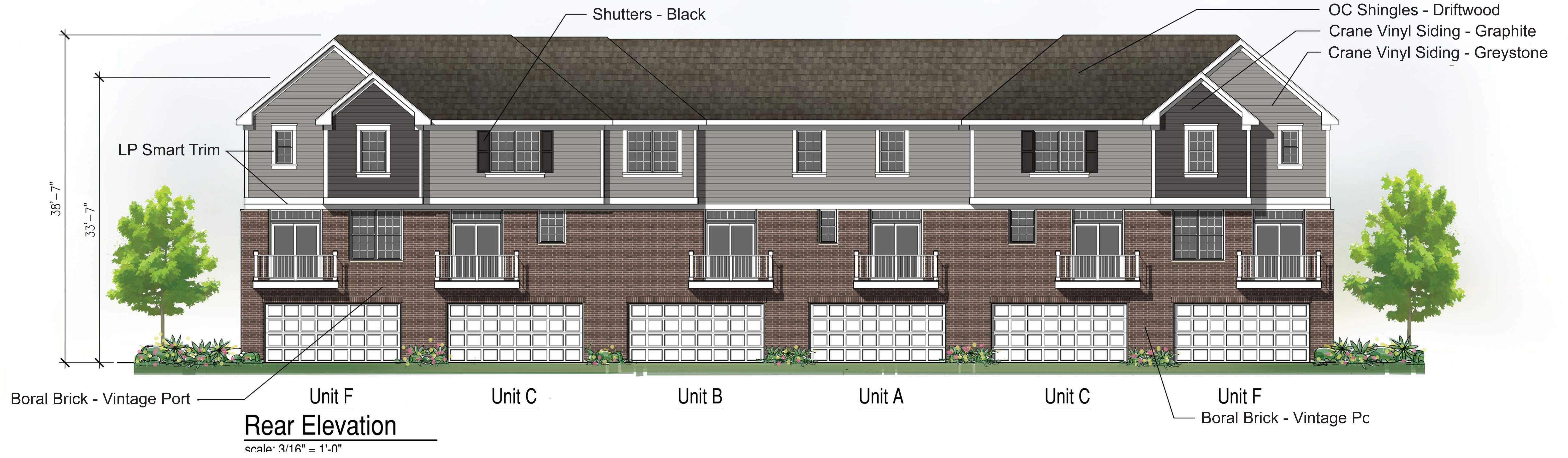
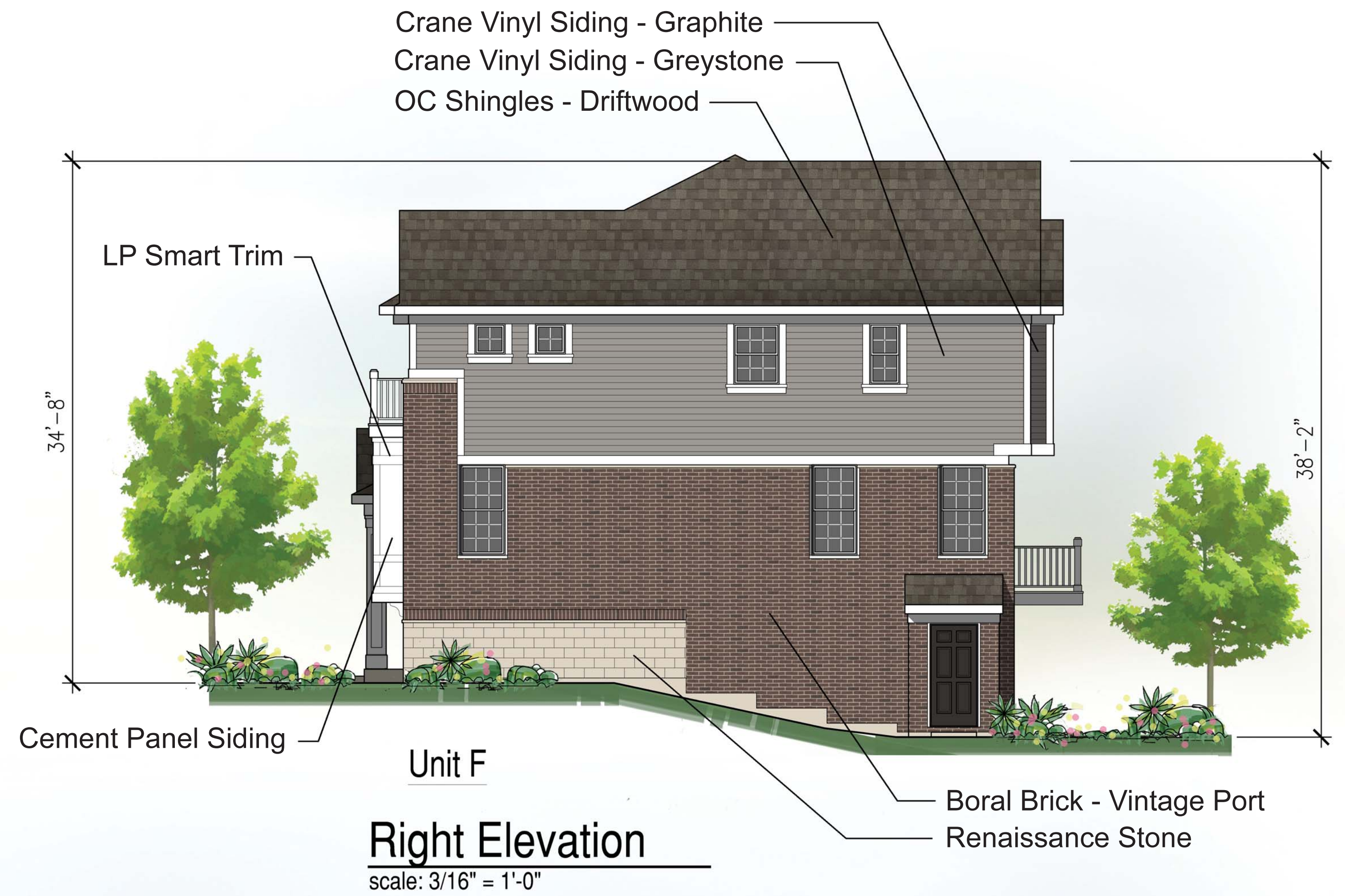
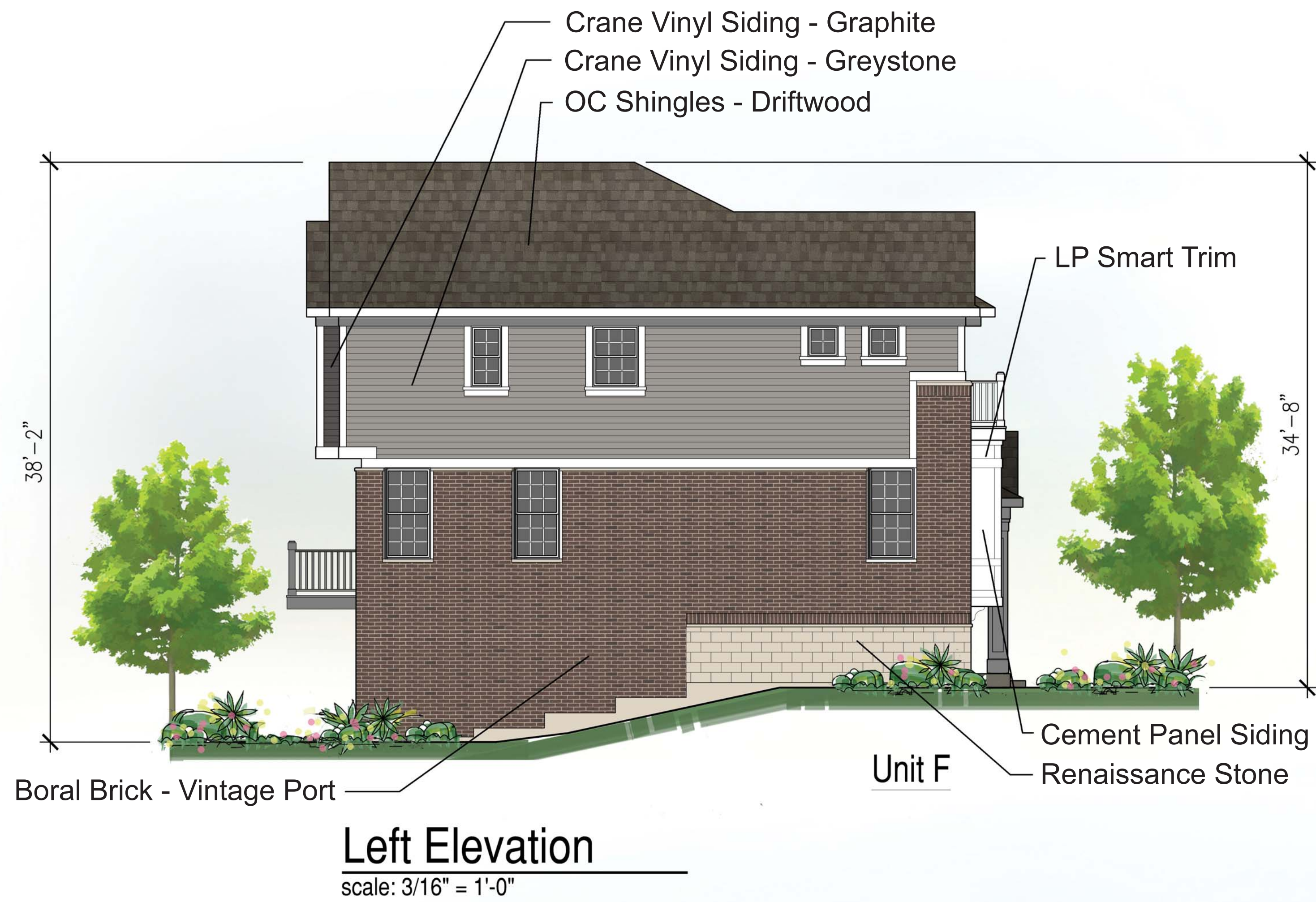




Front Elevation

Uptown Series Townhomes

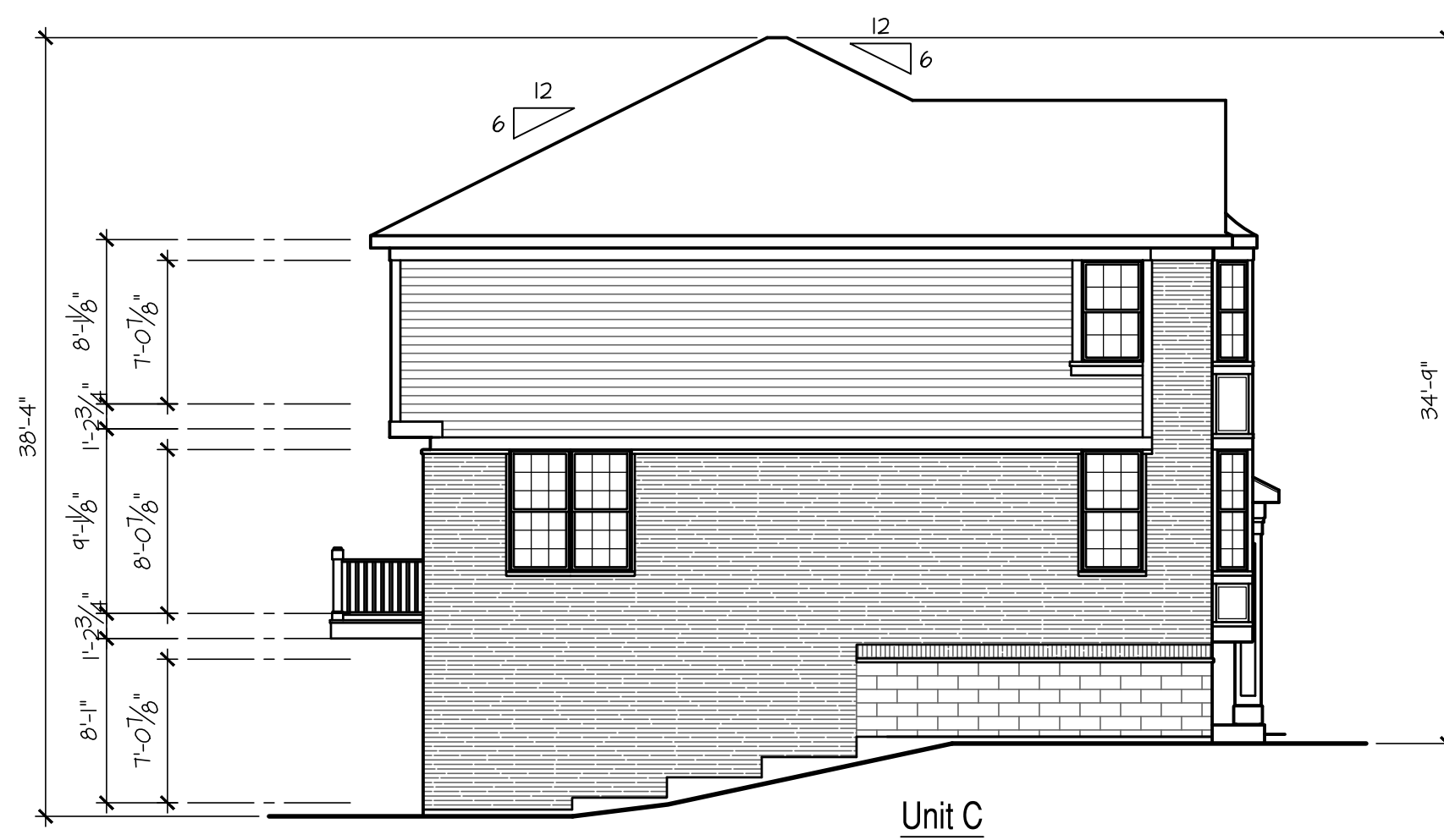


Uptown Series Townhomes



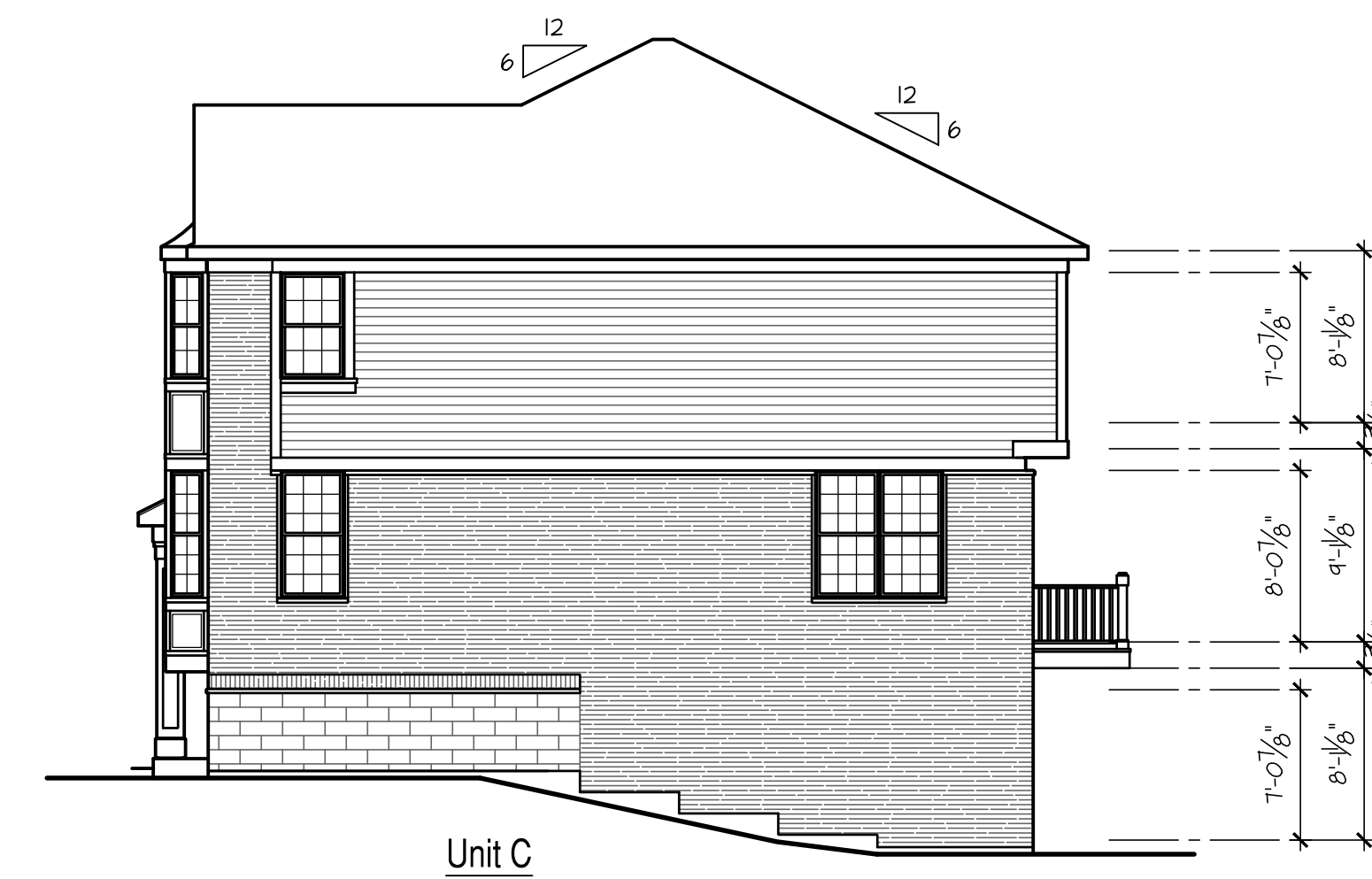
Building Type 2
Rear Elevation

SCALE: 1/8"=1'-0"



Building Type 2
Left Elevation

SCALE: 1/8"=1'-0"



Building Type 2
Right Elevation

SCALE: 1/8"=1'-0"



Building Type 2
Front Elevation

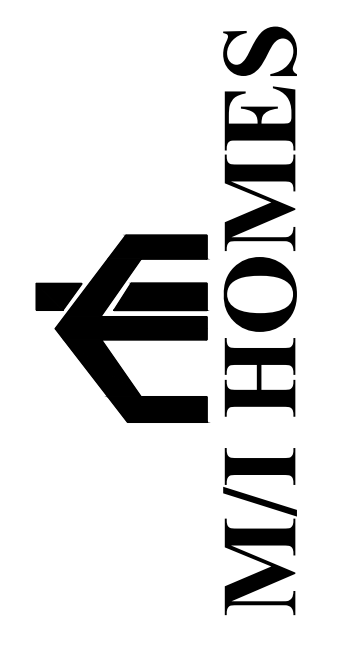
SCALE: 1/8"=1'-0"

EXTERIOR ELEVATION NOTES:

- TYPICAL ROOFING:**
25 YEAR, CLASS 'C', SELF SEALING ASPHALT SHINGLES ON 1/2" ROOFING FELT- SEE DETAIL NO.1, SHEET AD.1 FOR MORE INFORMATION
- TYPICAL SIDING:**
VINYL SIDING
- TYPICAL EAVE:**
PRE-FINISHED ALUMINUM GUTTER WITH METAL DRIP EDGE OVER 1x6 ALUMINUM WRAPPED FASCIA BD ALUMINUM SOFFIT - CONTINUOUSLY VENTED 1x6 ALUMINUM WRAPPED FRIEZE BOARD SEE DETAIL NO.1, SHEET AD.1 FOR MORE INFORMATION
- TYPICAL RAKE:**
1x2 SHADOW BOARD OVER 1x6 RAKE BOARD - ALUMINUM WRAPPED
2x LADDER PANEL FRAMING AT 24" OC ALUMINUM SOFFIT - NON VENTED 1x6 ENGINEERED SUB-RAKE BOARD - ALUMINUM WRAPPED
SEE DETAIL NO.14, SHEET AD.3 FOR MORE INFORMATION
- ALL JOINTS, SEAMS, PENETRATIONS, OPENINGS BETWEEN WINDOWS AND DOORS AND THEIR RESPECTIVE FRAMING, AND OTHER SOURCES OF AIR LEAKAGE (INFILTRATION OR EXFILTRATION) THROUGH THE BUILDING ENVELOPE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED, WRAPPED OR OTHERWISE SEALED
- PROVIDE SPLASH BLOCKS AT ALL DOWN SPOUTS DISCHARGING AT GRADE
- PROVIDE DRIP CAPS AT ALL WINDOWS AND DOORS
- PROVIDE METAL FLASHING AT ALL ROOF TO WALL CONDITIONS AND AT ALL LOCATIONS WHERE REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL.
- PROVIDE APPROVED ADDRESS NUMBERS TO BE PLAINLY VISIBLE FROM STREET FRONTING PROPERTY. NUMBERS SHALL BE A CONTRASTING COLOR TO THE BUILDING'S EXTERIOR, SHALL BE ARABIC NUMERALS ONLY, AND SHALL BE A MINIMUM 5/8" HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCHES.
- PROVIDE ICE AND WATER SHIELD AS SPECIFIED IN THE GENERAL NOTES, WALL SECTIONS AND ROOF PLAN.
- ALL ROOF SADDLES SHALL BE CONTINUOUSLY SHEATHED AND COVERED WITH BUILDING PAPER AND ROOF SHINGLES.
- MAINTAIN OPENINGS IN ROOF SHEATHING AT OVER-FRAMING TO PROVIDE REQUIRED VENTILATION.

ISSUE DATE: 09-28-2017

NO.	REVISIONS



Metro West - Uptown Series
Naperville, Illinois

2017-09-28 - Issued for Permit Review



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Palatine, Illinois 60074
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JOB NO: MS170426.00 PROJ MGR: CRB
DRAWN: LE, DM CHECKED: CRB
ELEVATIONS

BLDG TYPE 1
AA3.1

BSB ABBREVIATIONS

A	AB ANCHOR BOLT ABV ABOVE AC AIR CONDITIONING ACC ACCESS ACT ACOUSTICAL TILE (CLG) ACT ABOVE FINISH FLOOR AD AREA DRAIN ADD APPENDIX ADH ADHESIVE ADJ ADJUSTABLE AGG AGGREGATE AHU AIR HANDLING UNIT ALT ALTERNATE ALUM ALUMINUM AP ACCESS PANEL APX APPROXIMATE ARCH ARCHITECT(R)AL ASPH ASPHALT AT ASPHALT TILE AUTO AUTOMATIC AVG AVERAGE AVNG AVENUE	B	BD BOARD BF BI-FOLD (DOOR) BIT BITUMINOUS BLDG BUILDING BLK BLOCK (CMU) BLKG BLOCKING BM BEAM OR BENCH MARK BP BI-PASS (DOOR) BRG BEARING BRK BRICK BS BOTH SIDES BSMT BASEMENT BTM BOTTOM BTWN BETWEEN BVL BEVELED BN BOTH WAYS	C	CAB CABINET CB CATCH BASIN CEM CEMENT CER CERAMIC CF CUBIC FOOT CHAM CHAMFER CI CAST IRON CIP CAST-IN-PLACE CIR CIRCLE CIRC CIRCUMFERENCE CJC CONTROL JOINT CK CAULK(ING) CL CLOSET OR CENTER LINE CLG CEILING CLR CLEAR(ANCE) CLS CLOSURE OR CLOSER CM (DOOR) CENTIMETER(S) CMU CONCRETE MASONRY UNIT CO CASSED OPENING COL COLUMN COMB COMBINATION CONC CONCRETE COND (AC) CONDENSER CONST CONSTRUCTION CONT CONTINUOUS CONTR CONTRACTOR CORR CORRUGATED CPR COPPER CPT CARPET CRS COURSE(S) CSMT CASHEMENT CST CAST STONE CT CERAMIC TILE CTR CENTER OR COUNTER CY CUBIC YARD	D	D DRYER OR DRAIN DBL DOUBLE DECO DECORATIVE DEMO DEMOLISH DEMOLITION DEP DEPRESSED DTL DETAIL DF DRINKING FOUNTAIN DH DOUBLE HANG DIA DIAMETER DIM DIMENSION DL DEAD LOAD DN DOWN (STAIRS) DP DAMP-PROOFING DR DOOR DS DOWNPOUT DT DRAIN TILE DW DISH WASHER DNG DRAWING DNR DRAWER	E	EA EACH EB EYEBROW (FLAT ARCH) EF EACH FACE EJ EXPANSION JOINT EL ELEVATION ELEC ELECTRICAL EP ELECTRICAL PANEL EQ EQUAL EST ESTIMATE EWC ELECTRIC WATER COOLER EXG EXISTING EXH EXHAUST EXT EXTERIOR	F	FAS FASTENER FB FACE BRICK FBO FURNISHED BY OTHERS FD FLOOR DRAIN FE FIRE EXTINGUISHER FF FINISH FLOOR (LINE) FG FIXED GLASS FGL FIBERGLASS FIN FINISH FLG FLASHING FLR FLOOR(ING) FLUR FLUORESCENT (LIGHT) FMB FLOOR MATERIAL BREAK FN FENCE FND FOUNDATION FO FACE OF FP FIRE PROOF FPFB FROST PROOF HOSE BIBB FPL FIREPLA FR FRAME(D)ING FS FULL SIZE FTG FOOTING FUR FURRED(ING) FWD FOOD WASTE DISPOSAL	G	GA GAUGE GC GENERAL CONTRACTOR GD GRADE OR GRADING GDD GARAGE DOOR OPENER GFCI GROUND FAULT-CIRCUIT INTERRUPTER GL GLASS OR GLAZING GLBK GLASS BLOCK GI GALVANIZED IRON GT GROUT GYP GYPSUM	H	HB HOSE BIBB HC HOLLOW CORE HD HEAT DETECTOR OR HEAVY DUTY HDR HEADER HDWR HARDWARE HM HOLLOW METAL HORZ HORIZONTAL HR HOUR OR HALF ROUND (WINDOW) HS HORIZONTAL SLIDER HT HEIGHT HTG HEATING HVAC HEATING/VENTILATING/AIR COND HWD HARDWOOD (FLOORS)	I	IB IRONING BOARD ID INSIDE DIAMETER ILO IN LIEU OF IM INSULATED METAL INSUL INSULATED(TION) INT INTERIOR	J	JST JOIST (FLOOR OR ROOF) JT JOINT	K	KD KNOCKDOWN (CEILING) KIT KITCHEN KO KNOCKOUT KPL KICKPLATE (ON DOOR) KS KNEE SPACE	L	LAM LAMINATE(D) LAV LAVATORY (SINK) LBO LOCATION BY OTHERS LIV LIVING LL LIVE LOAD LP LAMINATED PLASTIC LSL LAMINATED STAND LUMBER LT LIGHT OR LAUNDRY TUB LTL LINTEL LVL LAMINATED VENEER LUMBER LVR LOUVER	M	M METER(S) MAX MAXIMUM MAS MASONRY MATL MATERIAL MCG MEDICINE CABINET MECH MECHANICAL MFR MANUFACTURER MH MANHOLE MIN MINIMUM MIR MIRROR MISC MISCELLANEOUS MLD MOULDING MM MILLIMETER MMB MEMBRANE MOD MODULAR MOD MODULAR MRB MARBLE MTL METAL MT MOUNTED(ING) MULL MULLION OR MULLED	N	N/A NOT APPLICABLE NIC NOT IN CONTRACT NL NAILABLE NM NOMINAL NTS NOT TO SCALE NGVD NATIONAL GEODETIC-VERTICAL DATUM	O	OA OVERALL OBS OBLIQUE (GLASS) OC ON CENTER OD OUTSIDE DIAMETER OHD OVERHEAD GARAGE DOOR OH OVERHEAD OPNG OPENING OPT OPTIONAL OSB ORIENTED STRAND BOARD	P	PAR PARALLEL PBD PARTICLE BOARD PC PRECAST CONCRETE PE PORCELAIN ENAMEL PED PEDESTAL (SINK) PERI PERIMETER PKG PARKING PL PLATE (HEIGHT) PLAM PLASTIC LAMINATE PLAS PLASTER Pnl PANEL PNT PAINTED PR PAIR (OF) PREFAB PREFABRICATED PSF POUNDS PER SQUARE FOOT PSI POUNDS PER SQUARE INCH PSL PARALLEL STRAND LUMBER PTN PARTITION PT PRESSURE TREATED (WOOD) PV PAVED OR PAVING PVC POLYVINYL CHLORIDE (PIPE) PVMT PAVEMENT PLYD PLYWOOD	Q	QT QUARRY TILE	R	R RISER (ON STAIRS) R/A RETURN AIR RB RUBBER BASE RAD RADIUS RBL RIBBLE RD ROOF DRAIN REF REFRIGERATOR REQ REQUIRED RES RESILIENT REV REVISION(S), REVISED REIN REINFORCED(ING) RFG ROOFING RJB REINFORCED JUNCTION BOX RLG RAILING R4M RANGE W/ MICROWAVE RM ROOM RO ROUGH OPENING ROM RIGHT OF WAY	S	SC SOLID CORE (DOOR) SCH SCHEDULE SD SMOKE DETECTOR SECT SECTION SF SQUARE FEET SFG SAFETY GLASS SG SHEET GOODS (VINYL) SGD SLIDING GLASS DOOR SH SINGLE HING OR SHELF(VING) SHT (DRAWING) SHEET SHTG SHEATHING SIM SIMILAR SKL SKYLIGHT SL SIDELIGHT OR SLEEVE SNT SEALANT SPC SPACER SPEC SPECIFICATIONS SPK (AUDIO) SPEAKER(S) SS STAINLESS STEEL STD STANDARD STL STEEL STR STRUCTURAL SQ SQUARE SUS SUSPENDED SW SHEAR WALL S4R SHELF AND ROD S4S SURFACED FOUR SIDES	T	T TREAD (AT STAIRS) OR TILE TB TONEL BAR TBD TO BE DETERMINED TG TERRA COTTA TCJ TROMELED CONTROL JOINT TEMP TEMPERED (GLASS) T4G TONGUE & GROOVE TEL TELEPHONE THK THICKNESS TH THRESHOLD TOG TOP OF CONCRETE TOF TOP OF FOUNDATION TOM TOP OF MASONRY TOW TOP OF WINDOW TRN TRANSOM (WINDOW) TP TOILET PAPER HOLDER TV TELEVISION OUTLET TYP TYPICAL TD TRENCH DRAIN	U	UC UNDERCUT(DOOR) UL UNDERWRITER'S LABORATORY UNF UNFINISHED UNO UNLESS NOTED OTHERWISE MIL METAL	V	VB VANITY BASE OR VAPOR BARRIER VGT VINYL COMPOSITION TILE VERT VERTICAL VS VEGETABLE SINK VT VINYL TILE	W	W WIDE OR WASHING MACHINE WC WATER CLOSET WD WOOD WF WIDE FLANGE (STEEL BEAM) WH WATER HEATER WH WALL HING WI WROUGHT IRON WIC WALK-IN CLOSET WIN WINDOW W/WO WITH OR WITHOUT WP WATERPROOF(ING) WR WATER RESISTANT WS WATER SOFTENER W&Ct WAINSCOT WTM WALL TO WALL WWF WELDED WIRE FABRIC
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SYMBOLS

NOTE: REFER TO ELECTRICAL LAYOUTS FOR ALL ELECTRICAL SYMBOLS.
NOTE: ' ') DENOTES PLAN CALL OUT ABBREVIATION.

	INSULATING SHEATHING		BUILDING SECTION TAG		FROST PROOF HOSE BIB *(FPBH) OR WATER LINE FOR ICE MAKER
	BATT INSULATION		WALL TAG		GAS LINE STUB
	RIGID INSULATION		DETAIL TAG		FLOOR DRAIN *(FD)
	PLYWOOD		DETAIL TAG		STORM DRAIN, SANITARY SUMP, WATER HEATER *(WH)
	FINISH GRADE WOOD		DETAIL TAG		FURNACE *(FURN)
	BLOCKING		DETAIL TAG		LAUNDRY TUB *(LT)
	DIMENSIONAL LUMBER		DETAIL TAG		CLOTHES DRYER *(D)
	STEEL		EXTERIOR ELEVATION TAG		WASHING MACHINE *(W)
	STONE		INTERIOR ELEVATION TAG		REFRIGERATOR *(REF)
	BRICK		LEVEL LINE OR DATUM		OVEN, DOUBLE OVEN
	STANDARD CMU		FLOOR/ CEILING SLOPE		RANGE HOOD
	STRUCTURAL CMU		REVISION CLOUD		RANGE
	CONCRETE		BREAK LINE		COOKTOP
	SAND OR GRAVEL FILL		FLOOR/ ROOF FRAMING DIRECTION		DISHWASHER *(DW)
	EARTH		STEEL PIPE COLUMN		WET BAR SINK
	ANGLE		POST ABOVE		KITCHEN SINK
	CENTER LINE		WOOD POST/ KING POST COMBO		TUB OR TUB/ SHOWER
	PLATE		WOOD/ MFR WOOD HEADER		SHOWER PAN
	ROUND OR DIAMETER		STEEL LINTEL		WATER CLOSET
	PENNY		STEEL BEAM		PEDESTAL SINK
	PLUS OR MINUS		INTERIOR WOOD GUARD RAIL		LAVATORY
	LESS THAN		INTERIOR WOOD HALF WALL W/ WOOD CAP		MEDICINE CABINET *(MC), GREY BOX *(GB)
	GREATER THAN		INTERIOR WOOD LOAD BEARING STUD WALL		
	GAS METER				
	WATER METER				
	REMOTE WATER METER READER				

ISSUE DATES

DATE	REMARKS
04-28-2017	ISSUED FOR PERMIT REVIEW

SHEET INDEX

A0.0	SHEET INDEX, PROJECT INFORMATION, ISSUE DATES, ABBREVIATIONS, SYMBOLS
A0.1	GENERAL NOTES
A0.2	FOUNDATION SECTIONS
BUILDING TYPE 1 (F-C-B-A-B-C)	
AA1.1	FOUNDATION ASSEMBLY PLAN - LEFT SIDE - FOUNDATION NOTES
AA1.2	FOUNDATION ASSEMBLY PLAN - RIGHT SIDE - FOUNDATION NOTES
AA2.1	MAIN AND UPPER FLOOR ASSEMBLY PLANS, SHEAR WALL SCHEDULE
AA2.2	ROOF PLAN, ATTIC VENTILATION
AA3.1	EXTERIOR ELEVATIONS, ELEVATION NOTES
AA3.1.1	EXTERIOR ELEVATION NET FACADE CALCULATIONS
AA3.1.2	EXTERIOR ELEVATION NET MASONRY CALCULATIONS
BUILDING TYPE 2 (C-B-C-A-C-B-C)	
AA1.1	FOUNDATION ASSEMBLY PLAN - LEFT SIDE - FOUNDATION NOTES
AA1.2	FOUNDATION ASSEMBLY PLAN - RIGHT SIDE - FOUNDATION NOTES
AA2.1	MAIN AND UPPER FLOOR ASSEMBLY PLANS, SHEAR WALL SCHEDULE
AA2.2	ROOF PLAN, ATTIC VENTILATION
AA3.1	EXTERIOR ELEVATIONS, ELEVATION NOTES
AA3.1.1	EXTERIOR ELEVATION NET FACADE CALCULATIONS
AA3.1.2	EXTERIOR ELEVATION NET MASONRY CALCULATIONS
UNIT A - ADDISON	
A2.1	LOWER AND MAIN FLOOR PLAN, SQUARE FOOTAGES, FLOOR PLAN NOTES
A2.2	UPPER FLOOR PLAN, FLOOR PLAN OPTIONS, FLOOR PLAN NOTES
A3.1	EXTERIOR ELEVATIONS, ELEVATION NOTES
A3.2	BUILDING SECTIONS
A4.1	LOWER AND MAIN FLOOR ELECTRICAL PLAN, ELECTRICAL NOTES
A4.2	UPPER FLOOR ELECTRICAL PLAN, ELECTRICAL NOTES
A5.1	PLUMBING RISER DIAGRAMS
UNIT B - BELMONT	
B2.1	LOWER AND MAIN FLOOR PLAN, SQUARE FOOTAGES, FLOOR PLAN NOTES
B2.2	UPPER FLOOR PLAN, FLOOR PLAN OPTIONS, FLOOR PLAN NOTES
B3.1	EXTERIOR ELEVATIONS, ELEVATION NOTES
B3.2	BUILDING SECTIONS
B4.1	LOWER AND MAIN FLOOR ELECTRICAL PLAN, ELECTRICAL NOTES
B4.2	UPPER FLOOR ELECTRICAL PLAN, ELECTRICAL NOTES
B5.1	PLUMBING RISER DIAGRAMS
UNIT C - CLARK	
C2.1	LOWER AND MAIN FLOOR PLAN, SQUARE FOOTAGES, FLOOR PLAN NOTES
C2.2	UPPER FLOOR PLAN, FLOOR PLAN OPTIONS, FLOOR PLAN NOTES
C2.3	UPPER FLOOR PLAN OPTIONS, FLOOR PLAN NOTES
C3.1	EXTERIOR ELEVATIONS, ELEVATION NOTES
C3.2	BUILDING SECTIONS
C4.1	LOWER AND MAIN FLOOR ELECTRICAL PLAN, ELECTRICAL NOTES
C4.2	UPPER FLOOR ELECTRICAL PLAN, ELECTRICAL NOTES
C4.3	UPPER FLOOR ELECTRICAL PLAN OPTIONS, ELECTRICAL NOTES
C5.1	PLUMBING RISER DIAGRAMS
UNIT F - FOSTER	
F2.1	LOWER AND MAIN FLOOR PLAN, SQUARE FOOTAGES, FLOOR PLAN NOTES
F2.2	UPPER FLOOR PLAN, FLOOR PLAN OPTIONS, FLOOR PLAN NOTES
F3.1	EXTERIOR ELEVATIONS, ELEVATION NOTES
F3.2	BUILDING SECTIONS
F3.3	BUILDING SECTIONS
F4.1	LOWER AND MAIN FLOOR ELECTRICAL PLAN, ELECTRICAL NOTES
F4.2	UPPER FLOOR ELECTRICAL PLAN, ELECTRICAL NOTES
F5.1	PLUMBING RISER DIAGRAMS
DETAILS	
AD.1	WALL SECTIONS
AD.2	WALL SECTIONS
AD.3	DETAILS
AD.4	DETAILS
AD.5	DETAILS
AD.6	DETAILS
AD.7	DETAILS
AD.8	DETAILS
PROJECT INFORMATION	
PROJECT :	METRO WEST - UPTOWN SERIES
LOCATION :	NAPERVILLE, ILLINOIS
PROJECT TYPE:	THREE STORY REARLOAD TOWNHOMES
APPLICABLE CODES :	
BUILDING:	RESIDENTIAL CODE FOR ONE- AND TWO- FAMILY DWELLINGS OF THE CITY OF NAPERVILLE (2012 INTERNATIONAL RESIDENTIAL CODE)
PLUMBING:	2014 ILLINOIS STATE PLUMBING CODE
ELECTRICAL:	2011 NATIONAL ELECTRIC CODE
MECHANICAL:	2012 INTERNATIONAL MECHANICAL CODE
ENERGY:	2015 INTERNATIONAL ENERGY CONSERVATION CODE
FIRE PREVENTION:	2012 INTERNATIONAL FIRE CODE
FIRE ALARM AND DETECTION SYSTEM:	
A FIRE ALARM AND DETECTION SYSTEM SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF NFPA 72, THE 2012 EDITION OF THE INTERNATIONAL BUILDING CODE, THE 2012 EDITION OF THE INTERNATIONAL FIRE CODE, AND THE CURRENT EDITION OF THE NAPERVILLE FIRE DEPARTMENT'S REGULATIONS FOR THE INSTALLATION, MAINTENANCE, AND TESTING OF FIRE ALARM SYSTEMS.	

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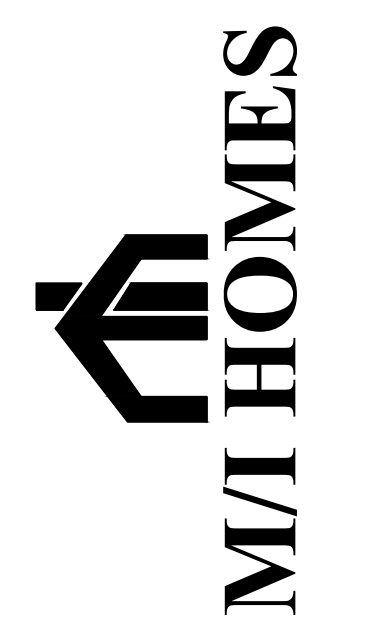
Metro West - Uptown Series
Naperville, Illinois



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JOB NO: MS170426.00 PROJ MGR: CRB
DRAWN: LE, DM CHECKED: CRB
PROJECT INFORMATION
SHEET INDEX
ABBREVIATIONS
SYMBOLS

ISSUE DATE:	09-28-2017
REVISIONS	

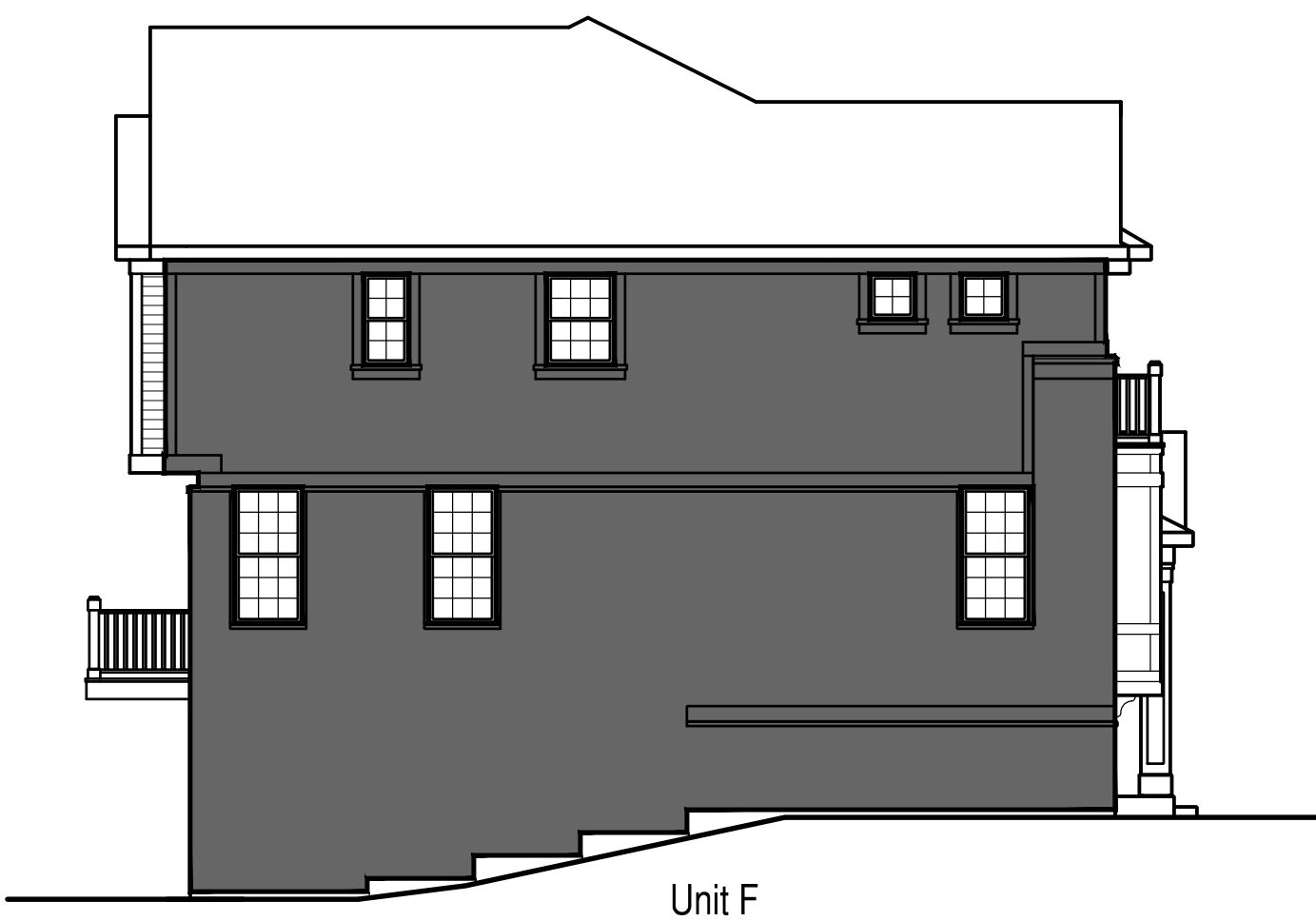


A0.0



Building Type 1
Rear Elevation

SCALE: 1/8"=1'-0"



Building Type 1
Left Elevation

SCALE: 1/8"=1'-0"



Building Type 1
Right Elevation

SCALE: 1/8"=1'-0"



Building Type 1
Front Elevation

SCALE: 1/8"=1'-0"

NET FAÇADE

EXTERIOR ELEVATION NOTES:

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25 YEAR, CLASS 'C', SELF SEALING ASPHALT SHINGLES ON 1/2" ROOFING FELT - SEE DETAIL No.1, SHEET AD.1 FOR MORE INFORMATION
- TYPICAL SIDING:**
VINYL SIDING
- TYPICAL EAVE:**
PRE-FINISHED ALUMINUM GUTTER WITH METAL DRIP EDGE OVER 1x6 ALUMINUM WRAPPED FASCIA BD ALUMINUM SOFFIT - CONTINUOUSLY VENTED 1x6 ALUMINUM WRAPPED FRIEZE BOARD SEE DETAIL No.1, SHEET AD.1 FOR MORE INFORMATION
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1x2 SHADOW BOARD OVER 1x6 RAKE BOARD -ALUMINUM WRAPPED
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SEE DETAIL No.14, SHEET AD.3 FOR MORE INFORMATION
- ALL JOINTS, SEAMS, PENETRATIONS, OPENINGS BETWEEN WINDOWS AND DOORS AND THEIR RESPECTIVE FRAMING, AND OTHER SOURCES OF AIR LEAKAGE (INFILTRATION OR EXFILTRATION) THROUGH THE BUILDING ENVELOPE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED, WRAPPED OR OTHERWISE SEALED
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- MAINTAIN OPENINGS IN ROOF SHEATHING AT OVER-FRAMING TO PROVIDE REQUIRED VENTILATION.

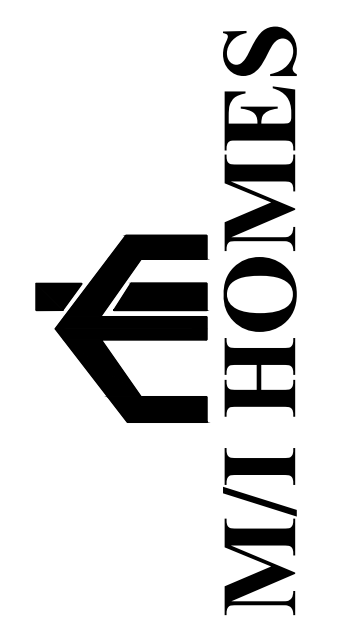
Uptown Series
Masonry Façade Percentage - Six Unit Mix (Franklin, Clark, Belmont, Addison, Belmont, Clark)

Building Calculations	Left Elevation	Rear Elevation	Right Elevation	Front Elevation	Building Total
	Square Feet	Square Feet	Square Feet	Square Feet	
Total Façade	957	2,130	957	1,709	5,753
Total Masonry on Façade	595	1,021	595	989	3,200
Percentage of Masonry	62%	48%	62%	58%	56%

Front Elevation Calculations	Franklin	Clark	Belmont	Addison	Belmont	Clark	Front Elevation Total
	Square Feet	Square Feet	Square Feet	Square Feet	Square Feet	Square Feet	Square Feet
Total Façade	254	251	309	335	309	251	1,709
Total Masonry on Façade	116	169	228	79	228	169	989
Percentage of Masonry	46%	67%	74%	24%	74%	67%	58%

ISSUE DATE: 09-28-2017

REVISIONS



Metro West - Uptown Series
 Naperville, Illinois

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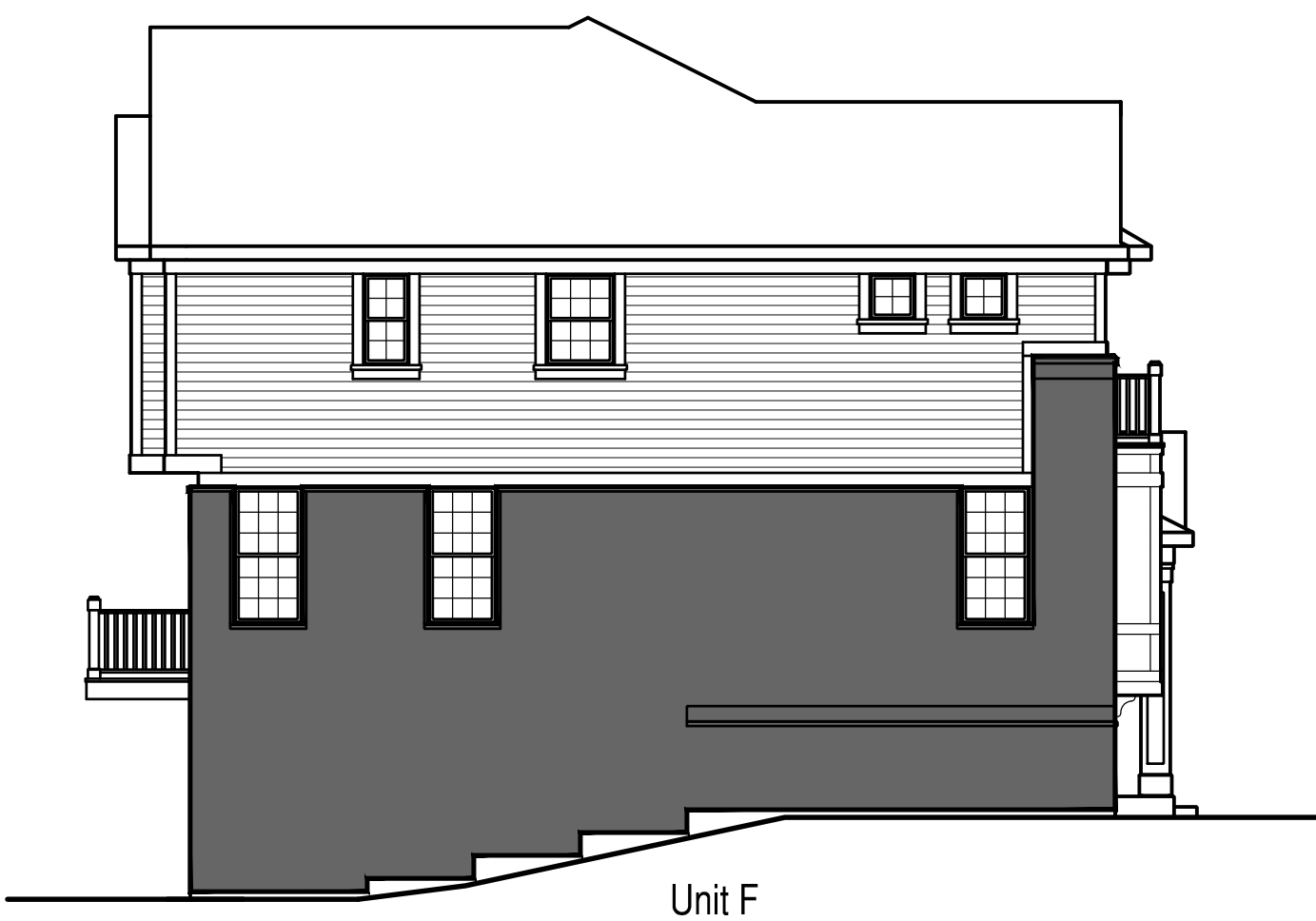
ELEVATION
NET FAÇADE CALCULATIONS

BLDG TYPE 1
AA3.1.1



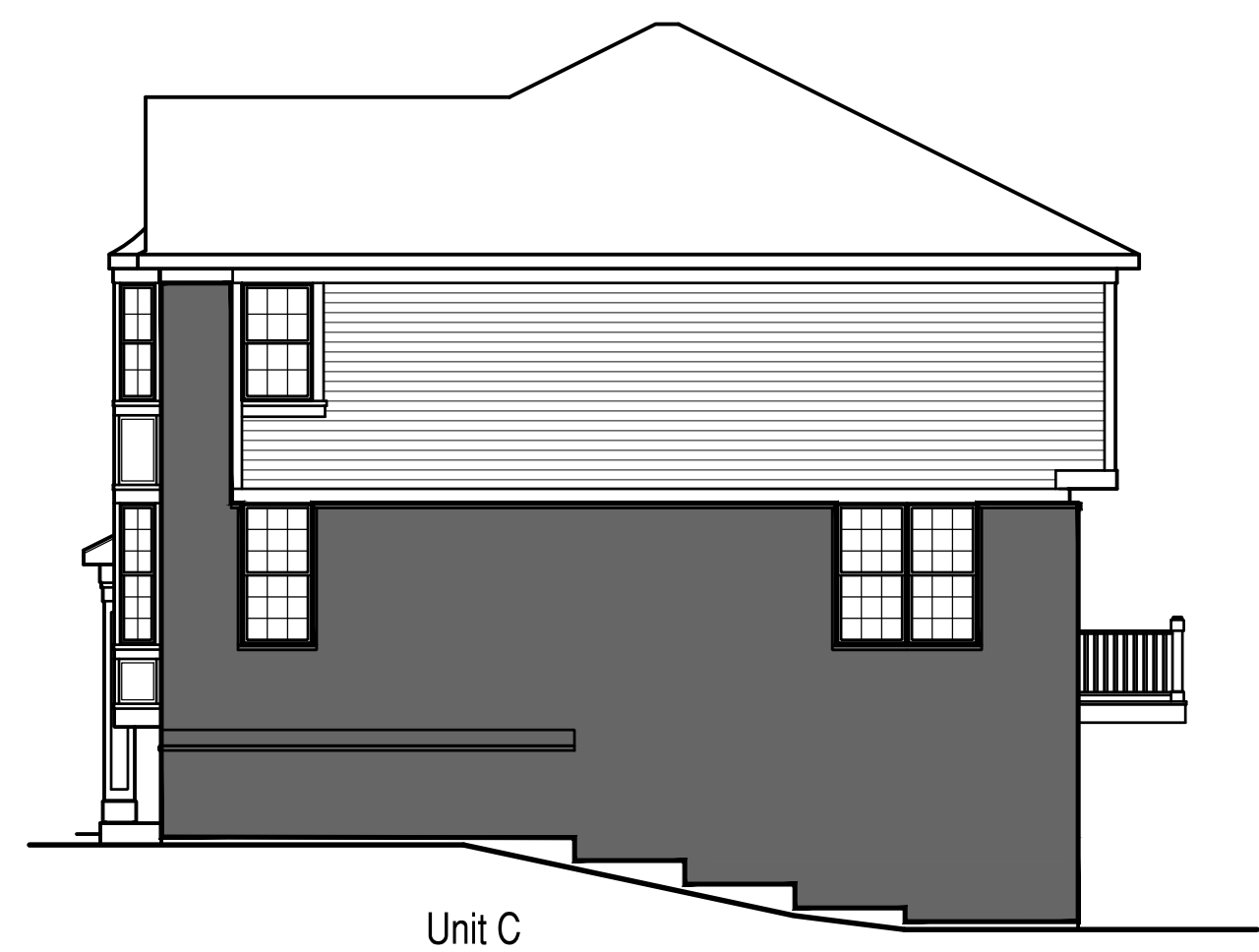
Building Type 1
Rear Elevation

SCALE: 1/8"=1'-0"



Building Type 1
Left Elevation

SCALE: 1/8"=1'-0"



Building Type 1
Right Elevation

SCALE: 1/8"=1'-0"



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Front Elevation

SCALE: 1/8"=1'-0"

NET MASONRY

EXTERIOR ELEVATION NOTES:

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1x2 SHADOW BOARD OVER 1x6 RAKE BOARD -ALUMINUM WRAPPED
2x LADDER PANEL FRAMING AT 24" OC ALUMINUM SOFFIT - NON VENTED 1x6 ENGINEERED SUB-RAKE BOARD - ALUMINUM WRAPPED
SEE DETAIL No.14, SHEET AD.3 FOR MORE INFORMATION
- ALL JOINTS, SEAMS, PENETRATIONS, OPENINGS BETWEEN WINDOWS AND DOORS AND THEIR RESPECTIVE FRAMING, AND OTHER SOURCES OF AIR LEAKAGE (INFILTRATION OR EXFILTRATION) THROUGH THE BUILDING ENVELOPE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED, WRAPPED OR OTHERWISE SEALED
- PROVIDE SPLASH BLOCKS AT ALL DOWN SPOUTS DISCHARGING AT GRADE
- PROVIDE DRIP CAPS AT ALL WINDOWS AND DOORS
- PROVIDE METAL FLASHING AT ALL ROOF TO WALL CONDITIONS AND AT ALL LOCATIONS WHERE REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL
- PROVIDE APPROVED ADDRESS NUMBERS TO BE PLAINLY VISIBLE FROM STREET FRONTING PROPERTY. NUMBERS SHALL BE A CONTRASTING COLOR TO THE BUILDING'S EXTERIOR, SHALL BE ARABIC NUMERALS ONLY, AND SHALL BE A MINIMUM 5 1/2" HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCHES.
- PROVIDE ICE AND WATER SHIELD AS SPECIFIED IN THE GENERAL NOTES, WALL SECTIONS AND ROOF PLAN.
- ALL ROOF SADDLES SHALL BE CONTINUOUSLY SHEATHED AND COVERED WITH BUILDING PAPER AND ROOF SHINGLES.
- MAINTAIN OPENINGS IN ROOF SHEATHING AT OVER-FRAMING TO PROVIDE REQUIRED VENTILATION.

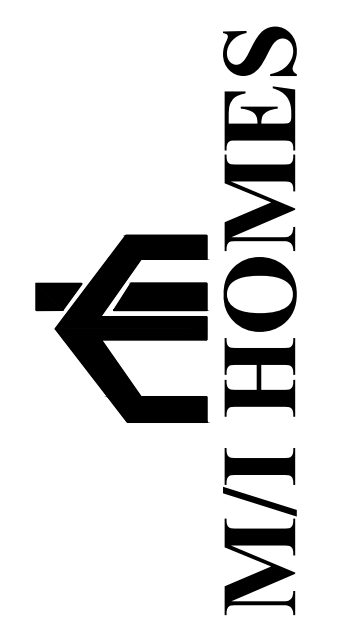
Uptown Series
Masonry Façade Percentage - Six Unit Mix (Franklin, Clark, Belmont, Addison, Belmont, Clark)

Building Calculations	Left Elevation	Rear Elevation	Right Elevation	Front Elevation	Building Total
	Square Feet	Square Feet	Square Feet	Square Feet	
Total Façade	957	2,130	957	1,709	5,753
Total Masonry on Façade	595	1,021	595	989	3,200
Percentage of Masonry	62%	48%	62%	58%	56%

Front Elevation Calculations	Franklin	Clark	Belmont	Addison	Belmont	Clark	Front Elevation Total
	Square Feet	Square Feet	Square Feet	Square Feet	Square Feet	Square Feet	Square Feet
Total Façade	254	251	309	335	309	251	1,709
Total Masonry on Façade	116	169	228	79	228	169	989
Percentage of Masonry	46%	67%	74%	24%	74%	67%	58%

ISSUE DATE: 09-28-2017

REVISIONS



Metro West - Uptown Series
Naperville, Illinois

2017-09-28 - Issued for Permit Review



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JOB NO: MS170426.00 PROJ MGR: CRB
DRAWN: LE, DM CHECKED: CRB

ELEVATION
NET MASONRY CALCULATIONS

BLDG TYPE 1
AA3.1.2

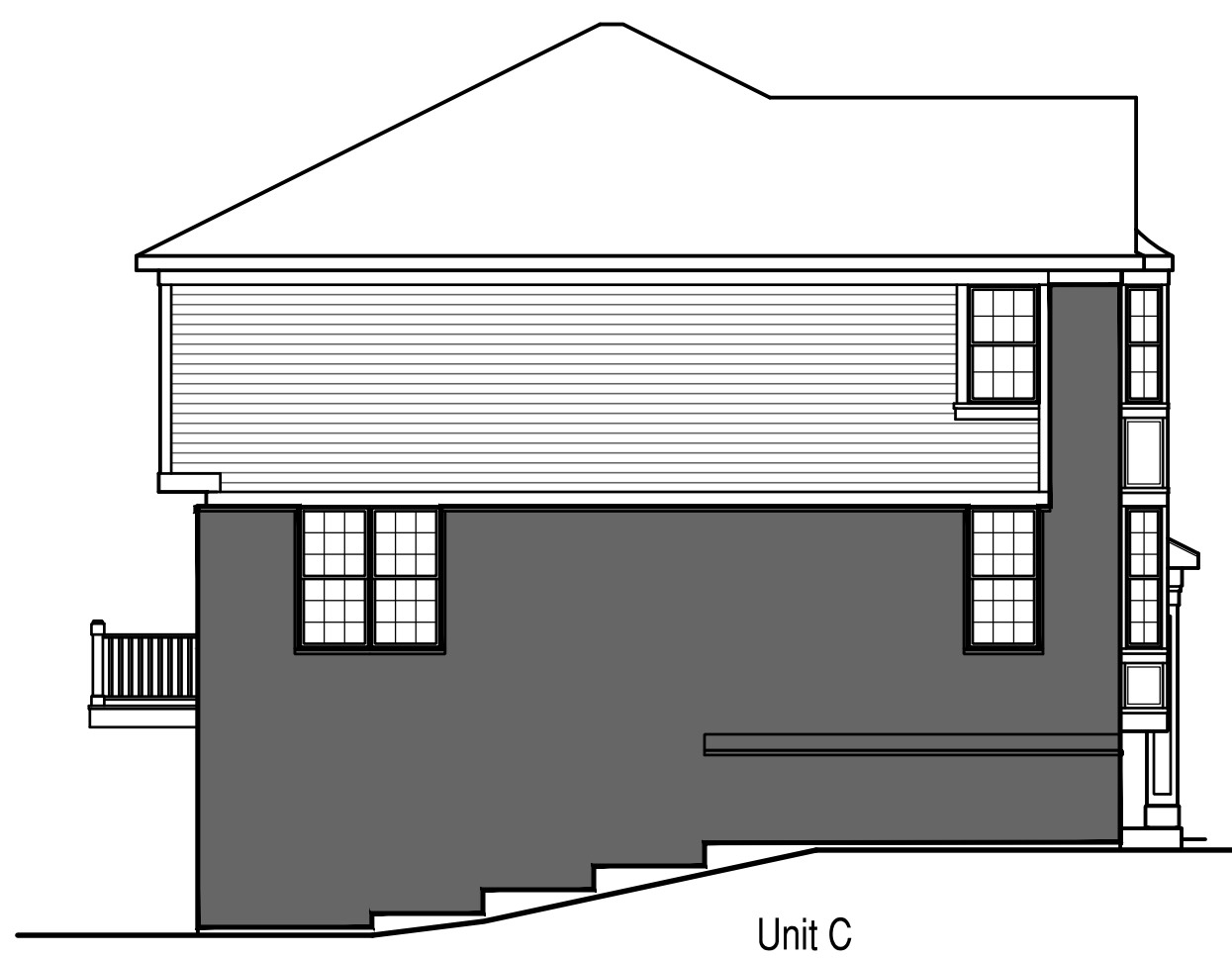
EXTERIOR ELEVATION NOTES:

- TYPICAL ROOFING:**
25 YEAR, CLASS 'C', SELF SEALING ASPHALT SHINGLES ON 1/2" ROOFING FELT- SEE DETAIL No.1, SHEET AD.1 FOR MORE INFORMATION
- TYPICAL SIDING:**
VINYL SIDING
- TYPICAL EAVE:**
PRE-FINISHED ALUMINUM GUTTER WITH METAL DRIP EDGE OVER 1x6 ALUMINUM WRAPPED FASCIA BD ALUMINUM SOFFIT - CONTINUOUSLY VENTED 1x6 ALUMINUM WRAPPED FRIEZE BOARD SEE DETAIL No.1, SHEET AD.1 FOR MORE INFORMATION
- TYPICAL RAKE:**
1x2 SHADOW BOARD OVER 1x6 RAKE BOARD -ALUMINUM WRAPPED
2x LADDER PANEL FRAMING AT 24" OC ALUMINUM SOFFIT - NON VENTED 1x6 ENGINEERED SUB-RAKE BOARD - ALUMINUM WRAPPED
SEE DETAIL No.14, SHEET AD3 FOR MORE INFORMATION
- ALL JOINTS, SEAMS, PENETRATIONS, OPENINGS BETWEEN WINDOWS AND DOORS AND THEIR RESPECTIVE FRAMING, AND OTHER SOURCES OF AIR LEAKAGE (INFILTRATION OR EXFILTRATION) THROUGH THE BUILDING ENVELOPE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED, WRAPPED OR OTHERWISE SEALED
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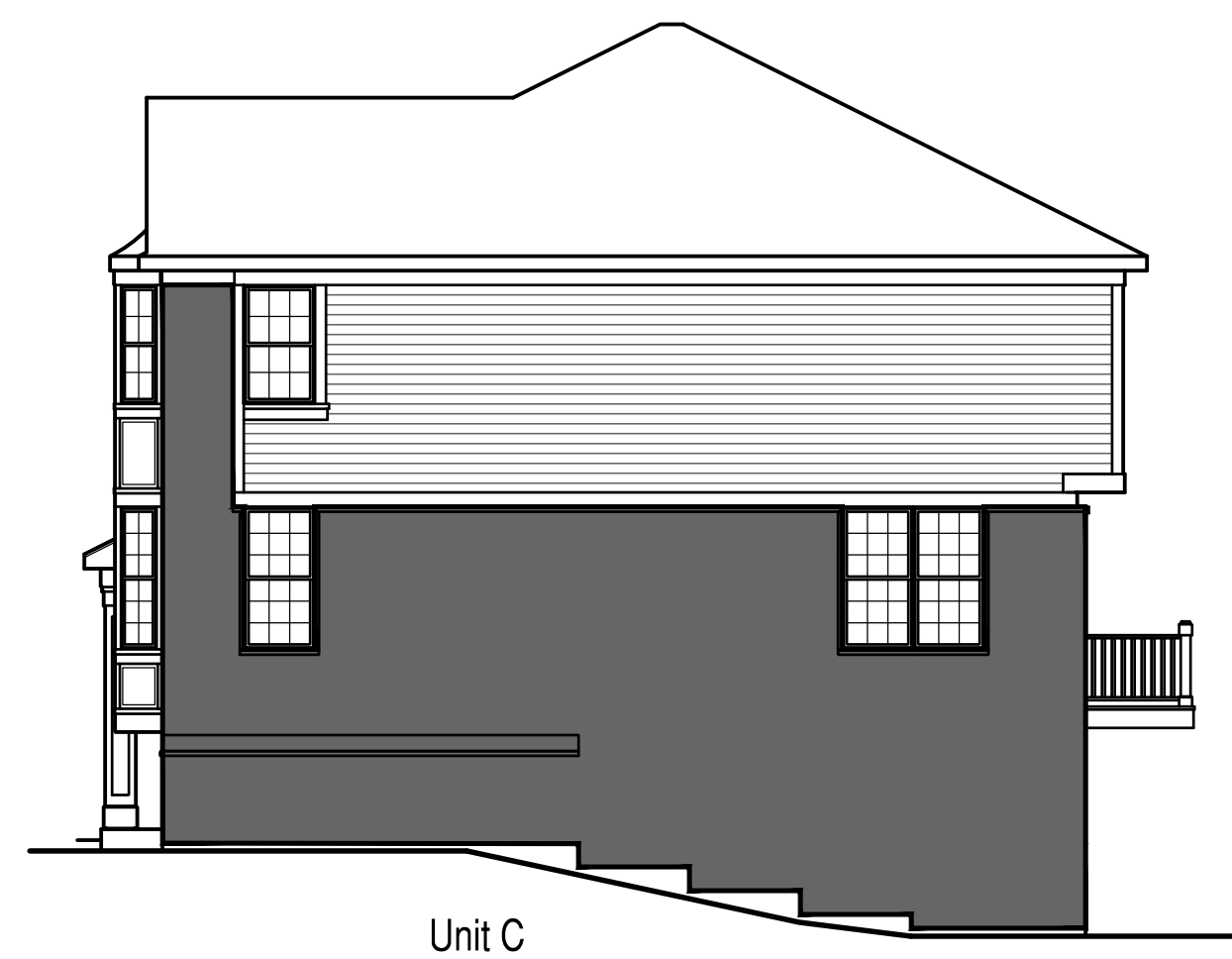
**Building Type 2
Rear Elevation**

SCALE: 1/8"=1'-0"



**Building Type 2
Left Elevation**

SCALE: 1/8"=1'-0"



**Building Type 2
Right Elevation**

SCALE: 1/8"=1'-0"

**Uptown Series
Masonry Façade Percentage - Seven Unit Mix (Clark, Belmont, Clark, Addison, Addison, Belmont, Clark)**

Building Calculations	Left Elevation	Rear Elevation	Right Elevation	Front Elevation	Building Total
	Square Feet	Square Feet	Square Feet	Square Feet	
Total Façade	957	2,130	957	2,041	6,085
Total Masonry on Façade	595	1,021	595	1,121	3,332
Percentage of Masonry	62%	48%	62%	55%	55%

Front Elevation Calculations	Clark	Belmont	Clark	Addison	Addison	Belmont	Clark	Front Elevation Total
	Square Feet	Square Feet	Square Feet	Square Feet	Square Feet	Square Feet	Square Feet	
Total Façade	251	309	251	335	335	309	251	2,041
Total Masonry on Façade	169	228	169	79	79	228	169	1,121
Percentage of Masonry	67%	74%	67%	24%	24%	74%	67%	55%



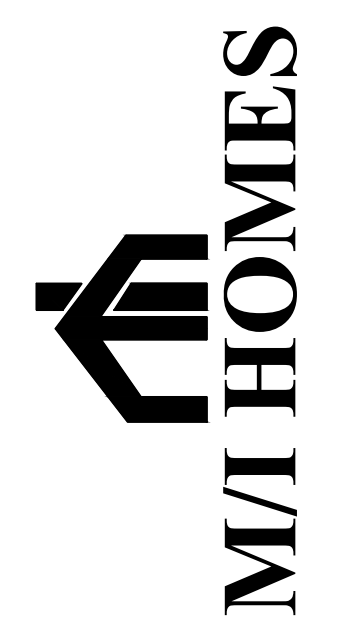
**Building Type 2
Front Elevation**

SCALE: 1/8"=1'-0"

NET MASONRY

ISSUE DATE: 09-28-2017

REVISIONS



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 Naperville, Illinois

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ELEVATION
NET MASONRY CALCULATIONS

BLDG TYPE 2
AA3.1.2