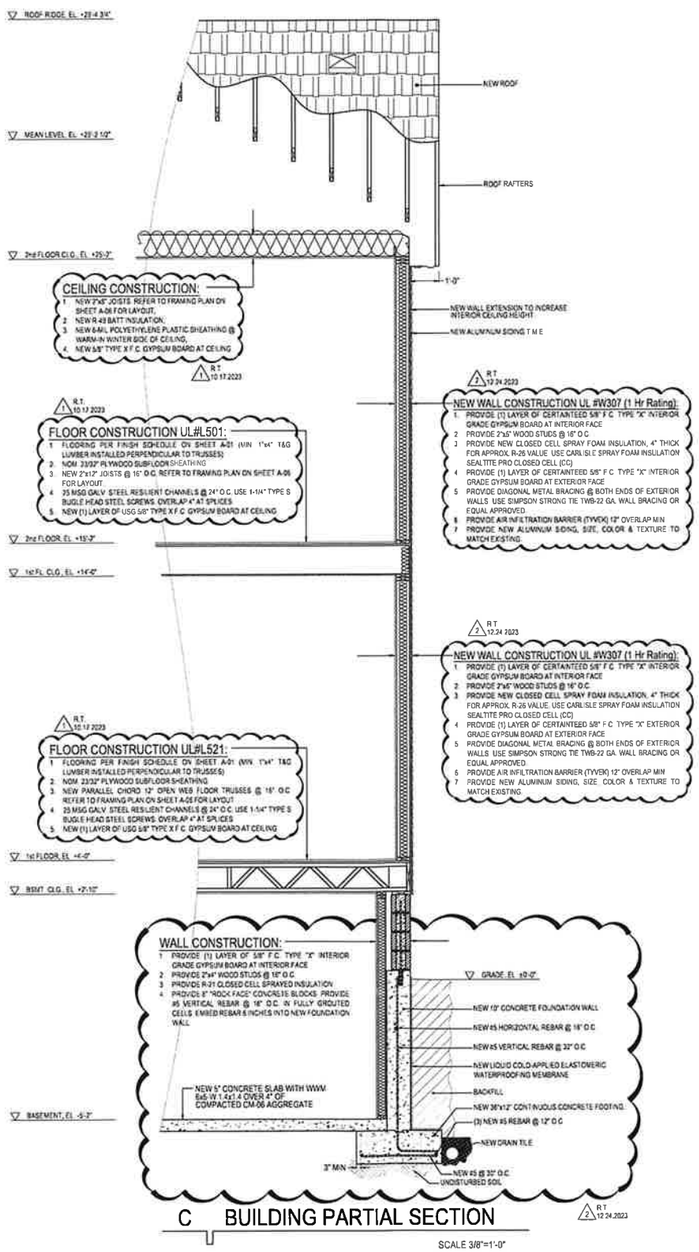
SHEET No.

SHEET Name:
Building



B BUILDING PARTIAL SECTION

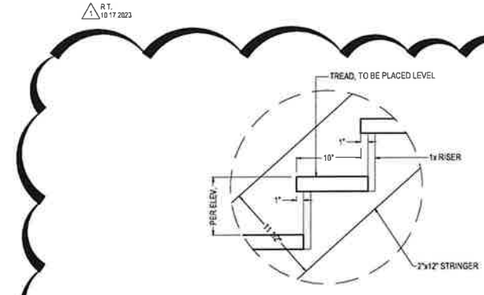
SCALE 3/8"=1'-0"



C BUILDING PARTIAL SECTION

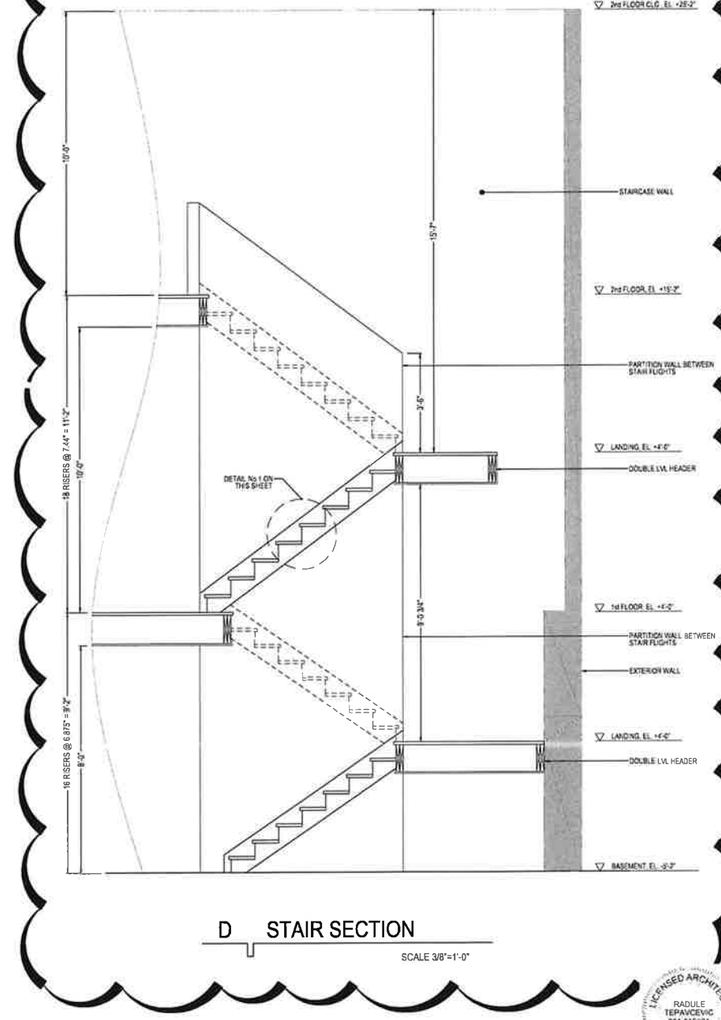
SCALE 3/8"=1'-0"

R.T. 10.17.2023



1 TREAD & RISER DETAIL

NOT TO SCALE



D STAIR SECTION

SCALE 3/8"=1'-0"

LICENSED ARCHITECT
RADULE TEPAVCEVIC
001-015681
STATE OF ILLINOIS

REVISIONS

NO.:	BY:	DATE:	DESCRIPTION:
	RT	07/21/2023	Review

Convert 2-Unit to Single Family Residence, Interior Rehab & New 2-Story Frame Addition including New Partitions.

R.T. ARC

RADULE
7501 BROW
FOREST
TEL.: (
radule

PROJECT AR
RT

DRAFTPERS
CS

APPROVED:
RT

PREPARED F
OWNER

LOCATION:
223 Center St
Naperville, IL

JOB NUMBER
223CS-07042

SHEET No.

SHEET Name:
Building

NEW SPREAD FOOTING SCHEDULE

f'c= 3,500 psi

MARK	FOOTING					PEDESTAL				NOTES
	LONG WAY "B"	SHORT WAY "D"	MINIMUM "t"	REINFORCEMENT		DIAMETER "Ø"	LENGTH "L"	REINFORCEMENT		
				LONG WAY	SHORT WAY			HORIZ.	VERTICAL	
F-1	1'-6"	1'-6"	1'-0"	(3)-#5	(3)-#5	10"	36"	#3 @ 18" O.C.	(4)-#5	1, 2
F-2	2'-0"	2'-0"	1'-0"	(3)-#5	(3)-#5	14"	36"	#3 @ 18" O.C	(4)-#5	1, 2
F-3	3'-0"	3'-0"	1'-0"	(3)-#5	(3)-#5	14"	36"	#3 @ 18" O.C.	(4)-#5	1, 2

NOTES:
1. FOOTING REINFORCEMENT TO BE SPACED EVENLY ON EACH DIRECTION. NUMBER OF BARS AS SPECIFIED
2. REFER TO "MATERIAL NOTES" ON SHEET A-0.1 FOR MATERIALS SPECIFICATIONS

COLUMN SCHEDULE

MARK	TYPE	SIZE	MATERIAL	BASE CONNECTOR	NOTES
C-1 to C-3	NEW	6"x6"	P.T. WOOD	CBSQ88-SDS2	1, 2
C-4 to C-10	NEW	6"x6"	P.T. WOOD	CBSQ66-SDS2	1, 2

NOTES:
1. SEE TABLE A ON SHEET G-0.1 FOR CONNECTOR DESCRIPTION
2. REFER TO "MATERIAL NOTES" ON SHEET G-0.1 FOR MATERIALS SPECIFICATIONS

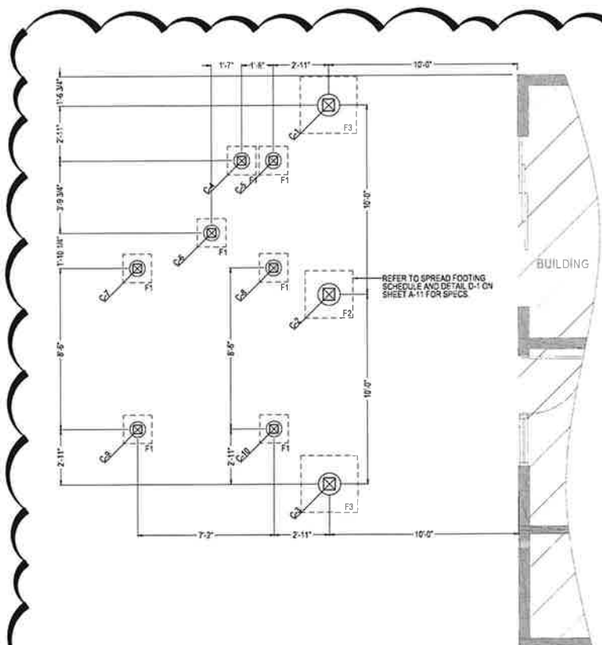
ARCHITECTURAL NOTES

1. THE ABOVE PLANS SHOW ONLY A PARTIAL PORTION OF THE FRAME SUILDING. REFER TO PROPOSED PLAN ON SHEETS A-01 & A-02 FOR LOCATION OF DECK & BALCONY IN GENERAL VIEW
2. THRUSTS ON HANDRAILS.
   HANDRAILS SHALL BE DESIGNED TO RESIST A SIMULTANEOUS VERTICAL & HORIZONTAL THRUST OF 50 lb/ft. APPLIED AT THE TOP OF THE RAILING OR A CONCENTRATED LOAD OF 200 lb/ft. IN ANY DIRECTION.

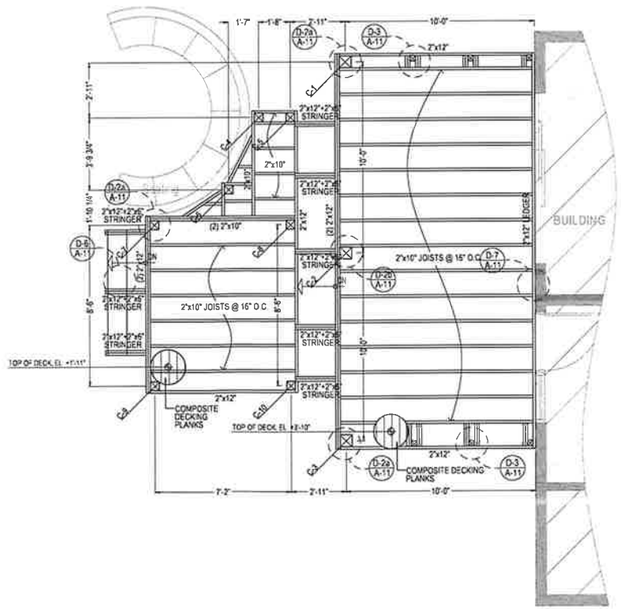
CALCULATED DESIGN LOAD ON DECK FOOTING (ABOVE BEARING)

COLUMN MARK	C-1	C-2	C-3	C-4	C-5	C-6	C-7	C-8	C-9	C-10
LOAD (Lbs.)	9,134	6,652	9,134	1,432	1,203	922	2,582	2,922	2,454	2,490

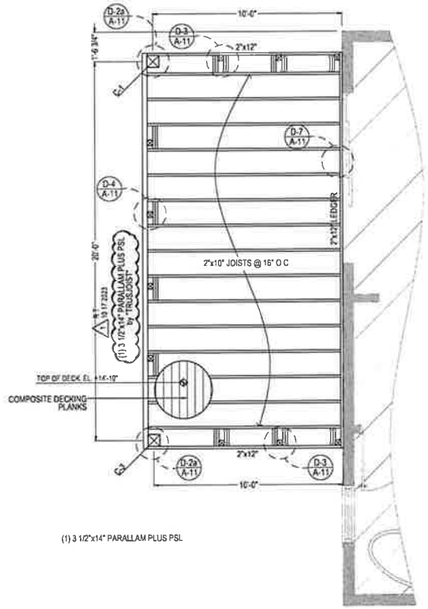
1 R.T. 10.17.2023



1 PROPOSED FOUNDATION PLAN
REAR DECK SCALE 1/4"=1'-0"



2 PROPOSED FRAMING PLAN
REAR DECK - FIRST FLOOR SCALE 1/4"=1'-0"



3 PROPOSED FRAMING PLAN
REAR BALCONY - SECOND FLOOR SCALE 1/4"=1'-0"

REVISIONS:

NO:	BY:	DATE:	DESCRIPTION:
	RT	07/04/2023	Review
	RT	09/04/2023	Permit

Convert 2-Unit to Single Family Residence. Interior Rehab & New 2-Story Frame Addition including New Partitions,

R.T. ARC
RADULE
7501 BROO
FOREST
TEL: (
rtepavc

PROJECT AR
RT
DRAFTPERS
CS
APPROVED:
RT
PREPARED F
OWNER
LOCATION:
223 Center St
Naperville, IL 6
JOB NUMBER
223CS-07042

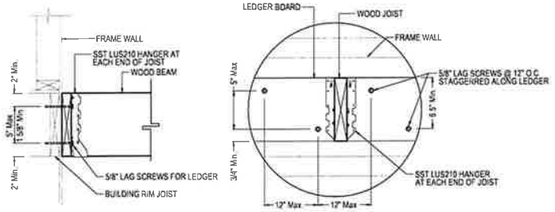
SHEET No.:

SHEET Name:
Porch &
Balcony

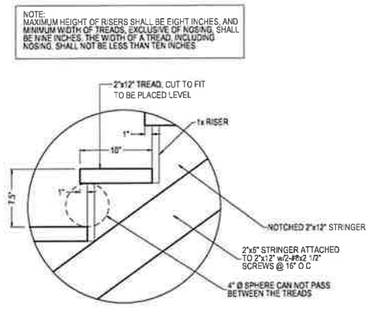
LICENSED ARCHITECT
RADULE TEPAVCEVIC
001-016881
STATE OF ILLINOIS

R.T. 10.17.2023

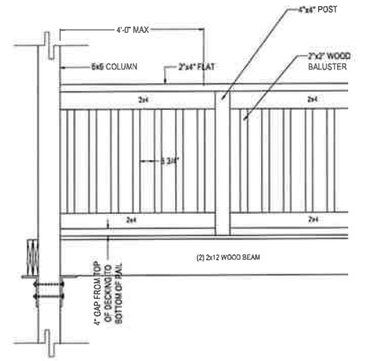
PLACEMENT OF LAG SCREWS AND BOLTS IN DECK LEDGERS AND BAND JOISTS MINIMUM END AND EDGE DISTANCES AND SPACING BETWEEN ROWS				
	TOP EDGE	BOTTOM EDGE	ENDS	ROW SPACING
LEDGER	2 INCHES	3/4 INCH	2 INCHES	1-5/8 INCHES
BAND JOIST	3/4 INCH	2 INCHES	2 INCHES	1-5/8 INCHES



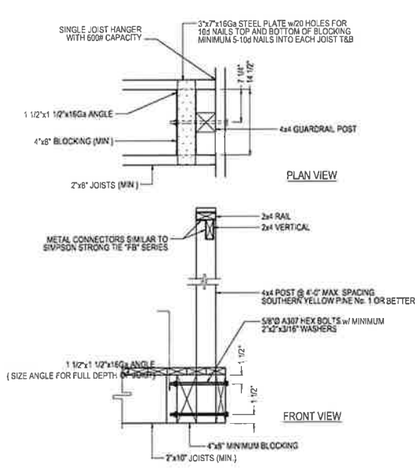
D-7 LEDGER CONNECTION DETAIL
TO FRAME WALL
NOT TO SCALE



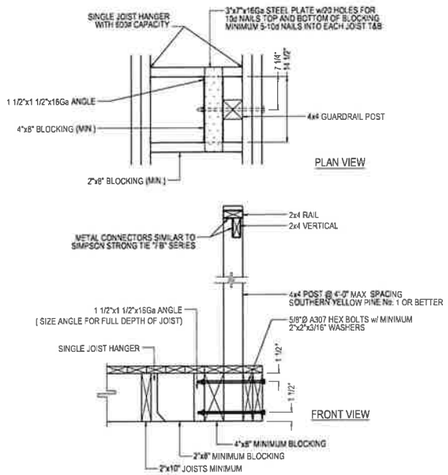
D-6 TREAD & RISER DETAIL
NOT TO SCALE



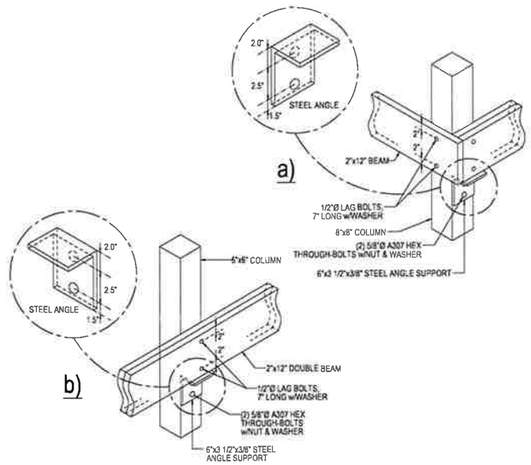
D-5 GUARDRAIL ELEVATION
PARTIAL DETAIL
NOT TO SCALE



D-4 GUARDRAIL POST DETAIL
w/JOISTS NORMAL TO EDGE
NOT TO SCALE

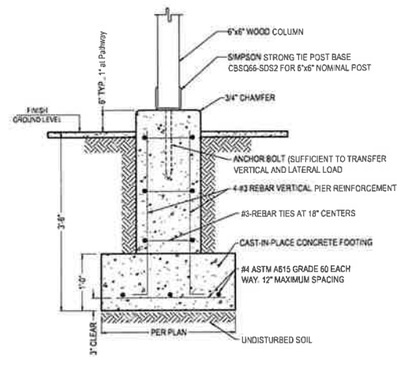


D-3 GUARDRAIL POST DETAIL
w/JOISTS PARALLEL TO EDGE
NOT TO SCALE



D-2 COLUMN DETAILS
NOT TO SCALE

NOTE: ALL STRUCTURAL STEEL TO BE COATED WITH A RUST PROHIBITED PRIMER (3 MIL DRY THICKNESS MIN.)



D-1 POST SPREAD FOOTING
FOR 6"x6" COLUMNS
NOT TO SCALE

LICENSED ARCHITECT
RADULE TEPAVCEVIC
001-016881
STATE OF ILLINOIS

REVISIONS

NO:	BY:	DATE:	DESCRIPTION:
	RT	07/04/2023	Review
	RT	09/04/2023	Permit

Convert 2-Unit to Single Family Residence. Interior Rehab & New 2-Story Frame Addition including New Partitions,

R.T. ARC

RADULE
7501 BROV
FOREST
TEL: [
rtepave

PROJECT AR
RT

DRAFTPERS
CS

APPROVED:
RT

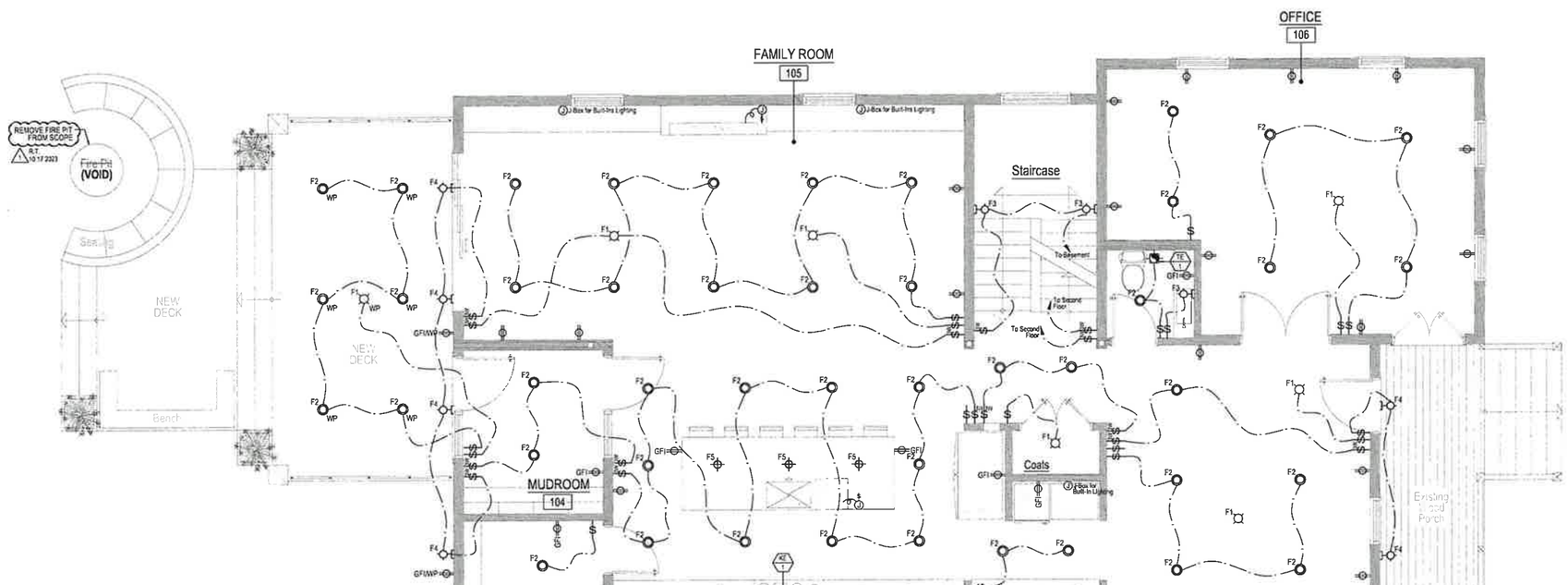
PREPARED F
OWNER

LOCATION:
223 Center St
Naperville, IL

JOB NUMBER
223CS-07042

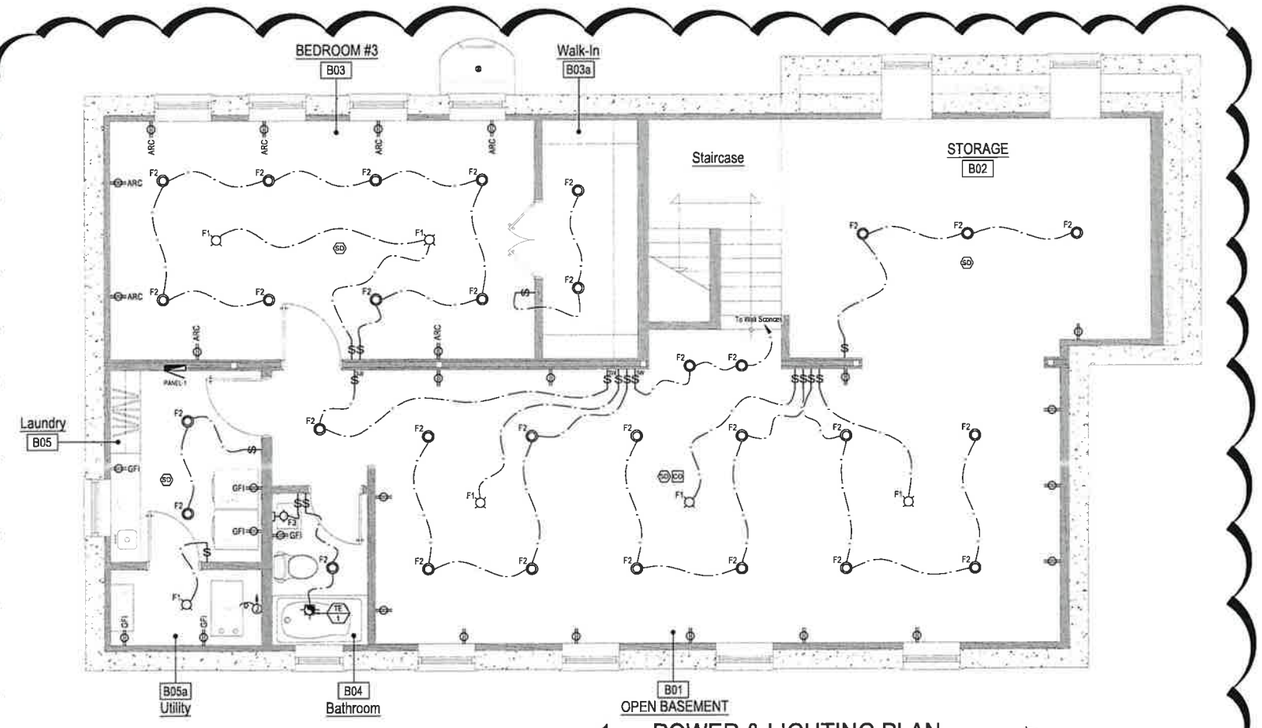
SHEET No:

SHEET Name:
Porch
Connec



2 POWER & LIGHTING PLAN
FIRST FLOOR
SCALE 1/4"=1'-0"

R.T. 12.24 2023



1 POWER & LIGHTING PLAN
BASEMENT
SCALE 1/4"=1'-0"

REVISIONS

NO:	BY:	DATE:	DESCRIPTION:
	RT	07/01/2023	Review
	RT	12/24/2023	Permit

Convert 2-Unit to Single Family Residence, Interior Rehab & New 2-Story Frame Addition including New Partitions,

R.T. ARC

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7501 BROWN
FOREST, I
TEL.: (
rtepavc

PROJECT AR
RT

DRAFTPERSO
CS

APPROVED.
RT

PREPARED F
OWNER

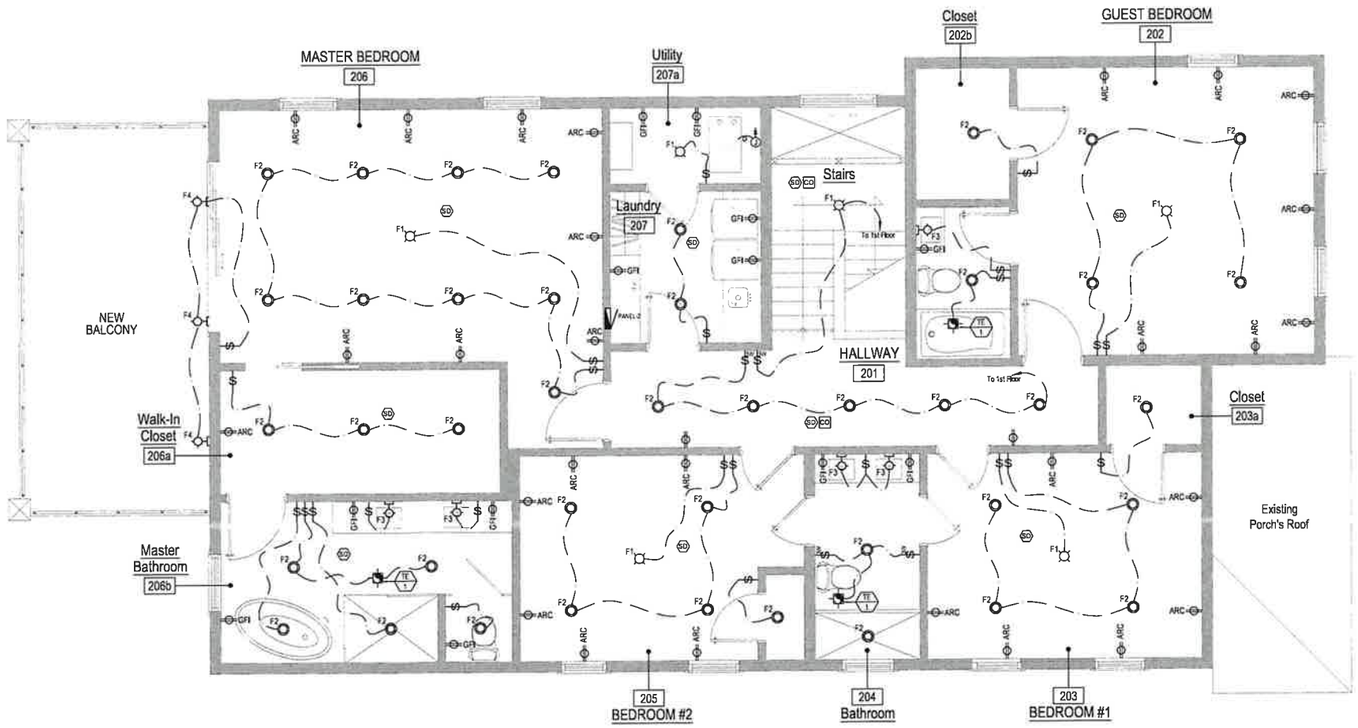
LOCATION:
223 Center St
Naperville, IL 6

JOB NUMBER
223CS-07042

SHEET No:

SHEET Name:
Power &
Lighting

LICENSED ARCHITECT
RADULE TEPAVCEVIC
001-016581
STATE OF ILLINOIS



1 POWER & LIGHTING PLAN
SECOND FLOOR
SCALE 1/4"=1'-0"

LICENSED ARCHITECT
RADULE TEPAVCEVIC
001-016881
STATE OF ILLINOIS

REVISIONS:

NO:	BY:	DATE:	DESCRIPTION:
	RT	07/04/2023	Review
	RT	10/31/2023	Permit

Convert 2-Unit to Single Family Residence, Interior Rehab & New 2-Story Frame Addition including New Partitions,

R.T. ARC

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7501 BRO
FOREST
TEL: (
rtepavc

PROJECT AR
RT

DRAFTPERS
CS

APPROVED:
RT

PREPARED F
OWNER

LOCATION:
223 Center St
Naperville, IL

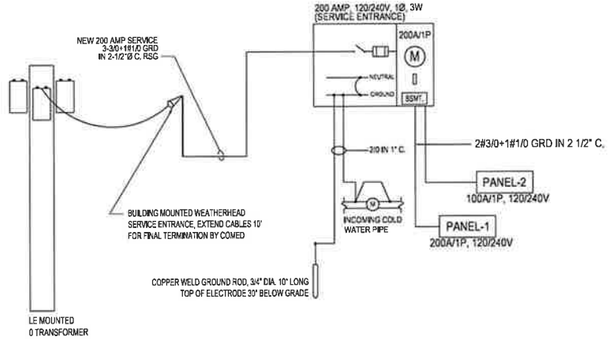
JOB NUMBE
223CS-07042

SHEET No.:

SHEET Name:
Power &
Lighting

ELECTRICAL NOTES

1. ALL ELECTRICAL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER BY A LICENSED ELECTRICIAN IN THE CITY OF NAPERVILLE. ALL ELECTRICAL WORK MUST COMPLY WITH THE CITY OF NAPERVILLE ADOPTED ELECTRICAL CODE.
2. ALL MATERIALS SHALL BE U.L. LISTED, AND APPROVED FOR THE PURPOSE INTENDED.
3. OBTAIN AND PAY ALL FEES, TAXES, AND PERMITS REQUIRED FOR ELECTRICAL WORK. PREPARE AND SUBMIT TO THE CITY OF NAPERVILLE ANY AND ALL DATA, DRAWINGS, AND DETAILS WHICH MAY BE REQUIRED FOR APPROVAL PRIOR TO INSTALLATION OF SAME.
4. FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND RELATED APPURTENANCES REQUIRED FOR ALL WORK INCLUDED AS PART OF THE ELECTRICAL INSTALLATION FOR THIS PROJECT.
5. COORDINATE ELECTRICAL WORK WITH ALL OTHER TRADES TO AVOID CONFLICTS AND DELAYS.
6. FURNISH AND INSTALL ALL AUXILIARY SUPPORTS AND MATERIAL NECESSARY TO INSTALL EQUIPMENT, MATERIAL, LIGHTING FIXTURES, DEVICES, CONDUIT AND WIRING.
7. ALL SYSTEMS WHICH ARE INCLUDED AS PART OF THE ELECTRICAL INSTALLATION FOR THIS PROJECT SHALL BE COMPLETE IN ALL DETAILS, INCLUDING ALL COMPONENTS REQUIRED FOR PROPER AND SATISFACTORY OPERATION.
8. ALL WIRE SHALL BE INSTALLED IN CONDUIT, MINIMUM SIZE OF CONDUIT SHALL BE 1/2" I.D. LARGER SIZES SHALL BE USED WHERE REQUIRED BY ADOPTED ELECTRICAL CODE.
9. ELECTRICAL METALLIC TUBING (EMT) MAY BE USED WITHIN CODE LIMITATIONS ON INTERIORS ONLY.
10. CONDUITS SHALL BE CONCEALED IN ALL "FINISHED" AREAS. IN "UNFINISHED" AREAS CONDUITS MAY BE RUN EXPOSED, PARALLEL WITH OR PERPENDICULAR TO BUILDING LINES.
11. FURNISH AND INSTALL ALL OUTLET BOXES RAISED COVERS, COVER PLATES, AND SUPPORTS AS REQUIRED.
12. FURNISH AND INSTALL BREAKERS FOR ALL EQUIPMENT, INCLUDING EQUIPMENT FURNISHED BY OWNER AND OTHERS.
13. ALL ELECTRICAL OUTLETS NEAR WATER MUST BE GFCI.
14. ALL CLOSETS SHALL BE:
    A. RECESSED LIGHTS WITH 6" CLEARANCE BETWEEN FIXTURE AND
    B. NEAREST POINT OF STORAGE SPACE.
    C. FLUORESCENT LIGHTS WITH 6" CLEARANCE BETWEEN FIXTURE
    D. AND NEAREST POINT OF STORAGE SPACE.
    E. INCANDESCENT LIGHTS WITH 12" CLEARANCE BETWEEN FIXTURE AND NEAREST POINT OF STORAGE SPACE.



1 ELECTRICAL SINGLE LINE DIAGRAM

CALCULATION FOR ELECTRICAL SERVICE

LIGHTING*	
Basement 1,272 Sq.Ft. x 3 (W per Sq.Ft.)=	3,816 W
1st Floor 1,543 Sq.Ft. x 3 (W per Sq.Ft.) =	4,629 W
2nd Floor 1,510 Sq.Ft. x 3 (W per Sq.Ft.) =	4,530 W
POWER*	
Basement 1,272 Sq.Ft. x 4 (W per Sq.Ft.)=	5,088 W
1st Floor 1,543 Sq.Ft. x 4 (W per Sq.Ft.) =	6,172 W
2nd Floor 1,510 Sq.Ft. x 4 (W per Sq.Ft.) =	6,040 W
MOTOR LOAD @ 100%=	18,000 W
25% MOTOR LOAD=	4,500 W
TOTAL LOAD	52,775 W
(52,775 W/240V)*0.80 =	176 AMPS
SELECTED	200 AMPS

*FROM MECHANICAL AND ELECTRICAL SYSTEMS IN BUILDINGS BY RICHARD R. LEWIS AND ALD, TABLE 13-3 PG. 419

ELECTRICAL SYMBOL LIST

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
$	NEW SINGLE POLE LIGHT SWITCH 4'-0" ABOVE FINISH FLOOR (TYP.)	F2	NEW RECESSED CAN LIGHT
SD	NEW CEILING MOUNTED HARDWIRED SMOKE DETECTOR W/BATTERY BACK UP	F3	NEW WALL MOUNTED LIGHT FIXTURE
CO	NEW CEILING-MTD HARDWIRED CARBON MONOXIDE DETECTOR W/BATTERY BACK UP	F4	NEW WALL MOUNTED WEATHERPROOF LIGHT FIXTURE "MS" TAG FOR MOTION SENSOR ACTIVATED FIXTURES.
	NEW EXHAUST FAN - SINGLE PHASE	F5	NEW CEILING MOUNTED PENDANT LIGHT FIXTURE
	NEW 120V, 1Ø, WALL-MOUNTED DUPLEX GROUND OUTLET 19" ABOVE FLOOR (TYP.)		NEW ELECTRICAL PANEL
GFI	NEW 120V, 1Ø WALL-MOUNTED DUPLEX GROUND FAULTED INTERRUPTOR OUTLET		NEW ELECTRICAL METER
ARC	NEW 120V, 1Ø WALL-MOUNTED DUPLEX ARC-FAULTED INTERRUPTOR OUTLET		EMERGENCY LIGHT w/ BATTERY BACK-UP
F1	NEW CEILING MOUNTED LIGHT FIXTURE. "PC" TAG FOR PHOTOVOLTAIC SENSOR ACTIVATED FIXTURES.		EXIT SIGN w/ BATTERY BACK-UP

PANELBOARD SCHEDULE, PANEL-1

PANEL MTG	WALL MOUNTED	VOLTAGE	120/240 V	PANEL DIMENSIONS	
MAIN FUSE	200 AMP BREAKER	LOCATION	BASEMENT	HEIGHT	AS REQ'D.
MAINS		PHASE	1Ø (3W)	WIDTH	
LUGS		FEEDER SIZE	SEE ONE LINE DIAGRAM	DEPTH	
No. OF CCTS.	30	SERVED FROM	METER	CONN. LOAD	38.93 KW
GR. BAR	YES	DESIGNED LOAD	48.00 KW		
ISO. GR.	NO				

CCT No.	CCT AMP		A WATTS	B WATTS		CCT AMP	CCT No.
1	15	GEN. LIGHTING (BSMT.)	2112		GEN. LIGHTING (BSMT.)	15	2
3	15	GEN. LIGHTING (BSMT.)		2112	GEN. LIGHTING (BSMT.)	15	4
5	15	GEN. LIGHTING (1st FL.)	2112		GEN. LIGHTING (1st FL.)	15	6
7	15	GEN. LIGHTING (1st FL.)		2112	GEN. LIGHTING (1st FL.)	15	8
9	15	GEN. LIGHTING (1st FL.)	2112		GEN. LIGHTING (1st FL.)	15	10
11	20	RECEPTACLE (BSMT.)		2480	RECEPTACLE (BSMT.)	20	12
13	20	RECEPTACLE (BSMT.)	2480		RECEPTACLE (BSMT.)	20	14
15	20	RECEPTACLE (1st FL.)		2480	RECEPTACLE (1st FL.)	20	16
17	20	RECEPTACLE (1st FL.)	2480		RECEPTACLE (1st FL.)	20	18
19	20	RECEPTACLE (1st FL.)		2480	RECEPTACLE (1st FL.)	20	20
21	30	BSMT. EQUIPMENT	720		1ST FLOOR EQUIPMENT	20	22
23	40	DOUBLE OVEN		7770	CK'G/LIGHTING	15	24
25			4000		A/C UNIT (CU-1)	60	26
27	50	FURNACE (FU-1)		4500			28
29			4000				30
		TOTAL WATTS / PHASE	20,016	18,934			
					TOTAL CONN. LOAD		38.93 KW
		DEMAND FACTOR	0.81				
		SPARE LOAD FACTOR	0.19				
REMARKS:							

PANELBOARD SCHEDULE, PANEL-2

PANEL MTG.	WALL MOUNTED	VOLTAGE	120/240 V	PANEL DIMENSIONS	
MAIN FUSE	100 AMP BREAKER	LOCATION	SECOND FLOOR	HEIGHT	AS REQ'D.
MAINS		PHASE	1Ø (3W)	WIDTH	
LUGS		FEEDER SIZE	SEE ONE LINE DIAGRAM	DEPTH	
No. OF CCTS.	20	SERVED FROM	METER	CONN. LOAD	23.43 KW
GR. BAR	YES	DESIGNED LOAD	24.00 KW		
ISO. GR.	NO				

CCT No.	CCT AMP		A WATTS	B WATTS		CCT AMP	CCT No.
1	15	GEN. LIGHTING (2nd FL.)	1943		GEN. LIGHTING (2nd FL.)	15	2
3	15	GEN. LIGHTING (2nd FL.)		1943	GEN. LIGHTING (2nd FL.)	15	4
5	15	GEN. LIGHTING (2nd FL.)	1943		GEN. LIGHTING (2nd FL.)	15	6
7	20	RECEPTACLE (2nd FL.)		3720	RECEPTACLE (2nd FL.)	20	8
9	20	RECEPTACLE (2nd FL.)	3720		RECEPTACLE (2nd FL.)	20	10
11	20	RECEPTACLE (2nd FL.)		3720	RECEPTACLE (2nd FL.)	20	12
13	20	RECEPTACLE (2nd FL.)	3720		RECEPTACLE (2nd FL.)	20	14
15	20	2nd FL. EQUIPMENT		720	A/C UNIT	60	16
17	40	FURNACE	3000				18
19				3000			20
		TOTAL WATTS / PHASE	11,585	11,843			
					TOTAL CONN. LOAD		23.43 KW
		DEMAND FACTOR	0.96				
		SPARE LOAD FACTOR	0.02				
REMARKS:							

REVISIONS:

NO:	BY:	DATE:	DESCRIPTION:
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Convert 2-Unit to Single Family Residence, Interior Rehab & New 2-Story Frame Addition including New Partitions,

R.T. ARC
RADULE
7501 BROO
FOREST
TEL.: (
rtepavc

PROJECT AR
RT

DRAFTPERSO
CS

APPROVED:
RT

PREPARED F
OWNER

LOCATION:
223 Center St
Naperville, IL

JOB NUMBER
223CS-07042

SHEET No.:

SHEET Name:
Riser Dia
Calc's &
Panelboa

LICENSED ARCHITECT
RADULE
TEPAVCEVIC
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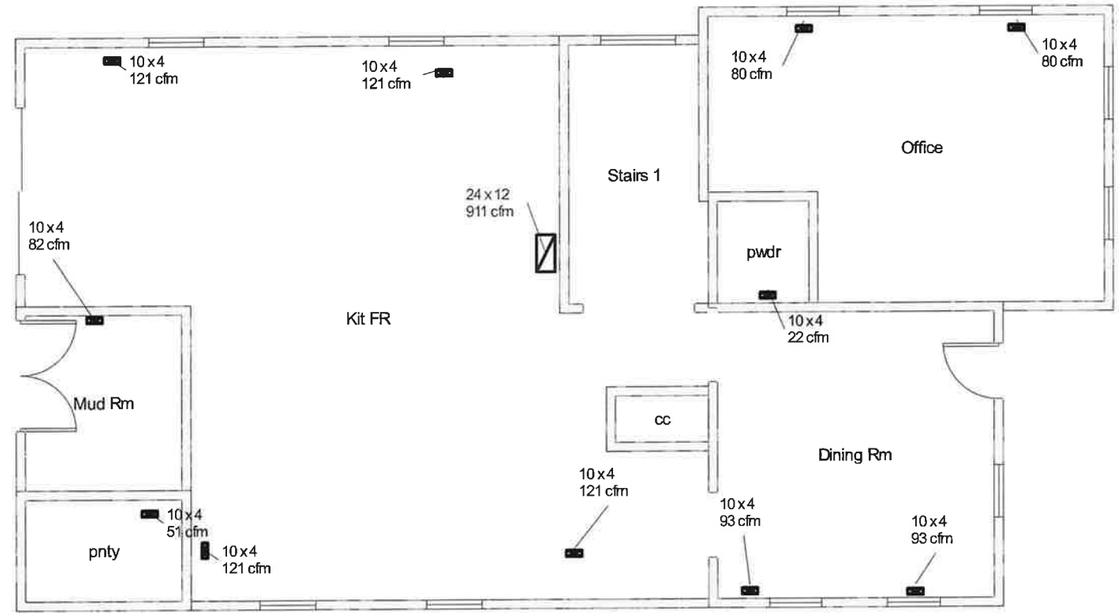
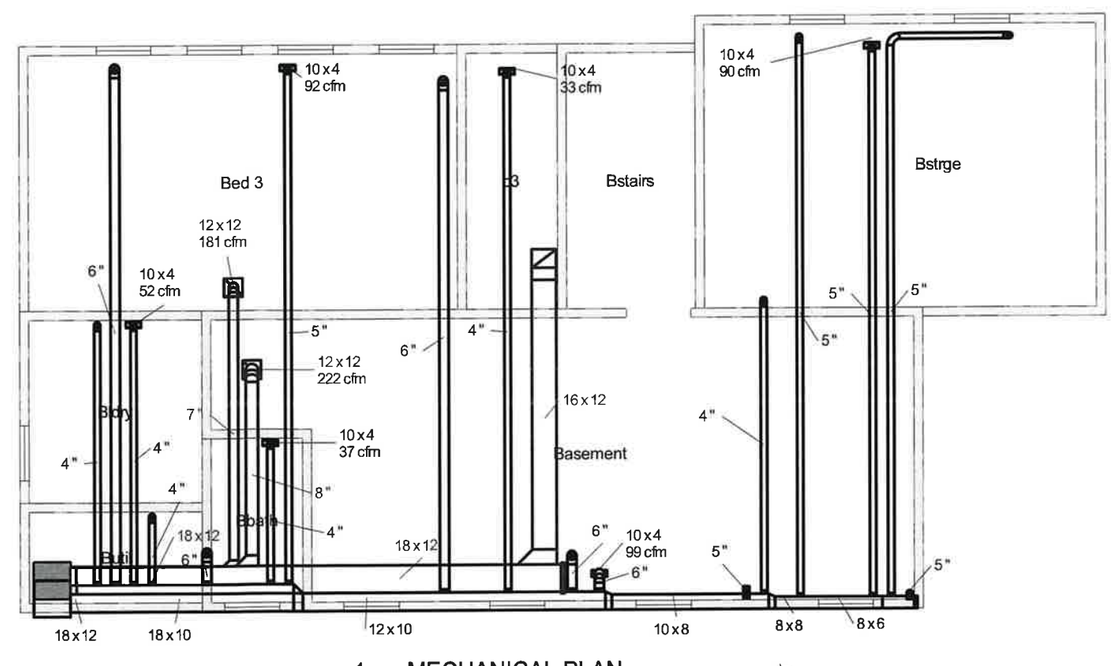
STATE OF ILLINOIS



2 MECHANICAL PLAN
FIRST FLOOR
SCALE 1/4"=1'-0"



1 MECHANICAL PLAN
BASEMENT
SCALE 1/4"=1'-0"

Convert 2-Unit to Single Family Residence, Interior Rehab & New 2-Story Frame Addition including New Partitions,

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	RT	07/01/2023	Review
	RT	11/01/2023	Permit

R.T. ARC

RADULE
7501 BROW
FOREST
TEL: (
rtapsvc

PROJECT AR
RT

DRAFTPERSO
CS

APPROVED:
RT

PREPARED F
OWNER

LOCATION:
223 Center St
Naperville, IL

JOB NUMBER
223CS-07042

SHEET No:

SHEET Name:
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LICENSED ARCHITECT
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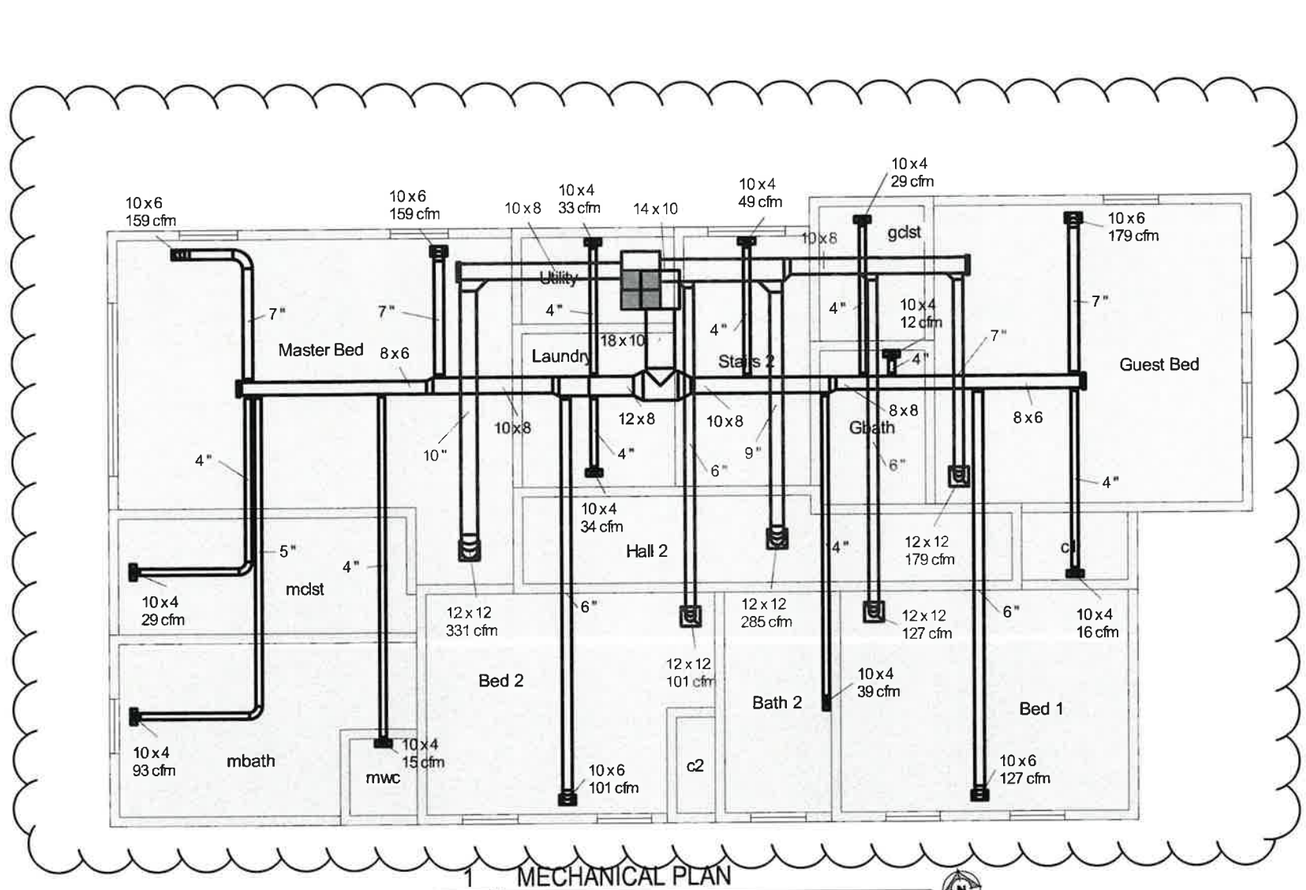

1 MECHANICAL PLAN
SECOND FLOOR

SCALE 1/4"=1'-0"

N

REVISIONS:

NO:	BY:	DATE:	DESCRIPTION:
	RT	07/24/2023	Review
	RT	07/25/2023	Permit

Convert 2-Unit to Single Family Residence. Interior Rehab & New 2-Story Frame Addition including New Partitions,

R.T. ARC

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7501 BROW
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rtepavc

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Naperville, IL

JOB NUMBE
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SHEET No.

SHEET Name:
Mechan

LICENSED ARCHITECT
RADULE TEPAVCEVIC
001-016881
STATE OF ILLINOIS

R.T. 10.17.2023

MECHANICAL EQUIPMENT SCHEDULE

TAG	SERVICE	UNIT DATA							HEATING DATA				CONNECTIONS		BLOWER PERFORMANCE			
		MANUF.	MODEL #	EFF.	TONS	UNIT WEIGHT	HEAT SOURCE	V / Ø / Hz	AIR FLOW (CFM)	HEATING IMPUT HIGH (Kw)	HEATING OUTPUT HIGH (Kw)	TEMP. RISE RANGE HIGH (°F)	FLUE CONN.	GAS PIPE SIZE (in)	AIR VOLUME (CFM)	TONS ADD-ON COOLING	FAN DIA (in)	MOTOR HP
FUR-1	BSMT & 1ST	HEIL	N9SESN0601716A	96%	4-4 5	146 LB	NAT. GAS	120/1/60	935-1665	80,000	78,000	40-70	3" PVC	1/2	935-1665	4-4 5	11x8	3/4
FUR-2	SECOND FL	HEIL	N9SESN0601412A	95%	2 5-3	129 LB	NAT. GAS	120/1/60	345-1120	60,000	58,000	45-75	3" PVC	1/2	345-1120	2 5-3	11x7	1/2

1. ALL FURNACES TO BE PROVIDED WITH PLENUM MOUNTED HUMIDIFIER, APRIL AIR MDL. #550, WITH ALL NECESSARY WATER & DRAIN PIPING, INTERLOCK TO HEATING CYCLE
2. ALL FURNACE UNITS TO BE PROVIDED WITH ROOM THERMOSTAT AND SUBBASE WITH ALL CONTROL WIRING.
3. ALL EXHAUST FANS TO BE PROVIDED WITH INTEGRATED DAMPER

R.T. 10.17.2023

REFRIGERATION SCHEDULE

TAG	SERVICE	COMP. TON	COMP. HP	REFRIG.	WT. REFRIG.	REMOTE	SELF CONT.	LOCATION	AIR COOLED	WATER COOLED	SPECIAL
CU-1	BSMT. & 1ST FL.	PER ATTACHED MANUAL J, SEE SHEET M-04 FOR SUMMARY									
CU-2	2ND FL	PER ATTACHED MANUAL J, SEE SHEET M-04 FOR SUMMARY									

EXHAUST FAN SCHEDULE

TAG	SYSTEM	LOCATION	MANUFAC.	MODEL #	TYPE	PERFORMANCE				ELECTRICAL DATA		
						CFM	SONES	DUCT SIZE (In)	DISCHARGE DIRECTION	HP or WATTS	V / Ø / Hz	AMPS
TE-1	BATH EXHAUST	CEILING	BROAN	LoSone #103	RECESSED	110	0.90	3	SIDE	67 W	120/1/60	1 1
KE-1	RANGE HOOD	KITCHEN	Per Owner	---	---	350 max	0 3-3 0	4 "B"	UP	---	120/1/60	---

MECHANICAL SYMBOL LIST

SYMBOL	DESCRIPTION
	NEW 10"x5" CLG-MTD. SUPPLY DIFFUSER WITH ADJUSTABLE LOUVERED SCREEN
F	NEW 10"x5" FLOOR-MTD. SUPPLY DIFFUSER WITH ADJUSTABLE LOUVERED SCREEN
	NEW CEILING-MTD. RETURN GRILL, SIZE AS SPECIFIED
	NEW WALL-MTD. RETURN GRILL, SIZE AS SPECIFIED
	NEW FURNACE, REFER TO EQUIP. SCHEDULE FOR SPECS
SD	NEW CEILING MOUNTED HARDWIRED SMOKE DETECTOR W/BATTERY BACK UP
CO	NEW CEILING-MTD HARDWIRED CARBON MONOXIDE DETECTOR W/BATTERY BACK UP
	NEW EXHAUST FAN
8"Ø	NEW SUPPLY DUCT, SIZE AS SPECIFIED, REFER TO SHEET METAL NOTES
22"x8"-R	NEW RETURN DUCT, SIZE AS SPECIFIED, REFER TO SHEET METAL NOTES
	NEW VOLUME DAMPER
	NEW SUPPLY DIFFUSER WITH VOLUME DAMPER

MECHANICAL GENERAL NOTES

1. ALL NEW MECHANICAL WORK SHALL COMPLY WITH STATE AND VILLAGE BUILDING CODES, LATEST EDITION, AND SHALL BE LEFT IN PERFECT OPERATING CONDITIONS.
2. PROVIDE GAS SERVICE WITH SHUT-OFF VALVE TO ALL GAS FIRED EQUIPMENT. ALL GAS PIPING SHALL BE BLACK STEEL SCHEDULE 40 WITH MALLEABLE FITTINGS.
3. PROVIDE VOLUME DAMPERS AT ALL DUCTWORK SUPPLY LINES
4. ALL GAS LINES MUST BE PRESSURE TESTED.
5. THE CONTRACTOR SHALL CONFORM TO ALL APPLICABLE OSHA STANDARDS.
6. THIS CONTRACTOR SHALL COORDINATE WORK WITH GENERAL CONTRACTOR AND ALL OTHER TRADES TO AVOID INTERFERENCE DURING CONSTRUCTION
7. ALL CONTROL WIRING SHALL BE BY THIS CONTRACTOR.
8. ALL REFRIGERANT PIPING SHALL BE INSULATED WITH 1/2" ARMAFLEX.
9. PROVIDE CARBON MONOXIDE DETECTORS AS SPECIFIED ON DRAWINGS.
10. DUCTWORK PENETRATIONS THRU WALLS /CEILING BETWEEN CONFINED SPACES MUST BE TIGHT-SEALED TO PREVENT FIRE SPREADING.
11. MECHANICAL DRAWINGS ARE SCHEMATIC FOR PERMIT PROCESS ONLY, VERIFY WITH MECHANICAL CONTRACTOR
12. ALL EQUIPMENT MUST BE AS SPECIFIED OR EQUAL IN IT'S PERFORMANCE, CAPACITY AND APPROVED BY THE VILLAGE
13. COMBUSTION AIR DUCTS SHALL BE OF GALVANIZED STEEL, SERVE A SINGLE APPLIANCE ENCLOSURE AND MUST CONFORM WITH THE VILLAGE CODE.
14. ANY CHANGE OR DEVIATION IN THE MECHANICAL SPECIFICATIONS MUST BE SUBMITTED IN WRITING TO THE ENGINEER/ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
15. DOWNFLOW EXHAUST DUCTS NOT PERMITTED

SHEET METAL NOTES

1. ALL DUCTWORK MUST BE GALVANIZED IRON, GAUGES PER ASHRAE GUIDE, UNLESS OTHERWISE NOTED. ALL SQUARE ELBOWS TO HAVE DOUBLE THICKNESS TYPE TURNING VANES UNLESS OTHERWISE NOTED, ALL ROUND ELBOWS SHALL HAVE INSIDE RADIUS EQUAL TO 75% OF DUCT WIDTH. MANUAL VOLUME DAMPERS TO HAVE LOCKING QUADRANT.
2. DIFFUSER, GRILLES, AND REGISTERS: EACH REGISTER SHALL BE FURNISHED WITH AN OPPOSING BLADE VOLUME DAMPER WITH ADJUSTABLE AIR RETURN LOUVER
3. ALL DUCTWORK IN UNHEATED AREAS SHALL BE ADEQUATELY PROTECTED AGAINTS THE ELEMENTS.

VENT NOTES

1. VENTS SHALL TERMINATE NOT LESS THAN 2 FEET ABOVE THE HIGHEST POINT OF THE ROOF PENETRATION AND NOT LESS THAN 2 FEET HIGHER THAN ANY PORTION OF A BUILDING WITHIN 10 FEET.
2. HORIZONTAL TERMINATIONS FOR VENTS ARE PERMITTED ON CATEGORY IV APPLIANCES ONLY AND SHALL BE LOCATED PER APPLICABLE CODE

COMBUSTION AIR DUCTS

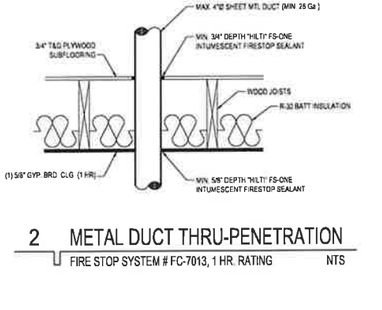
COMBUSTION AIR DUCTS SHALL:
1. BE OF GALVANIZED STEEL COMPLYING WITH CHAPTER 6 OR OF EQUIVALENT CORROSION-RESISTANT MATERIAL APPROVED FOR THIS APPLICATION
2. HAVE A MINIMUM CROSS-SECTIONAL DIMENSION OF 3 INCHES
3. TERMINATE IN AN UNOBSTRUCTED SPACE ALLOWING FREE MOVEMENT OF COMBUSTION AIR TO THE APPLIANCES
4. HAVE THE SAME CROSS-SECTIONAL AREAS AS THE FREE AREA OF THE OPENINGS TO WHICH THEY CONNECT.
5. SERVE A SINGLE APPLIANCE ENCLOSURE.
6. NOT SLOPE DOWNWARD TOWARD THE SOURCE OF COMBUSTION AIR

REFRIGERATION NOTES

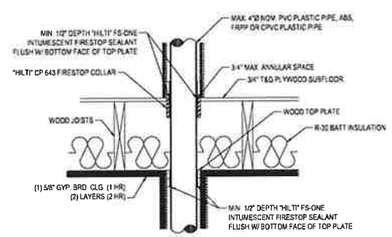
REFRIGERATION PIPING:
1. COPPER TUBING MAY BE TYPE ACR OR TYPE "K" UNLESS THE PRESSURE EXCEEDS THE RATED CAPACITY OF ACR TUBING
2. ALL JOINTS & CONNECTIONS TO BE BRAZED
3. REMOVE EXPANSION VALVES, DEVICES, AND CONNECTIONS FROM THE AIR STREAM.
4. INSTALL PRESSURE RELIEF VALVE ON HIGH PRESSURE SIDE OF SYSTEM, UPSTREAM OF ANY INTERVENING VALVES.

CONDENSATE PIPING NOTES

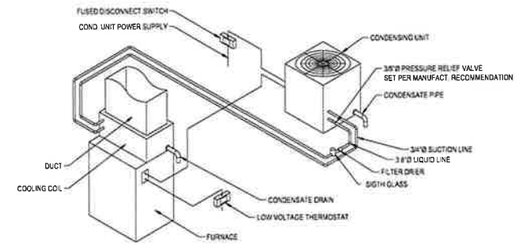
1. FUEL-BURNING, EVAPORATIVE & COOLING DEVICES THAT PRODUCE CONDENSATING MUST BE DRAINED. CONDENSATE SHALL BE COLLECTED AND DISCHAGED TO AN APPROVED PLACE OF DISPOSAL. CONDENSATE PIPING SHALL BE TYPE M COPPER OR SCHEDULE 40 PVC AND SHALL NOT BE SMALLER THAN THE DRAIN CONNECTION ON THE APPLIANCE SUCH PIPE SHALL MAINTAIN A MIN. HORIZONTAL SLOPE IN THE DIRECTION OF DISCHARGE OF NOT LESS THAN ONE-EIGHT UNIT VERTICAL IN 12 UNITS HORIZ.
2. OVERFLOW DRAINS SHOULD DISCHARGE IN A CONSPICUOUS LOCATION.



2 METAL DUCT THRU-PENETRATION
FIRE STOP SYSTEM # FC-7013, 1 HR. RATING NTS



3 PLASTIC PIPE THRU-PENETRATION
FIRE STOP SYSTEM # FC-2025, 1 & 2 HR. RATING NTS



2 SPLIT SYSTEM DIAGRAM
NTS

LICENSED ARCHITECT
RADULE TEPAVCEVIC
001-016661
STATE OF ILLINOIS

REVISIONS

NO:	BY:	DATE:	DESCRIPTION:
	RT	07/04/2023	Review
			Board

Convert 2-Unit to Single Family Residence, Interior Rehab & New 2-Story Frame Addition including New Partitions,

R.T. ARC
RADULE
7501 BRO
FOREST
TEL.: (
rtepav

PROJECT AR
RT
DRAFTPERS
CS
APPROVED.
RT
PREPARED F
OWNER
LOCATION:
223 Center St
Naperville, IL
JOB NUMBE
223CS-07042

SHEET No.

SHEET Name:
Light, Ve
Sched.-

R1. 10 17 2023

wrightsoft Project Summary
AH 1 1st Floor
Easy Manual J

Job:	223 Center Street
Date:	Sep 29, 2023
By:	Josh Putman
Plan:	223 Center Street

Project Information

For: Khaled Hasan
IL

Notes: 223 Center Street, Naperville, IL

Design Information

Weather: Chicago O'Hare, IL, US

Winter Design Conditions

Outside db	3	°F
Inside db	70	°F
Design TD	67	°F

Summer Design Conditions

Outside db	89	°F
Inside db	75	°F
Design TD	14	°F
Daily range	M	
Relative humidity	50	%
Moisture difference	33	gr/lb

Heating Summary

Structure	41498	Btuh
Ducts	0	Btuh
Central vent (110 cfm) Outside air	7863	Btuh
Humidification	9937	Btuh
Piping	0	Btuh
Equipment load	59298	Btuh

Sensible Cooling Equipment Load Sizing

Structure	19129	Btuh
Ducts	0	Btuh
Central vent (110 cfm) Outside air	1591	Btuh
Blower	1707	Btuh
Use manufacturer's data	y	
Rate/swing multiplier	1.00	
Equipment sensible load	22427	Btuh

Infiltration

Method	Simplified
Construction quality	Semi-tight
Fireplaces	0

	Heating	Cooling
Area (ft²)	3409	3409
Volume (ft³)	20710	20710
Air changes/hour	0.39	0.19
Equiv. AVF (cfm)	136	67

Latent Cooling Equipment Load Sizing

Structure	6666	Btuh
Ducts	0	Btuh
Central vent (110 cfm) Outside air	2403	Btuh
Equipment latent load	9070	Btuh
Equipment Total Load (Sen+Lat)	31496	Btuh
Req. total capacity at 0.72 SHR	2.6	ton

Heating Equipment Summary

Make	Heil	
Trade	HEIL	
Model	N95ESN0801716A	
AHRI ref	203360674	
Efficiency	96 AFUE	
Heating input	80000	Btuh
Heating output	78000	Btuh
Temperature rise	66	°F
Actual air flow	1100	cfm
Air flow factor	0.027	cfm/Btuh
Static pressure	0.60	in H2O
Space thermostat		

Cooling Equipment Summary

Make	Heil	
Trade	PERFORMANCE 14 SEER2 AC	
Cond	R4A4S36*K*NAA*	
Coil	EA*4x36L21A*+N95ESN0801716A	
AHRI ref	209898614	
Efficiency	11.5 EER2, 13.4 SEER2	
Sensible cooling	23904	Btuh
Latent cooling	9296	Btuh
Total cooling	33200	Btuh
Actual air flow	1100	cfm
Air flow factor	0.058	cfm/Btuh
Static pressure	0.60	in H2O
Load sensible heat ratio	0.71	

Calculations approved by ACCA to meet all requirements of Manual J 8th Ed.

wrightsoft Project Summary
AH 2 2nd Floor
Easy Manual J

Job:	223 Center Street
Date:	Sep 29, 2023
By:	Josh Putman
Plan:	223 Center Street

Project Information

For: Khaled Hasan
IL

Notes: 223 Center Street, Naperville, IL

Design Information

Weather: Chicago O'Hare, IL, US

Winter Design Conditions

Outside db	3	°F
Inside db	70	°F
Design TD	67	°F

Summer Design Conditions

Outside db	89	°F
Inside db	75	°F
Design TD	14	°F
Daily range	M	
Relative humidity	50	%
Moisture difference	33	gr/lb

Heating Summary

Structure	23446	Btuh
Ducts	8178	Btuh
Central vent (90 cfm) Outside air	6424	Btuh
Humidification	4843	Btuh
Piping	0	Btuh
Equipment load	42891	Btuh

Sensible Cooling Equipment Load Sizing

Structure	11318	Btuh
Ducts	5659	Btuh
Central vent (90 cfm) Outside air	1300	Btuh
Blower	1707	Btuh
Use manufacturer's data	y	
Rate/swing multiplier	1.00	
Equipment sensible load	19984	Btuh

Infiltration

Method	Simplified
Construction quality	Semi-tight
Fireplaces	0

	Heating	Cooling
Area (ft²)	1739	1739
Volume (ft³)	17393	17393
Air changes/hour	0.39	0.19
Equiv. AVF (cfm)	114	54

Latent Cooling Equipment Load Sizing

Structure	4374	Btuh
Ducts	1227	Btuh
Central vent (90 cfm) Outside air	1964	Btuh
Equipment latent load	7565	Btuh
Equipment Total Load (Sen+Lat)	27549	Btuh
Req. total capacity at 0.72 SHR	2.3	ton

Heating Equipment Summary

Make	Heil	
Trade	HEIL	
Model	N95ESN0601412A	
AHRI ref	203924776	
Efficiency	95 AFUE	
Heating input	60000	Btuh
Heating output	58000	Btuh
Temperature rise	59	°F
Actual air flow	910	cfm
Air flow factor	0.029	cfm/Btuh
Static pressure	0.60	in H2O
Space thermostat		

Cooling Equipment Summary

Make	Heil	
Trade	PERFORMANCE 14 SEER2 AC	
Cond	R4A4S30*K*NAA*	
Coil	EA*4X30L17A*+N95ESN0601412A	
AHRI ref	208951864	
Efficiency	11.5 EER2, 14 SEER2	
Sensible cooling	20160	Btuh
Latent cooling	7840	Btuh
Total cooling	28000	Btuh
Actual air flow	910	cfm
Air flow factor	0.054	cfm/Btuh
Static pressure	0.60	in H2O
Load sensible heat ratio	0.73	

Calculations approved by ACCA to meet all requirements of Manual J 8th Ed.

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RADULE TEPAVCEVIC
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NO:	BY:	DATE:	DESCRIPTION:
	RT	07/04/2023	Review

Convert 2-Unit to Single Family Residence. Interior Rehab
& New 2-Story Frame Addition including New Partitions,

R.T. AR
RADUL
7501 BRO
FOREST
TEL.: (
rtepav

PROJECT AR
RT

DRAFTPERS
CS

APPROVED:
RT

PREPARED F
OWNER

LOCATION:
223 Center St
Naperville, IL

JOB NUMBE
223CS-0704

SHEET No:

SHEET Name:
Manual
Summa