

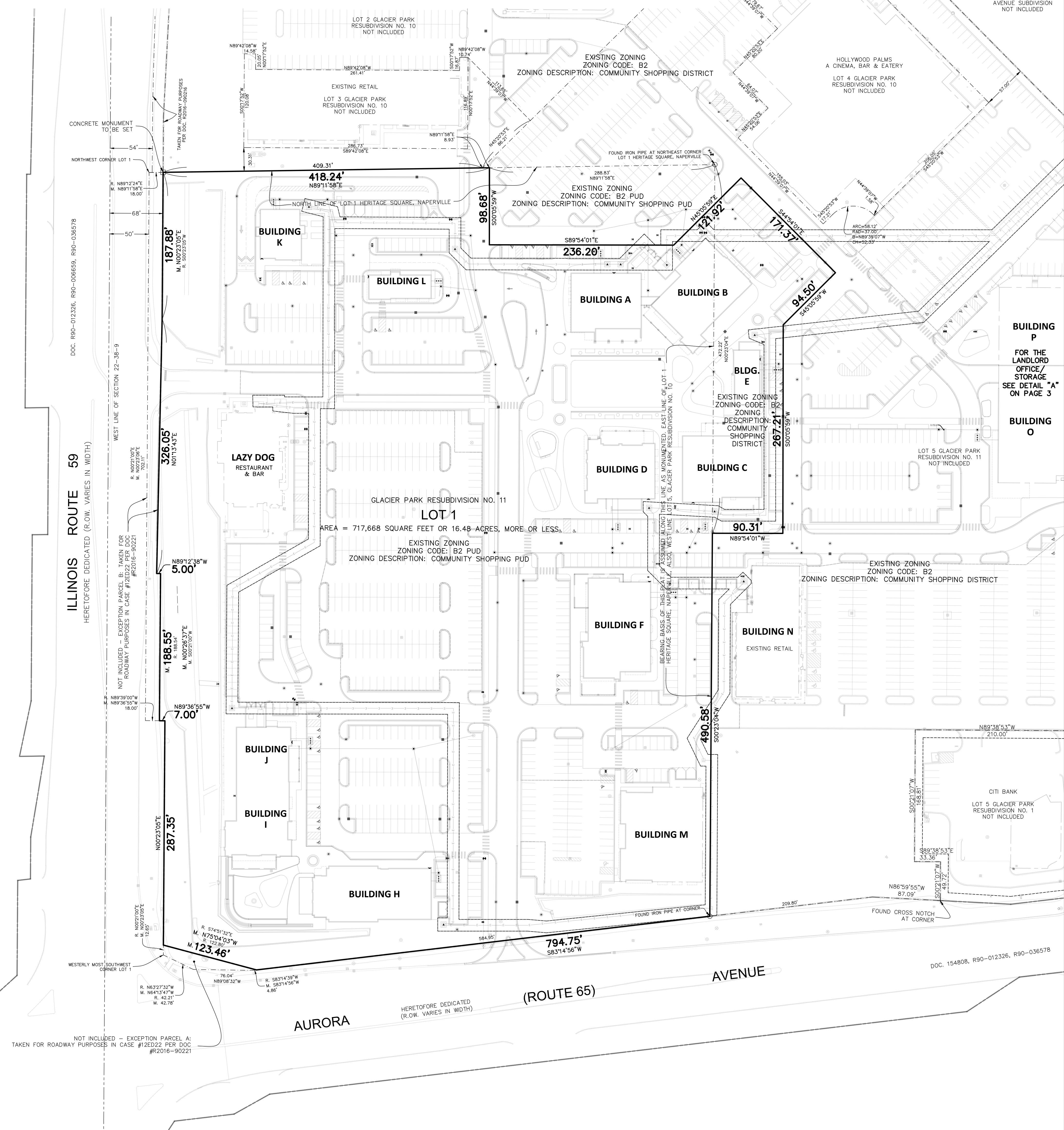
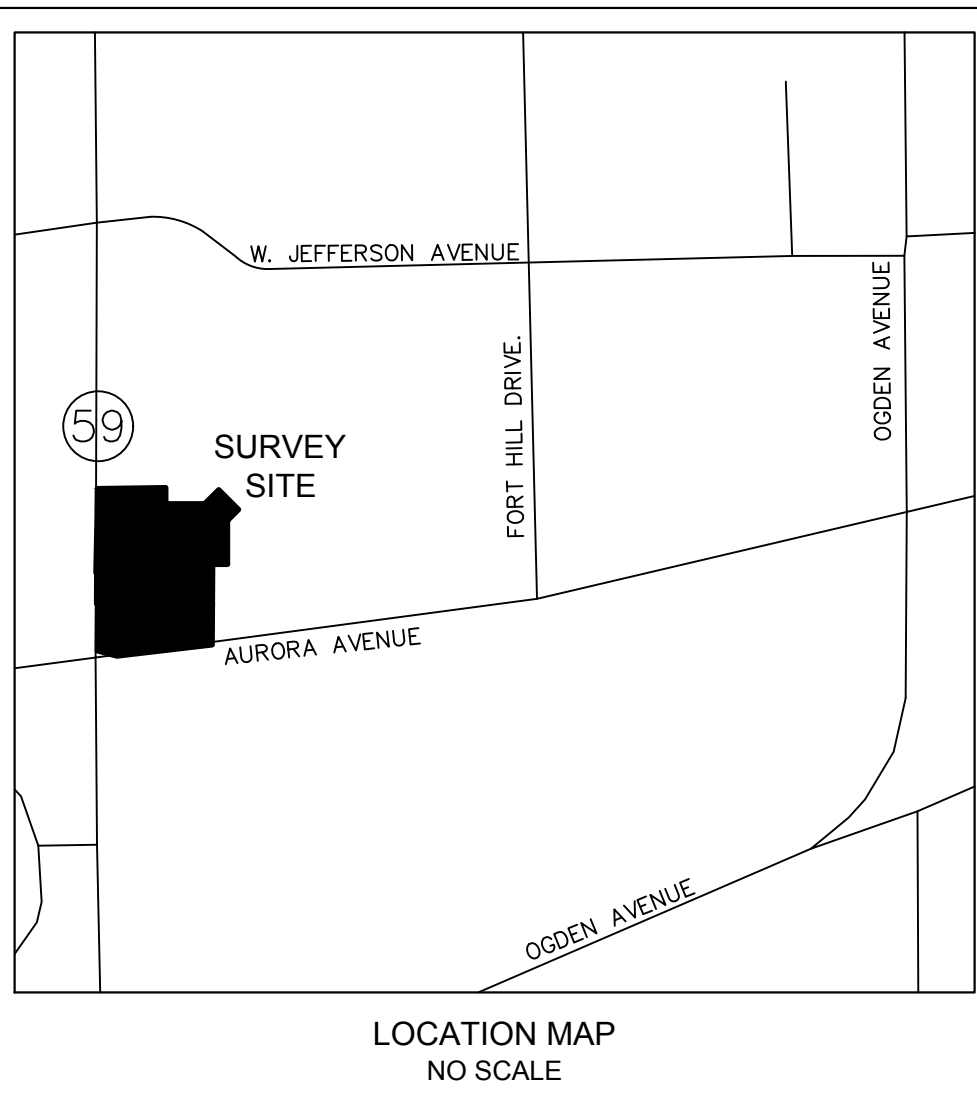
PRELIMINARY PLANNED UNIT DEVELOPMENT PLAT
BLOCK 59

BEING A PLANNED UNIT DEVELOPMENT IN SECTION 22, TOWNSHIP 38 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.
THIS PLANNED UNIT DEVELOPMENT PROVIDES THE FRAMEWORK FOR A NEW RESTAURANT/ENTERTAINMENT/EXPERIENTIAL DEVELOPMENT. THIS FRAMEWORK AFFORDS THE NECESSARY FLEXIBILITY TO ESTABLISH PUBLIC GATHERING AREAS, INTEGRATE THE PROJECT WITH AN ADJACENT DEVELOPMENT, PROVIDE A MORE OF A PLANNED, COHESIVE AND EFFICIENT DEVELOPMENT, INCLUDING THE SHARING OF PARKING AND OTHER INFRASTRUCTURE AND RECOGNIZE THE NEED FOR ELEVATED DESIGN AND AMENITIES.

PIN:
07-22-102-022
07-22-102-033

THIS PLAT HAS BEEN SUBMITTED FOR RECORDING BY AND RETURN TO:
NAME: NAPERVILLE CITY CLERK
ADDRESS: 400 S. EAGLE STREET
NAPERVILLE, IL 60540

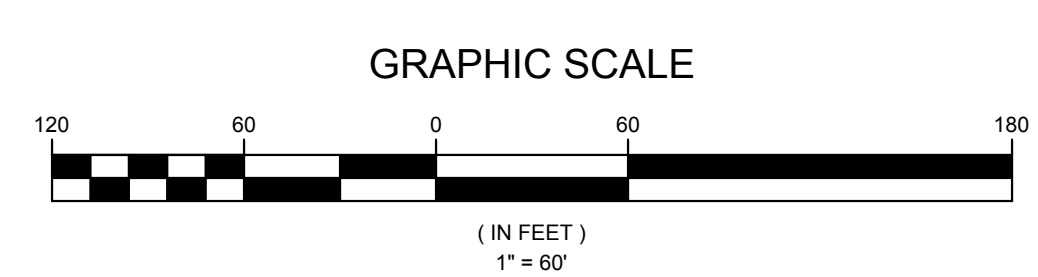
- SUBDIVISIONS REFERENCED ON THIS PLAT:
1. GLACIER PARK RESUBDIVISION NO. 1, RECORDED MARCH 28, 1990 AS DOCUMENT R90-036578
 2. HERITAGE SQUARE, NAPERVILLE, RECORDED JULY 28, 1992 AS DOCUMENT R92-143318
 3. JEFFERSON AVENUE SUBDIVISION, RECORDED APRIL 20, 1999 AS DOCUMENT R99-89740
 4. GLACIER PARK RESUBDIVISION NO. 10, RECORDED JULY 16, 2020 AS DOCUMENT R2020-075498
 5. GLACIER PARK RESUBDIVISION NO. 11, RECORDED _____ AS DOCUMENT _____



ILLINOIS ROUTE 59
HERE TO FORE DEDICATED (R.O.W. VARIES IN WIDTH)

SEE PAGE 3 FOR ADDITIONAL TABULAR INFORMATION

- SURVEYOR'S NOTES:**
1. MONUMENTATION AT ALL LOT CORNERS INDICATED BY SYMBOL OR NOTATION ESTABLISHED PRIOR TO PLAT RECORDATION.
 2. IRON PIPE IS TO BE SET AT REMAINING LOT CORNERS AFTER PLAT RECORDATION UNLESS OTHERWISE INDICATED OR NOTED HEREON.
 3. NO DIMENSIONS SHALL BE ASSUMED BY SCALE MEASUREMENT UPON THIS PLAT.
 4. ALL DIMENSIONS ARE MEASURED UNLESS NOTED OTHERWISE.



CONTACT INFORMATION

OWNER
NAME: _____
ADDRESS: _____
TELEPHONE: _____
EMAIL: _____

CONTACT INFORMATION
LAND SURVEYOR
NAME: GREMLEY & BIEDERMANN
ADDRESS: 4505 N ELSTON AVE, CHICAGO IL 60630
TELEPHONE: 773-685-5102
EMAIL: INFO@PLCS-SURVEY.COM

- LEGEND:**
- IRON PIPE
 - ✚ CUT CROSS
 - CONCRETE MONUMENT

- ABBREVIATIONS:**
- R = RECORD
 - M = MEASURED
 - RAD = RADIUS
 - B = CHORD BEARING
 - CH = CHORD DISTANCE

ORDERED BY: RTM ENGINEERING CONSULTANTS LLC
ADDRESS: BLOCK 59 (BRIKXOR'S HERITAGE SQUARE)

CHECKED: _____
DRAWN: RJT

GREMLEY & BIEDERMANN
PLCS CORPORATION
LICENSE NO. 184-05532
PROFESSIONAL LAND SURVEYORS
4505 NORTH ELSTON AVENUE, CHICAGO, IL 60630
TELEPHONE: (773) 685-5102 EMAIL: INFO@PLCS-SURVEY.COM

ORDER NO. 2022-30271-002
DATE: JULY 29, 2022
SCALE: 1 INCH = 60 FEET
PAGE NO. 1 OF 3

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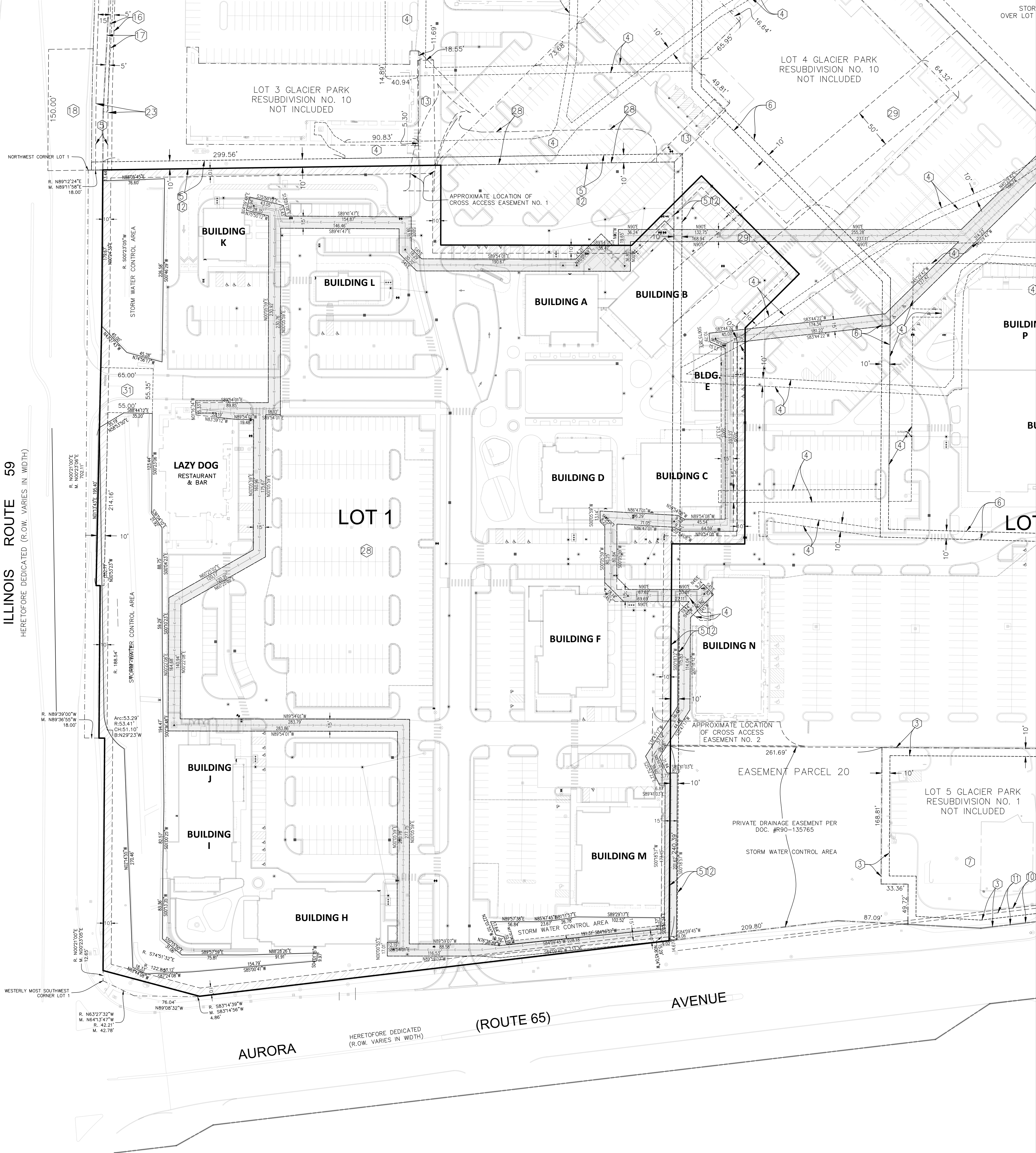
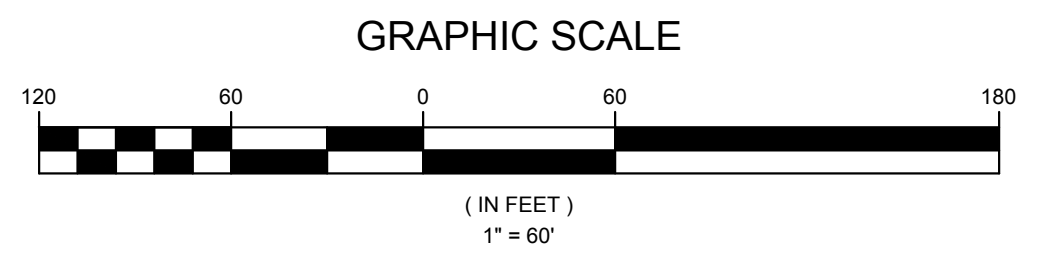
CITY PROJECT NUMBER 22-1000038

PRELIMINARY PLANNED UNIT DEVELOPMENT PLAT
BLOCK 59

EXISTING EASEMENTS

- ① INTENTIONALLY OMITTED
- ② INTENTIONALLY OMITTED
- ③ PRIVATE LANDSCAPE EASEMENT & PUBLIC UTILITIES & DRAINAGE PER DOCUMENT R90-036578
- ④ EASEMENT FOR PUBLIC UTILITIES & DRAINAGE PER DOCUMENT R90-036577
- ⑤ PUBLIC UTILITY AND DRAINAGE EASEMENT PER DOCUMENT R90-036578
- ⑥ PUBLIC WATERMAIN EASEMENT PER DOCUMENT R90-012326
- ⑦ PRIVATE COVENANTS, CONDITIONS, RESTRICTIONS AND RECIPROCAL RIGHTS AGREEMENT PER DOCUMENT R90-135766
- ⑧ INTENTIONALLY OMITTED
- ⑨ INTENTIONALLY OMITTED
- ⑩ PUBLIC EASEMENT PER DOCUMENT R88-002406
- ⑪ PUBLIC EASEMENT PER DOCUMENT R88-002406 & PRIVATE PER EASEMENT AGREEMENT DOCUMENT R65-7301
- ⑫ PRIVATE EASEMENT FOR NICOR PER DOCUMENT R90-060494
- ⑬ PRIVATE UTILITY EASEMENTS FOR WATER LINES & MAINS PER DOCUMENT R1991-174203

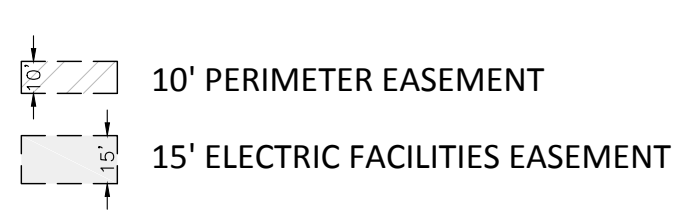
- ⑭ & ⑮ ARE INTENTIONALLY OMITTED
- ⑯ PRIVATE 5 FT. NORTHERN ILLINOIS GAS EASEMENT PER DOCUMENT R89-145100 & R89-145099
- ⑰ PUBLIC 5 FT. TEMPORARY CONSTRUCTION EASEMENT PER DOCUMENT R2016-090216
- ⑱ PRIVATE COM ED EASEMENT PER DOCUMENT R73-63291
- ⑲ TO ⑳ ARE INTENTIONALLY OMITTED
- ㉑ 15 FT. PUBLIC UTILITIES & DRAINAGE EASEMENT PER DOC. R90-012326
- ㉒ INTENTIONALLY OMITTED
- ㉓ PUBLIC UTILITY & LANDSCAPE EASEMENT PER DOCUMENT R89-022513
- ㉔ INTENTIONALLY OMITTED
- ㉕ INTENTIONALLY OMITTED
- ㉖ PRIVATE EASEMENT FOR INGRESS, EGRESS & UTILITIES PER DOCUMENT R91-174203
- ㉗ PRIVATE DRAINAGE EASEMENT PER DOCUMENT R89-022507
- ㉘ INTENTIONALLY OMITTED
- ㉙ PUBLIC TEMPORARY CONSTRUCTION EASEMENT PER DOC. # R2012-037641



ILLINOIS ROUTE 59
 HERETOFORE DEDICATED (R.O.W. VARIES IN WIDTH)

AURORA
 HERETOFORE DEDICATED (R.O.W. VARIES IN WIDTH)

AVENUE (ROUTE 65)



NOTE: VARIOUS EASEMENTS TO BE VACATED AND NEW EASEMENTS TO BE SHOWN PRIOR TO THE RECORDING OF THIS PLAT. PUBLIC UTILITY EASEMENTS SHALL BE FINALIZED DURING FINAL DESIGN. EXISTING AND PROPOSED UTILITY EASEMENTS WILL BE A MINIMUM OF 15' WIDE PER CITY OF NAPERVILLE STANDARDS. NEW EASEMENTS WILL ALSO INCLUDE A 10' PERIMETER PUBLIC UTILITY EASEMENT.

ORDERED BY: RTM ENGINEERING CONSULTANTS LLC	CHECKED: RJT
ADDRESS: BLOCK 59 (BRIKIMOR'S HERITAGE SQUARE)	DRAWN: RJT
GREMLEY & BIEDERMANN	
PLCS CORPORATION LICENSE NO. 184-05532 PROFESSIONAL LAND SURVEYORS 4505 NORTH ELSTON AVENUE, CHICAGO, IL 60630 TELEPHONE: (773) 685-5102 EMAIL: INFO@PLCS-SURVEY.COM	

ORDER NO. 2022-30271-002	DATE: JULY 29, 2022	PAGE NO. 2 OF 3
SCALE: 1 INCH = 60 FEET		

CITY PROJECT NUMBER 22-10000038

PRELIMINARY PLANNED UNIT DEVELOPMENT PLAT
BLOCK 59

LAND AREA OF THE PUD	717,668 SQUARE FEET OR 16.48 ACRES, MORE OR LESS
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BUILDING	PROPOSED USE	AREA IN SQUIRE FEET
BUILDING A	RESTAURANT	10,000
BUILDING B	RESTAURANT	10,000
BUILDING C	RESTAURANT	10,000
BUILDING D	RESTAURANT	10,000
BUILDING E	RESTAURANT	2,400
BUILDING F	RESTAURANT	11,150
BUILDING H	RESTAURANT	10,000
BUILDING I	RESTAURANT	7,000
BUILDING J	RESTAURANT	4,000
BUILDING K	RESTAURANT	3,500
BUILDING L	RESTAURANT	2,400
BUILDING M	BUSINESS, MAINLY FIDELITY FINANCIAL SERVICES	12,272
LAZY DOG	RESTAURANT, BAR	8,213
TOTAL MAXIMUM BUILDING AREA		100,935

NOTE: DEFER TO RESPONSES BY PROJECT ATTORNEY INCLUDED WITH THIS SUBMITTAL FOR DEVIATIONS FROM CODE REQUIREMENTS

NOTE: FOR THE NUMBER OF VEHICLE AND BICYCLE PARKING SPACES AND LOADING SPACES PROPOSED AND REQUIRED, PLEASE REFER TO THE PARKING STUDY (BY KLOA).

SURVEYORS CERTIFICATE
 STATE OF ILLINOIS
 COUNTY OF COOK\SS

I, ROBERT G. BIEDERMANN A PROFESSIONAL ILLINOIS LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED:

LOT 1 IN GLACIER PARK RESUBDIVISION NO. 11, BEING A SUBDIVISION IN SECTION 22, TOWNSHIP 38 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED _____ AS DOCUMENT _____ IN DUPAGE COUNTY, ILLINOIS;

CONTAINING 717,668 SQUARE FEET OR 16.48 ACRES, MORE OR LESS.

DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF AND THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY CORRECTED TO A TEMPERATURE OF 62° FAHRENHEIT.

FIELD MEASUREMENTS COMPLETED ON _____.

SIGNED ON _____.

BY:

PROFESSIONAL ILLINOIS LAND SURVEYOR NO. 2802
 MY LICENSE EXPIRES NOVEMBER 30, 2020

ORDERED BY: RTM ENGINEERING CONSULTANTS LLC	CHECKED: RJT	DRAWN: RJT
ADDRESS: BLOCK 59 (BRIMMOR'S HERITAGE SQUARE)		
GREMLEY & BIEDERMANN PLCS. CORPORATION LICENSE NO. 184-05512 PROFESSIONAL LAND SURVEYORS 4505 NORTH ELSTON AVENUE, CHICAGO, IL 60630 TELEPHONE: (773) 685-5102 EMAIL: INFO@PLCS-SURVEY.COM		
ORDER NO. 2022-30271-002	DATE: JULY 29, 2022	PAGE NO. 3 OF 3
	SCALE: 1" = 40'	

CITY PROJECT NUMBER 22-10000038