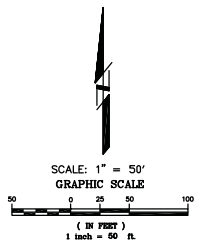
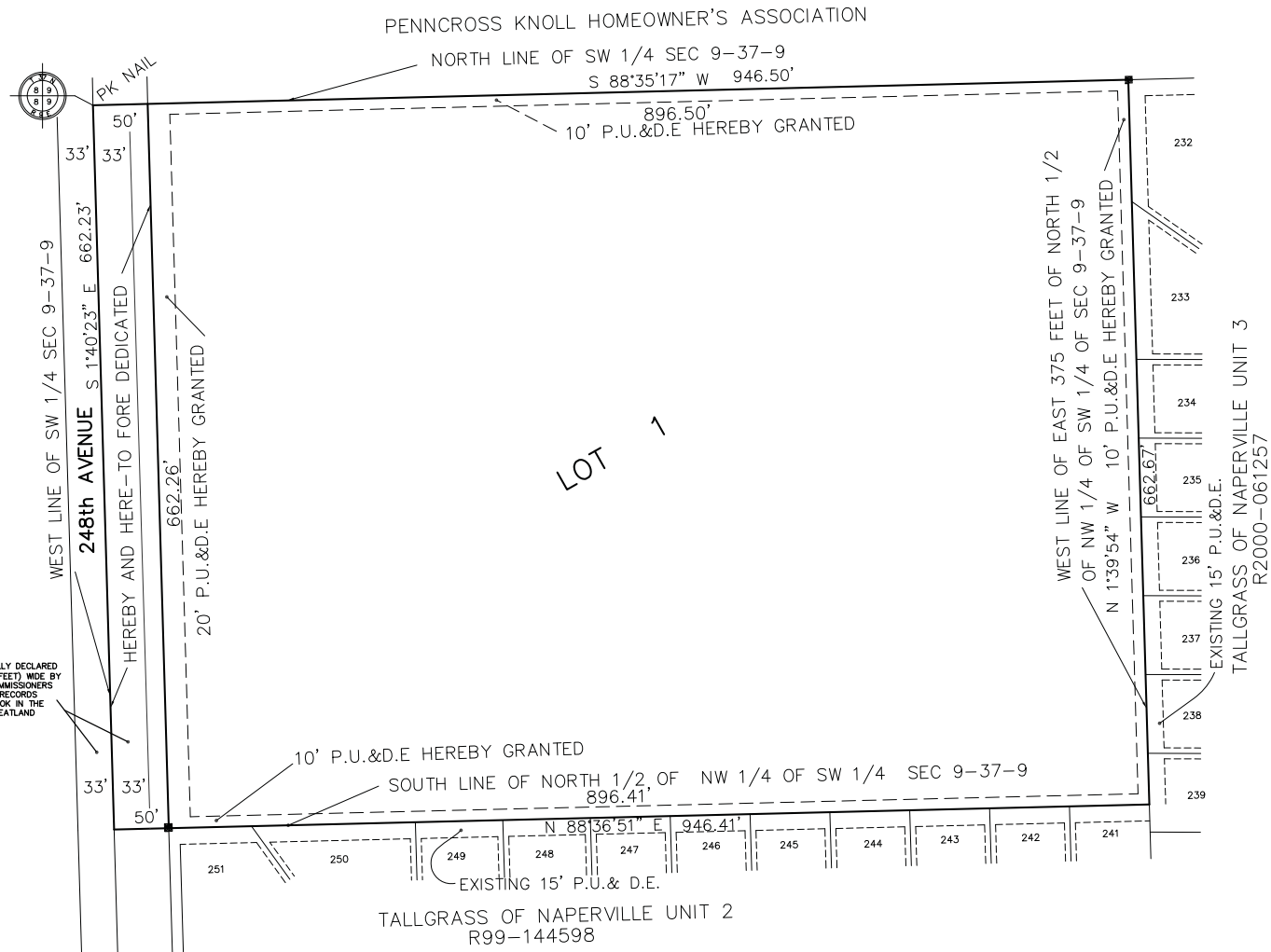


PRELIMINARY/FINAL SUBDIVISION PLAT

ISLAMIC CENTER OF NAPERVILLE 248th AVENUE SUBDIVISION

BEING A SUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF SECTION 9,
TOWNSHIP 37 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN,
IN WILL COUNTY, ILLINOIS.

THIS PLAT HAS BEEN SUBMITTED FOR RECORDING BY AND RETURN TO:
NAME: NAPERVILLE CITY CLERK
ADDRESS: 400 S. EAGLE STREET
NAPERVILLE, ILLINOIS 60540



LEGEND

- CONCRETE MONUMENT SET
- EASEMENT LINE
- _____ PROPERTY LINE
- _____ SUBDIVISION BOUNDARY LINE

ABBREVIATIONS

- N = NORTH
- S = SOUTH
- E = EAST
- W = WEST
- R = RADIUS
- PU & DE = PUBLIC UTILITIES & DRAINAGE EASEMENT



LOCATION MAP
NOT TO SCALE

LOT AREA SUMMARY		
LOT #	AREA	ACRES
TOTAL AREA LOT 1	593,857 S.F.	13.633 ACRES
ROADWAY DEDICATION	33,112 S.F.	= 0.760 ACRES
TOTAL AREA IN SUBDIVISION	14.393 ACRES	

248TH AVENUE, A PUBLIC ROAD FORMALLY DECLARED TO BE A PUBLIC HIGHWAY 4 RODS (66 FEET) WIDE BY THE WHEATLAND TOWNSHIP HIGHWAY COMMISSIONERS SEPTEMBER 6, 1851 PURSUANT TO THE RECORDS THEREOF CONTAINED IN THE RECORD BOOK IN THE OFFICE OF THE TOWNSHIP CLERK OF WHEATLAND TOWNSHIP, NAPERVILLE, ILLINOIS.

- NOTES:**
1. IRON PIPES ARE AT ALL LOT CORNERS.
 2. ALL EASEMENTS ARE HEREBY GRANTED UNLESS OTHERWISE NOTED.
 3. ALL EASEMENTS DEPICTED ON THE PLAT ARE FOR PUBLIC UTILITIES AND DRAINAGE PURPOSES UNLESS OTHERWISE NOTED. REFER TO THE PUBLIC UTILITIES AND DRAINAGE EASEMENT PROVISIONS STATEMENT ON SHEET 2 OF 2 FOR SPECIFIC TERMS AND CONDITIONS.
 4. ALL MEASUREMENTS AND DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
 5. ALL STREET RIGHTS-OF-WAY NOTED ON THE PLAT AS "HEREBY AND HERETOFORE DEDICATED" ARE HEREBY DEDICATED, CONVEYED AND TRANSFERRED TO THE CITY OF NAPERVILLE FOR PUBLIC RIGHT-OF-WAY PURPOSES.

CITY OF NAPERVILLE STREET CLASSIFICATION
ALL STREETS WITHIN THIS SUBDIVISION SHALL BE CLASSIFIED MINOR ARTERIAL.

ALL PARKWAY TREE REQUIREMENTS SHALL BE MET PURSUANT TO THE CITY OF NAPERVILLE ORDINANCE AS AMENDED

DEVELOPER/OWNER:
ISLAMIC CENTER OF NAPERVILLE
450 OLESON DRIVE
NAPERVILLE, ILLINOIS 60540
TEL 630-209-2777
E-MAIL: ARAHMAN@BURNSMCD.COM

CITY OF NAPERVILLE PROJECT #11-1000138

INTECH CONSULTANTS, INC.
ENGINEERS / SURVEYORS
1989 UNIVERSITY LANE, SUITE D - LISLE, ILLINOIS
TEL: (630) 964-5656 FAX: (630) 964-5052
E-MAIL: CAD@INTECHCONSULTANTS.COM
ILLINOIS REGISTRATION NO. 184-001040

REVISED 11-15-2011 CON REVIEW OF 11-9-2011
REVISED 10-16-2011 CON REVIEW OF 10-13-2011
PREPARED: 9-27-11

SHEET No. 1 of 2 JOB No.: 2011-016

CAD JOB : 2000-001-14

ISLAMIC CENTER OF NAPERVILLE - 248TH AVENUE PRELIMINARY/FINAL PLAT OF SUBDIVISION

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