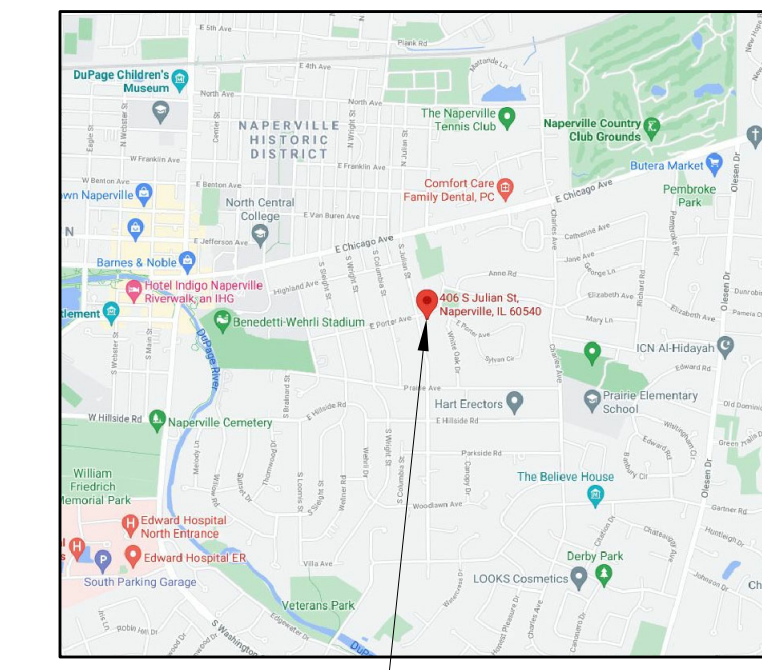


# NEW SPEC HOME

406 S. JULIAN ST, NAPERVILLE, IL 60540

## LOCATION PLAN



PROJECT LOCATION

## BUILDING CODE SUMMARY

ALL CONSTRUCTION AND MATERIALS USED SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE ADOPTED EDITIONS AS NOTED OF THE FOLLOWING APPLICABLE CODES:

- 2018 INTERNATIONAL RESIDENTIAL CODE
- ILLINOIS ENERGY CONSERVATION CODE, CURRENT EDITION (ECC) VIA REMRAITE
- 2018 INTERNATIONAL FUEL GAS CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL PLUMBING CODE
- 2006 INTERNATIONAL ELECTRICAL CODE (ADMINISTRATIVE SECTION ONLY)
- 2017 NATIONAL ELECTRIC CODE (NFPA 70)
- ILLINOIS STATE PLUMBING CODE, CURRENT EDITION
- LOCAL AMENDMENTS PER NAPERVILLE MUNICIPAL CODE (TITLE V)
- 2018 LIFE SAFETY CODE (NFPA 101)

JURISDICTION: CITY OF NAPERVILLE, IL  
 ZONING: R1A  
 TYPE OF CONSTRUCTION: WOOD FRAME  
 SITE AREA: 13,648 SF  
 SOIL CLASSIFICATION: GROUP II, ML CL, 3,000 PSF  
 LOT LEGAL DESCRIPTION: LOT 5 IN SHIFLER BROTHERS' OAK HILLS, BEING A SUBDIVISION OF PART OF SECTIONS 18 AND 19, TOWNSHIP 38 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED ON JUNE 4, 1946 AS DOCUMENT 499253 AND CERTIFICATE OF CORRECTION RECORDED AUGUST 26, 1946 AS DOCUMENT 505208, IN DUPAGE COUNTY, ILLINOIS

## CERTIFICATION

ARCHITECT:  
 TORCH ARCHITECTURE, INC.  
 I HAVE PREPARED, OR CAUSED TO BE PREPARED UNDER MY DIRECT SUPERVISION, THE ATTACHED PLANS DATED XXX XX, 2021 FOR THE CONSTRUCTION OF THE NEW SPEC HOUSE AT 406 S. JULIAN ST, NAPERVILLE IN DUPAGE COUNTY AND STATE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THEY ARE IN COMPLIANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC), ILLINOIS ACCESSIBILITY CODE AND CITY OF NAPERVILLE AMENDMENTS. DOCUMENTS FOR WHICH SEAL APPLIES ARE LISTED IN DRAWING INDEX BELOW:

TORIN M. HANNAN  
 LICENSE NUMBER: 001-017455  
 LICENSE EXPIRES: 11/30/2022

TORCH ARCHITECTURE, INC.  
 ILLINOIS REGISTERED PROFESSIONAL DESIGN FIRM  
 LICENSE NUMBER: 184005777  
 LICENSE EXPIRES: 4/30/2021

DATE: XXX XX, 2021

## DRAWING INDEX

SHEET	SHEET DESCRIPTION	ISSUE DESCRIPTION / DATE
T101	CERTIFICATION, INDEX, CODE SUMMARY, GENERAL NOTES & INFORMATION	■
G101	GENERAL NOTES, SCHEDULES & DETAILS	■
G102	SPECIFICATIONS, WALL BRACING, RADON DETAIL	■
G103	SECTION DETAILS	■
A101	FRONT & LEFT ELEVATIONS	■
A102	REAR & RIGHT ELEVATIONS	■
A201	FOUNDATION PLAN & WALL SECTION	■
A202	FIRST FLOOR PLAN & WALL SECTION	■
A203	SECOND FLOOR PLAN	■
A204	ROOF PLAN & DETAILS	■
E101	FIRST FLOOR ELECTRICAL PLAN	■
E102	SECOND FLOOR ELECTRICAL PLAN	■

INDICATES DRAWINGS IN SET FOR REFERENCE ONLY

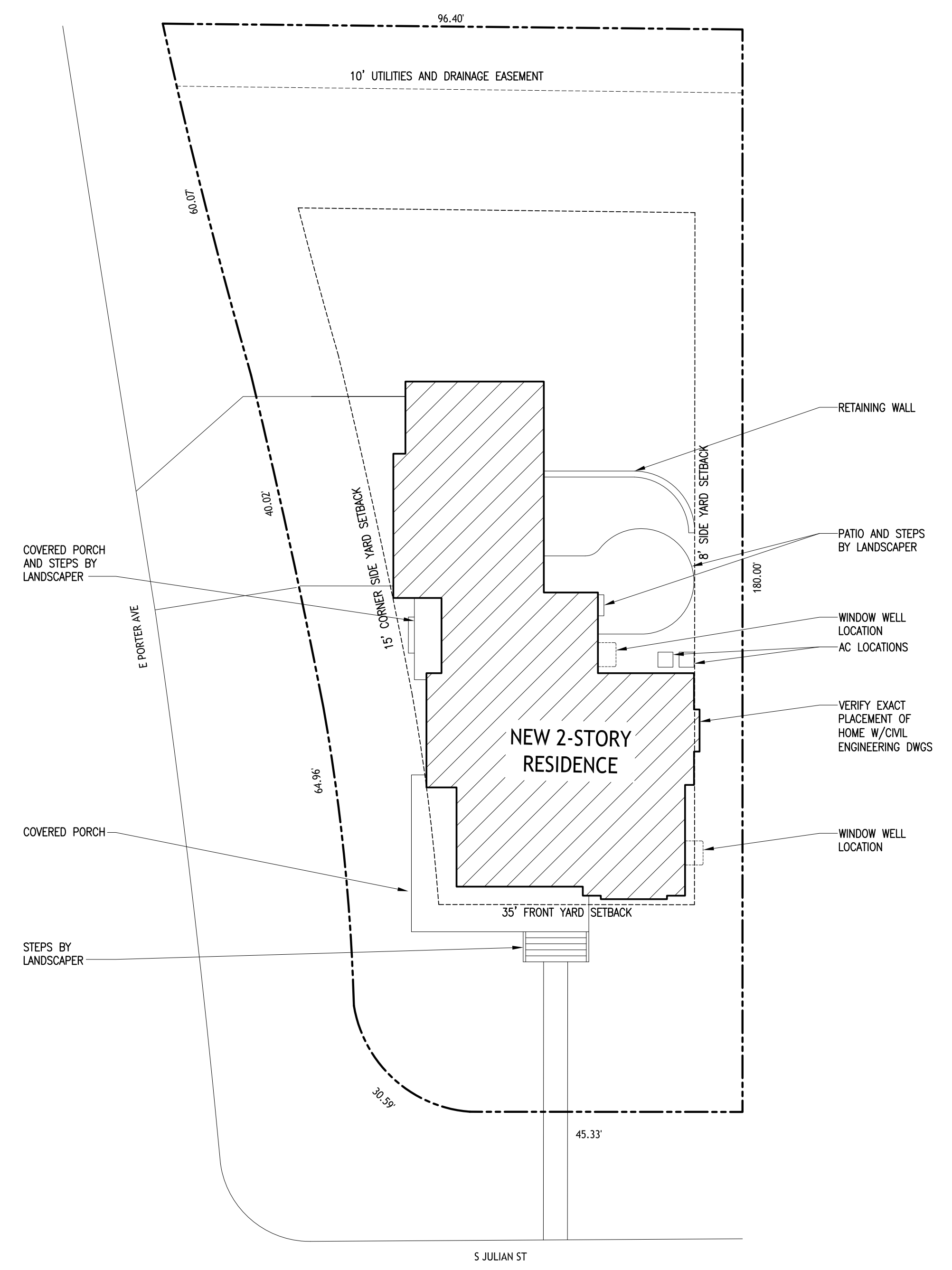
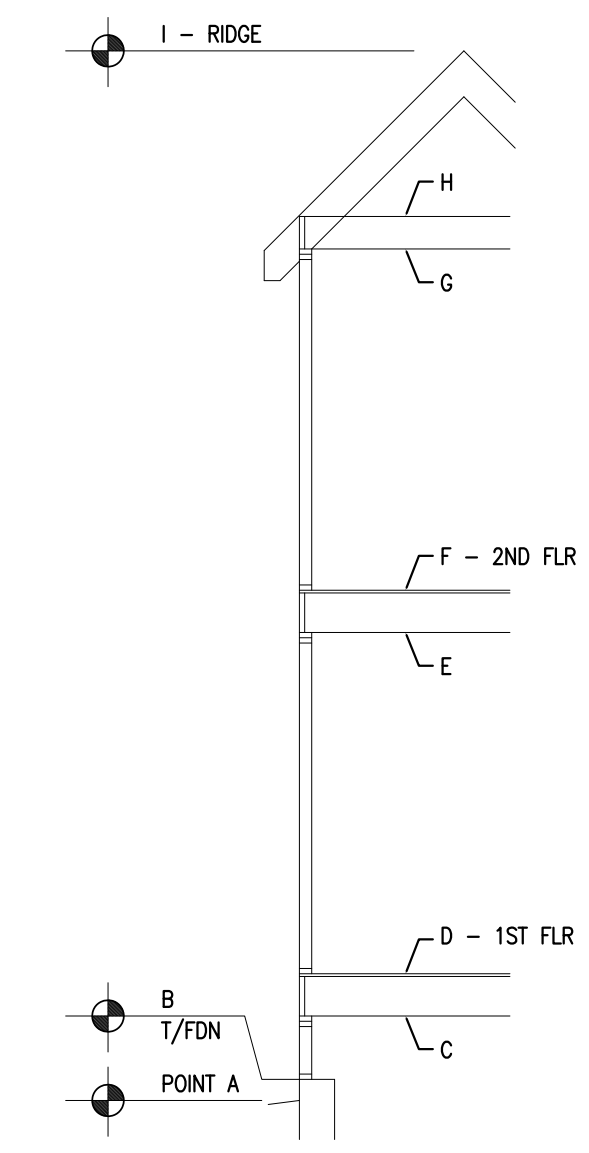
- ### GENERAL NOTES:
- CONTRACTOR SHALL ADHERE TO ALL CITY OF NAPERVILLE SITE SAFETY & WORK REQUIREMENTS PER LOCAL ORDINANCES
  - PROPERLY DISCONNECT EXIST UTILITIES AS REQUIRED
  - COMPLETELY REMOVE EXIST STRUCTURES, WALKS, DRIVES, ETC, INCLUDING MECH & ELEC ITEMS, FOUNDATIONS, FOOTINGS & SLABS AS REQUIRED
  - PROPERLY DISPOSE OF ALL DEMOLISHED ITEMS OFF SITE
  - COMPLY WITH CITY OF NAPERVILLE REQUIREMENTS, PREPARE SITE & PROVIDE ENGINEERED FILL AS TO ACCOMMODATE THE NEW CONST AS INDICATED.
  - FOR FURTHER DETAILED SITE INFORMATION SEE CIVIL DWGS

## BUILDING HEIGHT TABLE

LINE SEGMENT	DESCRIPTION	VALUE
POINT A	DATUM POINT (AVG. ELEV. OF BOTH P.L.'S AT FRONT YARD SETBACK)	888.05'
	ELEV. #1 (USED ABOVE AT FRONT YARD SETBACK)	887.1'
	ELEV. #2 (USED ABOVE AT FRONT YARD SETBACK)	889.0'
GI	HEIGHT OF ROOF (B/ CEIL JOIST OR T/ PLATE TO TALLEST PEAK)	12'-11 1/2"
AG+(0.5*G)	MEAN HEIGHT	31'-8 3/4"
AC	DATUM POINT TO BASEMENT CEIL.	4'-0 1/2"
AD	DATUM POINT TO 1ST STORY FINISHED FLR	5'-0 1/2"
AB	HEIGHT OF FOUNDATION	3'-11 1/2"
BC	HEIGHT OF KNEE WALL ABOVE FOUNDATION	1 1/2"
DF	HEIGHT OF 1ST STORY (T/ FLR JOIST TO T/ CEIL JOIST)	10'-1"
FH	HEIGHT OF 2ND STORY (T/ FLR JOIST TO T/ CEIL JOIST)	9'-1"
AI	PEAK HEIGHT	38'-2"

ITEM	DESCRIPTION	VALUE
1	FOOTPRINT OF PRINCIPAL STRUCTURE	2,720 SF
2	FOOTPRINT OF ATTACHED/DETACHED GARAGE	859 SF
3	TOTAL LOT AREA	13,698 SF
4	BUILDING COVERAGE = (1 + 2)/3	26.07%
5	GROSS SQUARE FOOTAGE OF BASEMENT	1,696 SF
5A	GROSS SQUARE FOOTAGE OF UNFINISHED BASEMENT	1,696 SF
5B	GROSS SQUARE FOOTAGE OF FINISHED BASEMENT	0 SF
6	GROSS SQUARE FOOTAGE OF 1ST FLOOR	1,854 SF
7	GROSS SQUARE FOOTAGE OF 2ND FLOOR	2,089 SF
8	GROSS SQUARE FOOTAGE OF ATTIC W/ OVER 7' CEIL HT	0 SF



SITE PLAN  
 1"=15'-0"

### BUILDING DESIGN CRITERIA (PER 2018 IRC CITY OF NAPERVILLE R301.2(1))

GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITE	WINTER DESIGN TEMP.	ICE BARRIER UNDERLAYMENT REQD	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
30 PSF	115 MPH 3 SEC. GUST	A	SEVERE	42"	MODERATE TO HEAVY	-4 F	YES	REFER TO LOCAL ORDINANCES	1635	48.7 F



PRELIMINARY NOT FOR CONSTRUCTION  
 02/01/2022

PROJECT  
 NEW SPEC HOUSE  
 406 S. JULIAN ST  
 NAPERVILLE, IL 60540  
 FOR

PROJECT NUMBER 921045

ISSUE

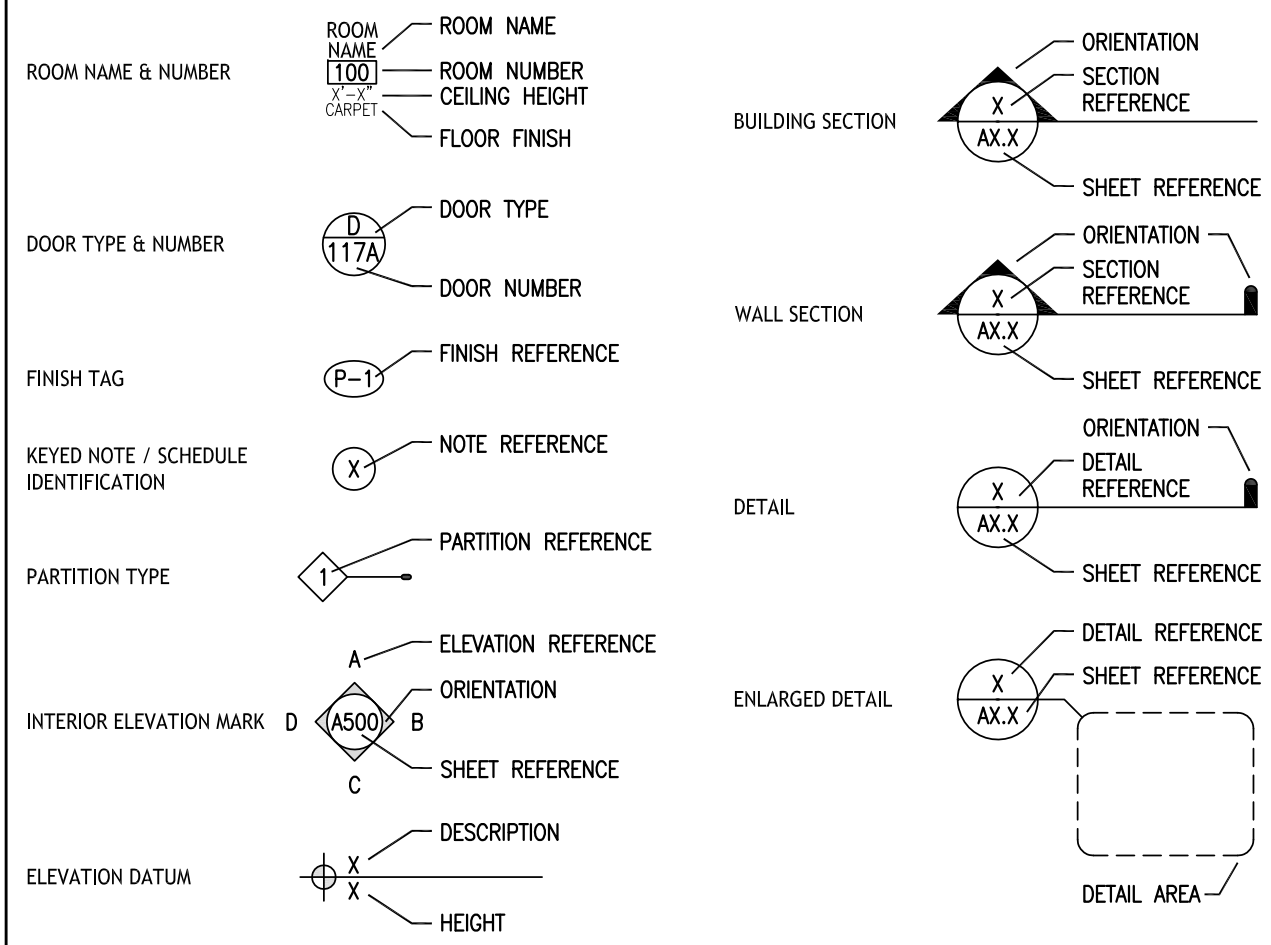
RE-ISSUE

DESCRIPTION  
 CERTIFICATION, INDEX, CODE SUMMARY,  
 GENERAL NOTES & INFORMATION

TORCH ARCHITECTURE INC  
 27 W. JEFFERSON AVE STE 200 NAPERVILLE IL 60540  
 P 630 420 1900 TORCHARCHITECTURE.COM

T1 01

**DRAWING SYMBOLS**



**STANDARD ABBREVIATION LIST**

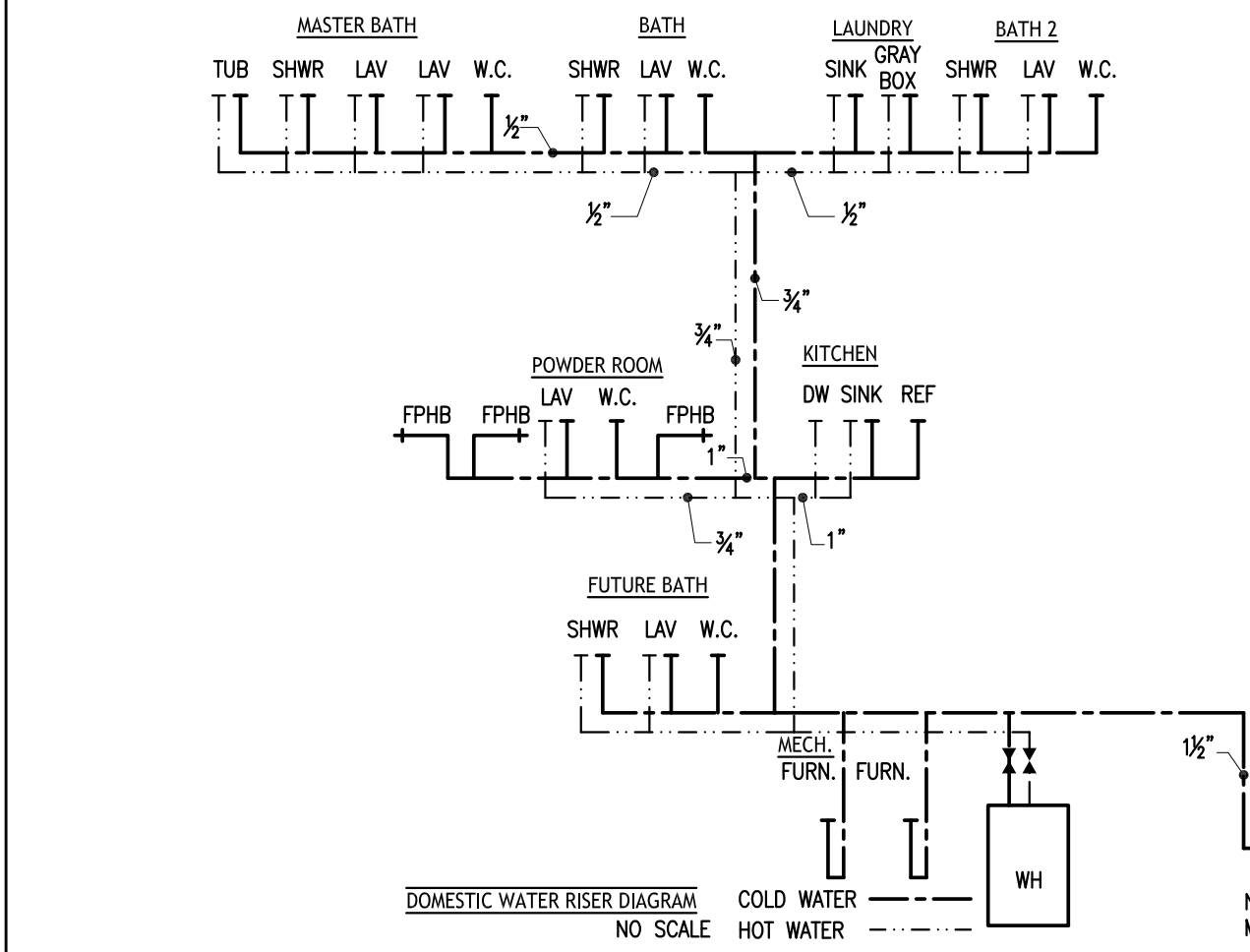
ADOT ADDITION	ADJ ADJACENT	AFF ABOVE FINISH FLOOR	ARCH ARCHITECT, -URAL	B/B BLDG BOTTOM OF BUILDING	BLKG BLOCKING	BM BEARING	BSMT BASEMENT	BTWN BETWEEN	CJ CONTROL JOINT	CMU CONCRETE MASONRY UNIT	CANT CANTILEVER	CL CENTERLINE	CEIL CEILING	CLOS CLOSET	COL COLUMN	CLR CLEAR	CONC CONCRETE CONSTRUCTION	CONST CONTINUOUS	COORD COORDINATE	DBL DOUBLE	DF DRINKING FOUNTAIN	DH DOUBLE HUNG	DS DOWNSPOUT	DIA DIAMETER	DIA DIAGONAL	DIM DIMENSION	DISP DISPOSAL	DN DOWN	DR DOOR	DRYER DRYER	DWG DRAWING	EPS EXTERIOR INSULATED FINISH SYSTEM	EJ EXPANSION JOINT	EW ELECTRIC WATER COOLER	EA EACH	EL ELEVATION	ELEV ELEVATION	EQ EQUAL	EX EXISTING	EXP EXPANSION	EXT EXTERIOR	FD FLOOR DRAIN	FIRE FIRE EXTINGUISHER CABINET	FF FINISH FLOOR	FP FIRE PLACE	FIN FINISH	FIXT FIXTURE	F&I FURNISHED AND INSTALLED	FLR FLOOR	FLU FLUORESCENT	FRAM FRAMING	FN FOUNDATION	FT FOOT	FTG FOOTING	GC GENERAL CONTRACTOR	GYP GYPSUM BOARD	GA GAUGE	GALV GALVANIZED	GL GLASS	HC HOLLOW CORE	HT HEIGHT	HM HOLLOW METAL	HP HIGH POINT	RCP REFLECTED CEILING PLAN	ROOF ROOF DRAIN	RI ROUGH IN	RM ROOM	INSUL INSULATION	INT INTERIOR	JOIST JOIST	JOINT JOINT	LP LOW POINT	LAV LAVATORY	MO MASONRY OPENING	MAS MASONRY	MAX MAXIMUM	MECH MECHANICAL	MFR MANUFACTURER	MIN MINIMUM	MISC MISCELLANEOUS	MTD MOUNTED	MTL METAL	NC NOT IN CONTRACT	NTS NOT TO SCALE	NO NUMBER	OC ON CENTER	OD OUTSIDE DIAMETER	OFD OVERFLOW DRAIN	UNO UNDO	OPG OPENING	PC PULL CHAIN	PL PLATE	PLAS PLASTIC LAMINATE	PERI PERIMETER	PLY PLYWOOD	WH WATER HEATER	WI WROUGHT IRON	WP WORK POINT	WASHER WASHER	WD WOOD	WT WEIGHT	W/W WELDED WIRE FABRIC
---------------	--------------	------------------------	-----------------------	-----------------------------	---------------	------------	---------------	--------------	------------------	---------------------------	-----------------	---------------	--------------	-------------	------------	-----------	----------------------------	------------------	------------------	------------	----------------------	----------------	--------------	--------------	--------------	---------------	---------------	---------	---------	-------------	-------------	--------------------------------------	--------------------	--------------------------	---------	--------------	----------------	----------	-------------	---------------	--------------	----------------	--------------------------------	-----------------	---------------	------------	--------------	-----------------------------	-----------	-----------------	--------------	---------------	---------	-------------	-----------------------	------------------	----------	-----------------	----------	----------------	-----------	-----------------	---------------	----------------------------	-----------------	-------------	---------	------------------	--------------	-------------	-------------	--------------	--------------	--------------------	-------------	-------------	-----------------	------------------	-------------	--------------------	-------------	-----------	--------------------	------------------	-----------	--------------	---------------------	--------------------	----------	-------------	---------------	----------	-----------------------	----------------	-------------	-----------------	-----------------	---------------	---------------	---------	-----------	------------------------

**GENERAL NOTES**

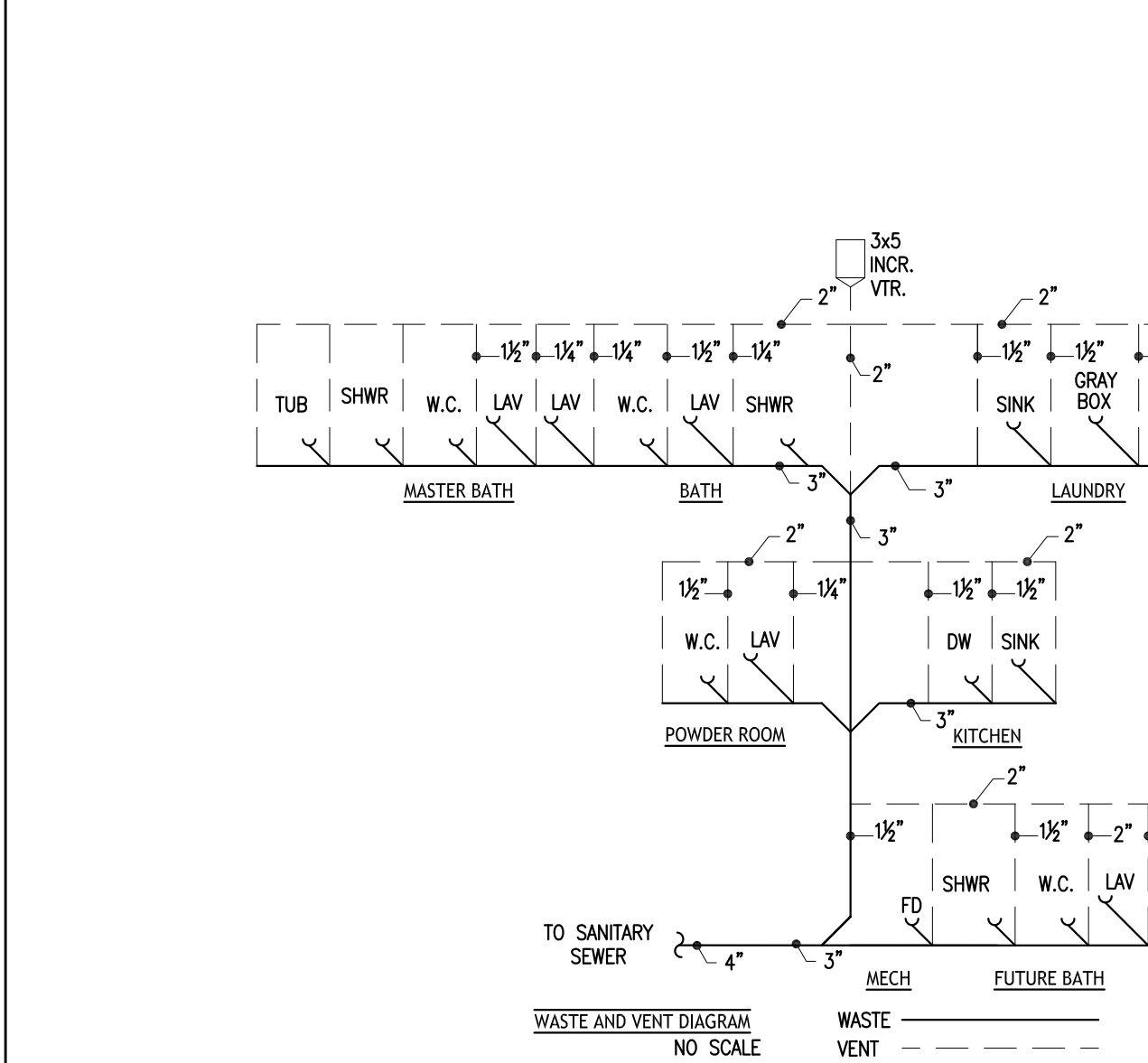
- CALL JULIE PRIOR COMMENCING ANY DIGGING OPERATIONS.
- ALL WORK SHALL BE OF SOUND AND QUALITY CONSTRUCTION.
- CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR THE MEANS AND METHODS FOR WHICH CONSTRUCTION IS EXECUTED AND FOR PAYMENT TO THEIR MEN AND SUPPLIERS.
- THE OWNER & ARCHITECT SHALL BE HELD HARMLESS THROUGHOUT THE ENTIRE COURSE OF THE WORK.
- ALL GRADES TO SLOPE UNIFORMLY DOWN AND AWAY FROM BUILDING
- FIELD VERIFY ALL ITEMS, DIMENSIONS, & CONDITIONS. IF ANY DISCREPANCIES, OR UNFORESEEN CONDITIONS ARE FOUND TO EXIST, CONTRACTOR SHALL NOTIFY THE OWNER & ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH THE WORK.
- PROVIDE ALL DEMOLITION REQUIRED TO ACCOMMODATE THE WORKING
- PATCH ALL SURFACES AFFECTED BY THE WORK TO MATCH EXISTING ADJACENT SURFACES
- NOTIFY ARCHITECT IMMEDIATELY WHERE CONFLICTS MAY ARISE BETWEEN ARCHITECTS DOCUMENTS AND CONSULTANTS DOCUMENTS.
- ALL CONSTRUCTION IS TO BE COORDINATED WITH OTHER RELATED BUILDING COMPONENTS IN ORDER TO PROVIDE A COMPLETE AND CONTINUOUS ENCLOSURE.
- WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH WORK.
- PARTITIONS ARE DIMENSIONED TO THE FINISHED FACE UNLESS NOTED OTHERWISE.
- ALL NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE.
- PROVIDE MUNICIPALITY APPROVED EXTERIOR ADDRESS NUMBERS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- ALL PIPING, DUCTS, ETC., THAT PENETRATE WALLS SHALL BE INSTALLED IN A MANNER THAT WILL PRESERVE THE FIRE RESISTIVE AND STRUCTURAL INTEGRITY OF THE BUILDING.
- PROVIDE ACCESS PANELS AS REQUIRED BY APPLICABLE CODES AS REQUIRED FOR MECHANICAL EQUIPMENT AND PLUMBING VALVES. ALL ACCESS PANEL LOCATIONS SHALL BE REVIEWED WITH THE OWNER PRIOR TO THE EQUIPMENT AND VALVES BEING INSTALLED.

**PLUMBING NOTES (CONTINUED)**

- PROVIDE INTAKE & EXHAUST AT HIGH EFFICIENCY WATER HEATERS PER MFR WRITTEN RECOMMENDATIONS & CODE REQUIREMENTS.
- ALL APPLICABLE PLUMBING FIXTURES (INCLUDING WATER CLOSETS, SHOWER HEADS, LAVATORY FAUCETS, ETC) SHALL BE WATER SENSE COMPLIANT.
- ALL SHOWER COMPARTMENTS AND SHOWER-BATH COMBINATIONS SHALL BE PROVIDED WITH AN AUTOMATIC SAFETY WATER MIXING DEVICE PER ILPC (MAX SETTING OF 115°F).
- DEAD END IN WATER SERVICE OR WATER DISTRIBUTION PIPING ARE PROHIBITED. ILLINOIS PLUMBING CODE 890.1200(C)
- ENERGY CODE NOTES**
  - CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE 2018 IECC, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
    - CONTRACTOR SHALL POST A PERMANENT CERTIFICATE (ON CITY PROVIDED FORM) OF THE ELECTRICAL DISTRIBUTION PANEL. THE CERTIFICATE SHALL INDICATE THE R-VALUES OF THE INSULATION INSTALLED, THE U-FACTORS, AND THE TYPES AND EFFICIENCIES OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT.
    - CONTRACTOR SHALL DEMONSTRATE COMPLIANCE WITH BUILDING ENVELOPE AIR LEAKAGE REQUIREMENTS BY ARRANGING FOR VISUAL INSPECTIONS OF ALL ITEMS LISTED IN TABLE 402.4.1.1 OR BY PROVIDING A THIRD PARTY CONDUCTED BLOWER DOOR TEST IN ACCORDANCE WITH SECTION 402.4.1.2.
- HVAC NOTES**
  - HVAC ITEMS SHOWN ARE SCHEMATIC IN NATURE & INDICATE GENERAL DESIGN INTENT. HVAC SYSTEM SHALL BE A COMPLETE DESIGN-BUILD "CLOSED DUCT" SYSTEM. CONTRACTOR SHALL PROVIDE DESIGN, LABOR AND MATERIALS FOR A COMPLETE HVAC SYSTEM SERVING ALL SPACES IN THE BUILDING.
  - THE COMPLETE HEATING AND COOLING SYSTEM SHALL BE PROPERLY DESIGNED BY A QUALIFIED ILLINOIS LICENSED MECHANICAL CONTRACTOR TO COMPLY WITH APPLICABLE BUILDING CODES, ENERGY CODES, AND LOCAL ORDINANCES. HEATING AND COOLING EQUIPMENT SHALL BE SIZED BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACA MANUAL J OR OTHER APPROVED HEATING AND COOLING CALCULATION METHODOLOGIES AVAILABLE FROM THE HEATING AND AIR CONDITIONING CONTRACTOR.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ADDITIONAL SUBMITTALS TO THE MUNICIPALITY AS REQUIRED TO OBTAIN REQUIRED PERMITS.
  - HOT AND COLD AIR RETURNS/SUPPLIES SHALL BE IN ACCORDANCE W/ MUNICIPALITY REQ.
  - ALL EXHAUST FANS & VENTS, INCLUDING BUT NOT LIMITED TO FURNACE, WATER HEATER, RANGE HOOD, DRYER SHALL BE VENTED TO ATMOSPHERE.
  - COMBUSTION AIR REQUIREMENTS: BTU'S OF WATER HEATER IS 76,000 BTU'S. COMBUSTION AIR TRANSFER WILL BE THROUGH MECH ROOM WALL TO BALANCE OF OPEN BASEMENT AT ONE SQUARE INCH PER THOUSAND BTU FOR MIN TOTAL 76 SQ. INCHES. PROVIDE MIN. (2) 4"X10" GRILLS, HIGH & LOW. FURNACES ARE DIRECT VENT. G2407.1 VERIFY W/ HVAC CONTRACTOR CALCULATIONS.
  - THE CONTRACTOR SHALL NOTIFY THE OWNER AND GAIN APPROVAL PRIOR TO CREATING SHAFTS, CHASES, OR SOFFITS TO ACCOMMODATE DUCTWORK AND/OR PIPING INSTALLATION
  - HEATING EQUIPMENT SHALL BE CAPABLE OF MAINTAINING MINIMUM ROOM TEMPERATURE OF 68° F ABOVE THE FLOOR AND 2' FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.
  - DUCT SYSTEMS SERVING HEATING, COOLING AND VENTILATION EQUIPMENT SHALL BE FABRICATED IN ACCORDANCE WITH THE PROVISIONS OF THE INTERNATIONAL RESIDENTIAL CODE.
  - EXHAUST SYSTEMS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS AND IN ACCORDANCE WITH THE PROVISIONS OF THE INTERNATIONAL RESIDENTIAL CODE.
  - CONTRACTOR SHALL PROVIDE START UP AND TESTING OF THE NEWLY INSTALLED SYSTEM, AND INSTRUCTIONS TO THE OWNER FOR OPERATION AND MAINTENANCE OF THE SYSTEM.
  - PROGRAMMABLE THERMOSTAT SHALL BE PROVIDED TO CONTROL EACH INSTALLED FURNACE UNIT.
  - CONTRACTOR SHALL PROVIDE CODE REQUIRED DUCT TIGHTNESS TESTS FOR ALL DUCTS THAT ARE NOT LOCATED WITHIN CONDITIONED SPACES.
  - SUPPLY AND RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8 WHERE 3 INCHES (76 MM) IN DIAMETER AND GREATER AND R-6 WHERE LESS THAN 3 INCHES (76 MM) IN DIAMETER. SUPPLY AND RETURN DUCTS IN OTHER PORTIONS OF THE BUILDING SHALL BE INSULATED TO A MINIMUM OF R-6 WHERE 3 INCHES (76 MM) IN DIAMETER OR GREATER AND R-4.2 WHERE LESS THAN 3 INCHES (76 MM) IN DIAMETER.
  - PROVIDE ADDITIONAL MAKE UP AIR FOR HOOD VIA ELECTRONIC DAMPER TO OUTSIDE WALL.
  - WHOLE HOUSE VENTILATION SYSTEM WILL BE PROVIDED BY A HONEYWELL EXHAUST FAN Y8150 OF 100 CFM. CALCULATION AND SPECS PROVIDED BY HVAC CONTRACTOR.
  - REQUIRED MFR AND MEANS OF MEETING IT ARE TO BE PROVIDED HVAC CONTRACTOR.

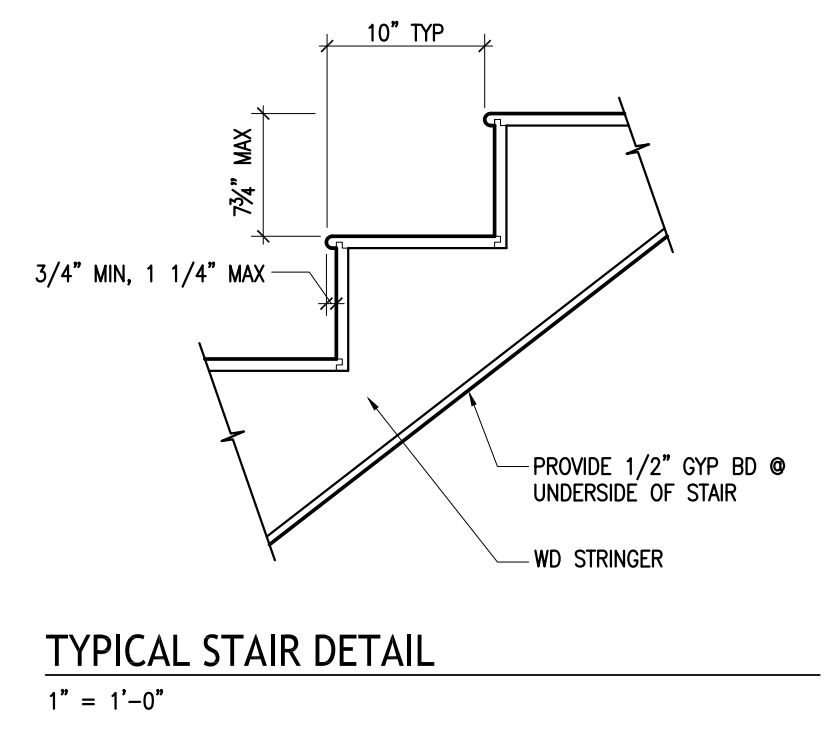


FIXTURE	SUPPLY FIXTURE UNITS			FIXTURE SUPPLY PIPE SIZE	DRAINAGE FIXTURE UNITS	FIXTURE DRAIN TRAP SIZE
	COLD	HOT	TOTAL			
<b>FIRST FLOOR</b>						
KITCHEN						
SINK	1	1	2	1/2"	2	1 1/2"
DISHWASHER	-	1	1	1/2"	2	1 1/2"
REFRIGERATOR	.28	-	-	-	-	-
POWDER ROOM						
WATER CLOSET	3	-	3	1/2"	4	1 1/2"
LAVATORY	.50	.50	1	3/8"	1	1 1/4"
<b>SECOND FLOOR</b>						
MASTER BATH						
WATER CLOSET	3	-	3	1/2"	4	1 1/2"
SHOWER	1	1	2	1/2"	3	3"
LAVATORY	.50	.50	1	3/8"	1	1 1/4"
TUB	1	1	2	1/2"	3	3"
BATH						
WATER CLOSET	3	-	3	1/2"	4	1 1/2"
SHOWER	1	1	2	1/2"	3	3"
LAVATORY	.50	.50	1	3/8"	1	1 1/4"
BATH 2						
WATER CLOSET	3	-	3	1/2"	4	1 1/2"
SHOWER	1	1	2	1/2"	3	3"
LAVATORY	.50	.50	1	3/8"	1	1 1/4"
LAUNDRY	1.5	1.5	3	1/2"	3	1 1/2"
GRAY BOX	1.5	1.5	3	1/2"	2	1 1/2"
LAUNDRY SINK	1.5	1.5	3	1/2"	2	1 1/2"
<b>FUTURE FINISHED BSMT</b>						
FUTURE BATHROOM						
WATER CLOSET	3	-	3	1/2"	4	1 1/2"
SHOWER	1	1	2	1/2"	3	3"
LAVATORY	.50	.50	1	3/8"	1	1 1/4"
<b>MISCELLANEOUS</b>						
HOSE BIBB	5	-	5	1/2"	-	-
HOSE BIBB	5	-	5	1/2"	-	-
HOSE BIBB	5	-	5	1/2"	-	-
FLOOR DRAIN	-	-	-	-	3	2"
FLOOR DRAIN	-	-	-	-	3	2"
<b>TOTAL</b>			55		56	



**STAIR NOTES**

- PROVIDE WOOD INTERIOR STAIRS AS SHOWN. SPECIES OF EXPOSED WOOD, FINISH COLORS, & PROFILES OF NEWELS & BALUSTERS SHALL BE AS SELECTED BY THE OWNER. PROVIDE STAIR SHOP DRAWINGS FOR OWNER APPROVAL PRIOR TO FABRICATION.
- STAIRS SHALL BE DESIGNED TO ACCOMMODATE 40PSF LIVE LOAD OR A 300LB CONCENTRATED LOAD OVER A 4 SQ IN AREA, WHICHEVER PRODUCES GREATER STRESSES.
- RISERS SHALL BE EQUAL @ EACH STAIR RUN W/ 3/4" MAX HEIGHT.
- TREADS SHALL BE EQUAL @ EACH FLIGHT W/ 10" MIN WIDTH.
- PROVIDE 6"-8" MIN CLEAR HEADROOM @ STAIRS.
- PROVIDE CONTINUOUS TYPE I OR II HANDRAILS @ 2'-10" ABOVE NOSING WHERE INDICATED, TYP.
- HANDRAILS SHALL BE DESIGNED TO RESIST A 200LB CONCENTRATED LOAD ACTING IN ANY DIRECTION AT ANY POINT ALONG THE TOP.
- SEE FLOOR PLANS FOR ADDITIONAL STAIR INFORMATION & TYPICAL STAIR DETAIL. THIS SHEET



**PLUMBING NOTES**

- PLUMBING ITEMS SHOWN ARE SCHEMATIC IN NATURE & INDICATE GENERAL DESIGN INTENT. PLUMBING SYSTEM SHALL BE EXTENDED FROM THE EXISTING SYSTEM. THE PLUMBING CONTRACTOR SHALL PROVIDE DESIGN, LABOR AND MATERIALS FOR A COMPLETE PLUMBING SYSTEM SERVING ALL NEW FIXTURES.
- THE NEW PLUMBING WORK EXTENDED FROM THE PLUMBING SYSTEM SHALL BE PROPERLY DESIGNED BY A QUALIFIED ILLINOIS LICENSED PLUMBING CONTRACTOR TO COMPLY WITH APPLICABLE BUILDING CODES, ENERGY CODES, AND LOCAL ORDINANCES.
- CONTRACTOR SHALL PROVIDE START UP AND TESTING OF THE NEWLY INSTALLED SYSTEM, AND INSTRUCTIONS TO THE OWNER FOR OPERATION AND MAINTENANCE OF THE SYSTEM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADDITIONAL SUBMITTALS TO THE MUNICIPALITY AS REQUIRED TO OBTAIN REQUIRED PERMITS.
- PROVIDE WATER, SANITARY AND STORM CONNECTIONS FROM THE NEW HOUSE TO THE EXISTING MUNICIPAL SYSTEMS IN COMPLIANCE WITH ALL LOCAL CODES, AMENDMENTS AND ORDINANCES. SEE DETAILED GRADING PLAN PREPARED BY OWNER'S SEPARATE CIVIL ENGINEER FOR FURTHER DETAILED INFORMATION.
- WATER SUPPLY AND DISTRIBUTION LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF ILLINOIS PLUMBING CODE.
- WATER SUPPLY PIPING SHALL BE COPPER. UNDERGROUND SANITARY PIPING SHALL BE CAST IRON OR PVC.
- PROVIDE 12" AIR HAMMER @ ALL FIXTURES & TOPS OF ALL RISERS.
- COORDINATE ALL FIXTURE CONNECTIONS WITH MFR RECOMMENDATIONS FOR ACTUAL FIXTURES BEING PROVIDED.

TABLE R403.5.6(1)  
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (SQUARE FEET)	NUMBER OF BEDROOMS				
	0 - 1	2 - 3	4 - 5	6 - 7	> 7
	AIRFLOW IN CFM				
< 1,500	30	45	60	75	90
1,501 - 3,000	45	60	75	90	105
3,001 - 4,500	60	75	90	105	120
4,501 - 6,000	75	90	105	120	135
6,001 - 7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

FOR 1 SQUARE FOOT = 0.0929 M2, 1 CUBIC FOOT PER MINUTE = 0.0004719 M3/S.

TABLE R403.5.6(2)  
INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS

RUN-TIME PERCENTAGE IN EACH 4-HR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR <sup>a</sup>	4	3	2	1.5	1.3	1

A FOR VENTILATION SYSTEM RUN TIME VALUES BETWEEN THOSE GIVEN, THE FACTORS ARE PERMITTED TO BE DETERMINED BY INTERPOLATION.  
B EXTRAPOLATION BEYOND THE TABLE IS PROHIBITED.

**ELECTRICAL NOTES**

- ELECTRICAL ITEMS SHOWN ARE SCHEMATIC IN NATURE & INDICATE GENERAL DESIGN INTENT. ELECTRICAL SYSTEM SHALL BE A COMPLETE DESIGN-BUILD SYSTEM. THE ELECTRICAL CONTRACTOR SHALL PROVIDE DESIGN, LABOR AND MATERIALS FOR A COMPLETE ELECTRICAL SYSTEM SERVING ALL NEW AND EXISTING SPACES IN THE BUILDING.
- THE COMPLETE ELECTRICAL POWER DISTRIBUTION SYSTEM, INCLUDING NEW WORK AND MODIFICATIONS TO ANY EXISTING SYSTEM SHALL BE PROPERLY DESIGNED BY A QUALIFIED LICENSED ELECTRICAL CONTRACTOR TO COMPLY WITH THE APPLICABLE NATIONAL ELECTRIC CODE, BUILDING CODES, ENERGY CODES, AND LOCAL ORDINANCES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADDITIONAL SUBMITTALS TO THE MUNICIPALITY AS REQUIRED TO OBTAIN AN ELECTRICAL PERMIT.
- ALL ELECTRICAL WIRING SHALL BE INSTALLED IN METAL CONDUIT, UNO.
- PROVIDE 110 V ELECTRIC SMOKE DETECTORS W/ BATTERY BACK UP WIRED IN SERIES FOR SIMULTANEOUS ACTIVATION, ONE ON EACH LEVEL INCLUDING BASEMENTS, AND ONE IN EACH SLEEPING RM.
- PROVIDE 110 V CARBON MONOXIDE DETECTORS W/ BATTERY BACK UP WIRED IN SERIES FOR SIMULTANEOUS ACTIVATION, ONE ON EACH LEVEL INCLUDING BASEMENTS AND WITHIN 15 FEET OF EACH SLEEPING RM.
- VERIFY LOCATION, NUMBER, & SWITCHING OF ALL FLOOR OUTLETS W/ OWNER.
- LIGHTING IN ALL CABINETS TO BE COORD. W/ CABINET SUPPLIER & OWNER.
- ALL SWITCHES TO BE MIN. 5'-0" FROM ANY TUB
- ALL ATTIC ACCESS LOCATIONS TO HAVE LIGHT & SWITCH. ALL ATTIC FIXTURES TO BE SPACED MAX 20'-0" APART.
- G.C. TO COORD. FINAL LOCATION OF ALL LOW VOLTAGE WIRING WITH OWNER PRIOR TO INSTALLATION
- ALL 125V SINGLE PHASE, 15 & 20 AMP RECEPTACLES, ELECT. EQUIPMENT, LIGHT FIXTURES, FANS, ETC. INSTALLED IN BATHROOMS & BELOW GRADE TO BE INSTALLED WITH G.F.C.I. PROTECTION
- ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE-PHASE, 15 AND 20 AMP OUTLETS INSTALLED IN BEDROOMS SHALL BE PROTECTED BY A COMBINATION TYPE OR BRANCH/FEEDER TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.
- ALL FIRST FLOOR WALL SWITCHES CONTROLLING LIGHT FIXTURES AND FANS, SHALL BE LOCATED AT A HEIGHT NOT TO EXCEED 48" ABOVE THE FINISHED FLOOR. HEIGHT SHALL BE DETERMINED BY MEASURING FROM THE FINISHED FLOOR TO THE CENTER OF THE SWITCH.
- ALL GFCI OUTLETS TO BE LED TYPE
- SPACING OF ELECTRICAL OUTLETS GENERAL: OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET FROM AN OUTLET IN THAT SPACE, INCLUDING ANY WALL SPACE 2 FEET MORE IN WIDTH.
- SPACING OF ELECTRICAL OUTLETS KITCHEN COUNTERTOPS: RECEPTACLE OUTLETS SHALL BE INSTALLED AT EACH COUNTER SPACE 12" OR WIDER. RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM A RECEPTACLE OUTLET IN THAT SPACE. ISLAND AND PENINSULA COUNTER TOPS 12" OR WIDER SHALL HAVE AT LEAST ONE RECEPTACLE FOR EACH FOUR FEET OF COUNTER TOP. COUNTERTOP SPACES SEPARATED BY RANGE TOPS, REFRIGERATORS, OR SINKS SHALL BE CONSIDERED AS SEPARATE COUNTERTOP SPACES.
- CLOSET SURFACE MOUNTED INCANDESCENT FIXTURES TO BE MOUNTED A MIN. OF 12" FROM NEAREST POINT OF STORAGE. CLOSET RECESSED INCANDESCENT, RECESSED FLUORESCENT AND SURFACE MOUNTED FLUORESCENT FIXTURES TO BE MOUNTED A MIN. OF 6" FROM NEAREST POINT OF STORAGE.
- COMBUSTIBLE INSULATION SHALL MAINTAIN A 3" CLEARANCE FROM RECESSED LIGHTING FIXTURES UNLESS DEVICES ARE LISTED FOR LESSER CLEARANCE
- ALL ELECTRICAL FIXTURES INSTALLED 8'-0" OR LESS ABOVE A TUB OR SHOWER SHALL BE DESIGNATED FOR WET LOCATION
- ALL 25V 15 & 20 AMP OUTLETS IN GARAGES & UNFINISHED BASEMENTS SHALL BE GFI PROTECTED
- ALL 25V 15 & 20 AMP OUTLETS LOCATED WITHIN 6'-0" OR LESS OF SINKS, EXCEPT IN KITCHENS, SHALL BE GFI PROTECTED
- ALL FLOYERS GREATER 60 SQ.FT. NOT PART OF A HALLWAY, ANY WALL SPACE OF 36" OR MORE REQ'S AN OUTLET.

**NAPERVILLE NOTES**

- NMC # 320.2 VISIBILITY WALL REINFORCEMENT: PROVIDE WOOD BLOCKING WITH IN THE WALL FRAMING IN ALL FIRST FLOOR BATH. BLOCKING MUST BE LOCATED 33 INCH TO 36 INCH ABOVE THE FINISHED FLOOR IN AL WALLS ADJACENT TO TOILET, SHOWER STALL OR BATHTUBS.
- NMC # 320.2 VISIBILITY INTERIOR DOORS: ALL ACCESSIBLE FIRST FLOOR DOORWAYS SHALL PROVIDE A MINIMUM CLEAR OPENING OF 32" WITH THE DOOR OPEN NINETY DEGREES, MEASURED BETWEEN THE FACE OF THE DOOR AND THE OPPOSITE STOP.
- R613.1 WINDOW INSTALLATION INSTRUCTIONS INSTRUCTIONS MUST BE ON SITE FOR INSPECTION. LEAVE WINDOW STICKERS ON UNTIL U.A. VALUE IS VALIDATED BY INSPECTOR AND APPROVED ON ENERGY CERTIFICATE.
- NMC # 320.2 VISIBILITY WALL SWITCHES ON THE FIRST FLOOR SHALL BE LOCATED AT A HEIGHT NOT TO EXCEED 48 INCHES ABOVE THE FINISHED FLOOR. MEASURED FROM THE FLOOR TO THE CENTER OF THE SWITCH
- NMC # 320.2 VISIBILITY RECEPTACLES ON THE FIRST FLOOR SHALL BE LOCATED AT A HEIGHT OF NOT LESS THAN 15" ABOVE THE FINISHED FLOOR. MEASURE FROM THE FLOOR TO CENTER OF THE RECEPTACLE.
- ALL NEW PLUMBING FIXTURES & IRRIGATION CONTROLLERS SHALL BEAR THE WATERSENSE LABEL WHEN SUCH FIXTURES ARE AVAILABLE.



PRELIMINARY NOT FOR CONSTRUCTION  
02/01/2022

PROJECT  
NEW SPEC HOUSE  
406 S. JULIAN ST  
NAPERVILLE, IL 60540  
FOR

PROJECT NUMBER 921045

ISSUE

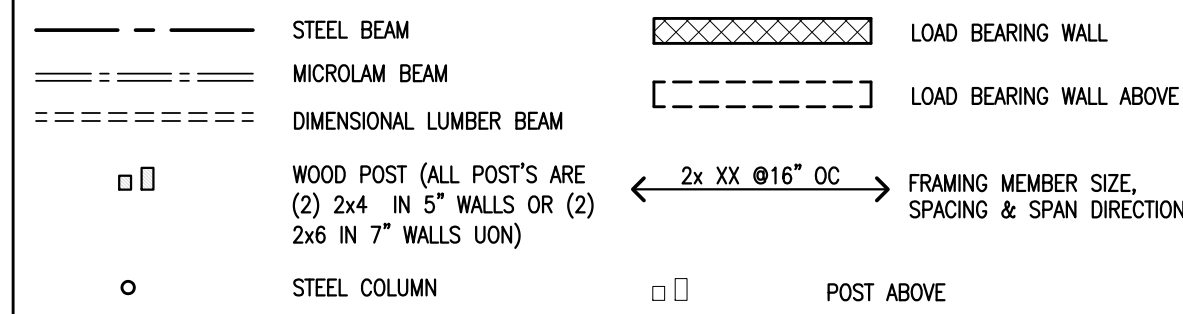
RE-ISSUE

DESCRIPTION  
GENERAL NOTES, SCHEDULES & DETAILS

TORCH ARCHITECTURE INC  
27 W. JEFFERSON AVE STE 200 NAPERVILLE IL 60540  
P 630 420 1900 TORCHARCHITECTURE.COM

G1 01

**STRUCTURAL LEGEND**



**STRUCTURAL NOTES**

- FOUNDATION DESIGN IS BASED ON SOIL BEARING CAPACITY OF 3,000 PSF. CONTRACTOR SHALL ENLIST THE SERVICES OF AN ILLINOIS LICENSED GEOTECHNICAL ENGINEER TO PERFORM A GEOTECHNICAL EVALUATION AND REPORT OF EXISTING BEARING CONDITIONS. A COPY OF THE REPORT SHALL BE SUBMITTED TO THE CITY OF NAPERVILLE. NOTIFY ARCHITECT IMMEDIATELY IF BEARING CAPACITY IS DISCOVERED TO BE LESS THAN THE DESIGN CAPACITY INDICATED.
- DESIGN LOADS SHALL BE AS FOLLOWS, PER IRC R301.5:
 

MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (PPSF)	
ATTIC WITH LIMITED STORAGE	20
ATTIC WITHOUT STORAGE	10
ATTIC HABITABLE	30
DECKS	40
EXTERIOR BALCONIES	60
GUARDRAILS AND HANDRAILS	200
ROOMS OTHER THAN SLEEPING	40
SLEEPING ROOMS	30
STAIRS	40
- PSL PROPERTIES SHALL BE  $F_b = 2.9$  KSI;  $E = 2,000$  KSI.
- LVL PROPERTIES SHALL BE  $F_b = 2.8$  KSI;  $E = 1,900$  KSI.
- ENGINEERED LUMBER SHALL NOT BE CUT, DRILLED, OR NOTCHED UNLESS SPECIFIED & PERFORMED IN ACCORDANCE W/ MFR'S WRITTEN RECOMMENDATIONS.
- FRAMING LUMBER SHALL BE HEM-FIR #2 OR BETTER.
- PROVIDE DOUBLE FLOOR JOISTS UNDER ALL PARALLEL PARTITIONS & BATHTUBS & WHERE INDICATED.
- ADHERE TO 2018 INTERNATIONAL RESIDENTIAL CODE REQUIREMENTS FOR NOTCHING AND DRILLING OF STRUCTURAL MEMBERS. HOLES BORED IN JOISTS SHALL NOT BE WITHIN 2" OF THE TOP OR BOTTOM OF JOISTS. THE DIAMETER OF ANY HOLE SHALL NOT EXCEED 1/3 THE DEPTH OF THE JOIST.
- PROVIDE CROSS BRIDGING @ CEILING & FLOOR JOISTS 8'-0" OC MAX.
- JOISTS FRAMING INTO THE SIDE OF GIRDERS OR OTHER WOOD FRAMING MEMBERS SHALL BE SUPPORTED BY SIMPSON JOIST HANGERS INSTALLED IN ACCORDANCE W/ MFR'S WRITTEN RECOMMENDATIONS.
- ROOF RAFTERS SHALL BE ATTACHED TO THEIR WALL ASSEMBLIES USING SIMPSON H2.5 CONNECTORS INSTALLED IN ACCORDANCE W/ MFR'S WRITTEN RECOMMENDATIONS.
- CONTRACTOR HAS SOLE RESPONSIBILITY FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION.
- CONTRACTOR HAS SOLE RESPONSIBILITY FOR THE DESIGN, ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC.

**FLOOR JOIST SCHEDULE** 2018 IRC R502.3.1(2)

JOIST & SPACING	MAXIMUM SPAN
2x8 @ 12" OC	13'-2"
2x8 @ 16" OC	12'-0"
2x10 @ 12" OC	16'-10"
2x10 @ 16" OC	15'-2"
2x12 @ 12" OC	20'-4"
2x12 @ 16" OC	17'-7"

NOTES:  
 1. PROVIDE DBLE FLOOR JOISTS BELOW ALL PARALLEL PARTITIONS UNO  
 2. ALL FLOOR JOISTS SHALL BE DOMESTIC HEM-FIR #2 OR BETTER  
 3. PROVIDE CROSS BRIDGING MAX 8'-0" OC

**CEILING JOIST SCHEDULE** 2018 IRC R802.5.1(2)

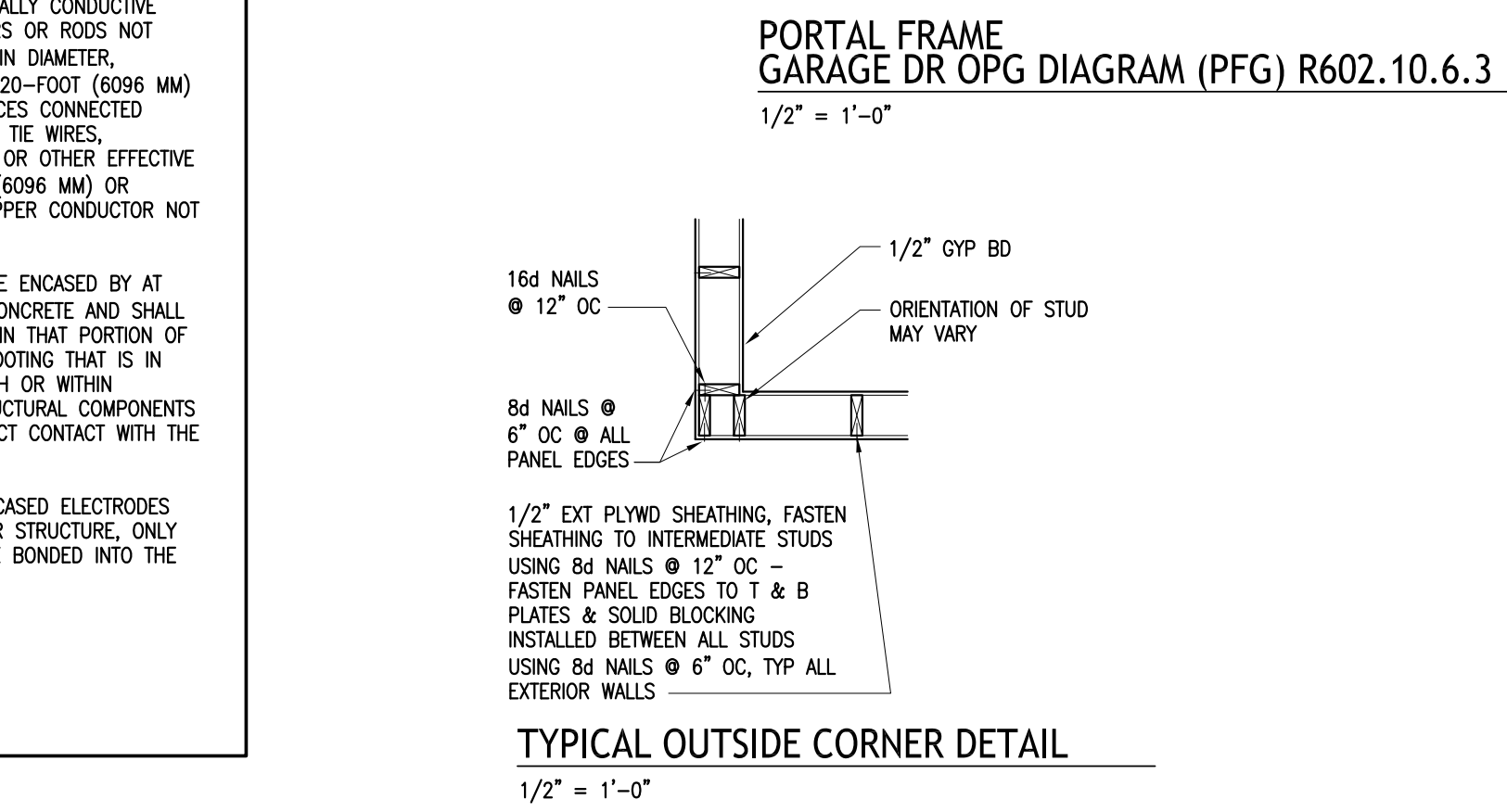
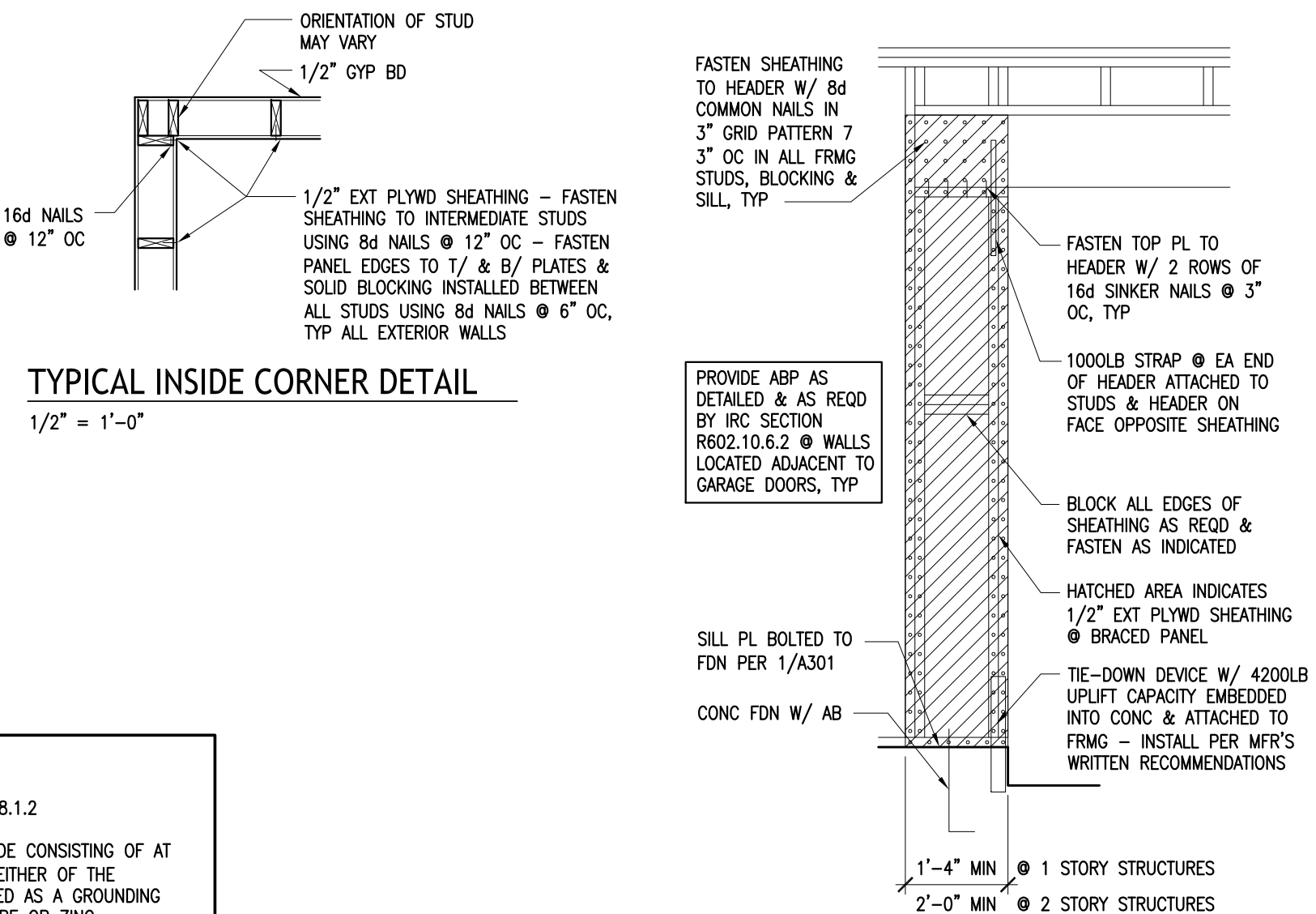
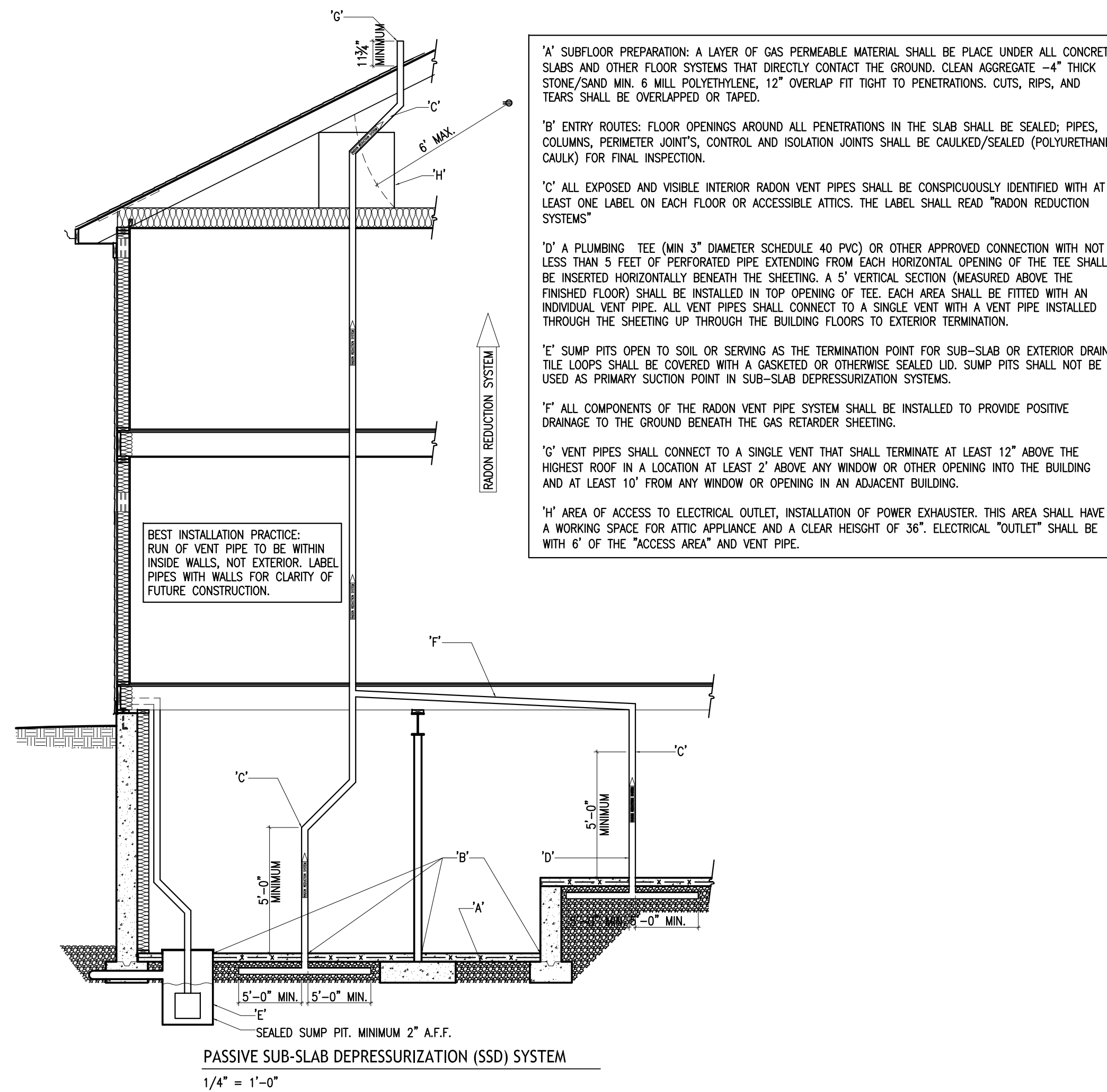
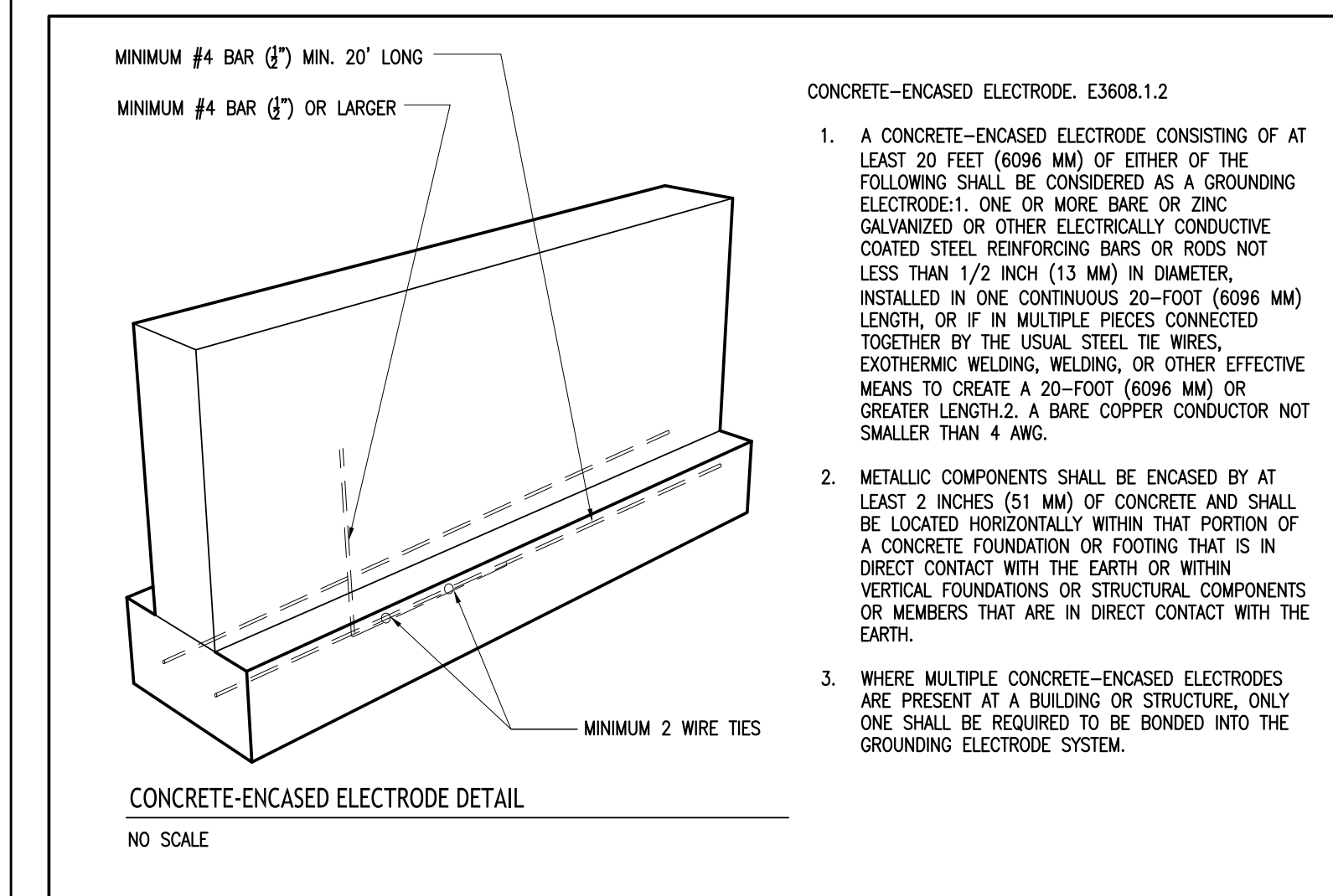
JOIST & SPACING	MAXIMUM SPAN
2x4 @ 16" OC	8'-4"
2x6 @ 16" OC	12'-8"
2x8 @ 12" OC	18'-6"
2x8 @ 16" OC	16'-0"
2x10 @ 12" OC	22'-7"
2x10 @ 16" OC	19'-7"

NOTES:  
 1. ALL CEILING JOISTS SHALL BE MINIMUM SIZE & SPACING PER SCHEDULE ABOVE, UNO  
 2. ALL FLOOR JOISTS SHALL BE DOMESTIC HEM-FIR #2 OR BETTER

**ROOF RAFTER SCHEDULE** 2018 IRC R802.4.1(3)

JOIST & SPACING	MAXIMUM SPAN
2x6 @ 16" OC	11'-9"
2x8 @ 12" OC	17'-2"
2x8 @ 16" OC	14'-11"
2x10 @ 12" OC	21'-0"
2x10 @ 16" OC	18'-2"
2x12 @ 12" OC	24'-4"
2x12 @ 16" OC	21'-1"

NOTES:  
 1. ALL RAFTERS SHALL BE MINIMUM SIZE & SPACING PER SCHEDULE ABOVE, UNO  
 2. ALL RAFTERS SHALL BE DOMESTIC HEM-FIR #2 OR BETTER



**PORTAL FRAME GARAGE DR OPG DIAGRAM (PFG) R602.10.6.3**  
1/2" = 1'-0"



**WINDOW NOTES**

- WINDOWS SIZES INDICATED ARE BASED ON PELLA WINDOWS, CASEMENT, AWNING, FIXED, AND TRANSOM TYPE AS INDICATED.
- BASEMENTS & ALL SLEEPING ROOMS SHALL HAVE AT LEAST ONE EMERGENCY EGRESS WINDOW WITH MIN OPG HT OF 24" & MIN OPG WIDTH OF 20". WINDOW SHALL HAVE A SILL HEIGHT LESS THAN 44" AFF & MIN NET CLEAR OPG OF 5.7 SF.
- WINDOWS LABELED [E] ARE INTENDED TO SERVE AS EMERGENCY EGRESS WINDOWS.
- PROPERLY PREPARE & SEAL OPENINGS PER WINDOW & BLDG WRAP MFRS' WRITTEN RECOMMENDATIONS PRIOR TO INSTALLATION OF WINDOWS & DOORS. PROVIDE FLASHING, FLASHING TAPE & SEALANT AT PERIMETER TO ACHIEVE A WEATHERTIGHT CONDITION.

- Ⓢ INDICATES TO PROVIDE TEMPERED SAFETY GLASS
- Ⓢ INDICATES OPENING SQUARE FOOTAGE



PRELIMINARY NOT FOR  
CONSTRUCTION  
02/01/2022

PROJECT  
NEW SPEC HOUSE  
406 S. JULIAN ST  
NAPERVILLE, IL 60540  
FOR

PROJECT NUMBER 921045

ISSUE

RE-ISSUE

DESCRIPTION  
FRONT & LEFT ELEVATION

TORCH ARCHITECTURE INC  
27 W. JEFFERSON AVE STE 200 NAPERVILLE IL 60540  
P 630 420 1900 TORCHARCHITECTURE.COM

**A1 01**



**RIGHT ELEVATION**  
1/4" = 1'-0"

**WINDOW NOTES**

- WINDOWS SIZES INDICATED ARE BASED ON PELLA WINDOWS, CASEMENT, AWNING, FIXED, AND TRANSOM TYPE AS INDICATED.
  - BASEMENTS & ALL SLEEPING ROOMS SHALL HAVE AT LEAST ONE EMERGENCY EGRESS WINDOW WITH MIN OPG HT OF 24" & MIN OPG WIDTH OF 20". WINDOW SHALL HAVE A SILL HEIGHT LESS THAN 44" AFF & MIN NET CLEAR OPG OF 5.7 SF.
  - WINDOWS LABELED [E] ARE INTENDED TO SERVE AS EMERGENCY EGRESS WINDOWS.
  - PROPERLY PREPARE & SEAL OPENINGS PER WINDOW & BLDG WRAP MFRS' WRITTEN RECOMMENDATIONS PRIOR TO INSTALLATION OF WINDOWS & DOORS. PROVIDE FLASHING, FLASHING TAPE & SEALANT AT PERIMETER TO ACHIEVE A WEATHERTIGHT CONDITION.
- Ⓢ INDICATES TO PROVIDE TEMPERED SAFETY GLASS  
Ⓚ INDICATES OPENING SQUARE FOOTAGE



**REAR ELEVATION**  
1/4" = 1'-0"

PRELIMINARY NOT FOR  
CONSTRUCTION  
02/01/2022

PROJECT  
NEW SPEC HOUSE  
406 S. JULIAN ST  
NAPERVILLE, IL 60540  
FOR

PROJECT NUMBER 921045

ISSUE

RE-ISSUE

DESCRIPTION  
BACK & RIGHT ELEVATION

TORCH ARCHITECTURE INC  
27 W. JEFFERSON AVE STE 200 NAPERVILLE IL 60540  
P 630 420 1900 TORCHARCHITECTURE.COM

**A1 02**

**FOUNDATION PLAN GENERAL NOTES**

- AT ALL ESCAPE WINDOWS PROVIDE A MINIMUM NET CLEAR AREA OF 9 SF @ WALLS W/ A MINIMUM HORIZONTAL PROJECTION AND WIDTH OF 36" TYPICAL. PROVIDE PERMANENT LADDER MOUNTED TO THE SIDE OF THE WINDOW WELL IF WELL IS GREATER THAN 44" DEPTH BELOW GRADE.

- TYPICAL CONCRETE POUR AT BASEMENT 8'-10 1/2" W/ 1 1/2" SILL PLATE UNLESS OTHERWISE NOTED.

- TYPICAL FROST WALL @ GARAGES, PORCHES, WING WALLS AND ALL UNEXCAVATED AREAS TO HAVE FOOTINGS AT MINIMUM OF 42" BELOW GRADE PER 2018 IRC R403.1.42003 AND IRC R403.1.4.1.

- PROVIDE COMBUSTION AIR VENTS PER LOCAL CODE. ONE 12" VENT NEAR CEILING AND ONE 12" VENT NEAR FLOOR FOR FURNACE/ WATER HEATER PER 2018 IRC. VERIFY LOCATION OF EQUIPMENT IN FIELD W/ HVAC CONTRACTOR.

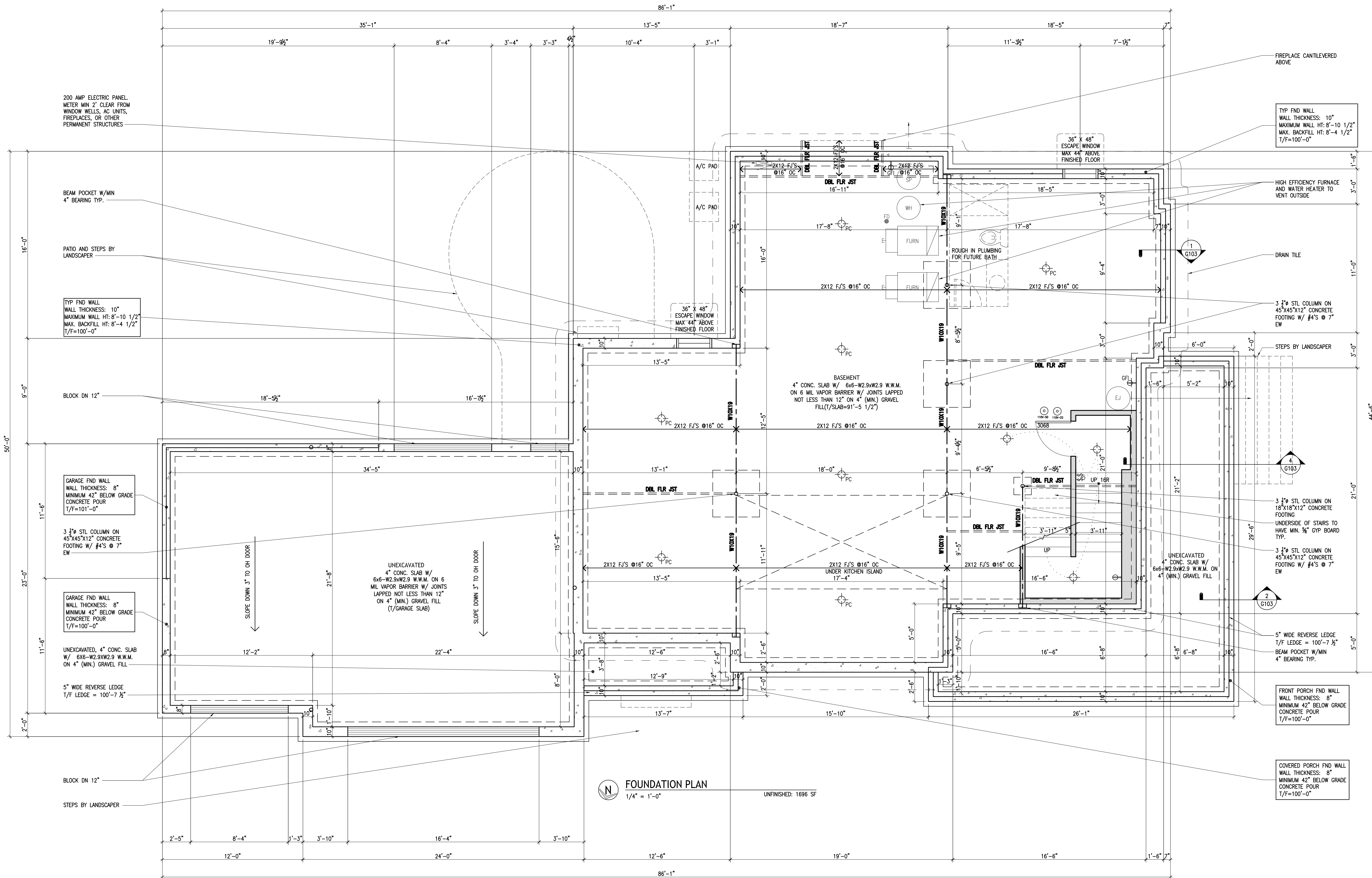
- 2% LIGHT AND VENT REQUIREMENT.

**CONCRETE WALL REINFORCING**

9'-0" H FOUNDATION WALL  
PER 2018 IRC  
HORIZONTAL IRC 2018 TABLE R404.1.2(1)  
ONE NO. 4 BAR WITHIN 12" OF THE TOP OF THE WALL STORY AND ONE NO. 4 BAR NEAR THIRD POINTS OF THE WALL.  
VERTICAL IRC 2018  
A MINIMUM OF #6 BARS @ 30" O.C. ARE REQUIRED FOR VERTICAL REINFORCEMENT-

**STRUCTURAL LEGEND**

- STEEL BEAM
- VERSA-LAM
- DIMENSIONAL LUMBER BEAM
- WOOD POST (ALL POSTS ARE (2) 2x4 IN 5" WALLS OR (2) 2x6 IN 7" WALLS UON)
- STEEL COLUMN
- POST ABOVE
- ▨ LOAD BEARING WALL
- ▤ LOAD BEARING WALL ABOVE
- ← 2x XX @ 16" OC → FRAMING MEMBER SIZE, SPACING & SPAN DIRECTION



PRELIMINARY NOT FOR  
CONSTRUCTION  
02/01/2022

PROJECT  
NEW SPEC HOUSE  
406 S. JULIAN ST  
NAPERVILLE, IL 60540  
FOR

PROJECT NUMBER 921045

ISSUE  
RE-ISSUE

DESCRIPTION  
FOUNDATION PLAN

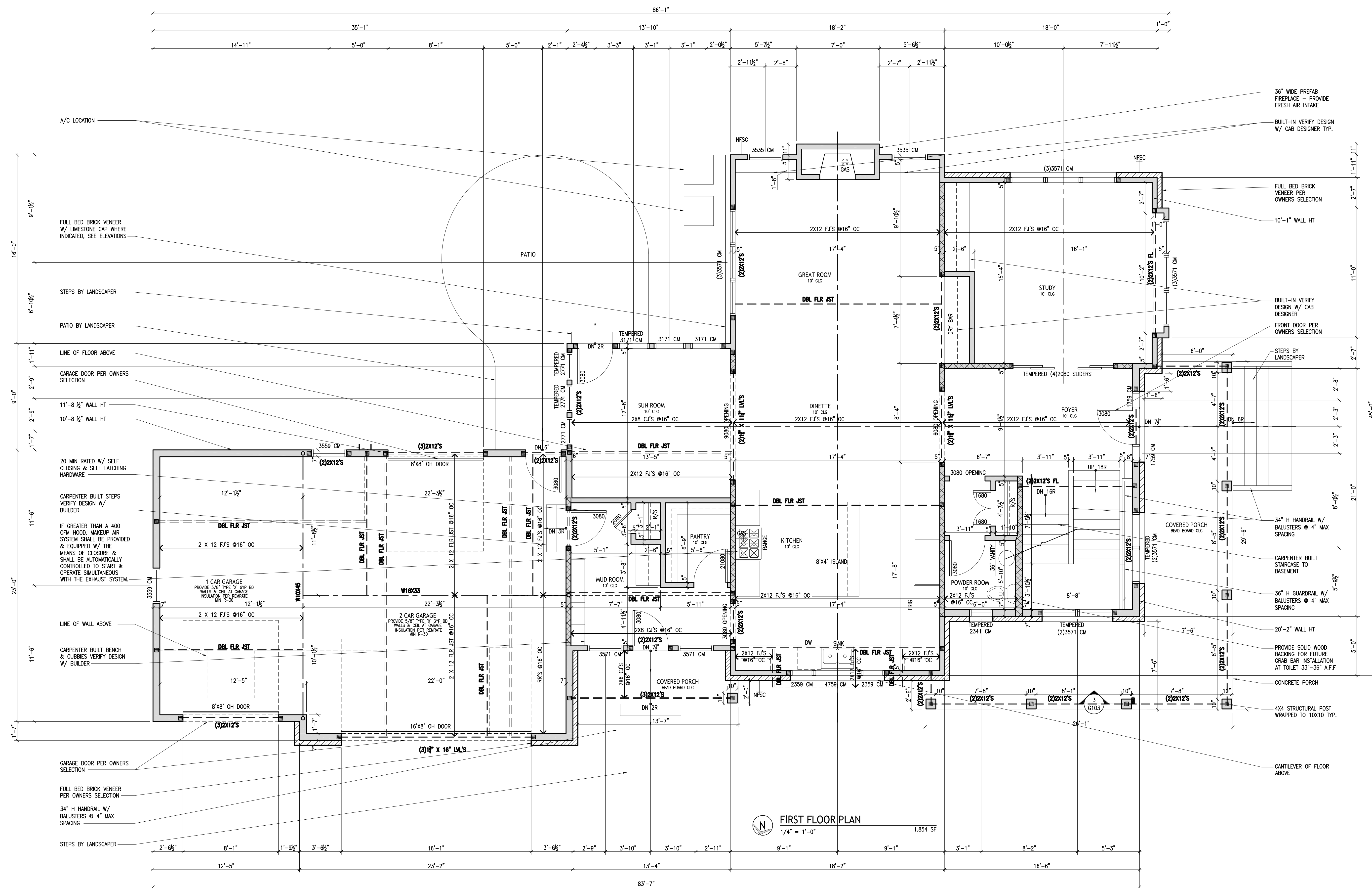
TORCH ARCHITECTURE INC  
27 W. JEFFERSON AVE STE 200 NAPERVILLE IL 60540  
P 630 420 1900 TORCHARCHITECTURE.COM

**STRUCTURAL LEGEND**

- STEEL BEAM
- VERSA-LAM
- DIMENSIONAL LUMBER BEAM
- WOOD POST  
(ALL POSTS ARE (2) 2x4  
IN 5" WALLS OR (2) 2x6  
IN 7" WALLS UNO)
- STEEL COLUMN
- POST ABOVE
- ▨ LOAD BEARING WALL
- ▤ LOAD BEARING WALL ABOVE
- ← 2x XX @ 16" OC → FRAMING MEMBER SIZE,  
SPACING & SPAN DIRECTION

**FIRST FLOOR PLAN GENERAL NOTES**

- STANDARD EXTERIOR WALL HEIGHT AT 10'-1" UNLESS NOTED OTHERWISE
- ALL INTERIOR AND EXTERIOR DOORS TO BE 6'-0" HIGH UNLESS NOTED OTHERWISE
- ALL HEADERS TO BE SET AT 8'-0" UNLESS NOTED OTHERWISE
- ALL EXTERIOR WALL STUDS TO BE 2X4 TYP UNO. 2X6 STUDS TYP @ ALL PLUMBING WALLS
- SEE G101 FOR STAIR INFORMATION:



PRELIMINARY NOT FOR  
CONSTRUCTION  
02/01/2022

PROJECT  
NEW SPEC HOUSE  
406 S. JULIAN ST  
NAPERVILLE, IL 60540  
FOR

PROJECT NUMBER 921045

ISSUE  
RE-ISSUE

DESCRIPTION  
FIRST FLOOR PLAN

TORCH ARCHITECTURE INC  
27 W. JEFFERSON AVE. STE 200 NAPERVILLE, IL 60540  
P 630 420 1900 TORCHARCHITECTURE.COM

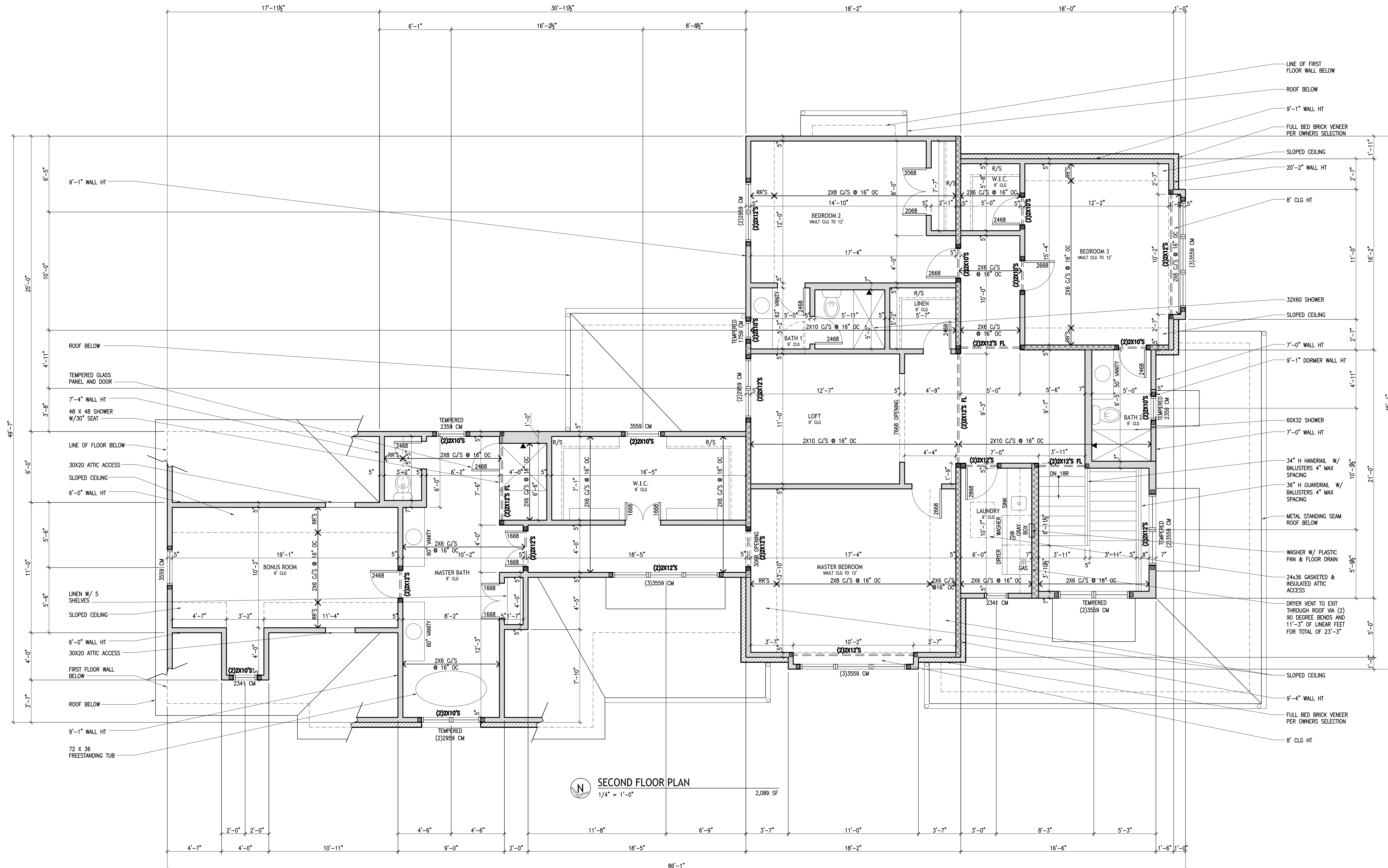
**A2 02**

**STRUCTURAL LEGEND**

	STEEL BEAM		LOAD BEARING WALL
	VERSA-LAM		LOAD BEARING WALL ABOVE
	DIMENSIONAL LUMBER BEAM		FRAMING MEMBER SIZE, SPACING & SPAN DIRECTION
	WOOD POST (ALL POSTS ARE (2) 2x4 IN 5" WALLS OR (2) 2x6 IN 7" WALLS UNLESS NOTED OTHERWISE)		
	STEEL COLUMN		
	POST ABOVE		

**SECOND FLOOR PLAN GENERAL NOTES**

- STANDARD EXTERIOR WALL HEIGHT AT 9'-1" UNLESS NOTED OTHERWISE
- ALL INTERIOR AND EXTERIOR DOORS TO BE 6'-8" HIGH UNLESS NOTED OTHERWISE
- ALL HEADERS TO BE SET AT 7'-0" UNLESS NOTED OTHERWISE
- ALL EXTERIOR WALL STUDS TO BE 2X4 TYP UNO. 2X6 STUDS TYP @ ALL PLUMBING WALLS
- SEE G101 FOR STAIR INFORMATION.



**SECOND FLOOR PLAN**  
1/4" = 1'-0"  
2,089 SF

PRELIMINARY NOT FOR CONSTRUCTION  
02/01/2022

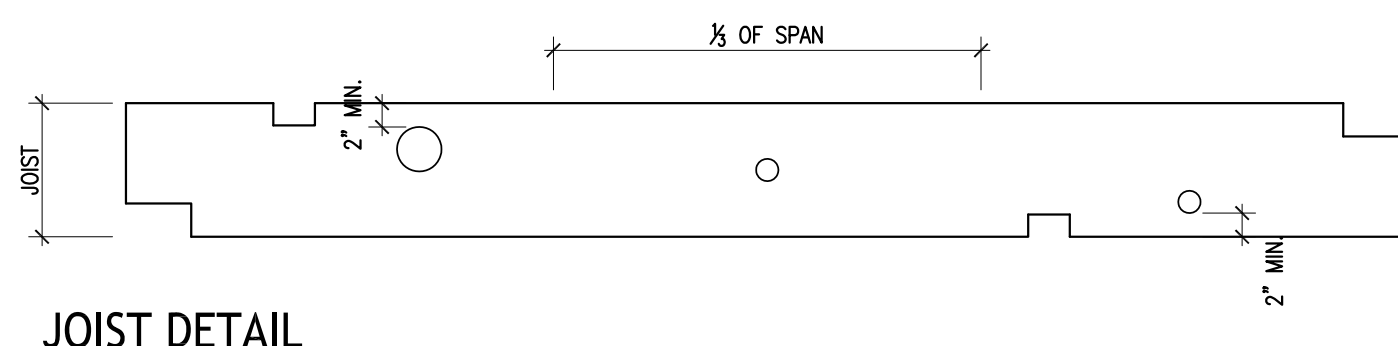
PROJECT  
NEW SPEC HOUSE  
406 S. JULIAN ST  
NAPERVILLE, IL 60540  
FOR

PROJECT NUMBER 921045

ISSUE  
RE-ISSUE

DESCRIPTION  
SECOND FLOOR PLAN





**JOIST DETAIL**

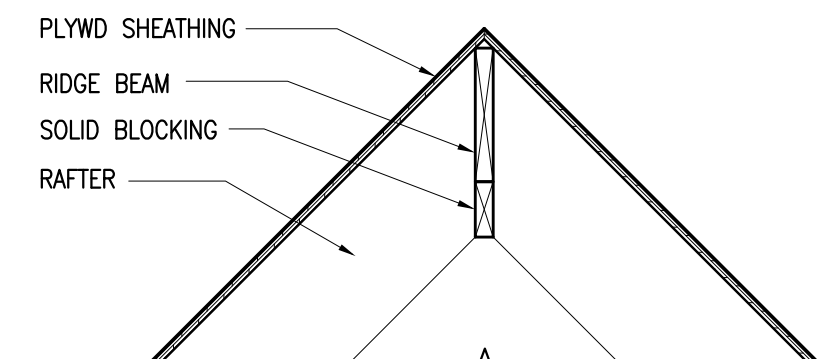
3/4" = 1'-0"

**JOIST & STUD NOTES:**

SECTION R502.8  
NOTCHES IN THE TOP OR BOTTOM OF JOIST SHALL NOT EXCEED ONE-SIXTH THE DEPTH OF THE JOIST AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. WHERE JOISTS ARE NOTCHED ON THE ENDS FOR A LEDGER, THE NOTCH SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. CANTILEVERED JOISTS SHALL NOT BE NOTCHED UNLESS THE REDUCED SECTION PROPERTIES AND LUMBER DEFECTS ARE CONSIDERED IN THE DESIGN.

HOLES DRILLED OR BORED IN JOISTS SHALL NOT BE WITHIN 2 INCHES OF THE TOP OR BOTTOM OF THE JOISTS AND THEIR DIAMETER SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOIST.

SECTION R602.6  
ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NON-BEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NO TO EXCEED 40% OF A SINGLE STUD WIDTH. ANY STUD MAY BE BORED OR DRILLED, PROVIDED THAT THE DIAMETER OF THE RESULTING HOLE IS NO MORE THAN 60 PERCENT OF THE STUD WIDTH, THE EDGE OF THE HOLE IS NO MORE THAN 5/8 INCH TO THE EDGE OF THE STUD AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH. STUDS LOCATED IN EXTERIOR WALLS OR BEARING PARTITIONS DRILLED OVER 40 PERCENT AND UP TO 60 PERCENT SHALL ALSO BE DOUBLED WITH NO MORE THAN TWO SUCCESSIVE DOUBLED STUDS BORED.



NOTE:  
ALL RIDGE BOARDS, HIPS, & VALLEY RAFTERS NOT TO BE LESS IN WIDTH THAN CUT END OF RAFTER SERVED

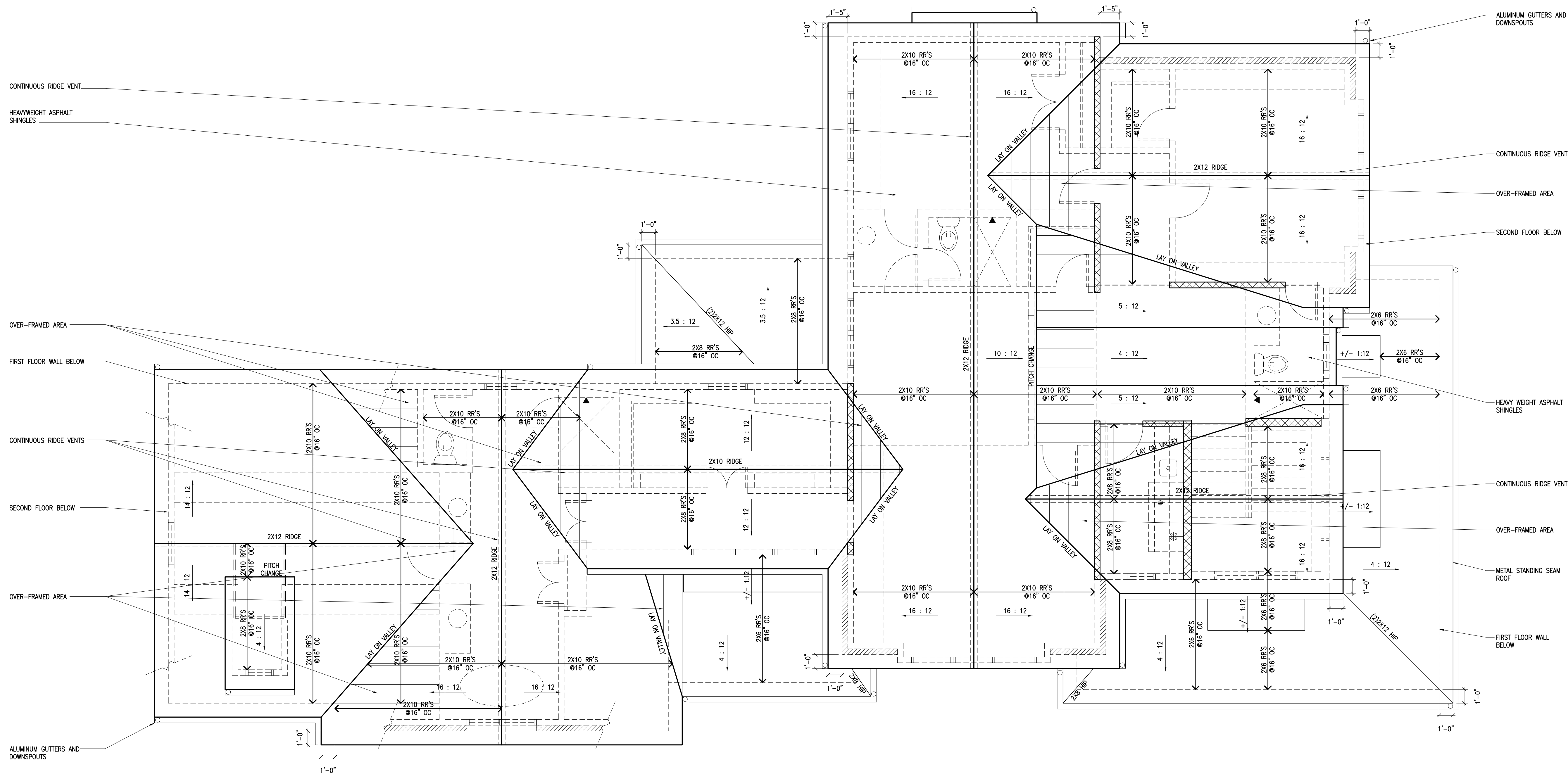
**RIDGE DETAIL**

3/4" = 1'-0"

- GENERAL ROOF NOTES:**
1. PROVIDE ICE & WATER SHIELD MIN 3'-0" EACH SIDE ALL VALLEYS & FROM EDGE OF EAVE TO MIN 2'-0" BEYOND INTERIOR FACE OF EXTERIOR WALLS
  2. PROVIDE 5" ALUM GUTTERS W/ 3" X 4" ALUM DOWNSPOUTS TO PVC BUBBLER DRAIN MIN 5'-0" BEYOND FOUNDATION, TYP
  3. TYPICAL OVERHANG = 12" UNO
  4. ROOF VENTILATION:  
VENT AREA: 1,771 SF  
VENT REQUIRED: 1/300 SF = 5.90 SF  
50% VENT THROUGH ROOF = 2.95 SF  
PROVIDE CONTINUOUS RIDGE VENTS FOR MIN OF 2.95 SF  
50% VENT THROUGH EAVES = 2.95 SF  
PROVIDE CONT. 2" SCREENED SOFFIT VENT

**STRUCTURAL LEGEND**

—	STEEL BEAM	[Hatched Box]	LOAD BEARING WALL
—	MICROLAM BEAM	[Dashed Box]	LOAD BEARING WALL ABOVE
—	DIMENSIONAL LUMBER BEAM	[Double Line Box]	FRAMING MEMBER SIZE, SPACING & SPAN DIRECTION
□	WOOD POST (ALL POSTS ARE (2) 2x4 IN 5" WALLS OR (2) 2x6 IN 7" WALLS UNO)	← 2x XX @ 16" OC →	
○	STEEL COLUMN		
□	POST ABOVE		



**ROOF PLAN**  
1/4" = 1'-0"

PRELIMINARY NOT FOR  
CONSTRUCTION  
02/01/2022

PROJECT  
NEW SPEC HOUSE  
406 S. JULIAN ST  
NAPERVILLE, IL 60540  
FOR



































PROJECT NUMBER 921045

ISSUE  
RE-ISSUE

DESCRIPTION  
ROOF PLAN & DETAILS

TORCH ARCHITECTURE INC  
27 W. JEFFERSON AVE. STE 200, NAPERVILLE, IL 60540  
P 630 420 1900 TORCHARCHITECTURE.COM

**ELECTRICAL LEGEND**

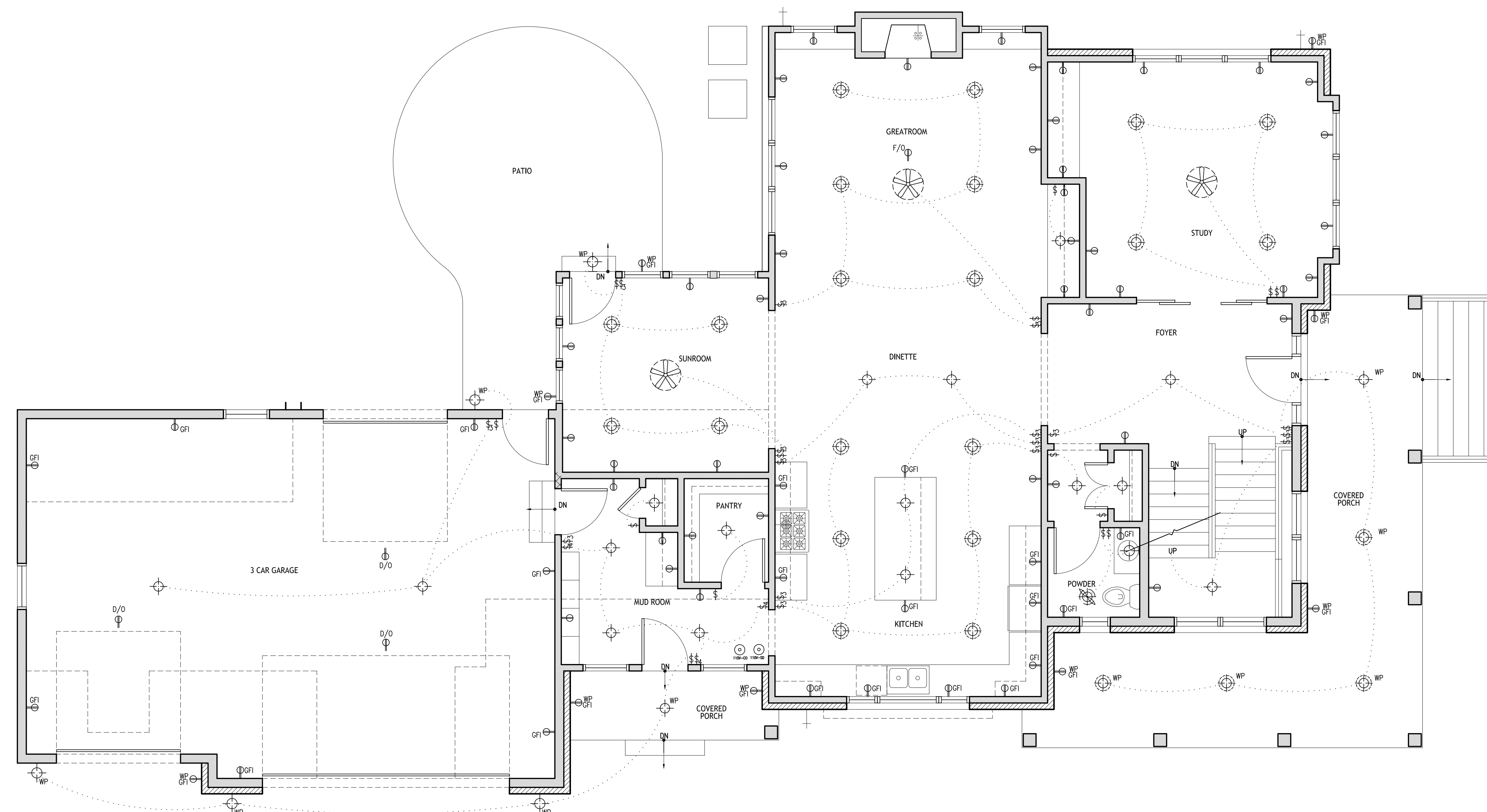
-  PULL CHAIN PORCELAIN LIGHT FIXTURE
-  CEILING ELECTRICAL BOX FOR LIGHT FIXTURE
-  RECESSED DOWNLIGHT IN CEILING/SOFFIT DROPPED BEZEL
-  RECESSED EYEBALL
-  WALL MOUNTED LIGHT FIXTURE 5'-6" ABOVE FINISH FLOOR
-  LOW VOLTAGE LIGHT (VERIFY)
-  HALOGEN PUCK LIGHT (VERIFY)
-  GROUND FAULT INTERRUPT DUPLEX
-  GROUND FAULT INTERRUPT WATER PROOF DUPLEX
-  DUPLEX RECEPTACLE
-  SWITCHED DUPLEX ONE IS LIVE ONE IS SWITCHED
-  CEILING MOUNTED DUPLEX RECEPTACLE
-  SWITCHED CEILING MOUNTED DUPLEX RECEPTACLE
-  DEDICATED RECEPTACLE
-  QUAD RECEPTACLE
-  TELEVISION JACK
-  FLOOR OUTLET
-  SWITCH
-  3-WAY SWITCH
-  4-WAY SWITCH
-  DIMMER SWITCH
-  EXHAUST FAN VENT TO EXTERIOR
-  LIGHT & FAN VENT TO EXTERIOR
-  FAN/CAN VENT TO EXTERIOR
-  SMOKE DETECTOR DIRECT WIRE
-  CARBON MONOXIDE DETECTOR DIRECT WIRE
-  TELEPHONE
-  DATA
-  DOOR BELL
-  DOOR CHIME
-  CEILING FAN
-  THERMOSTAT
-  FLUORESCENT FIXTURE WxX LAMPS
-  TRACK LIGHTING FIXTURE

ELECTRICAL GENERAL NOTES:  
PLEASE REFER TO G101 OF THE DRAWINGS FOR ADDITIONAL ELECTRICAL NOTES REQUIRED PER LOCAL CODES.

110 VOLT INTER-CONNECTED SMOKE AND CARBON MONOXIDE DETECTORS REQUIRED ON ALL LEVELS AND IN THE VICINITY OF ALL BEDROOMS MUST BE HARDWIRED PER R313.5.1

90% OF PERMANENTLY INSTALLED LUMINARIES MUST BE FLUORESCENT OR CFL LAMPS PER CODE SECTION 404.1 LIGHTING EQUIPMENT

ARC-FAULT CIRCUIT INTERRUPTER REQUIRED AT ALL DWELLING UNIT BEDROOMS, TYPICAL



**FIRST FLOOR ELECTRICAL PLAN**  
1/4" = 1'-0"

PRELIMINARY NOT FOR  
CONSTRUCTION  
02/01/2022

PROJECT  
NEW SPEC HOUSE  
406 S. JULIAN ST  
NAPERVILLE, IL 60540  
FOR

PROJECT NUMBER 921045

ISSUE

RE-ISSUE

DESCRIPTION  
FIRST FLOOR  
ELECTRICAL PLAN

**ELECTRICAL LEGEND**

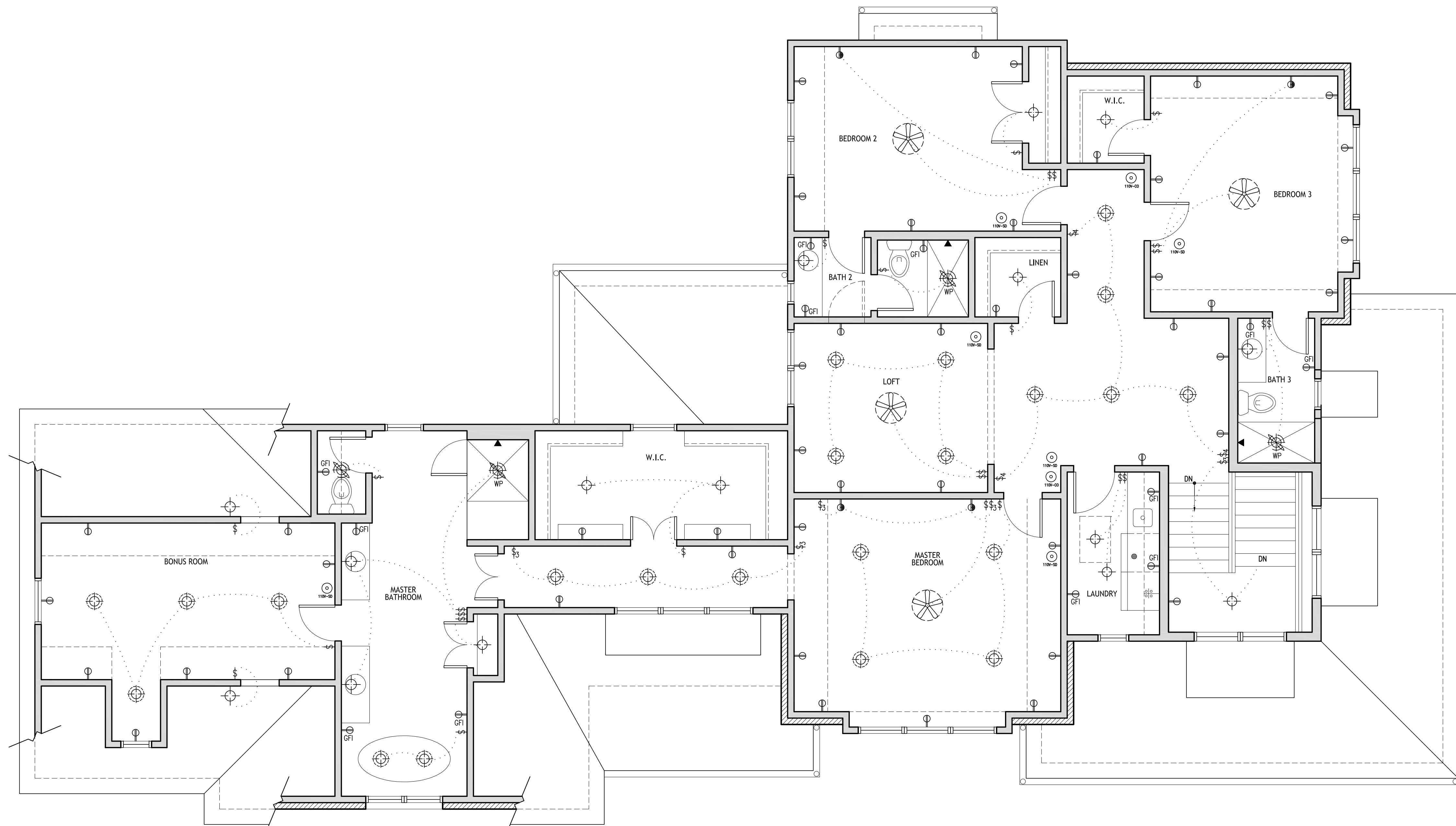
- PULL CHAIN PORCELAIN LIGHT FIXTURE
- CEILING ELECTRICAL BOX FOR LIGHT FIXTURE
- RECESSED DOWNLIGHT IN CEILING/SOFFIT DROPPED BEZEL
- RECESSED EYEBALL
- WALL MOUNTED LIGHT FIXTURE 5'-6" ABOVE FINISH FLOOR
- LOW VOLTAGE LIGHT (VERIFY)
- HALOGEN PUCK LIGHT (VERIFY)
- GROUND FAULT INTERRUPT DUPLX
- GROUND FAULT INTERRUPT WATER PROOF DUPLX
- DUPLX RECEPACLE
- SWITCHED DUPLX ONE IS LIVE ONE IS SWITCHED
- CEILING MOUNTED DUPLX RECEPACLE
- SWITCHED CEILING MOUNTED DUPLX RECEPACLE
- DEDICATED RECEPACLE
- QUAD RECEPACLE
- TELEVISION JACK
- FLOOR OUTLET
- SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- DIMMER SWITCH
- EXHAUST FAN VENT TO EXTERIOR
- LIGHT & FAN VENT TO EXTERIOR
- FAN/CAN VENT TO EXTERIOR
- SMOKE DETECTOR DIRECT WIRE
- CARBON MONOXIDE DETECTOR DIRECT WIRE
- TELEPHONE
- DATA
- DOOR BELL
- DOOR CHIME
- CEILING FAN
- THERMOSTAT
- FLUORESCENT FIXTURE WWX LAMPS
- TRACK LIGHTING FIXTURE

ELECTRICAL GENERAL NOTES:  
PLEASE REFER TO G101 OF THE DRAWINGS FOR ADDITIONAL ELECTRICAL NOTES REQUIRED PER LOCAL CODES.

110 VOLT INTER-CONNECTED SMOKE AND CARBON MONOXIDE DETECTORS REQUIRED ON ALL LEVELS AND IN THE VICINITY OF ALL BEDROOMS MUST BE HARDWIRED PER R313.5.1

90% OF PERMANENTLY INSTALLED LUMINARIES MUST BE FLUORESCENT OR CFL LAMPS PER CODE SECTION 404.1 LIGHTING EQUIPMENT

ARC-FAULT CIRCUIT INTERRUPTER REQUIRED AT ALL DWELLING UNIT BEDROOMS, TYPICAL



**SECOND FLOOR ELECTRICAL PLAN**  
1/4" = 1'-0"

PRELIMINARY NOT FOR  
CONSTRUCTION  
02/01/2022

PROJECT  
NEW SPEC HOUSE  
406 S. JULIAN ST  
NAPERVILLE, IL 60540  
FOR

PROJECT NUMBER 921045

ISSUE

RE-ISSUE

DESCRIPTION  
SECOND FLOOR  
ELECTRICAL PLAN