

SITE GRADING PLAN FOR SPORT COURT

LOT 1 IN 77TH STREET PROJECT, BEING A PART OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 38 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AS DOCUMENT NUMBER _____ IN DUPAGE COUNTY, ILLINOIS.

TREE INVENTORY INFORMATION

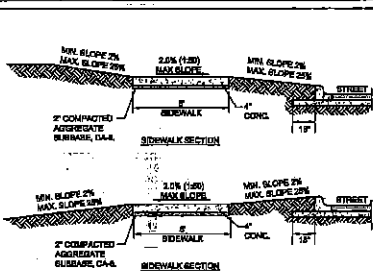
NO.	DESCRIPTION	SIZE
1913	RED ELM	18"
1914	BOX ELDER	14"
1915	RED ELM	14"
1916	CHINESE ELM	10"

EXISTING TOPOGRAPHIC NOTE:

THE EXISTING CONTOURS AND ASSOCIATED ELEVATIONS ARE THOSE THAT WERE OBTAINED PRIOR TO THE CONSTRUCTION OF THIS DEVELOPMENT AND DO NOT REPRESENT THE PRESENT TERRAIN.

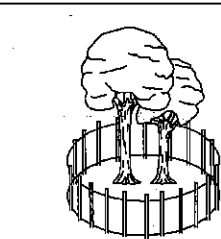
LANDSCAPE NOTE:

UPON COMPLETION OF THE FINAL GRADING AND IT'S ACCEPTANCE BY THE CITY, THE SUBJECT PROPERTY IS TO BE SEEDED AND/OR SOODED.

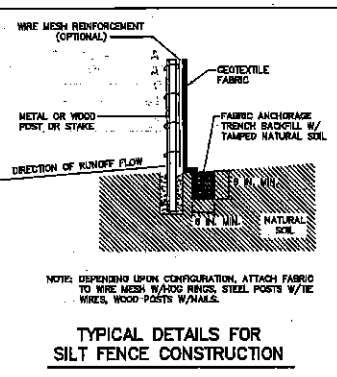


- CONCRETE SHALL BE DOT CLASS 3.
- MINIMUM SIDEWALK THICKNESS SHALL BE 4\"/>

City of Mayfield	STANDARD DETAIL	590.30
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NOTE: INSTALL PROTECTIVE FENCING TO A MINIMUM HEIGHT OF 4'0\"/>

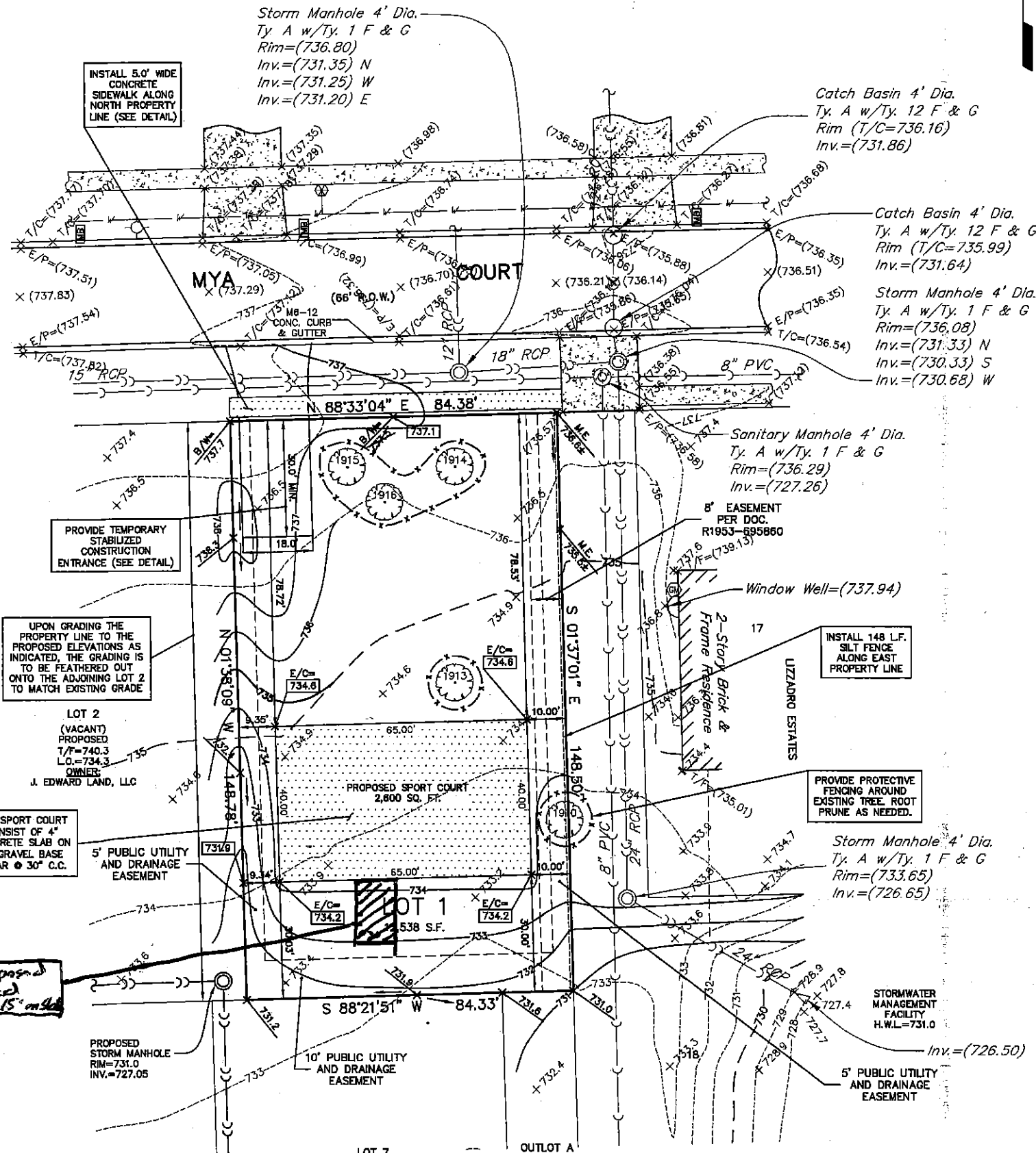


FOIA
OWNER WILL ALLOW RELEASE OF DOCUMENT PER A FOIA REQUEST.

BENCHMARKS
ELEVATION REFERENCE MARK:
DUPAGE COUNTY BENCHMARK 227 (PID A43782): LOCATED IN THE CENTER MEDIAN OF 75TH ST, APPROXIMATELY 120 FT WEST OF THE INTERSECTION OF 75TH ST AND RANDEVUE DR. ELEVATION: 739.48 NAVD 88

PROFESSIONAL ENGINEER'S STATEMENT
STATE OF ILLINOIS) SS.
COUNTY OF DU PAGE)
I, MICHAEL A. MAY, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF ILLINOIS, HEREBY STATE THAT THIS TECHNICAL SURVEY AND PLAN WAS PREPARED ON BEHALF OF J. EDWARD LAND, LLC BY CEMCON, LTD. UNDER MY PERSONAL DIRECTION FOR THE PURPOSE OF ESTABLISHING CONTROLS AND GUIDELINES FOR THE SURVEY AND DRAINAGE OF THE SUBJECT BUILDING SITE.
DATED THIS 15TH DAY OF OCTOBER, A.D., 2020.

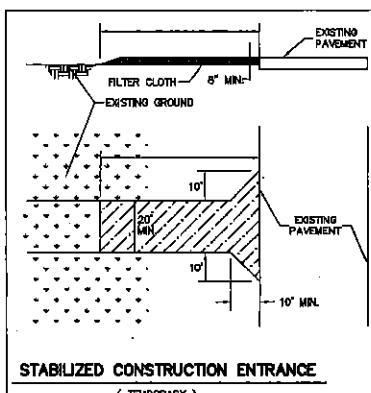
ILLINOIS LICENSED PROFESSIONAL ENGINEER NO. 062-059494
MY LICENSE EXPIRES ON NOVEMBER 30, 2021
PROFESSIONAL DESIGN FIRM NO.: 184-002937
EXPIRATION DATE IS APRIL 30, 2021



UPON GRADING THE PROPERTY LINE TO THE PROPOSED ELEVATIONS AS INDICATED, THE GRADING IS TO BE FEATHERED OUT ONTO THE ADJOINING LOT 2 TO MATCH EXISTING GRADE

PROPOSED SPORT COURT IS TO CONSIST OF 4\"/>

Proposed Silt Fence 15x15' on S/W



- ### CONSTRUCTION ENTRANCE SPECIFICATIONS
- STONE SIZE - USE 2\"/>

- ### LEGEND
- 694-- EXISTING CONTOURS
 - 694- PROPOSED CONTOURS
 - SURFACE DRAINAGE FLOW DIRECTIONAL ARROW
 - IMPERVIOUS AREA
 - STREET LIGHT
 - FIRE HYDRANT
 - × ELEV - INDICATES A PROPOSED FINISH TOPSOIL ELEVATION UNLESS NOTED OTHERWISE, AS INDICATED ON THE APPROVED MASTER GRADING PLAN LAST REVISED 3-25-2020.
 - × (ELEV) - INDICATES AN EXISTING ELEVATION
 - ELEV - INDICATES A PROPOSED FINISHED TOPSOIL ELEVATION UNLESS NOTED OTHERWISE, CREATED IN CONJUNCTION WITH THIS PLAN
 - INDICATES LOCATION WHERE THE EXISTING BARRIER CURB IS TO BE GROUND DOWN OR REMOVED AND REPLACED
 - - - - - INDICATES SILT FENCE (SEE DETAIL)
 - x - x - INDICATES TREE FENCE (SEE DETAIL)

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Aurora, Illinois 60502-9675
Phone: 630-862-2100
Fax: 630-862-2199

SITE GRADING PLAN	10-15-20/SMR
VACANT	10-7-20/SMR
TYPE OF SURVEY	DATE BK.-PG. DATE DRN. / BY

COMMON ADDRESS:	MYA COURT
CLIENT:	J. EDWARD LAND, LLC
JOB NO.:	7601.001
SCALE:	1"=20' SHEET: 1 OF 1
DWG:	P:\7601\dwg\Building Services\SDP LOT 1