

FINAL ENGINEERING PLANS

AURORA AVENUE PROFESSIONAL BUILDING

405 S MAIN STREET & 115 AURORA AVENUE

NAPERVILLE, ILLINOIS

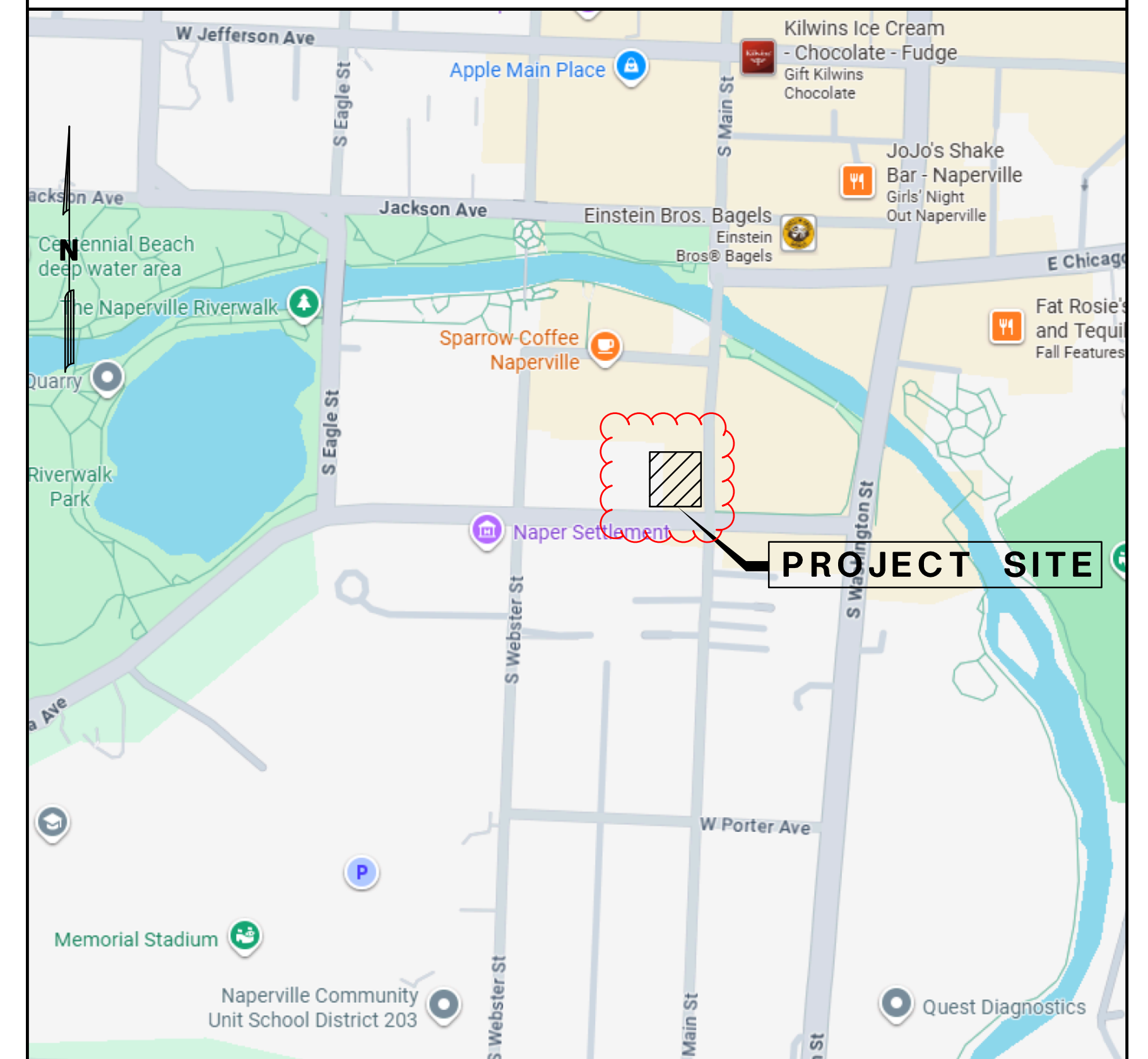
LEGEND

EXISTING	PROPOSED
SANITARY SEWER 8" PVC FM 12" RCP UD	SANITARY SEWER 8" PVC FM 12" RCP UD
MANHOLE CATCH BASIN INLET CLEANOUT WATER MAIN VALVE VAULT VALVE BOX FIRE HYDRANT FLARED END SECTION COMBINED SEWER STREET LIGHT/PARKING LOT LIGHT POWER POLE STREET SIGN FENCE GAS MAIN OVERHEAD LINE TELEPHONE LINE ELECTRIC LINE CABLE TV LINE HIGH WATER LEVEL NORMAL WATER LEVEL CONTOUR LINE TOP OF CURB ELEVATION TOP OF DEPRESSED CURB PAVEMENT ELEVATION SPOT ELEVATION FINISHED FLOOR ELEVATION TOP OF FOUNDATION GRADE AT FOUNDATION HIGH OR LOW POINT OVERLAND FLOOD ROUTE PAVEMENT FLOW DIRECTION SWALE FLOW DIRECTION DEPRESSED CURB AND GUTTER REVERSE CURB AND GUTTER	MANHOLE CATCH BASIN INLET CLEANOUT WATER MAIN VALVE VAULT VALVE BOX FIRE HYDRANT FLARED END SECTION COMBINED SEWER STREET LIGHT/PARKING LOT LIGHT POWER POLE STREET SIGN FENCE GAS MAIN OVERHEAD LINE TELEPHONE LINE ELECTRIC LINE CABLE TV LINE HIGH WATER LEVEL NORMAL WATER LEVEL CONTOUR LINE TOP OF CURB ELEVATION TOP OF DEPRESSED CURB PAVEMENT ELEVATION SPOT ELEVATION FINISHED FLOOR ELEVATION TOP OF FOUNDATION GRADE AT FOUNDATION HIGH OR LOW POINT OVERLAND FLOOD ROUTE PAVEMENT FLOW DIRECTION SWALE FLOW DIRECTION DEPRESSED CURB AND GUTTER REVERSE CURB AND GUTTER

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LOCATION MAP



THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AS WELL AS SUPERVISION, DIRECTION AND MEANS & METHODS OF CONSTRUCTION

ABBREVIATIONS

AC ACRE	HWL HIGH WATER ELEVATION	SAN SANITARY SEWER
BC BACK OF CURB	INL INLET	SMH SANITARY MANHOLE
BTM BOTTOM	INV INVERT	STA STATION
CB CATCH BASIN	LF LINEAL FEET/FOOT	STM STORM SEWER
CFS CUBIC FEET PER SECOND	LP LIGHT POLE	SY SQUARE YARD
CY CUBIC YARD	LT LEFT	SWPP STORMWATER POLLUTION PREVENTION PLAN
DIA DIAMETER	L/W LOWEST GRADE ADJACENT TO RETAINING WALL	TDC TOP OF DEPRESSED CURB
DIMM DUCTILE IRON WATER MAIN ELEVATION	MAX MAXIMUM	TC TOP OF CURB
EP EDGE OF PAVEMENT	MH MANHOLE	TF TOP OF FOUNDATION
FF FINISHED FLOOR	MIN MINIMUM	T/W TOP OF RETAINING WALL
FES FLARED END SECTION	NWL NORMAL WATER ELEVATION	TYP TYPICAL
FT FOOT/FEET	OCS OUTLET CONTROL STRUCTURE	VB VALVE BOX
G GUTTER ELEVATION	P PAVEMENT ELEVATION	VC VERTICAL CURVE
GF GRADE AT FOUNDATION	PVC POLYVINYL CHLORIDE PIPE	VV VALVE VAULT
GR GRADE RING ELEVATION	R RADIUS	W WALK ELEVATION
HDPE HIGH DENSITY POLYETHYLENE PIPE	RCP REINFORCED CONCRETE PIPE	WM WATER MAIN
HYD FIRE HYDRANT	RT RIGHT	VP1 VERTICAL POINT OF INTERSECTION
HMA HOT MIX ASPHALT	ROW RIGHT OF WAY	

BENCHMARKS

SOURCE BENCHMARK: (NGS MONUMENT DESIGNATION 19, PID AA3735)
FROM THE INTERSECTION OF ILLINOIS STATE HIGHWAY 59 AND AURORA AVENUE IN NAPERVILLE, PROCEED EAST NORTHEAST ALONG AURORA AVENUE 2 MILES TO STATION ON THE RIGHT. STATION IS IN GRASSY AREA BETWEEN SIDEWALK AND BACK OF CURB +/- 40 FEET SOUTH OF CENTERLINE OF AURORA AVENUE AND +/- 390 FEET EAST OF CENTERLINE OF WILD CHERRY LANE. STATION IS 47.52 FEET EAST NORTHEAST OF + CHISELED ON TOP OF FIRE HYDRANT, 6.54 FEET SOUTHEAST OF + CHISELED ON BACK OF CURB, AND 19.26 FEET SOUTHWEST OF + CHISELED ON BACK OF CURB. STATION IS 5 FEET NORTHWEST OF SIDEWALK. STATION IS STAINLESS STEEL ROD IN PVC SLEEVE WITH METAL LID SET FLUSH WITH GROUND ELEVATION = 709.72 (NAVD88).

CITY OF NAPERVILLE SURVEY MONUMENT NO. 15051: BERTSEN 3D TOP SECURITY MONUMENT, CONSISTING OF A 9/16" DIAMETER STAINLESS STEEL DATUM POINT. ELEVATION = 672.24 (NAVD88).

SITE BENCHMARK #1: CUT CROSS ON TOP OF CURB ON THE WEST SIDE OF MAIN STREET ON THE NORTH SIDE OF THE ENTRANCE TO THE FIRST ALLEY NORTH OF AURORA AVENUE. THE MARK IS ON THE SOUTH END OF A CURB RADIUS AND APPROXIMATELY 13 FEET SOUTH ELEVATION = 639.40.

SITE BENCHMARK #2: CUT CROSS ON TOP OF CURB AT THE NORTHWEST QUADRANT OF AURORA AVENUE AND MAIN STREET IN FRONT OF TRAFFIC SIGNAL POLE WITH WALK SIGNAL. ELEVATION = 679.84.



NOTES:

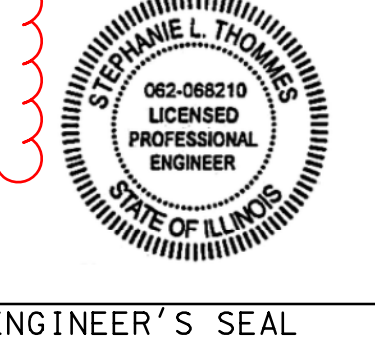
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING, EXCEPT AS MODIFIED HEREIN OR ON THE PLANS:
- STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT-SS) FOR ALL IMPROVEMENTS EXCEPT SANITARY SEWER AND WATER MAIN CONSTRUCTION;
 - STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION (SSWS) FOR SANITARY SEWER AND WATER MAIN CONSTRUCTION;
 - MUNICIPAL CODE CITY OF NAPERVILLE, ILLINOIS
- IN CASE OF CONFLICT BETWEEN THE APPLICABLE ORDINANCES NOTED, THE MORE STRINGENT SHALL TAKE PRECEDENCE AND SHALL CONTROL ALL CONSTRUCTION.

DRAINAGE CERTIFICATION

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SAID IMPROVEMENTS OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREA, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE IMPROVEMENTS.

6/12/26
EXPIRES
11/30/27

Stephen Thomas
LICENSED ENGINEER



ENGINEER'S SEAL

CLIENT:



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APPROVED	ST
DATE	04/30/2026
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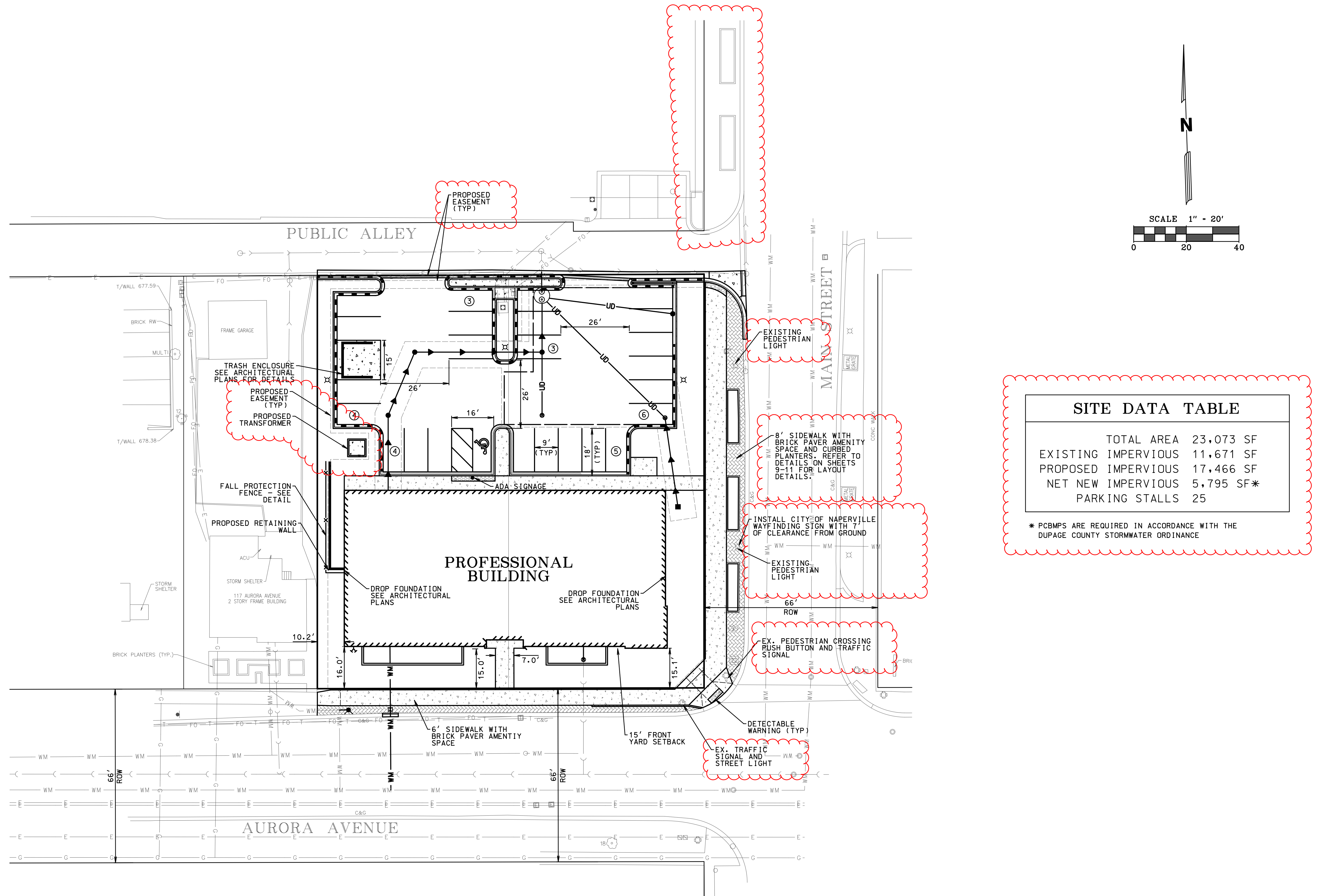


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DATE	DESCRIPTION OF REVISION	BY		

SITE PLAN
AURORA AVENUE PROFESSIONAL BUILDING
NAPERVILLE, ILLINOIS

SHEET	
2 OF 13	
PROJECT NUMBER:	5268
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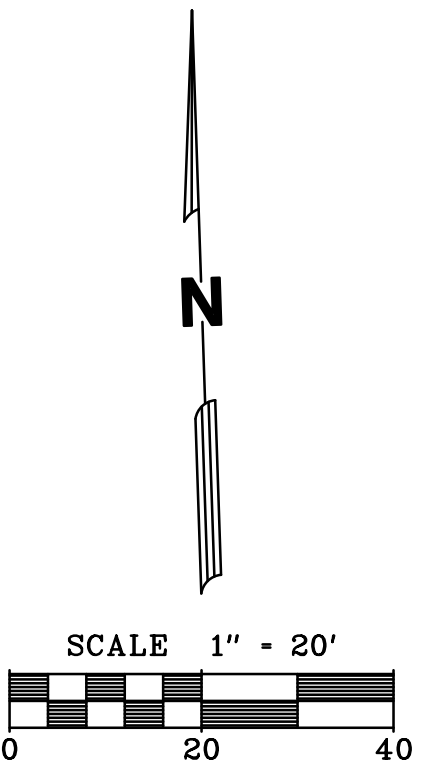
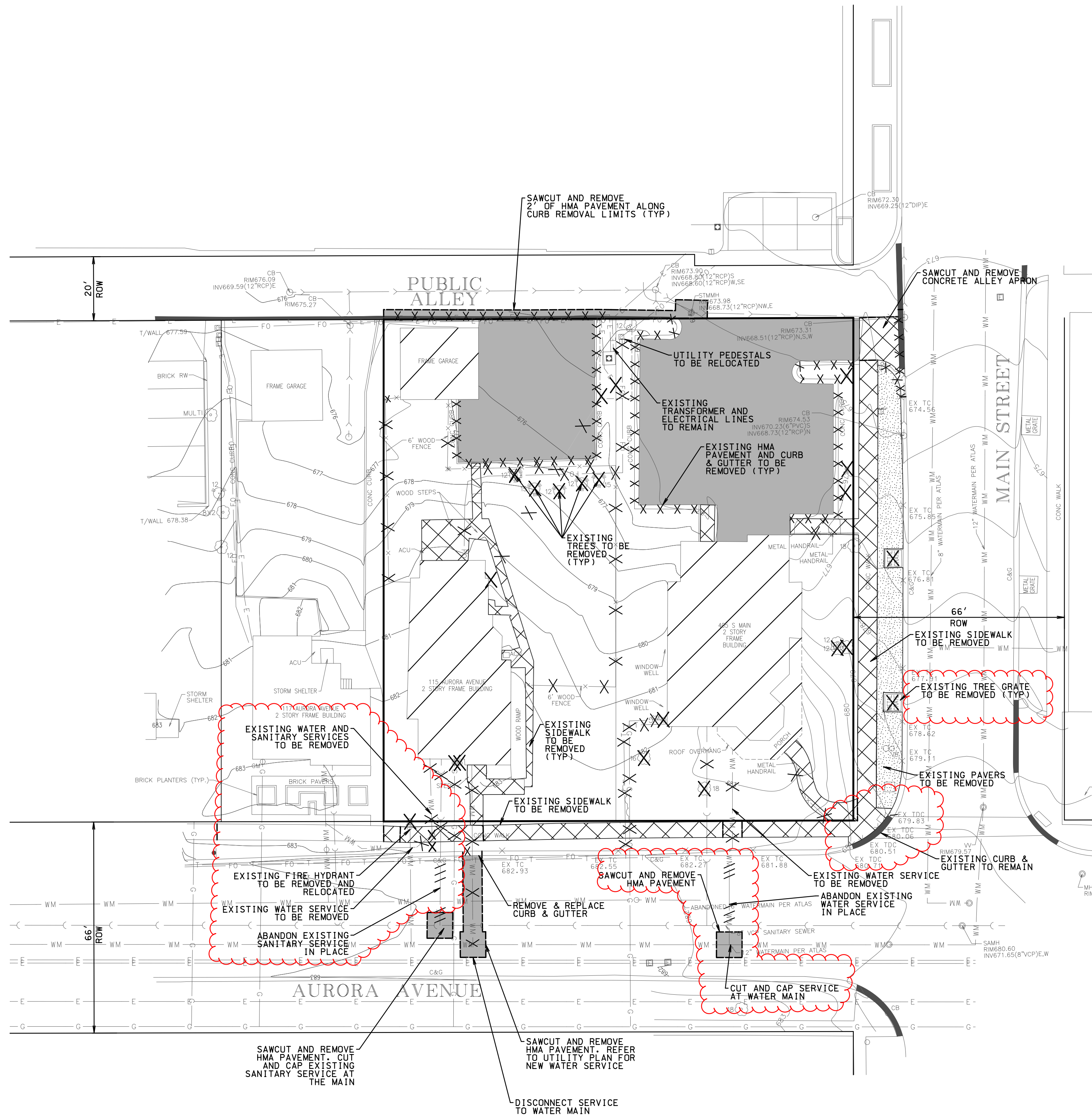
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EXISTING CONDITIONS AND DEMOLITION PLAN AURORA AVENUE PROFESSIONAL BUILDING NAPERVILLE, ILLINOIS

SHEET

3 OF **13**

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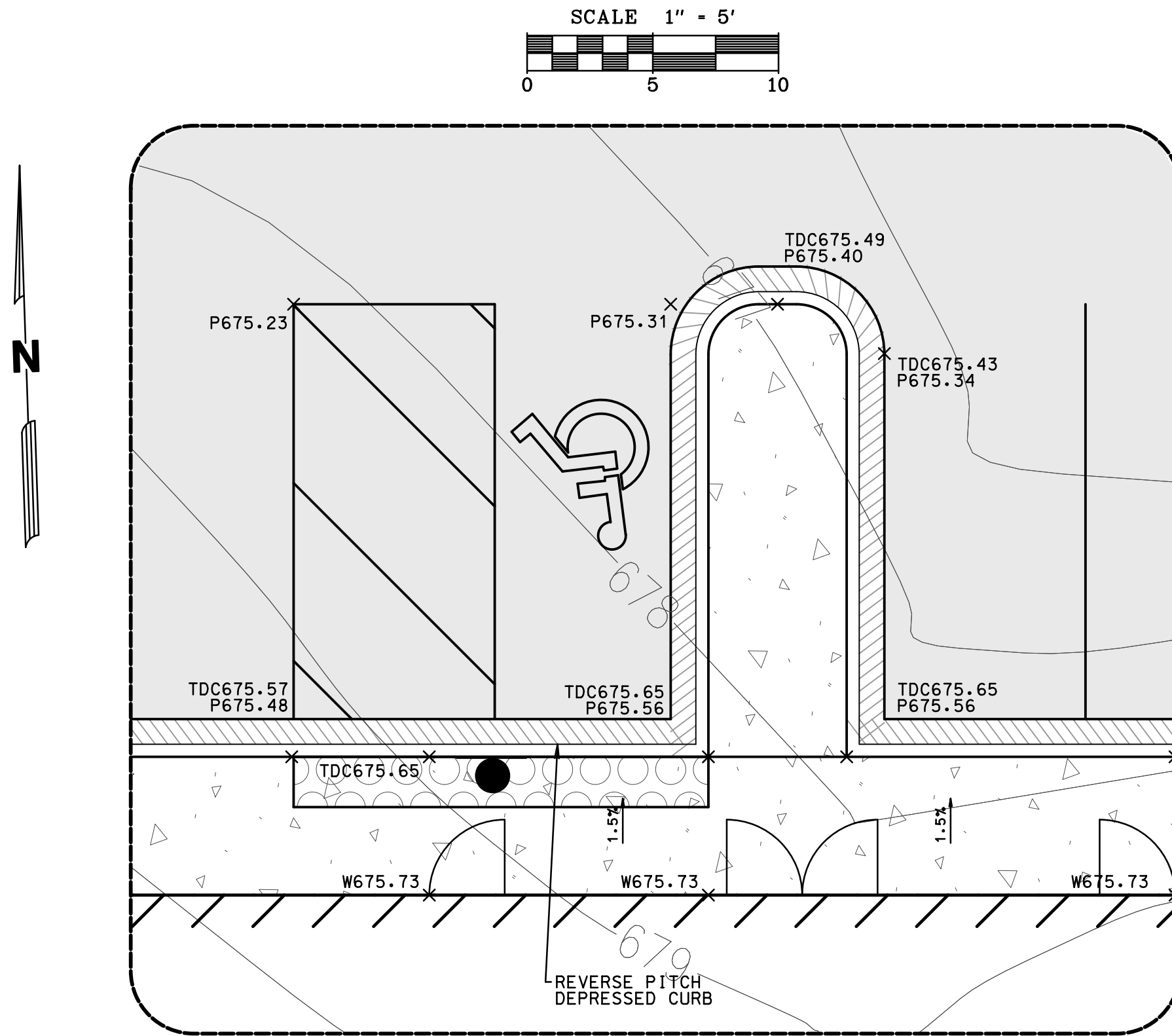


DEMOLITION LEGEND

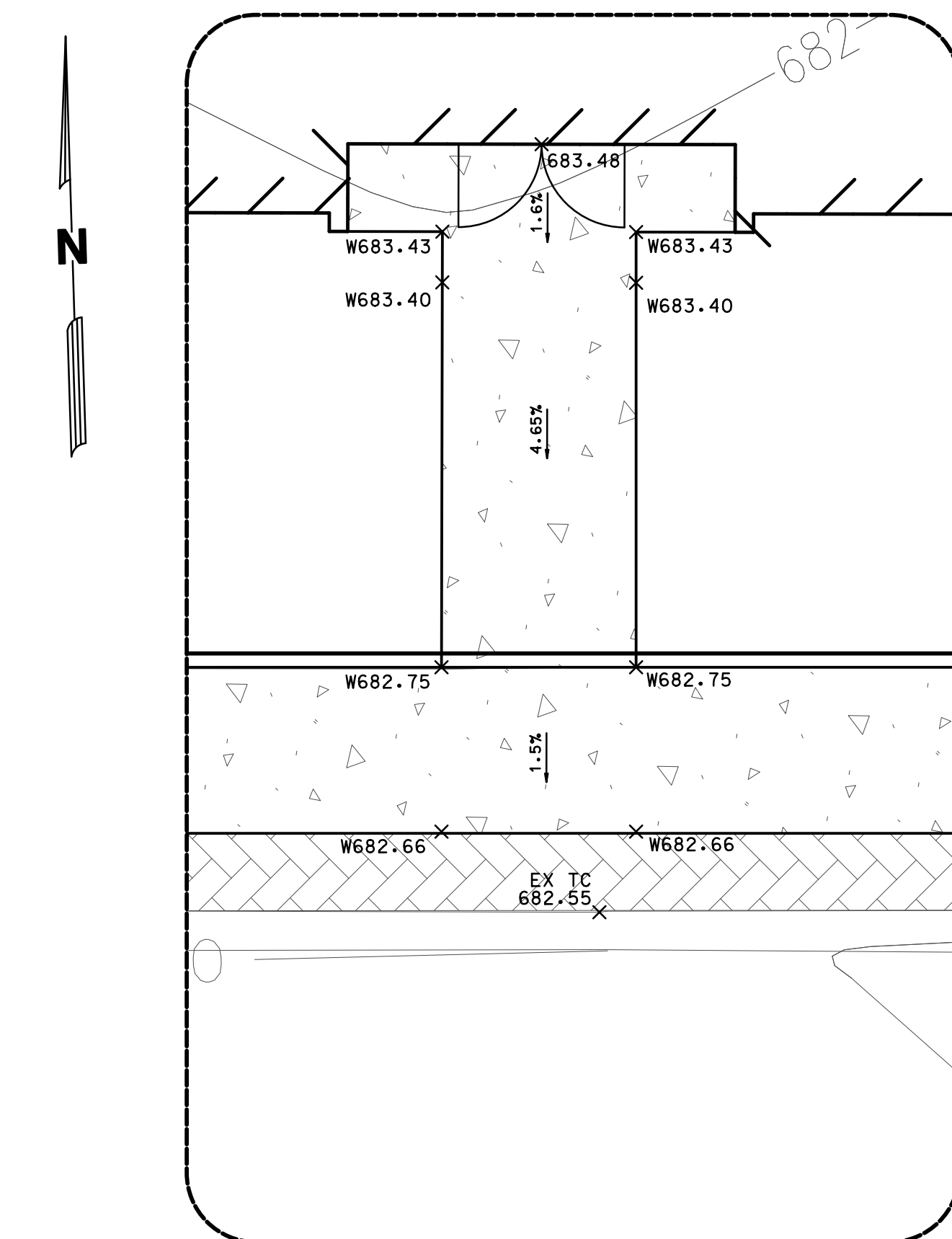
EXISTING BUILDING TO BE REMOVED	
EXISTING CONCRETE TO BE REMOVED	
EXISTING HMA PAVEMENT TO BE REMOVED	
EXISTING BRICK PAVERS TO BE REMOVED	
EXISTING CURB TO BE REMOVED	
EXISTING UTILITY TO BE REMOVED	
EXISTING UTILITY TO BE ABANDONED	
EXISTING STRUCTURE, TREE, MISCELLANEOUS OBJECT TO BE REMOVED	

DEMOLITION PLAN GENERAL NOTES:

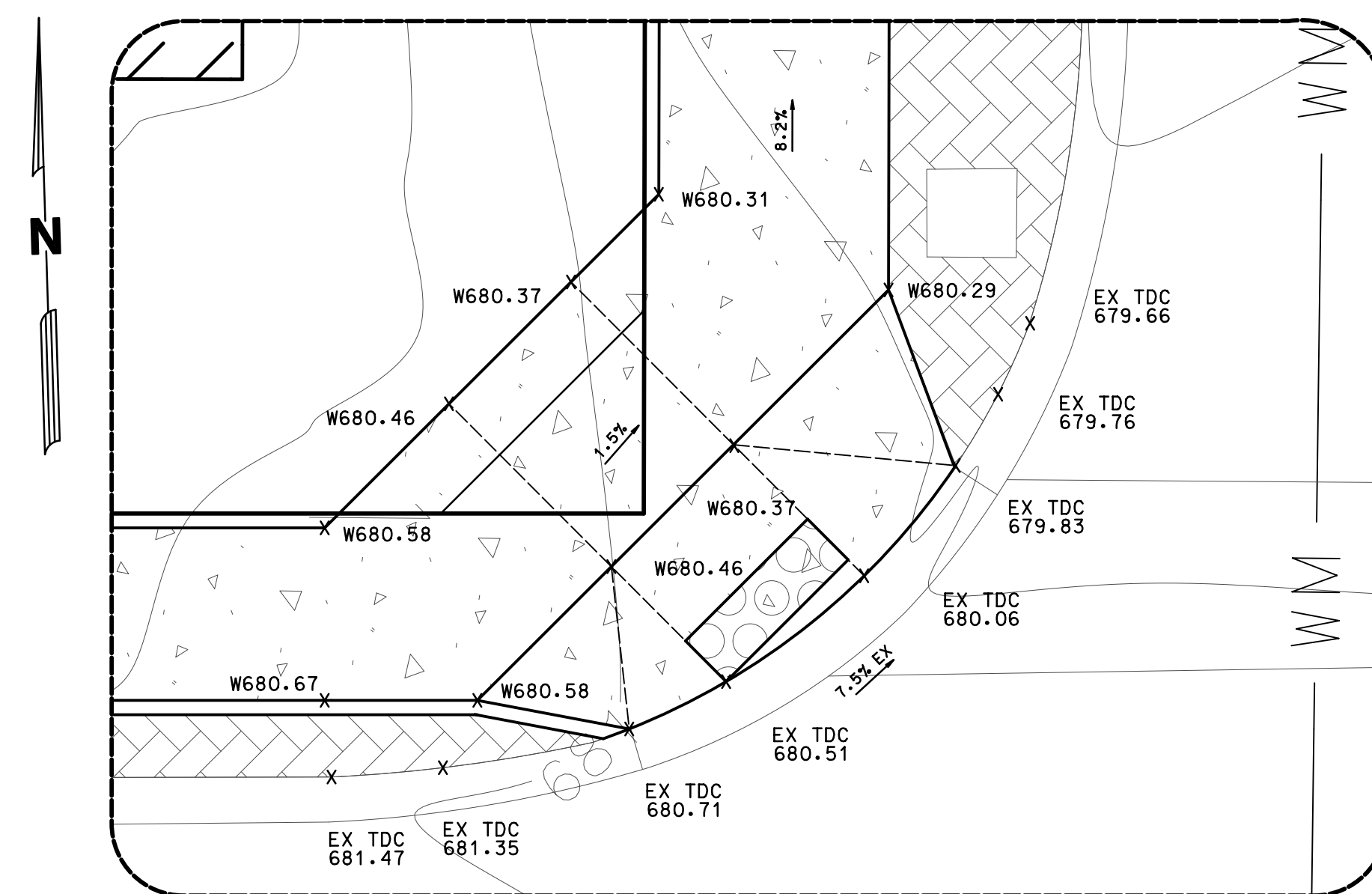
- CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR DEMOLITION WORK AND ASSOCIATED UTILITY DISCONNECT FEES.
- THE MUNICIPALITY AND THE OWNER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- THIS PLAN WAS PREPARED FROM TOPOGRAPHIC SURVEY PREPARED BY MACKIE CONSULTANTS, LLC, DATED 9-26-25, 3-12-26, AND AVAILABLE RECORDS. CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES SHOWN AND NOT SHOWN BEFORE COMMENCING WORK AND NOTIFY THE ENGINEER OR OWNER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES PRIOR TO BEGINNING DEMOLITION WORK FOR THE EXACT LOCATIONS OF THE UTILITIES. THE CONTRACTOR SHALL ARRANGE FOR THE DISCONNECTION, PROTECTION OR RELOCATION OF ANY EXISTING UTILITY SERVICES, INCLUDING WATER, SEWER, GAS, ELECTRIC, TELEPHONE AND CABLE.
- THE CONTRACTOR IS REQUIRED TO ASSURE HIMSELF OF LOCATION AND DEPTH OF EXISTING UTILITIES AND RELATED FEATURES AND SHALL REPORT AT ONCE TO THE OWNER OR ENGINEER ANY DISCREPANCIES WITH RESPECT TO INFORMATION INDICATED IN THE CONTRACT DOCUMENTS.
- ALL HMA PAVEMENT AND BUILDING MATERIALS SHALL BE REMOVED TO AN OFFSITE LOCATION. GRAVEL BASE MATERIALS SHALL BE STOCKPILED ONSITE AND USED FOR TEMPORARY ROADS OR GENERAL FILL, AS APPROVED BY THE OWNER OR DEVELOPER. ANY BASE MATERIALS REMAINING UPON COMPLETION OF THE PROPOSED IMPROVEMENTS SHALL BE HAULED TO AN OFFSITE LOCATION.
- ALL UTILITIES TO REMAIN AS NOTED SHALL BE ADJUSTED TO THE FINAL GRADES AS PROVIDED ON THE UTILITY PLANS.
- GAS, TELEPHONE AND ELECTRIC DISTRIBUTION SYSTEM REMOVALS AND ADJUSTMENTS SHALL BE DONE BY RESPECTIVE UTILITY AND PAID FOR SEPARATELY BY OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THIS WORK INCIDENTAL TO THE CONTRACT. ALL ENVIRONMENTAL REMEDIATION WILL BE COMPLETED BY OWNER PRIOR TO START OF CONSTRUCTION.
- ALL EXISTING UTILITIES ARE TO REMAIN IN SERVICE UNLESS SPECIFICALLY SHOWN TO BE REMOVED.
- ALL UTILITIES AND STRUCTURES LOCATED WITHIN 5 FEET OF THE PROPOSED BUILDING LOCATION SHALL BE COMPLETELY REMOVED AND THE EXCAVATION BACKFILLED WITH SELECT GRANULAR MATERIAL. ALL REMAINING UTILITIES AND STRUCTURES LOCATED WITHIN THE PROJECT AREA SHALL BE REMOVED TO A DEPTH OF 2-FEET BELOW PROPOSED FINISHED GRADE.
- ALL PIPES TO BE ABANDONED IN PLACE SHALL BE PLUGGED AT BOTH ENDS WITH A MINIMUM OF TWO (2) FEET NON-SHRINK CONCRETE MORTAR PLUGS. ANY STRUCTURES TO REMAIN SHALL HAVE THE BOTTOM BROKEN TO FACILITATE DRAINAGE AND FILLED WITH SAND OR PEA GRAVEL.
- ALL EXISTING TREES, BRUSH, AND MISCELLANEOUS APPURTENANCES, SUCH AS FENCES, PLANTER BOXES, AND MISCELLANEOUS DEBRIS SHALL BE HAULED TO AN OFFSITE LOCATION.
- ANY EXISTING PAVEMENT TO REMAIN SHALL BE BROKEN UP IN PLACE TO PROVIDE ADEQUATE DRAINAGE.
- THE CONTRACTOR SHALL ENSURE THAT ALL ADJOINING AREAS, INCLUDING ADJACENT STREETS AND DRIVEWAYS, SHALL BE FREE OF DEBRIS AT ALL TIMES.
- PAVEMENT, CURB AND GUTTER AND SIDEWALK SHALL BE SAWCUT FULL DEPTH AT THE LIMITS OF REMOVAL.
- ALL TREES TO REMAIN SHALL BE PROTECTED WITH SILT FENCE OR ORANGE CONSTRUCTION FENCES. PROTECTIVE FENCING SHALL BE PLACED AT THE DRIP LINE OF THE TREE TO BE SAVED. CONSTRUCTION WITHIN THE FENCE WITHOUT PERMISSION FROM THE OWNER OR MUNICIPALITY IS STRICTLY PROHIBITED.
- ANY DAMAGE DONE TO EXISTING STRUCTURES OR OBJECTS NOT SHOWN TO BE REMOVED OR REPLACED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.



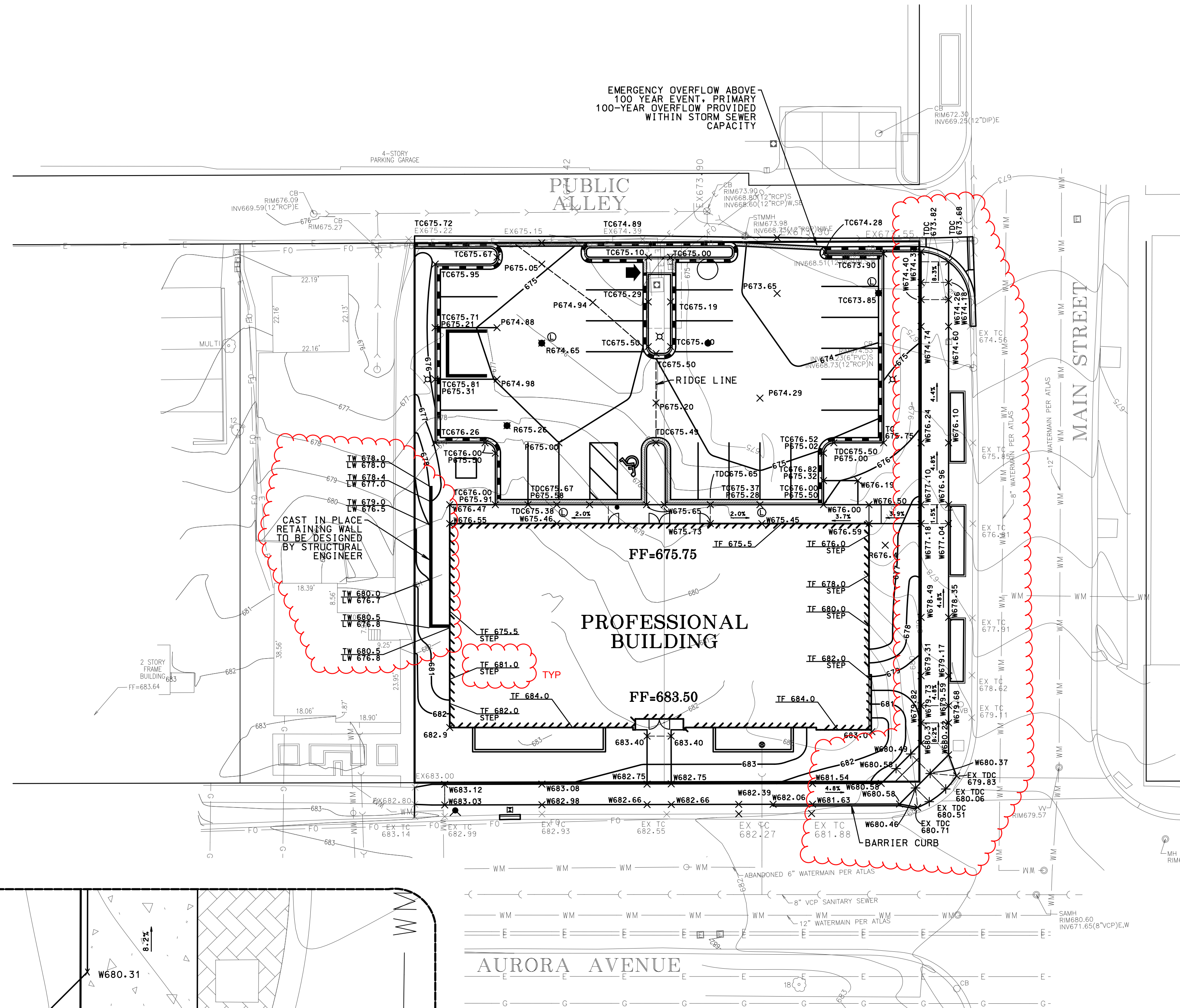
ADA DETAIL
PARKING STALL



ADA DETAIL
BUILDING ENTRANCE



CURB RAMP DETAIL



GRADING PLAN GENERAL NOTES

- EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS ON 9-26-25 AND 3-12-26. CONTRACTOR SHALL FIELD CHECK EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES.
- ALL DISTURBED AREAS SHALL BE RESTORED WITH 6-INCHES OF TOPSOIL AND SEEDING.
- EXCAVATION AND EMBANKMENT SHALL BE PERFORMED PER THE DETAILED SPECIFICATIONS AND THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- ALL CURB ELEVATIONS ARE TO BE TOP OF CURB. ALL GUTTER ELEVATIONS ARE 0.5' BELOW TOP OF CURB ELEVATION UNLESS OTHERWISE NOTED.
- GRADING INDICATED MAY NEED TO BE ADJUSTED BASED ON FIELD CONDITIONS. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES WITH FIELD CONDITIONS PRIOR TO FINE GRADING.
- ALL DRAIN TILES ENCOUNTERED DURING MASS GRADING/UTILITY WORK MUST BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM. A RECORD MUST BE KEPT OF ANY DRAIN TILE ENCOUNTERED, TO BE INCLUDED IN RECORD DRAWINGS.
- OVERFLOW DRAINAGE ROUTES AND SWALES MUST BE INSTALLED AT THE ELEVATION AND LOCATION SHOWN.
- DO NOT INTERRUPT DRAINAGE FROM OFF SITE DURING CONSTRUCTION OPERATIONS. PROVIDE TEMPORARY DRAINAGE DITCHES WHERE REQUIRED.
- CONTRACTOR SHALL MEET EXISTING GROUND ELEVATIONS AT PROPERTY LINE, UNLESS OTHERWISE NOTED AND THE APPROPRIATE EASEMENTS OR PERMISSION HAS BEEN OBTAINED.

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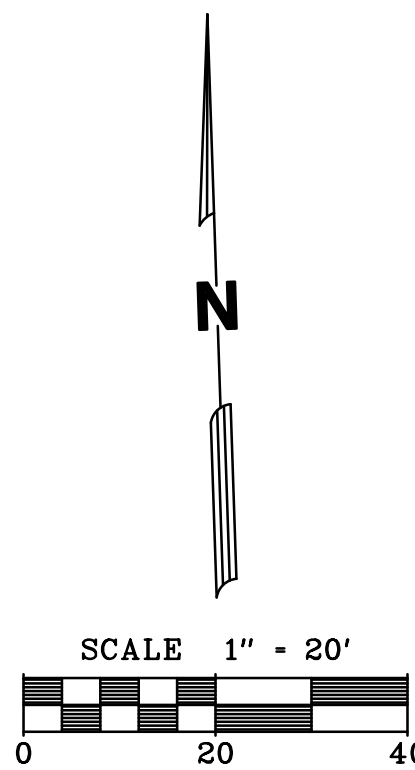
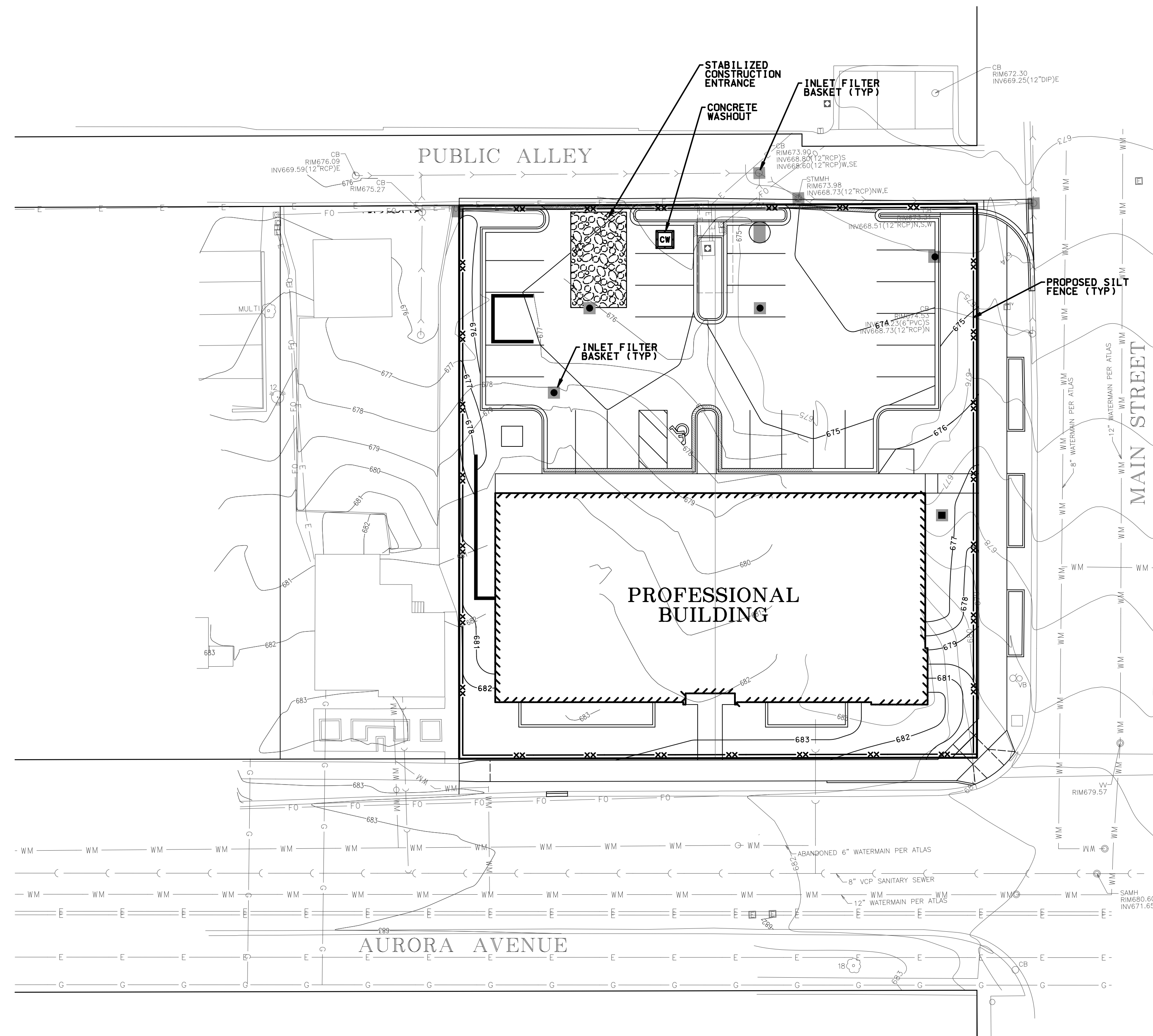


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**STORMWATER POLLUTION
PREVENTION PLAN (SWPPP)
AURORA AVENUE PROFESSIONAL BUILDING
NAPERVILLE, ILLINOIS**

SHEET	
5 OF 13	
PROJECT NUMBER:	5268
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SWPPP LEGEND	
INLET PROTECTION - FILTER BASKET	
CONCRETE WASH-OUT	
STABILIZED CONST. ENTRANCE	
SILT FENCE	
THE FOLLOWING ITEMS HAVE NOT BEEN SPECIFICALLY SHOWN BUT ARE REQUIRED AS PART OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND MUST BE INCORPORATED DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED.	
- TEMPORARY AND/OR PERMANENT STABILIZATION	
- WASTE MANAGEMENT	
- CONCRETE WASTE MANAGEMENT (CONCRETE WASH-OUT FACILITY)	
- SEDIMENT TRAPS	
- DUST CONTROL	
- ALLOWABLE DEWATERING OPERATIONS.	
DETAILS AND INFORMATION REGARDING THESE MEASURES HAVE BEEN PROVIDED ON SHEET 6.	
THE OWNER AND CONTRACTORS SHALL ALSO REVIEW ALL CONSTRUCTION PRACTICES TO MINIMIZE THE POTENTIAL IMPACTS TO STORMWATER DISCHARGES FROM THE SITE. SPECIFIC CONSIDERATIONS ARE PROVIDED ON PAGE 6 FOR THE FOLLOWING ACTIVITIES:	
- CONCRETE CUTTING	
- VEHICLE STORAGE AND MAINTENANCE	
- MATERIAL STORAGE	
- SANITARY STATIONS	
- SPILL PREVENTION	

DISTURBED AREA = 0.53 ACRES
NO NPDES PERMT NO. ILR10 REQUIRED

GENERAL INFORMATION

SITE DESCRIPTION

- A. THIS PLAN COVERS THE CONSTRUCTION OF A COMMERCIAL BUILDING WITH PARKING LOT AND UTILITIES.
- B. THE FOLLOWING IS A DESCRIPTION OF THE INTENDED SEQUENCE OF CONSTRUCTION ACTIVITIES:
- INSTALL PERIMETER SOIL EROSION AND SEDIMENT CONTROL MEASURES
 - SELECTIVE VEGETATION REMOVAL FOR SILT FENCE INSTALLATION
 - CONSTRUCTION FENCING AROUND AREAS NOT TO BE DISTURBED
 - STABILIZED CONSTRUCTION ENTRANCE
 - INLET FILTER BASKETS AND INLET SILT FENCE BOXES ON ADJACENT SITE AREAS
 - DEMOLITION OF EXISTING STRUCTURES
 - TREE REMOVAL WHERE NECESSARY (CLEAR & GRUB).
 - STRIP TOPSOIL, STOCKPILE TOPSOIL AND GRADE SITE.
 - TEMPORARY STABILIZE TOPSOIL STOCKPILES (INCLUDING SEED AND SILT FENCE AROUND THE PERIMETER).
 - INSTALL STORM SEWER, SANITARY SEWER, AND WATER MAIN.
 - INSTALL INLET PROTECTION WITHIN ALL STORM STRUCTURES WITH OPEN GRATES.
 - TEMPORARY STABILIZE ALL AREAS INCLUDING AREAS THAT HAVE REACHED TEMPORARY GRADE WITHIN 7 DAYS OF LAST CONSTRUCTION ACTIVITY IN THAT AREA.
 - INSTALL PAVEMENT.
 - PERMANENTLY STABILIZE GRASSY AREAS.
 - REMOVAL ALL TEMPORARY CONTROL MEASURES AFTER SITE IS STABILIZED AND RE-SEED AREAS DISTURBED BY THEIR REMOVAL.
- C. THE SITE HAS A TOTAL ACREAGE OF APPROXIMATELY 0.53 ACRES. CONSTRUCTION ACTIVITY WILL DISTURB APPROXIMATELY 0.53 ACRES OF THE SITE.
- D. THE RUNOFF COEFFICIENT FOR THE SITE FOLLOWING COMPLETION OF CONSTRUCTION ACTIVITIES IS COMPOSITE "C" = 0.80. THE EXISTING SOILS FROM THE SITE MAINLY CONSIST OF ELLIOT SILT LOAM AND VARNA SILT LOAM.
- E. PLEASE REFER TO PAGE 5 FOR A MAP INDICATING DRAINAGE PATTERNS AND APPROXIMATE SLOPES ANTICIPATED BEFORE AND AFTER MAJOR GRADING ACTIVITIES. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AND CONTROLS TO PREVENT OFFSITE SEDIMENT TRACKING, AREAS OF SOIL DISTURBANCE, THE LOCATION OF MAJOR STRUCTURAL AND NON-STRUCTURAL CONTROLS IDENTIFIED IN THE PLAN, THE LOCATIONS OF AREAS WHERE STABILIZATION PRACTICES ARE EXPECTED TO OCCUR, SURFACE WATERS (INCLUDING WETLANDS), AND LOCATIONS WHERE STORM WATER IS DISCHARGED TO A SURFACE WATER.
- F. THE RECEIVING WATER OF THE PROPOSED DEVELOPMENT IS WEST BRANCH OF THE DUPAGE RIVER.
- G. POTENTIAL SOURCES OF POLLUTION ASSOCIATED WITH THIS CONSTRUCTION ACTIVITY MAY INCLUDE:
- SEMENT FROM DISTURBED SOILS
 - FUEL TANKS
 - WASTE CONTAINERS
 - OIL OR OTHER PETROLEUM PRODUCTS
 - TAR
 - DETERGENTS
 - PAINT
 - CONSTRUCTION DEBRIS
 - CONCRETE AND CONCRETE TRUCKS
 - RAW MATERIALS (IE BAGGED PORTLAND CEMENT)
 - SANITARY STATIONS
 - STAGING AREAS
 - CHEMICAL STORAGE AREAS
 - ADHESIVES
 - SOLVENTS
 - FERTILIZERS
 - LITTER
 - LANDSCAPE WASTE

ADDITIONAL MEASURES REQUIRED:

- STABILIZATION: STABILIZATION PRACTICES MUST BE INITIATED WITHIN ONE (1) WORKING DAY OF PERMANENT OR TEMPORARY CESSATION OF EARTH DISTURBING ACTIVITIES AND SHALL BE COMPLETED AS SOON AS POSSIBLE BUT NOT LATER THAN 14 DAYS FROM THE INITIATION OF STABILIZATION WORK IN ANY AREA. EXCEPTIONS TO THESE TIME FRAMES ARE SPECIFIED AS PROVIDED BELOW:
 - WHERE THE INITIATION OF STABILIZATION MEASURES IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - ON AREAS WHERE CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED AND WILL RESUME AFTER 14 DAYS, A TEMPORARY STABILIZATION METHOD CAN BE USED.
 - THE FOLLOWING PRACTICES ARE ACCEPTABLE STABILIZATION MEASURES:
 - PERMANENT SEEDING: IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN.
 - TEMPORARY SEEDING: MAY CONSIST OF SPRING OATS (100 LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150 LBS/ACRE).
 - MULCHING
 - GEOTEXTILES
 - SODDING
 - VEGETATIVE BUFFER STRIPS
 - PROTECTION OF TREES
 - PRESERVATION OF MATURE VEGETATION
 - STAGED OR STAGGERED DEVELOPMENT

THE APPROPRIATE STABILIZATION MEASURE SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME THE CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE.

2. WASTE MANAGEMENT

NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT. ALL WASTE MATERIALS SHOULD BE COLLECTED AND STORED IN APPROVED RECEPTACLES. NO WASTES SHOULD BE PLACED IN ANY LOCATION OTHER THAN IN THE APPROVED CONTAINERS APPROPRIATE FOR THE MATERIALS BEING DISCARDED. THERE SHOULD BE NO LIQUID WASTES DEPOSITED INTO DUMPSTERS OR OTHER CONTAINERS WHICH MAY LEAK. RECEPTABLES WITH DEFICIENCIES SHOULD BE REPLACED AS SOON AS POSSIBLE AND THE APPROPRIATE CLEAN-UP PROCEDURE SHOULD TAKE PLACE, IF NECESSARY. CONSTRUCTION WASTE MATERIAL IS NOT TO BE BURIED ONSITE. WASTE DISPOSAL SHOULD COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS

ONSITE HAZARDOUS MATERIAL STORAGE SHOULD BE MINIMIZED AND STORED IN LABELED, SEPARATE RECEPTABLES FROM NON-HAZARDOUS WASTE. ALL HAZARDOUS WASTE SHOULD BE STORED AND DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL, STATE, AND FEDERAL REGULATION OR BY THE MANUFACTURER.

3. CONCRETE WASTE MANAGEMENT

CONCRETE WASTE OR WASHOUT SHOULD NOT BE ALLOWED IN THE STREET OR ALLOWED TO REACH A STORM WATER DRAINAGE SYSTEM OR WATERCOURSE. A SIGN SHOULD BE POSTED AT EACH LOCATION TO IDENTIFY THE WASHOUT. TO THE EXTENT PRACTICABLE, CONCRETE WASHOUT AREAS SHOULD BE LOCATED A REASONABLE DISTANCE FROM A STORM WATER DRAINAGE INLET OR WATERCOURSE. CONCRETE WASHOUT AREAS SHOULD BE LOCATED AT LEAST 10 FEET BEHIND THE CURB, IF THE WASHOUT AREA IS ADJACENT TO A PAVED ROAD. A STABILIZED ENTRANCE THAT MEETS ILLINOIS URBAN MANUAL STANDARDS SHOULD BE INSTALLED AT EACH WASHOUT AREA.

THE CONTAINMENT FACILITIES SHOULD BE OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND CONCRETE WASTE MATERIALS INCLUDING ENOUGH CAPACITY FOR ANTICIPATED LEVELS OF RAINWATER. THE DRIED CONCRETE WASTE MATERIAL SHOULD BE PICKED UP AND DISPOSED OF PROPERLY WHEN 75% CAPACITY IS REACHED. HARDENED CONCRETE CAN BE PROPERLY RECYCLED AS APPROVED BY THE MUNICIPALITY AND USED AGAIN ONSITE OR HAULED OFFSITE TO AN APPROPRIATE LANDFILL.

4. DEWATERING OPERATIONS

DURING DEWATERING/PUMPING OPERATIONS, ONLY UNCONTAMINATED WATER SHOULD BE ALLOWED TO DISCHARGE TO PROTECTED NATURAL AREAS, WATERS OF THE STATE, OR TO A STORM SEWER SYSTEM (IN ACCORDANCE WITH LOCAL PERMITS). DISCHARGES SHALL BE TREATED TO MINIMIZE DISCHARGE OF POLLUTANTS. INLET HOSES SHOULD BE PLACED IN A STABILIZED SUMP PIT OR FLOATED AT THE SURFACE OF THE WATER IN ORDER TO LIMIT THE AMOUNT OF SEDIMENT INTAKE. DISCHARGE OF VISIBLE SOLIDS OR FOAMS IS NOT PERMITTED. PUMPING OPERATIONS SHOULD BE DISCHARGED TO A STABILIZED AREA THAT CONSISTS OF AN ENERGY DISSIPATING DEVICE (I.E. STONE, SEDIMENT FILTER BAG, OR BOTH). WHEN NECESSARY, STABILIZED CONVEYANCE CHANNELS SHOULD BE INSTALLED TO DIRECT WATER TO THE DESIRED LOCATION. ADDITIONAL BMP'S MAY BE REQUIRED AT THE OUTLET AREA AS REQUESTED BY THE MUNICIPALITY, OR OTHER REVIEWING AGENCY.

5. DUST CONTROL

DUST SHALL BE MINIMIZED ON AREAS OF EXPOSED SOILS THROUGH THE APPROPRIATE APPLICATION OF WATER OR OTHER DUST SUPPRESSION TECHNIQUES AS LISTED BELOW:

- SPRINKLING/IRRIGATION
- VEGETATIVE COVER
- MULCH
- SPRAY-ON SOIL TREATMENTS
- TILLAGE
- STONE
- WATER TRUCK

6. OFF-SITE VEHICLE TRACKING

STABILIZED CONSTRUCTION ENTRANCE(S) SHOULD BE INSTALLED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS, TO REDUCE EXCESS SEDIMENT, DIRT OR STONE TRACKED FROM THE SITE. SEDIMENT TRACKED OFFSITE ONTO ADJACENT ROADWAYS SHALL BE CLEANED BY THE END OF THE SAME BUSINESS DAY IN WHICH THE TRACK-OFF OCCURS OR BY THE END OF THE NEXT BUSINESS DAY IF TRACK-OFF OCCURS ON A NON-BUSINESS DAY. ACCUMULATED SEDIMENT AND STONE SHOULD BE REMOVED FROM THE STABILIZED ENTRANCE AS NEEDED. VEHICLES HAULING ERODIBLE MATERIAL TO AND FROM THE CONSTRUCTION SITE SHOULD BE COVERED WITH A TARP. HOISING OR SWEEPING SEDIMENT INTO THE STORMWATER SYSTEM OR WATERS OF THE U.S. IS NOT PERMITTED.

7. CONCRETE CUTTING

CONCRETE WASTE MANAGEMENT SHOULD BE IMPLEMENTED TO CONTAIN AND DISPOSE OF SAW-CUTTING SLURRIES. CONCRETE CUTTING SHOULD NOT TAKE PLACE DURING OR IMMEDIATELY AFTER A RAINFALL EVENT. WASTE GENERATED FROM CONCRETE CUTTING SHOULD BE CLEANED-UP AND DISPOSED INTO THE CONCRETE WASHOUT FACILITY AS DESCRIBED ABOVE.

8. VEHICLE STORAGE AND MAINTENANCE

WHEN NOT IN USE, VEHICLES UTILIZED IN THE DEVELOPMENT OPERATIONS OF THE SITE SHOULD BE STORED IN A DESIGNATED UPLAND AREA AWAY FROM ANY NATURAL OR CREATED WATERCOURSE, POND, DRAINAGE-WAY OR STORM DRAIN. WHENEVER POSSIBLE VEHICLE MAINTENANCE, FUELING, AND WASHING SHOULD OCCUR OFFSITE. IF ALLOWED ON-SITE, VEHICLE MAINTENANCE (INCLUDING BOTH ROUTINE MAINTENANCE AS WELL AS ON-SITE REPAIRS) SHOULD BE MADE WITHIN THE DESIGNATED AREA TO PREVENT THE MIGRATION OF MECHANICAL FLUIDS (OIL, ANTIFREEZE, ETC.) INTO WATERCOURSES, WETLANDS OR STORM DRAINS. DRIP PANS OR ABSORBENT PADS SHOULD BE USED FOR ALL VEHICLE AND EQUIPMENT MAINTENANCE ACTIVITIES THAT INVOLVE GREASE, OIL, SOLVENTS, OR OTHER VEHICLE FLUIDS. CONSTRUCTION VEHICLES SHOULD BE INSPECTED FREQUENTLY TO IDENTIFY ANY LEAKS; LEAKS SHOULD BE REPAIRED IMMEDIATELY OR THE VEHICLE SHOULD BE REMOVED FROM SITE. DISPOSE OF ALL USED OIL, ANTIFREEZE, SOLVENTS AND OTHER AUTOMOTIVE-RELATED CHEMICALS ACCORDING TO MANUFACTURER OR MSDS INSTRUCTIONS. CONTRACTORS SHOULD IMMEDIATELY REPORT SPILLS TO THE OWNER FOR PROPER REMEDIATION.

WASH WATERS, FROM EQUIPMENT OR VEHICLE WASHING, WHEEL WASH WATER AND OTHER WASH WATERS, MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.

9. MATERIAL STORAGE

MATERIALS AND OR CONTAMINANTS SHOULD BE STORED IN A MANNER THAT MINIMIZES THE POTENTIAL TO DISCHARGE INTO STORM DRAINS OR WATERCOURSES. AN ONSITE AREA SHOULD BE DESIGNATED FOR MATERIAL DELIVERY AND STORAGE. ALL MATERIALS KEPT ONSITE SHOULD BE STORED IN THEIR ORIGINAL CONTAINERS WITH LEGIBLE LABELS, AND IF POSSIBLE UNDER A ROOF OR OTHER ENCLOSURE. LABELS SHOULD BE REPLACED IF DAMAGED OR DIFFICULT TO READ. BERMED-OFF STORAGE AREAS ARE AN ACCEPTABLE CONTROL MEASURE TO PREVENT CONTAMINATION OF STORM WATER. MSDS SHEETS SHOULD BE AVAILABLE FOR REFERENCING CLEAN UP PROCEDURES. ANY RELEASE OF CHEMICALS OR CONTAMINANTS SHOULD BE IMMEDIATELY CLEANED UP AND DISPOSED OF PROPERLY. CONTRACTORS SHOULD IMMEDIATELY REPORT ALL SPILLS TO THE OWNER, WHO SHOULD NOTIFY THE APPROPRIATE AGENCIES, IF NEEDED.

THE EXPOSURE OF FUEL, OIL, HYDRAIC FLUIDS, OTHER PETROLEUM PRODUCTS, AND OTHER CHEMICALS BY STORING IN COVERED AREAS OR CONTAINMENT AREAS. ANY CHEMICAL CONTAINERS WITH A STORAGE OF 55 GALLONS OR MORE MUST BE STORED A MINIMUM OF 50 FEET FROM RECEIVING WATERS, CONSTRUCTED OR NATURAL SITE DRAINAGE FEATURES, AND STORM DRAIN INLETS. IF INFEASIBLE DUE TO SITE CONSTRAINTS, STORE CONTAINERS AS FAR AWAY AS THE SITE PERMITS. THE ONSITE SWPPP BINDER SHALL CONTAIN THE SPECIFIC REASONS WHY THE 50-FEET SETBACK IS INFEASIBLE AND HOW THE CONTAINERS WILL BE STORED.

TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS ONSITE, HAZARDOUS PRODUCTS SHOULD BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RE-SEALABLE. THE ORIGINAL LABELS AND MSDS DATA SHOULD BE RETAINED ONSITE AT ALL TIMES. HAZARDOUS MATERIALS AND ALL OTHER MATERIAL ONSITE SHOULD BE STORED IN COVERED OR DESIGNATED CONTAINMENT AREAS IN ACCORDANCE WITH MANUFACTURER OR MSDS SPECIFICATIONS. WHEN DISPOSING OF HAZARDOUS MATERIALS, FOLLOW MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS.

10. SANITARY STATIONS

TO THE EXTENT PRACTICABLE, PORT-A-POTTIES SHOULD BE LOCATED AT A MINIMUM 8 FEET BEHIND THE CURB AND LOCATED IN AN AREA THAT DOES NOT DRAIN TO ANY PROTECTED NATURAL AREAS, WATERS OF THE STATE, OR STORM WATER STRUCTURES AND SHOULD BE ANCHORED TO THE GROUND TO PREVENT FROM TIPPING OVER. PORT-A-POTTIES LOCATED ON IMPERVIOUS SURFACES SHOULD BE PLACED ON TOP OF A SECONDARY CONTAINMENT DEVICE, OR BE SURROUNDED BY A CONTROL DEVICE (I.E. GRAVEL-BAG BERM).

11. SPILL PREVENTION

DISCHARGES OF A HAZARDOUS SUBSTANCE OR OIL CAUSED BY A SPILL (E.G., A SPILL OF OIL INTO A SEPARATE STORM SEWER OR WATERS OF THE STATE) ARE NOT AUTHORIZED BY THIS PERMIT. IF A SPILL OCCURS, NOTIFY THE OWNER IMMEDIATELY. THE CONSTRUCTION SITE SHOULD HAVE THE CAPACITY TO CONTROL, CONTAIN, AND REMOVE SPILLS IF THEY OCCUR. SPILLS SHOULD BE CLEANED IMMEDIATELY AFTER DISCOVERY IN ACCORDANCE WITH MSDS AND NOT BURIED ON SITE OR WASHED INTO STORM DRAINS OR WATERS OF THE STATE.

SPILLS IN EXCESS OF FEDERAL REPORTABLE QUANTITIES (AS ESTABLISHED UNDER 40 CFR PARTS 110, 117, OR 302), SHOULD BE REPORTED TO THE NATIONAL RESPONSE CENTER BY CALLING (800) 424-8802. MSDS OFTEN INCLUDE INFORMATION ON FEDERAL REPORTABLE QUANTITIES FOR MATERIALS. SPILLS OF TOXIC OR HAZARDOUS MATERIALS SHOULD BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF SIZE. WHEN CLEANING UP A SPILL, THE AREA SHOULD BE KEPT WELL VENTILATED AND APPROPRIATE PERSONAL PROTECTIVE EQUIPMENT SHOULD BE USED TO MINIMIZE INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.

IN ADDITION TO PROPER WASTE MANAGEMENT, CONCRETE WASTE MANAGEMENT, CONCRETE CUTTING, VEHICLE STORAGE AND MAINTENANCE, MATERIAL STORAGE, AND SANITARY STATION PROTECTION, THE FOLLOWING MINIMUM PRACTICES SHOULD BE FOLLOWED TO REDUCE THE RISK OF SPILLS:

- ON-SITE VEHICLES SHOULD BE MONITORED FOR LEAKS AND SHOULD RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE.
- PETROLEUM PRODUCTS SHOULD BE STORED IN TIGHTLY SEALED AND CLEARLY LABELED CONTAINERS.
- ALL PAINT CONTAINERS SHOULD BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE.
- EXCESS PAINT SHOULD BE DISPOSED OF ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS, AND SHOULD NOT BE DISCHARGED TO THE STORM SEWER.
- CONTRACTORS SHOULD FOLLOW THE MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL OF MATERIALS.

12. INLET PROTECTION

INSTALL INLET PROTECTION MEASURES THAT MINIMIZE SEDIMENT FROM DISCHARGES PRIOR TO ENTRY INTO ANY STORM DRAIN INLET THAT CARRIES STORMWATER FLOW FROM THE SITE TO A WATER OF THE U.S. CLEAN, OR REMOVE AND REPLACE, THE PROTECTION MEASURES AS SEDIMENT ACCUMULATES, THE FILTER BECOMES CLOGGED, AND/OR REMOVE THE DEPOSITED SEDIMENT BY THE END OF THE SAME BUSINESS DAY IN WHICH IT IS FOUND OR BY THE END OF THE FOLLOWING BUSINESS DAY IF REMOVAL BY THE SAME BUSINESS DAY IS NOT FEASIBLE.

MAINTENANCE

THE FOLLOWING IS A DESCRIPTION OF PROCEDURES THAT SHOULD BE USED TO MAINTAIN. IN GOOD AND EFFECTIVE OPERATION CONDITIONS. VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES STORMWATER UTILITY STRUCTURES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS PLAN AND STANDARD SPECIFICATIONS.

STABILIZED CONSTRUCTION ENTRANCE: THE ENTRANCES SHOULD BE MAINTAINED TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC STREETS. MAINTENANCE INCLUDES TOP DRESSING WITH ADDITIONAL STONE AND REMOVING TOP LAYERS OF STONES AND SEDIMENT. THE SEDIMENT RUN-OFF ONTO THE PUBLIC RIGHT OF WAY SHOULD BE REMOVED IMMEDIATELY.

RIPRAP OUTLET PROTECTION: RIPRAP SHOULD BE INSPECTED FOR ANY SCOUR BENEATH THE RIPRAP OR FOR STONES THAT HAVE BEEN DISLOGGED. SEDIMENT ACCUMULATION IN THE OUTFALL AREA SHOULD BE REMOVED AS NEEDED.

CONCRETE WASHOUT AREA: EXISTING FACILITIES SHOULD BE CLEANED OUT, OR NEW FACILITIES SHOULD BE CONSTRUCTED AND OPERATIONAL ONCE THE EXISTING WASHOUT IS 75% FULL. WASHOUTS SHOULD BE INSPECTED FREQUENTLY TO ENSURE THAT PLASTIC LININGS ARE INTACT AND SIDEWALLS HAVE NOT BEEN DAMAGED BY CONSTRUCTION ACTIVITIES. WHEN THE WASHOUT AREA IS ADJACENT TO A PAVED ROAD, THE PAVED ROAD SHOULD BE INSPECTED FOR ACCUMULATED CONCRETE WASTE, ANY ACCUMULATED CONCRETE WASTE ON THE ROAD, CURB, OR GUTTER SHOULD BE REMOVED AND PROPERLY DISPOSED.

EROSION CONTROL BLANKET: THE BLANKET AND STAPLES SHOULD BE INSPECTED FREQUENTLY AND SHALL BE INSTALLED TO THE ILLINOIS URBAN MANUAL, UNLESS OTHERWISE INSTRUCTED BY THE MANUFACTURER. EROSION OCCURRING UNDERNEATH THE BLANKET SHOULD BE BACK-FILLED AND SEEDED WITH THE APPROPRIATE SEED MIX. ADDITIONAL BMP'S MAY NEED TO BE INSTALLED TO REDUCE EROSION UNDER THE BLANKET.

SILT FILTER FENCE: SILT FENCES SHOULD BE INSPECTED REGULARLY FOR UNDERCUTTING WHERE THE FENCE MEETS THE GROUND, OVERTOPPING, AND TEARS ALONG THE LENGTH OF THE FENCE. DEFICIENCIES SHOULD BE REPAIRED IMMEDIATELY. REMOVE ACCUMULATED SEDIMENTS FROM THE FENCE BASE WHEN THE SEDIMENT REACHES ONE-HALF THE FENCE HEIGHT. DURING FINAL STABILIZATION, PROPERLY DISPOSE OF ANY SEDIMENT THAT HAS ACCUMULATED ON THE SILT FENCE. INSTANCES WHEN AREAS OF SILT FENCE CONTINUALLY FAIL, REPLACE SILT FENCE WITH ANOTHER BMP AS SEEN FIT.

INLET PROTECTION: INLET FILTERS SHOULD BE INSPECTED FOR PROPER FILTERING. STORMWATER INLET STRUCTURE PROTECTION MEASURES SHALL BE CLEANED OR REMOVED AND REPLACED AS SEDIMENT ACCUMULATES, FILTERS BECOME CLOGGED, FILTER BAGS ARE MORE THAN 50% FILLED, OR PERFORMANCE IS COMPROMISED. SEDIMENT ACCUMULATIONS ADJACENT TO INLET PROTECTION MEASURES SHALL BE CLEANED BY THE END OF THE SAME BUSINESS DAY ON WHICH IT IS FOUND OR BY THE END OF THE FOLLOWING BUSINESS DAY IF REMOVAL IN THE SAME BUSINESS DAY IS NOT FEASIBLE. DO NOT PUNCTURE HOLES IN FILTERS IF PONDING OCCURS.

SEDIMENT BASIN: SEDIMENT BASINS SHALL BE CLEANED WHEN ACCUMULATED SEDIMENT HAS REACHED 50% CAPACITY. POST CONSTRUCTION CLEANING OF ACCUMULATED SEDIMENT SHALL BE CONDUCTED IF THE BASIN IS TO REMAIN AFTER CON

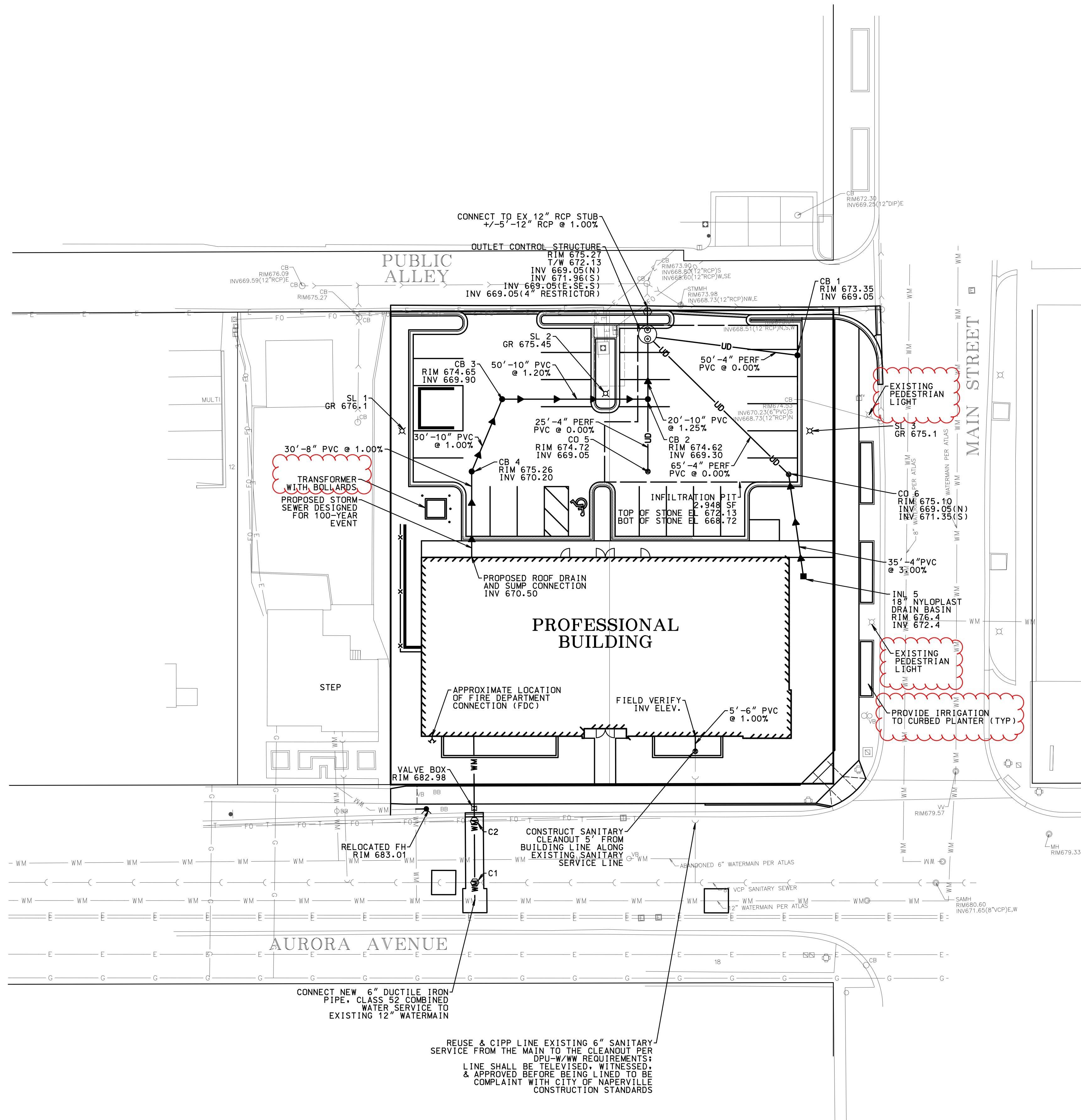
DEPARTMENT OF PUBLIC UTILITIES - ELECTRIC GENERAL NOTES

- THE DEVELOPER SHALL SUPPLY THE DPU-E ENGINEER WITH CATALOG CUTS FOR ALL CT/METER EQUIPMENT (INCLUDING BUT NOT LIMITED TO METER SOCKETS, PT CABINET, CT CABINET, DISCONNECT CABINET) AND TRANSFORMER PAD/VAULT. THE CATALOG CUTS SHALL BE APPROVED BY DPU-E PRIOR TO PURCHASING.

THE CT/METER CABINET SHALL BE TOP FED.

CT/METER EQUIPMENT ARE LONG LEAD TIME ITEMS AND DPU-E SHALL NOT BE HELD RESPONSIBLE FOR DELAYS RESULTING FROM NON-COMPLIANT CT/METER EQUIPMENT. PLEASE PROVIDE NAME AND CONTACT INFORMATION FOR ELECTRICAL CONTRACTOR FOR THIS PROJECT.
- DPU-E WILL PROVIDE, INSTALL, AND MAINTAIN THE TRANSFORMERS, ALL PRIMARY (15KV) CABLE AND CONDUIT, AND THE METERS AND INSTRUMENT TRANSFORMERS. DPU-E WILL ALSO MAKE THE FINAL CONNECTIONS IN THE TRANSFORMERS ONCE THE INSPECTION IS COMPLETE AND THE BUILDING IS READY TO BE ENERGIZED.

THE DEVELOPER IS RESPONSIBLE FOR PROVIDING, INSTALLING, AND MAINTAINING THE TRANSFORMER PAD/VAULT. ALL SERVICE LATERAL (480V) CABLE AND CONDUIT, THE SERVICE ENTRANCE EQUIPMENT INCLUDING THE CT/METER CABINET AND ALL BANKED METER SOCKETS.
- THE DEVELOPER SHALL COORDINATE SITE CONSTRUCTION WITH DPU-E TO ALLOW ELECTRIC FACILITIES TO BE INSTALLED PRIOR PAVING AND CURBING. DPU-E REQUIRES 30 WORKING DAYS ADVANCE WRITTEN NOTICE PRIOR TO PAVEMENT INSTALLATION TO ALLOW FOR THE INSTALLATION OF ELECTRIC FACILITIES. GRADE ELEVATION MUST BE WITHIN 4" OF FINAL GRADING BEFORE ELECTRIC FACILITIES CAN BE INSTALLED.
- ELECTRIC FACILITIES SHALL BE INSTALLED PURSUANT TO SECTION 8-1C-3 OF THE CITY OF NAPERVILLE MUNICIPAL CODE, WHICH REQUIRES A CONSTRUCTION FEE PAYMENT FOR INSTALLATION OF ELECTRIC FACILITIES.
- AT ALL TIMES, THE CUSTOMER SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING A SUITABLE APPROACH TO THE METER LOCATION, WITH NO OBSTRUCTIONS WITHIN FOUR (45#32) FEET OF THE FRONT AND TWO (25#32) FEET OF THE SIDES OF THE METER. PER NAPERVILLE SERVICE RULES AND POLICIES 22.2.F.
- CLEARANCE TO TRANSFORMER PAD SHALL BE 55#32 FROM ALL SIDES, 105#32 FROM FRONT, AND THE AREA ABOVE MUST BE COMPLETELY CLEAR OF OBSTRUCTION. NO TREES, SHRUBS, OR OTHER OBSTACLES WILL BE ALLOWED WITHIN THIS AREA. TRANSFORMER PAD SHALL MAINTAIN MINIMUM CLEARANCE OF 205#32 FROM EGRESS POINTS. PER DPU-E SPECIFICATIONS C10-2130 AND C30-0016.
- TO HAVE AN EXISTING SERVICE DISCONNECTED CALL THE CITY DISPATCH OFFICE AT 630-420-6187. PLEASE ALLOW AT LEAST 24 HOURS NOTICE. METERS AND METER SEALS ARE TO BE REMOVED ONLY BY DPU-E PERSONNEL. THE LOCATION AND TYPE OF NEW OR REPLACEMENT METER RELATED EQUIPMENT MUST BE PRE-APPROVED IN WRITING BY DPU-E. AN ELECTRIC SERVICE MUST BE INSPECTED BY THE DEVELOPMENT SERVICES TEAM ELECTRICAL INSPECTOR PRIOR TO CONNECTION.
- LABEL ALL METER SOCKETS WITH THE COMPLETE ADDRESS IN 1" LETTERS USING PERMANENT STICKERS. IN MULTIPLE METER BANKS, THE COMPLETE ADDRESS MAY BE ON THE DISCONNECT SWITCH AND THE SUITE NUMBERS ON THE METER SOCKETS. THE ELECTRICAL SERVICE EQUIPMENT WILL NOT PASS INSPECTION WITHOUT APPROPRIATE ADDRESS LABELING.
- APPROVAL OF METERING EQUIPMENT BY DPU-E DOES NOT REMOVE YOUR RESPONSIBILITY TO COMPLY WITH THE LATEST VERSION OF THE NATIONAL ELECTRICAL CODE AS ADOPTED BY THE CITY OF NAPERVILLE. DETERMINATION OF COMPLIANCE WITH THE NATIONAL ELECTRICAL CODE WILL BE MADE BY THE TRANSPORTATION, ENGINEERING AND DEVELOPMENT DEPARTMENT.
- A CUSTOMER'S GROUNDING CONDUCTOR SHALL NOT BE CONNECTED TO DPU-E DISTRIBUTION EQUIPMENT.
- DPU-E WILL INSTALL AND ENERGIZE ALL METERS IN A MULTIPLE METER BANK AT ONE TIME, PROVIDED ALL METER SOCKETS PASS INSPECTION. IN THE EVENT OF AN INCOMPLETE INSTALLATION, ONLY THE INSPECTED AND APPROVED EQUIPMENT SHALL BE ENERGIZED AND A METER INSTALLED. INDIVIDUAL TENANT PERMITS WILL BE REQUIRED FOR INSTALLATION OF THE OTHER METERS IN THE METER BANK.



UNDERGROUND UTILITY GENERAL NOTES

- ALL MANHOLES AND CATCH BASINS SHALL BE 48-INCH DIAMETER, UNLESS OTHERWISE INDICATED.
- THE CIPP LATERAL SANITARY LINING MUST MEET THE REQUIREMENTS OF ASTM F-2561-20 AND F-3240-17 AS MANUFACTURED BY LMK TECHNOLOGIES OR APPROVED EQUAL.
- ALL WATER MAIN SHALL BE POLYVINYL CHLORIDE PIPE, SDR 25, PRESSURE CLASS 165 PSI, AWWA, C-900 OR DUCTILE IRON PIPE, CLASS 52, AWWA C-600 WITH "PUSH-ON" TYPE JOINTS, UNLESS OTHERWISE INDICATED. ALL WATER MAIN SHALL HAVE A MINIMUM OF 5'-6" OF COVER FROM TOP OF WATERMAIN TO FINISHED GRADE.
- GRANULAR TRENCH BACKFILL (CA-6) SHALL BE PROVIDED FOR ALL SANITARY, WATER AND STORM UTILITIES WHEN THE TRENCH LIMITS FALL WITHIN TWO FEET OF STREETS, SIDEWALKS, PAVEMENT AND AS NOTED.
- ALL SUMP PUMPS MUST BE CONNECTED TO THE STORM SEWER SYSTEM. SUMP PUMP CONNECTIONS SHALL BE 4" PVC, UNLESS OTHERWISE NOTED.
- ALL WATERMAIN AND WATER SERVICE LINES SHALL BE PROTECTED FROM OTHER UTILITIES IN ACCORDANCE WITH SECTION 41-2.01 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS.
- ALL UNDERGROUND UTILITY INFORMATION NOTED ON THE PLANS IS BASED ON INFORMATION OBTAINED FROM THE MUNICIPALITY, UTILITY COMPANIES OR FIELD MEASUREMENTS. THIS INFORMATION, WHILE BELIEVED TO BE COMPLETE AND ACCURATE, CANNOT BE GUARANTEED.
- CONTRACTOR SHALL VERIFY ALL BUILDING SERVICE LOCATIONS AND SIZES WITH ARCHITECTURAL PLANS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE ENGINEER OR OWNER OF ANY DISCREPANCIES.
- CONTRACTOR TO VERIFY CANOPY AND ROOF DRAIN CONNECTION LOCATIONS AND SIZES WITH ARCHITECTURAL PLANS BEFORE CONSTRUCTION.
- LOCATION OF ALL BUILDING SIAMSE CONNECTIONS TO BE APPROVED BY VILLAGE FIRE MARSHALL.
- CONTRACTOR SHALL CONTACT JULIE (1-800-892-0123) PRIOR TO START OF CONSTRUCTION TO LOCATE ALL UTILITIES WITHIN THE RIGHT-OF-WAY.
- CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES AT ALL PROPOSED CONNECTIONS PRIOR TO START OF CONSTRUCTION AND NOTIFY THE ENGINEER AND OWNER OF ANY DISCREPANCIES.
- A TEN (10) FOOT MINIMUM SEPARATION SHALL BE PROVIDED BETWEEN THE WATERMAIN SERVICE AND THE SANITARY OR STORM SEWER SERVICES.
- IN CASE OF CONFLICTS, THE MUNICIPALITY STANDARDS AND NOTES SHALL TAKE PRECEDENCE.
- PLUMBING CONTRACTOR TO MAKE ALL CONNECTIONS WITH BUILDING SERVICES CONSTRUCTED BY UTILITY CONTRACTOR. SITE UTILITY CONTRACTOR TO CONSTRUCT SERVICES TO WITHIN 5'-FEET OF BUILDING, EXCEPT WATER INTO BUILDING 1-FOOT ABOVE FLOOR WITH BLIND FLANGE AND PROVIDE TESTING.
- EXISTING PAVEMENT REMOVED FOR UTILITY CONSTRUCTION SHALL BE DONE BY THE RESPECTIVE UTILITY COMPANY AND PAID FOR SEPARATELY BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THIS WORK INCIDENTAL TO THE CONTRACT.
- EXISTING OR PROPOSED MANHOLES, CATCH BASINS, INLETS AND VALVE VAULTS REQUIRING OVER 12-INCHES OF ADJUSTMENT RINGS SHALL USE AN ADDITIONAL BARREL SECTION TO MAINTAIN A MAXIMUM OF 12-INCH TOTAL ADJUSTMENT RING DEPTH.
- REFER TO CITY OF NAPERVILLE DOWNTOWN STREETSCAPE IRRIGATION SPECIFICATIONS ON SHEET 11.

CROSSING	BTM OF PIPE	TOP OF PIPE	SEPARATION
C1	FO 679.52	WTR 677.02	2.50'
C2	WTR 676.84	SAN 671.41	5.34'

PROPOSED UTILITIES TO BE CONSTRUCTED TO PROVIDE A MINIMUM 18" OF SEPARATION BETWEEN WATER MAIN AND SANITARY SEWER OR STORM SEWER. EXISTING WATER MAIN TO BE FIELD LOCATED AND ELEVATION VERIFIED PRIOR TO START OF CONSTRUCTION.

CLIENT:

DESIGNED	ST
DRAWN	JD
APPROVED	ST
DATE	04/30/2026
SCALE	1" = 20'
06/12/2026	REVISED PER CITY COMMENTS
DATE	DESCRIPTION OF REVISION

6/15/2026 8:10:46 AM M:\2026\Engineering\Projects\184-002694\Geometrics and Paving Plan.dwg



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CLIENT:

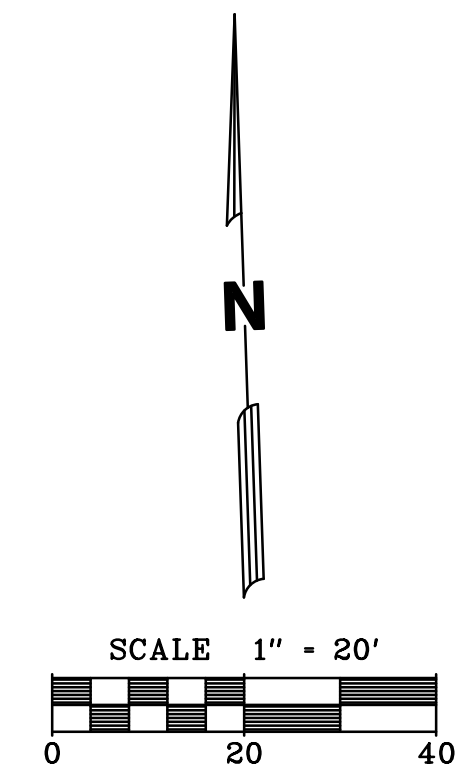
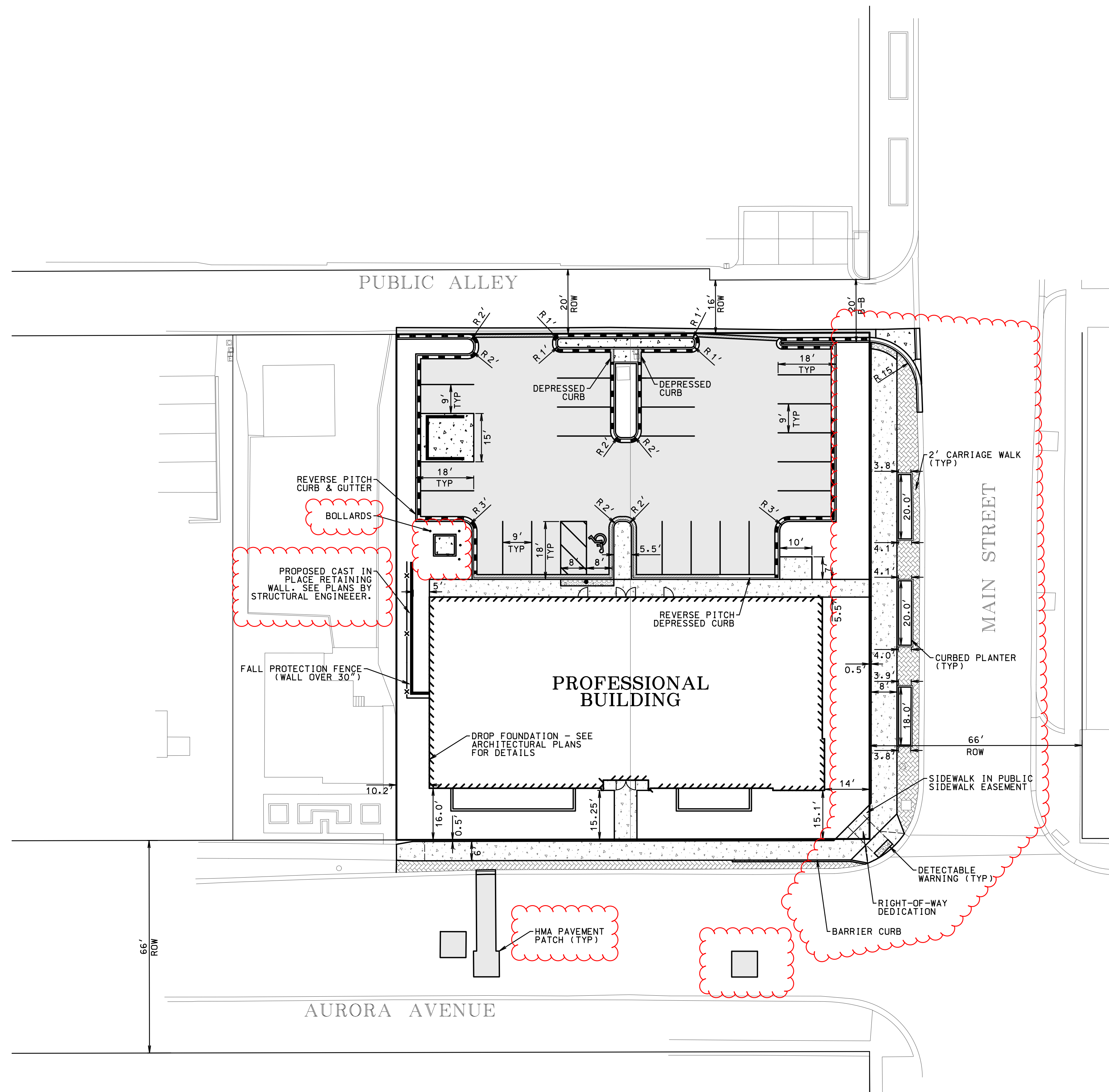


**JOHN GREENE
REAL ESTATE**
1311 S. IL-59
NAPERVILLE, IL 60564
(630)615-5562

		DESIGNED	ST
		DRAWN	JD
		APPROVED	ST
		DATE	04/30/2026
		SCALE	1" = 20'
DATE	DESCRIPTION OF REVISION	BY	

**GEOMETRICS AND PAVING PLAN
AURORA AVENUE PROFESSIONAL BUILDING
NAPERVILLE, ILLINOIS**

SHEET	
8 OF 13	
PROJECT NUMBER:	5268
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ILLINOIS FIRM LICENSE 184-002694	



PAVING LEGEND	
LIGHT DUTY PAVEMENT	[Pattern]
CONCRETE PAVEMENT	[Pattern]
CONCRETE SIDEWALK	[Pattern]
BRICK PAVERS	[Pattern]
REVERSE PITCHED CURB	[Pattern]
DEPRESSED CURB	[Pattern]

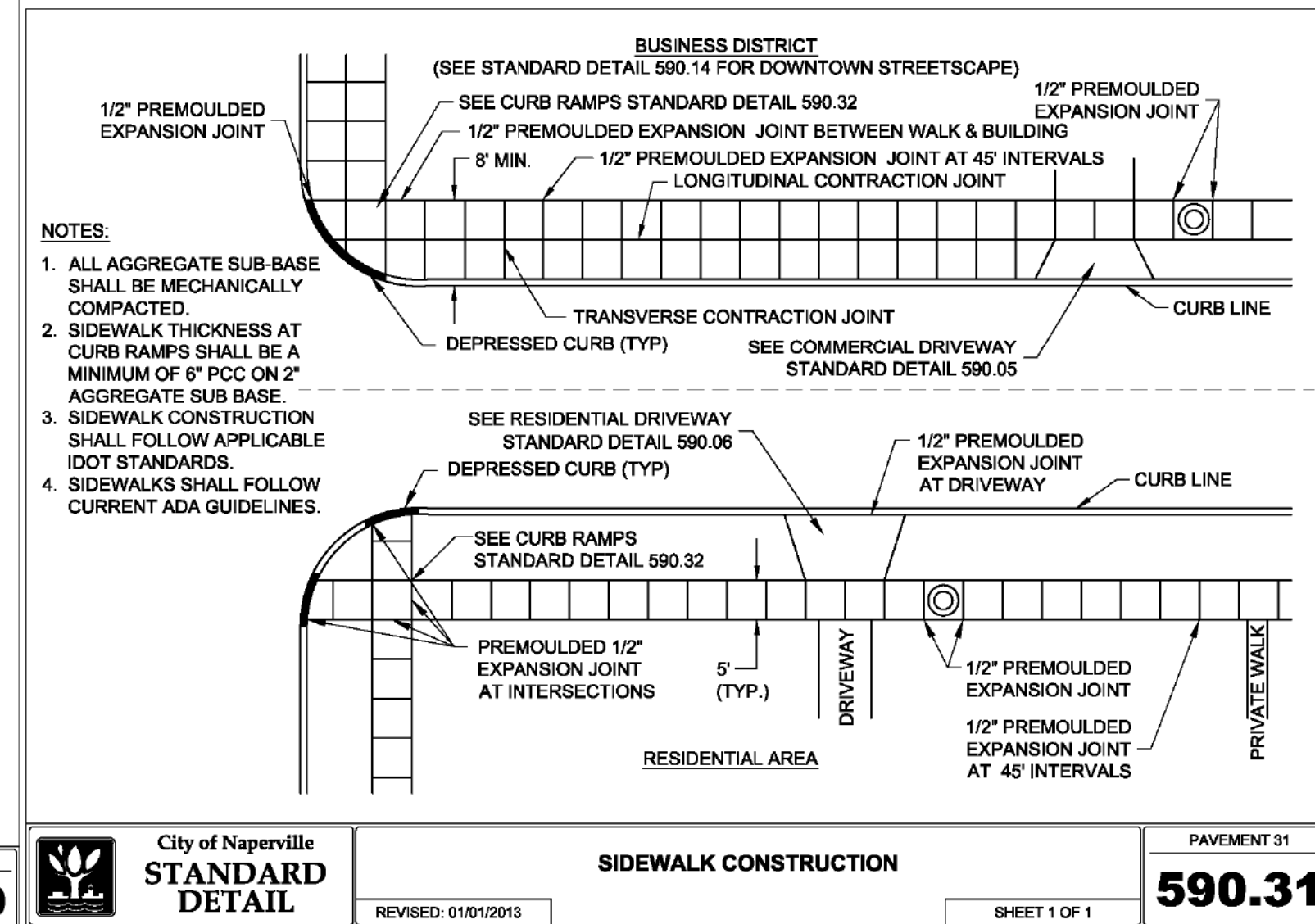
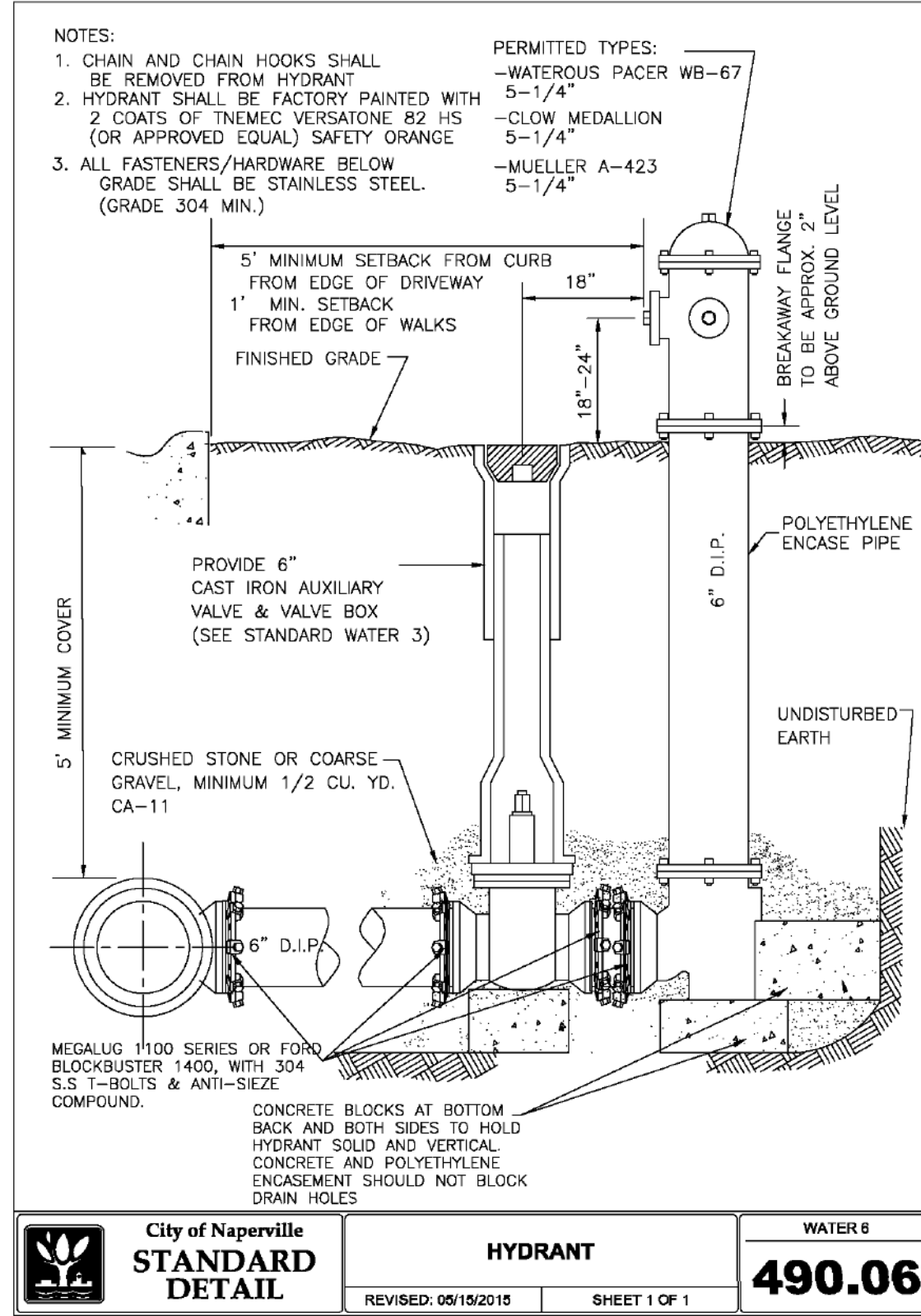
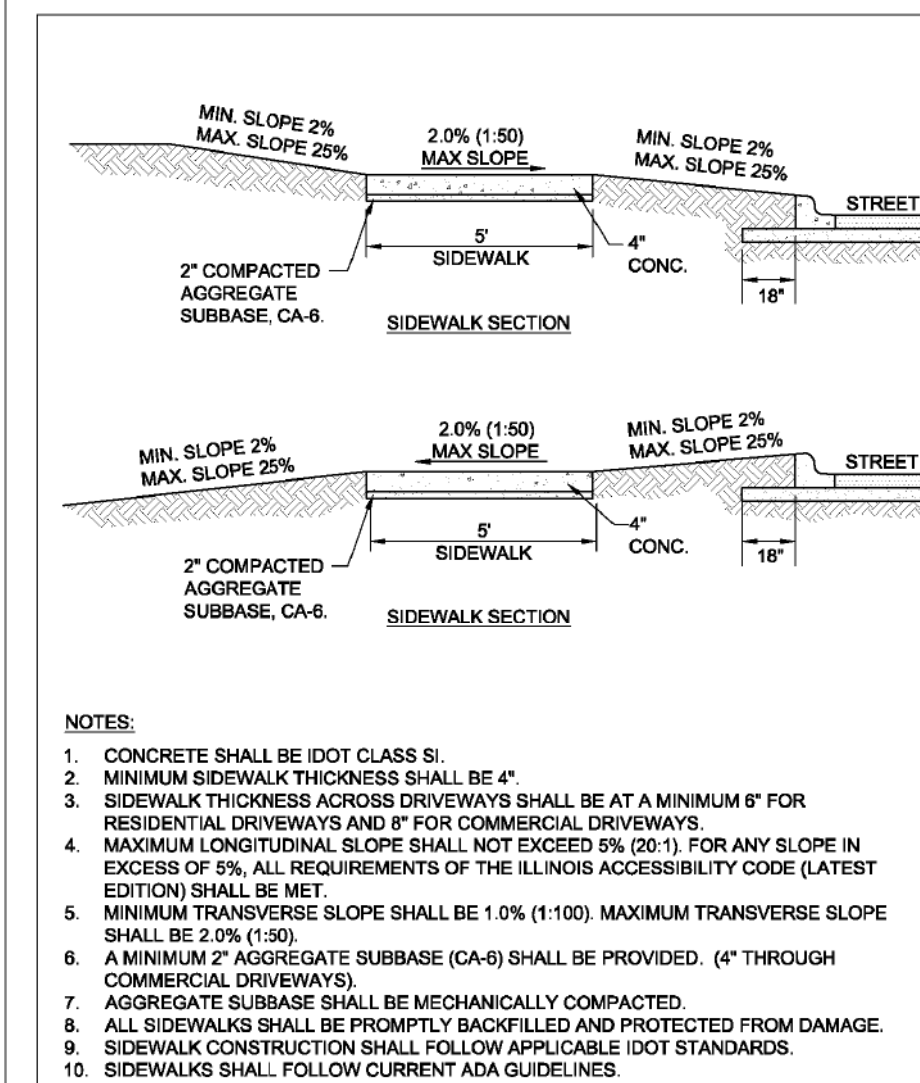
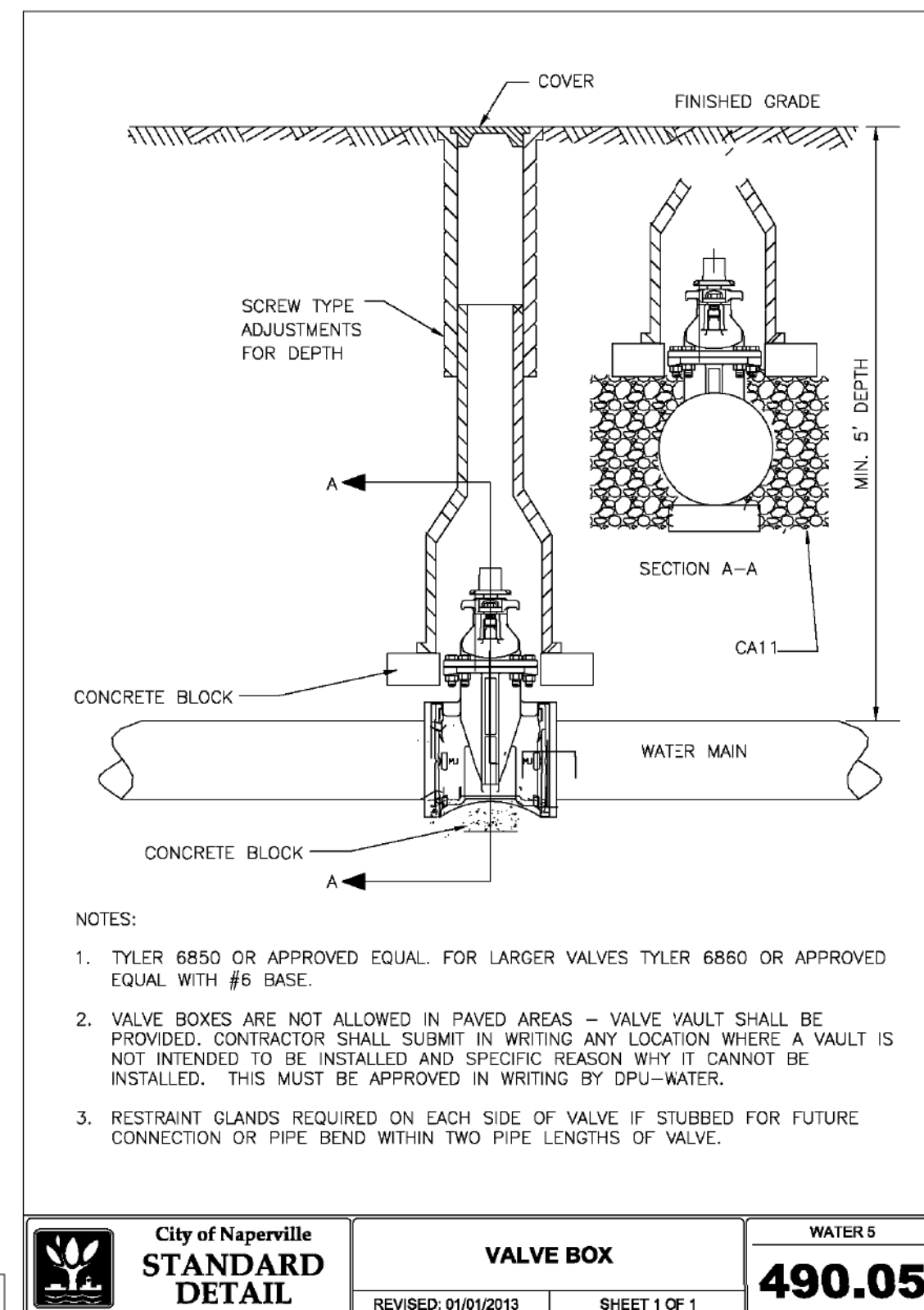
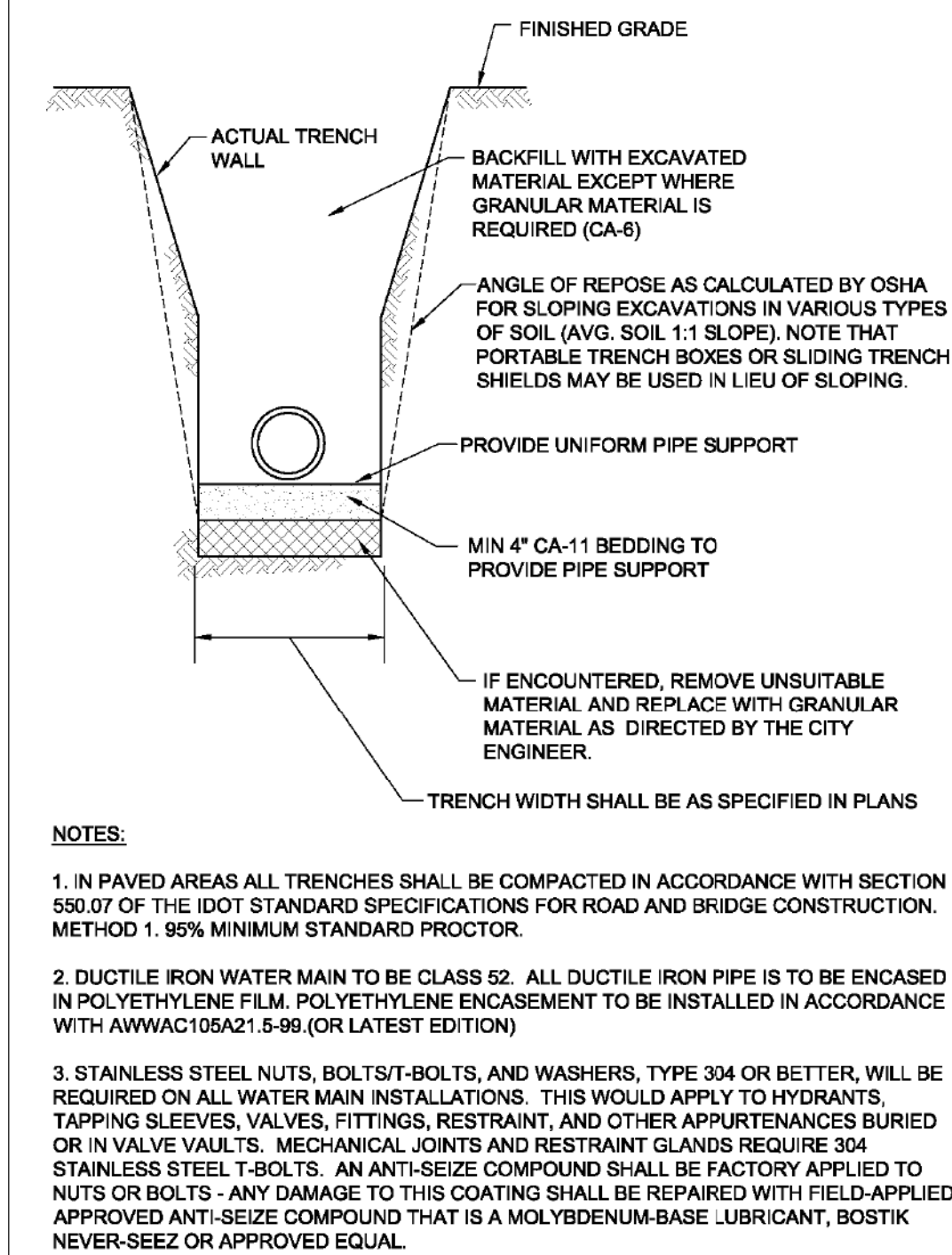
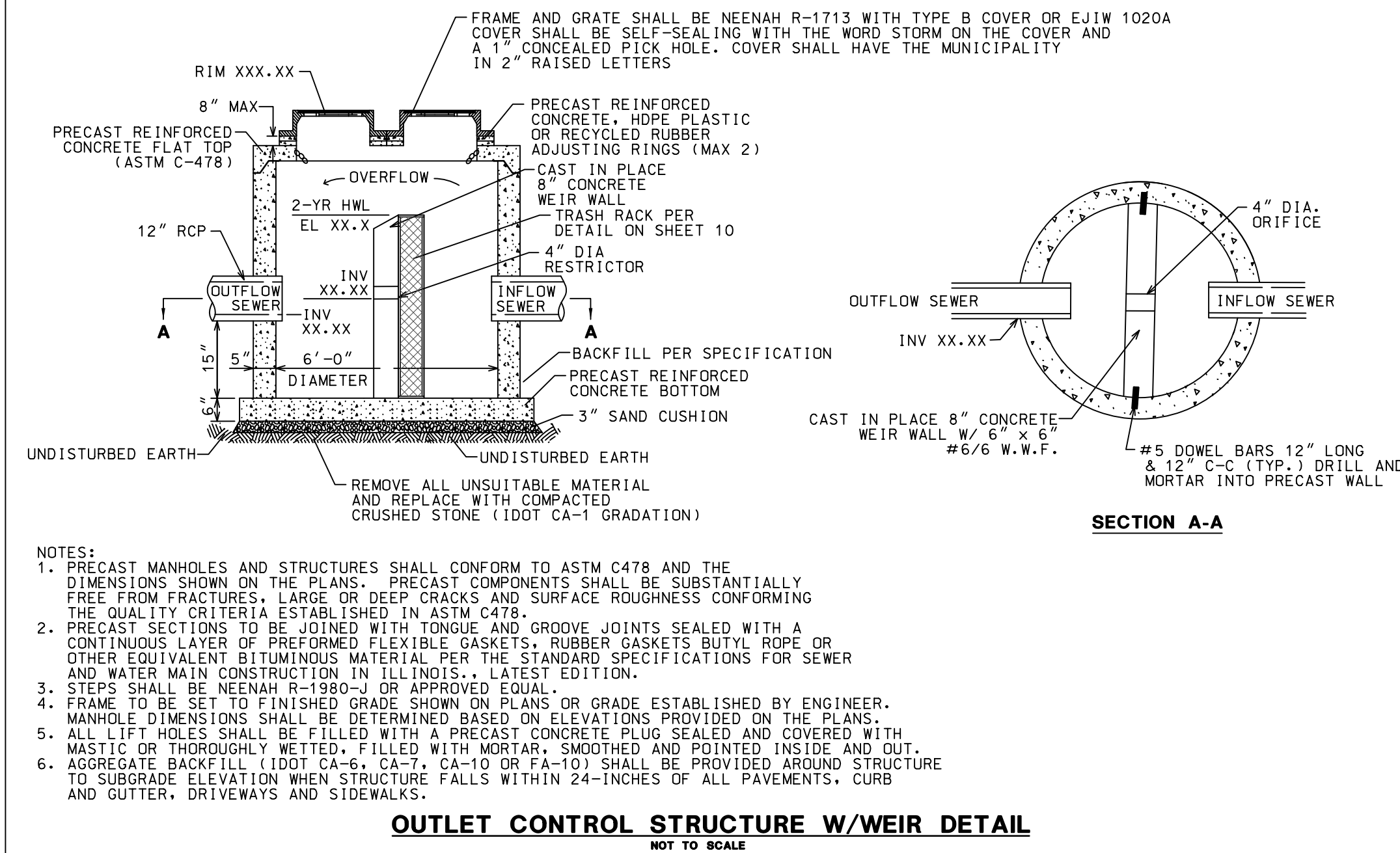
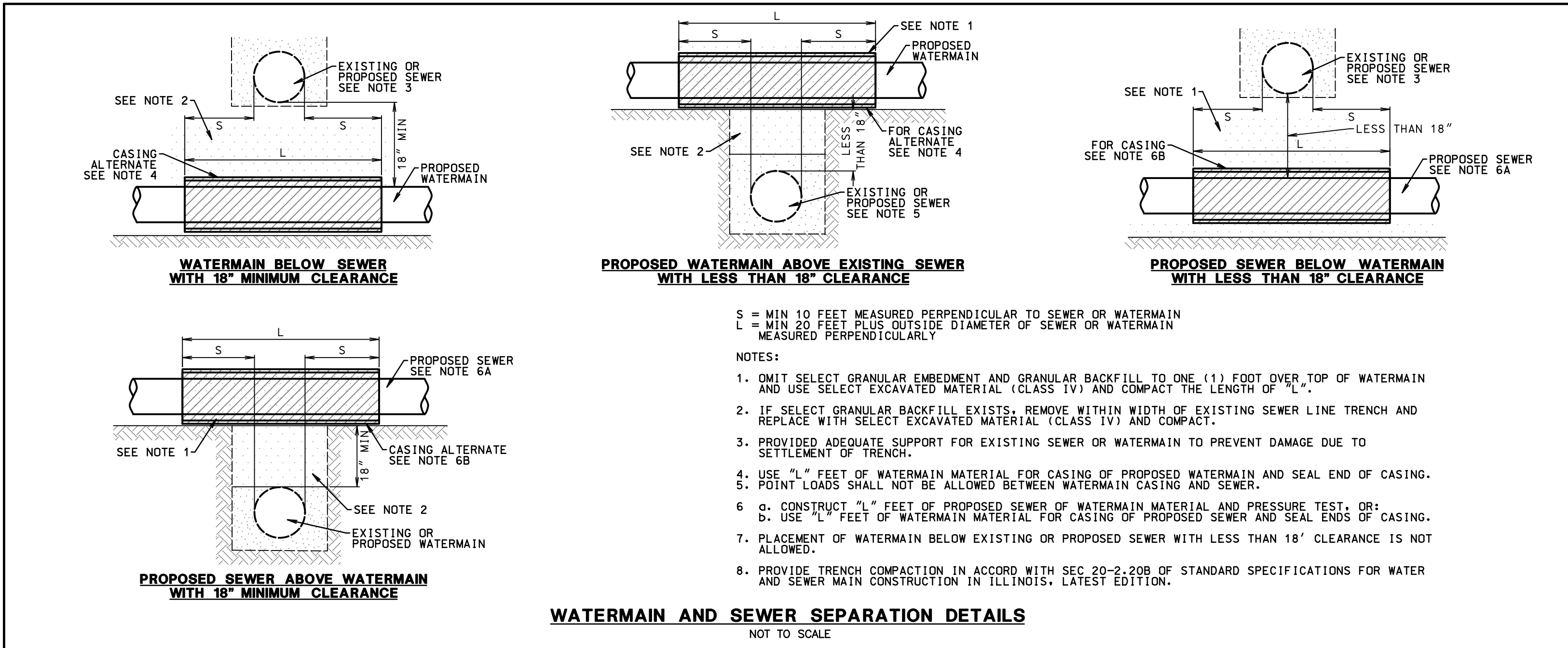
SITE PLAN GENERAL NOTES

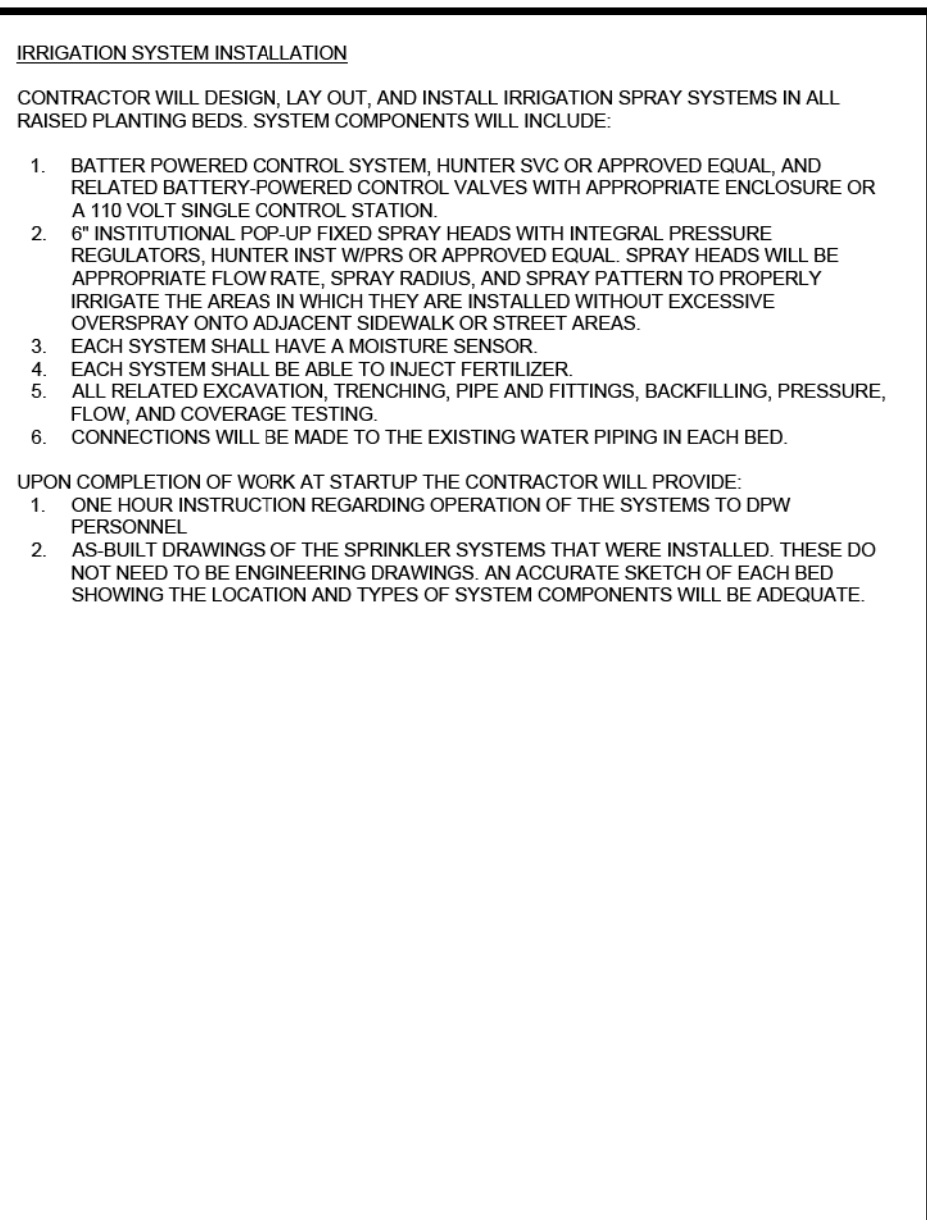
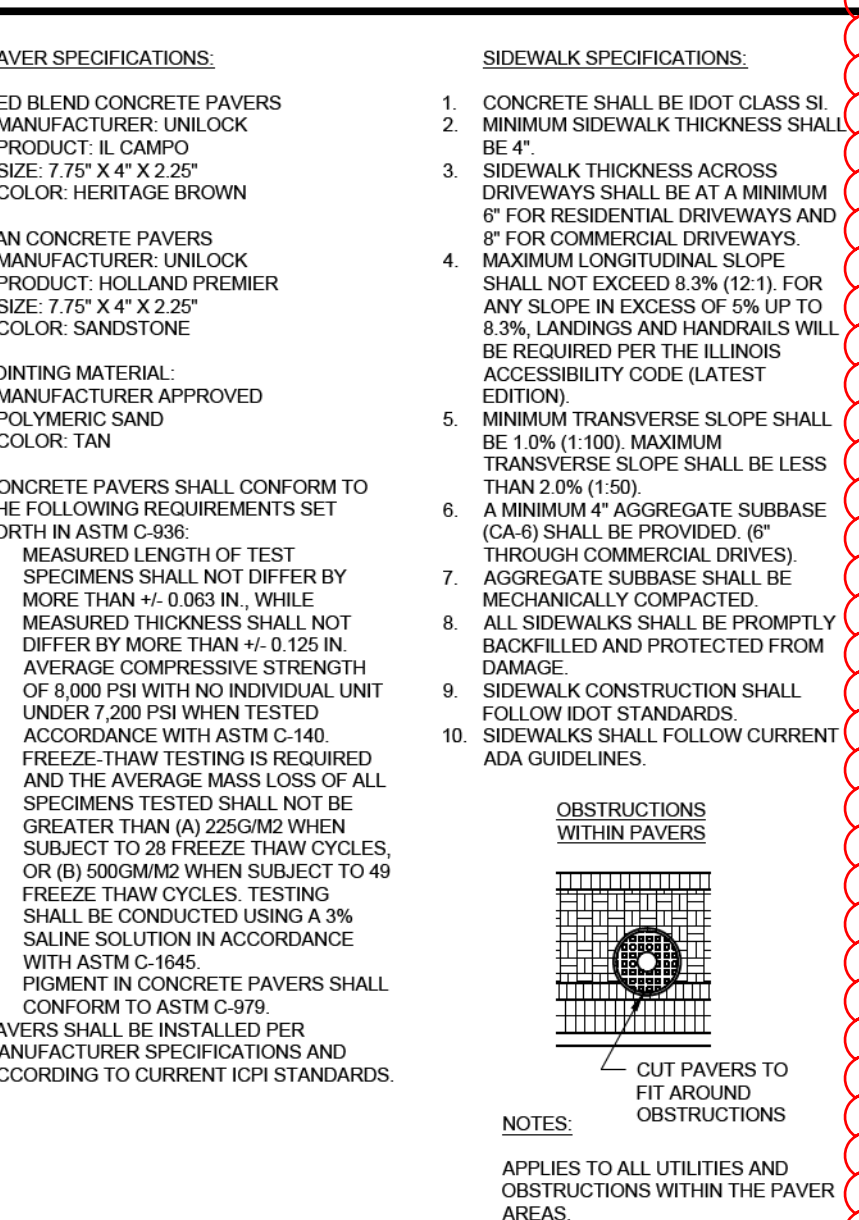
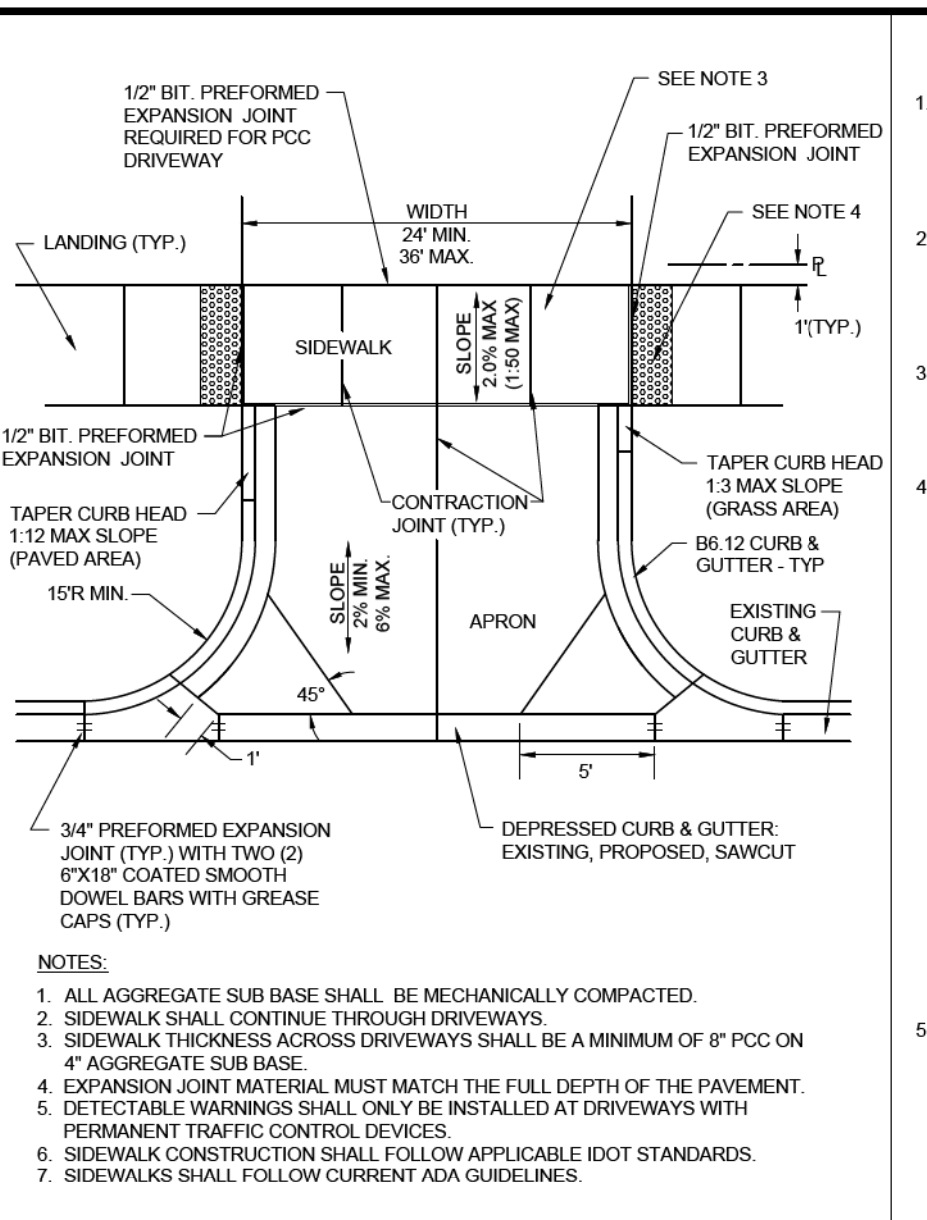
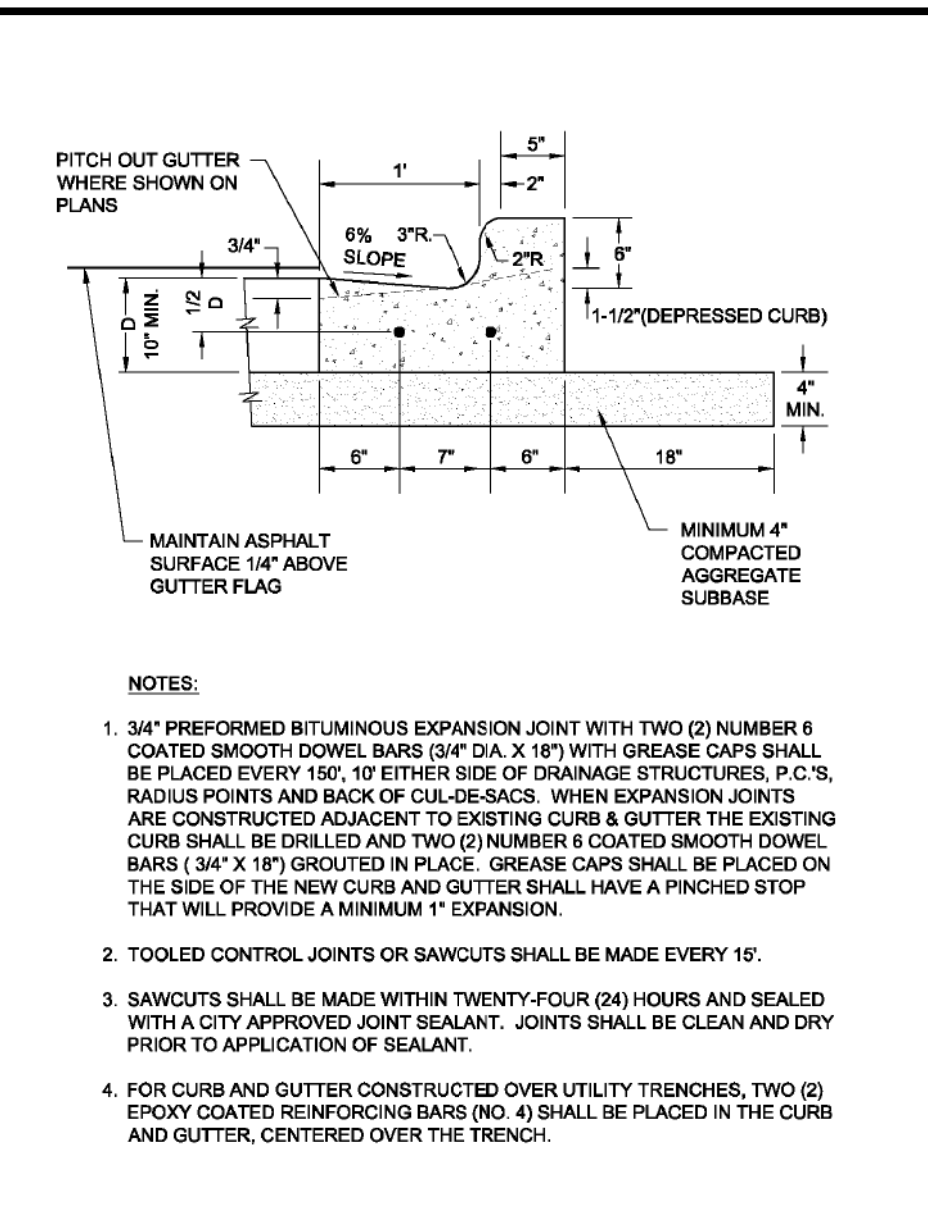
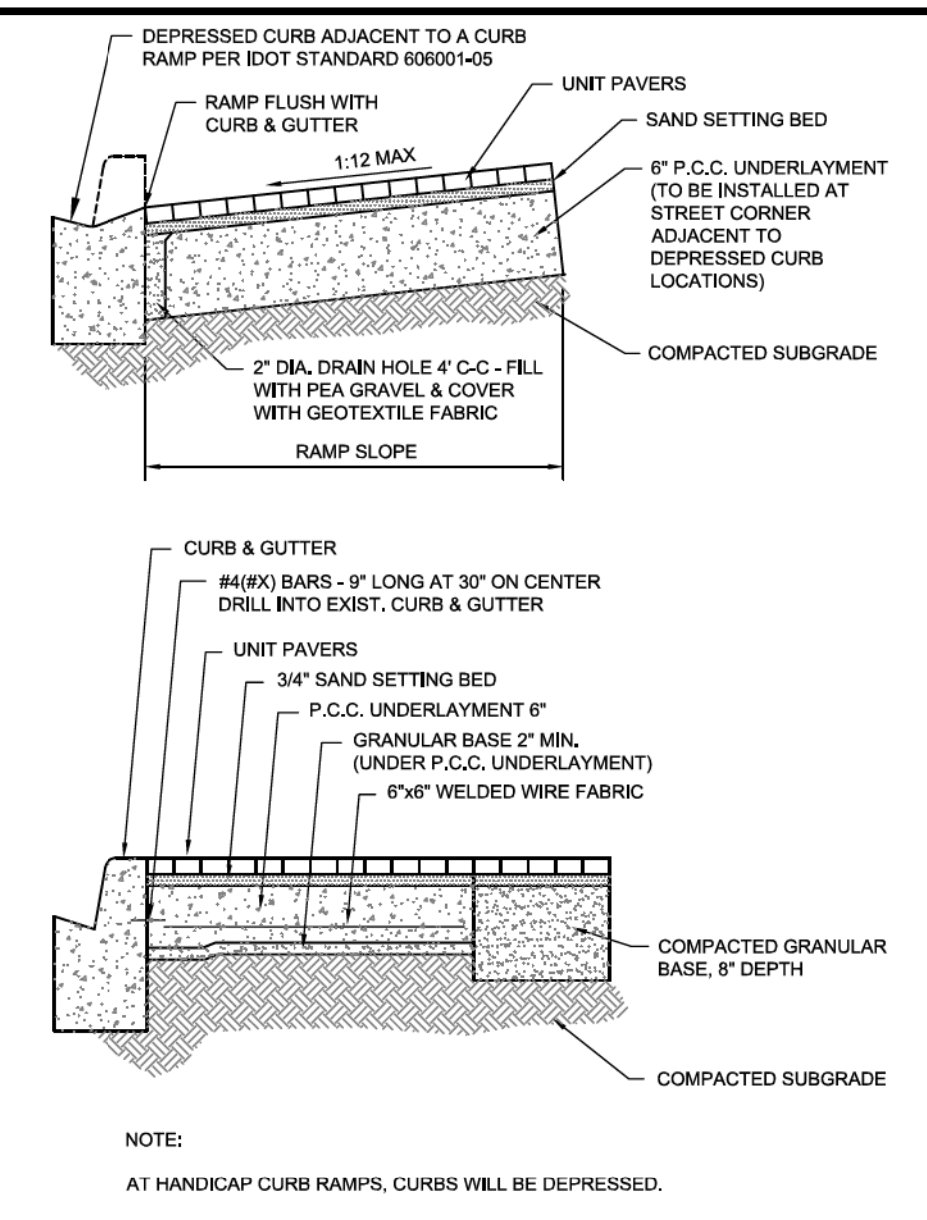
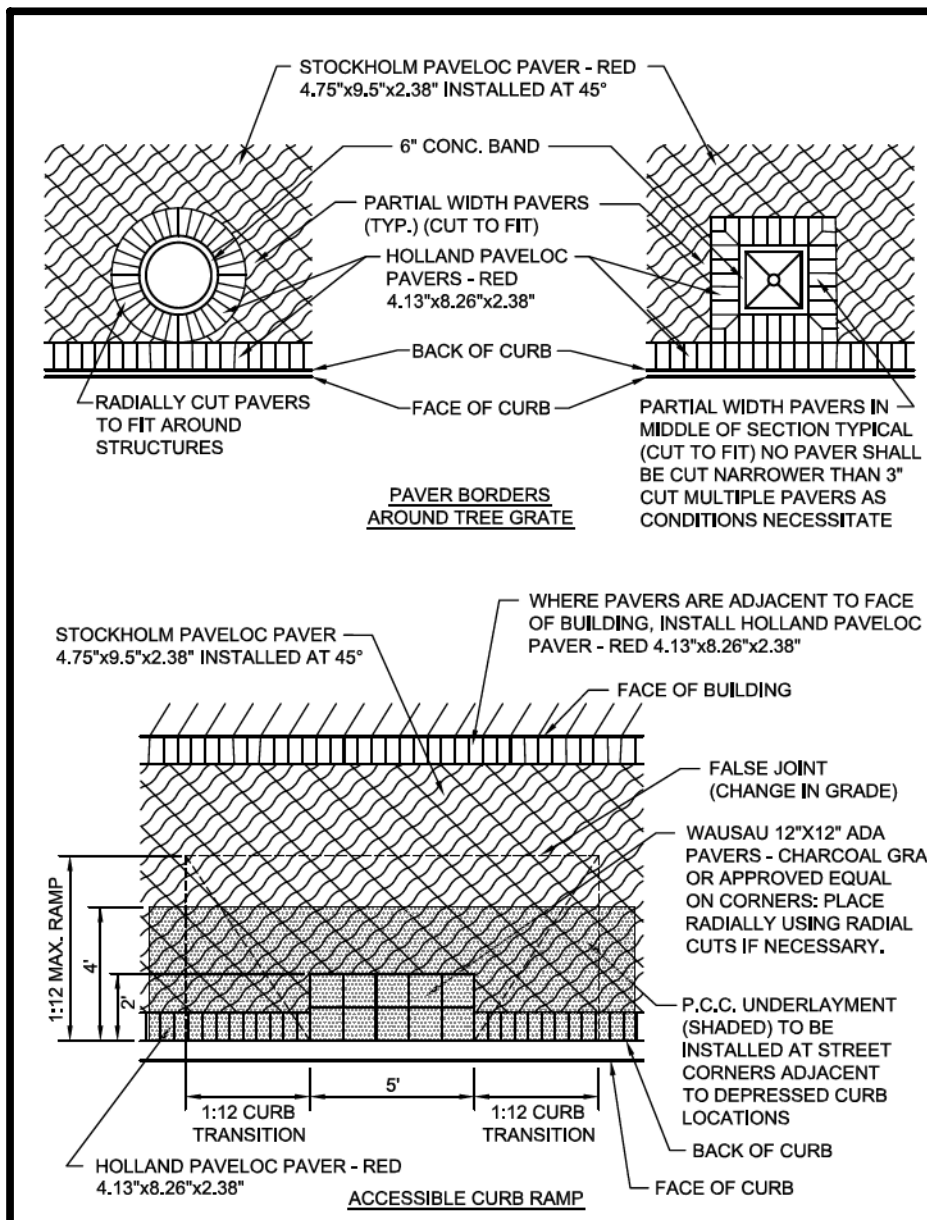
1. ALL DIMENSIONS ARE TO BACK OF CURB OR FACE OF BUILDING, UNLESS OTHERWISE NOTED.
2. ALL RADII ARE TO BACK OF CURB, UNLESS OTHERWISE NOTED.
3. ALL BUILDING DIMENSIONS ARE BASED ON ARCHITECTURAL PLANS DATED 11/7/25. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND CONTACT THE ARCHITECT FOR ANY DISCREPANCIES.
4. ALL ONSITE PAVEMENT MARKINGS SHALL BE PAINTED, UNLESS OTHERWISE NOTED.
5. ALL PROPOSED CURB AND GUTTER SHALL BE B6.12 AND SHALL BE DEPRESSED CURB WHERE SIDEWALK MEETS THE PARKING LOT, UNLESS OTHERWISE INDICATED. CURB DEPRESSIONS SHALL MEET ADA REQUIREMENTS AS NOTED IN THE CONSTRUCTION DETAILS.
6. ALL JOINTS MADE WITH EXISTING PAVEMENT, CURB, WALK OR CURB AND GUTTER ARE TO BE SAWCUT FULL DEPTH WITHIN 24 HOURS OF PLACEMENT.
7. SEE ARCHITECTURAL PLANS FOR DETAILS OF TRASH ENCLOSURES, PLANTER BOXES, AND LIGHTING PLAN.
8. ALL CURB ISLANDS TO HAVE 1-FOOT MINIMUM RADIUS ON CORNERS, UNLESS OTHERWISE SHOWN.
9. REFER TO CITY OF NAPERVILLE STANDARD DETAILS FOR BRICK PAVEMENT, DETAILS AND SPECIFICATION AND CURBED PLANTER DETAILS. SEE DETAILS ON SHEETS 9-11.

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City of Naperville STANDARD DETAIL	DOWNTOWN STREETSCAPE PAVEMENT SECTION	PAVEMENT 14
REVISID: 06/14/2013	SHEET 1 OF 2	590.14

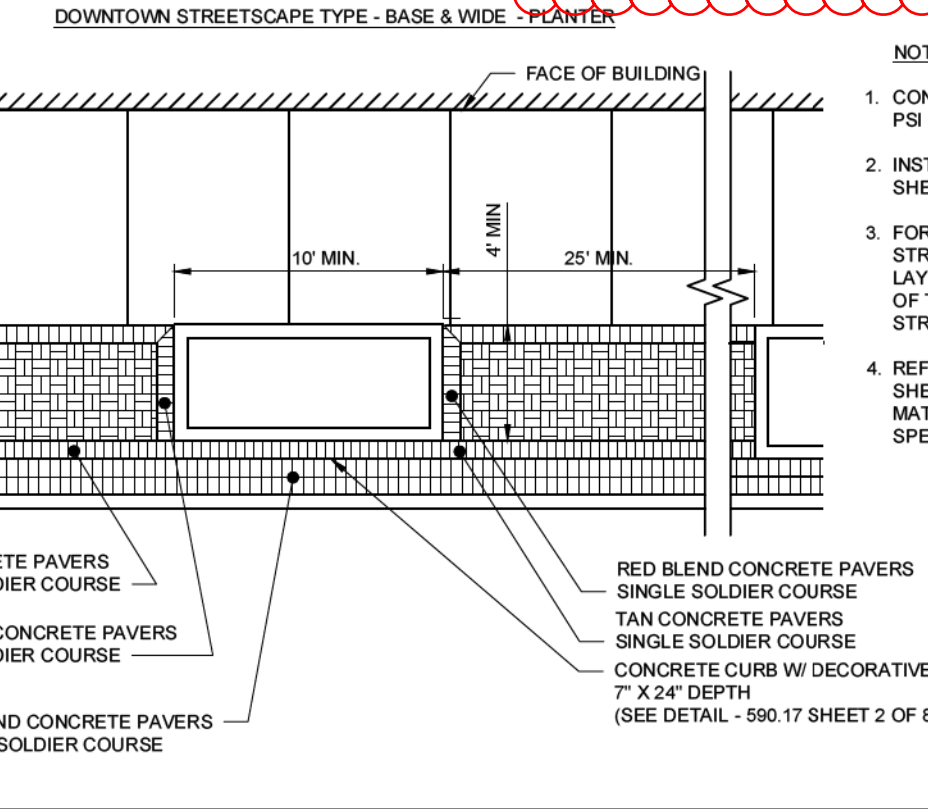
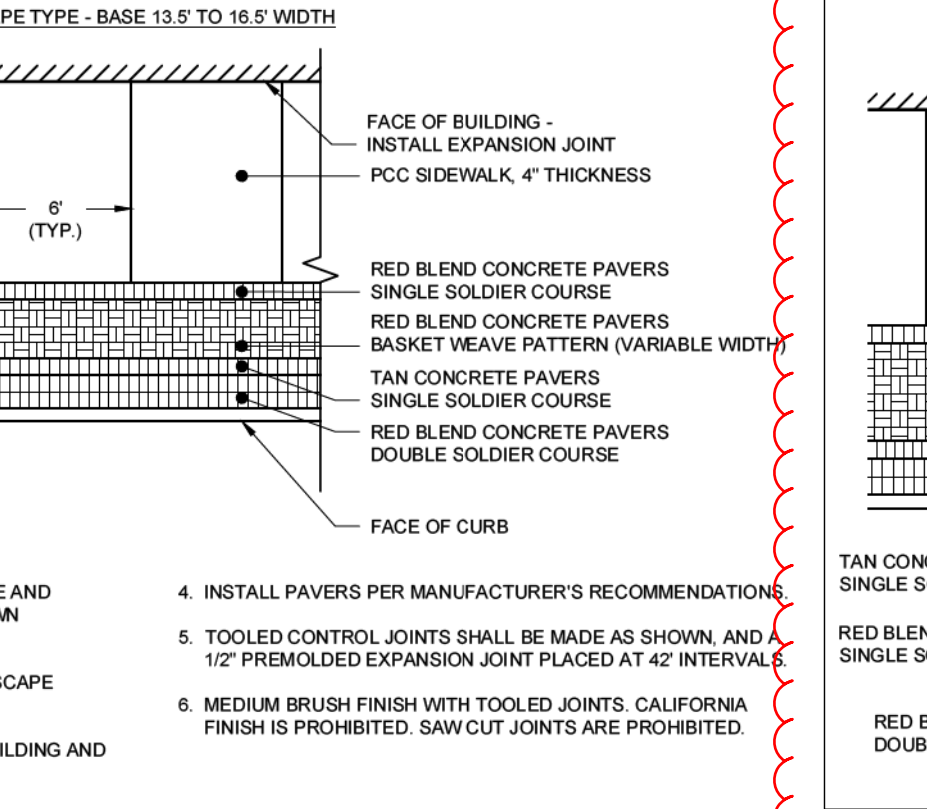
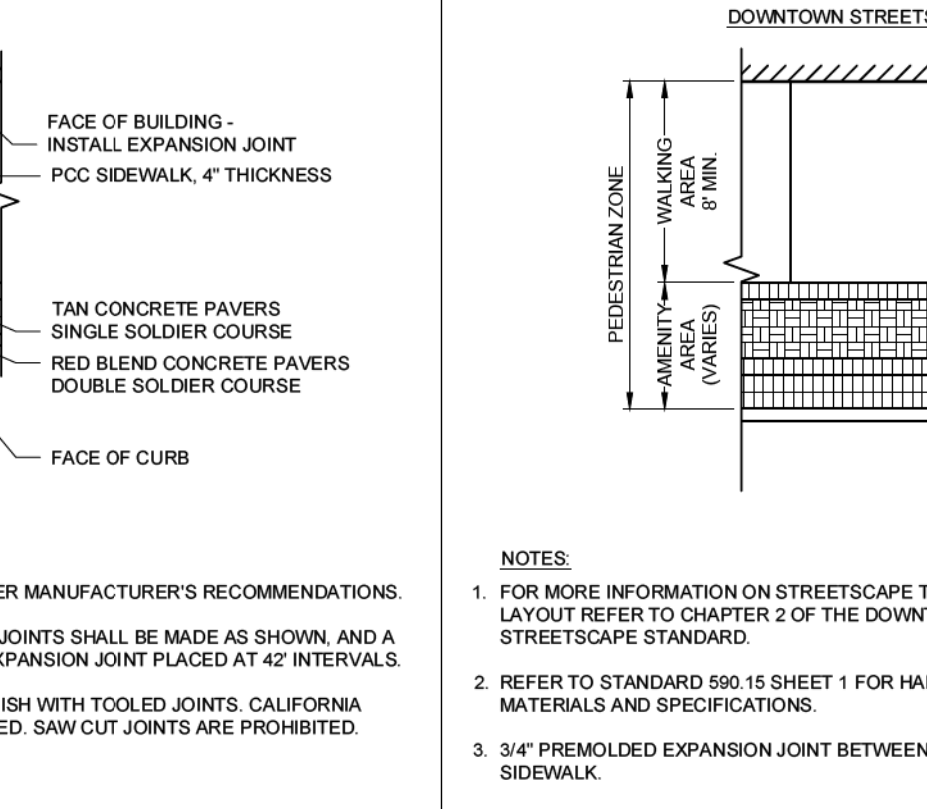
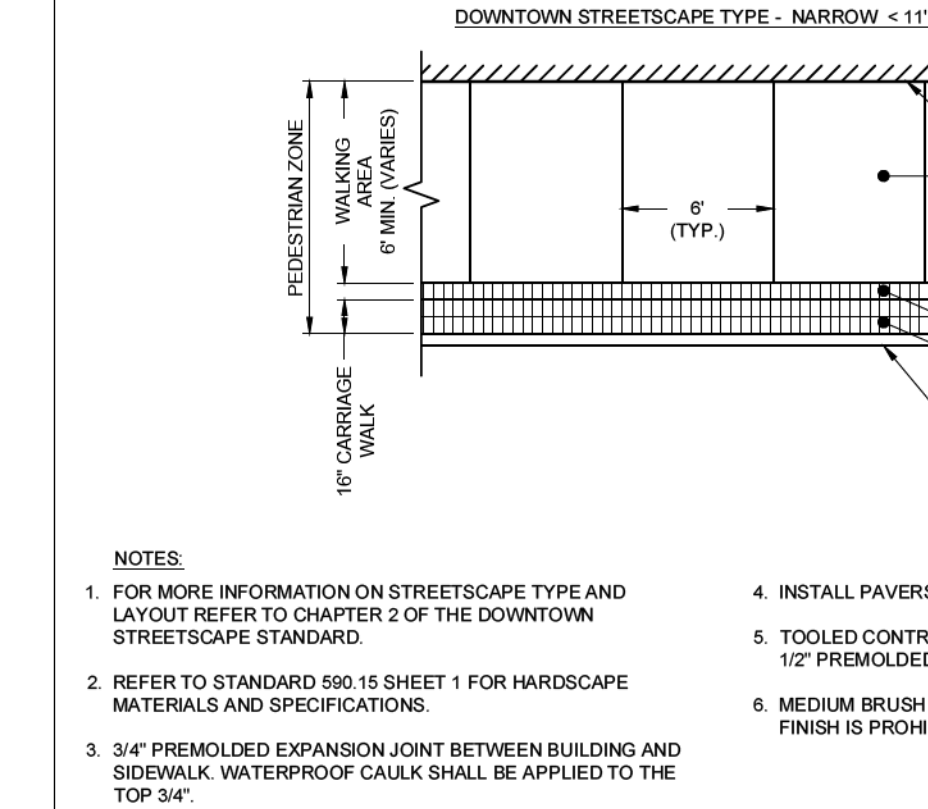
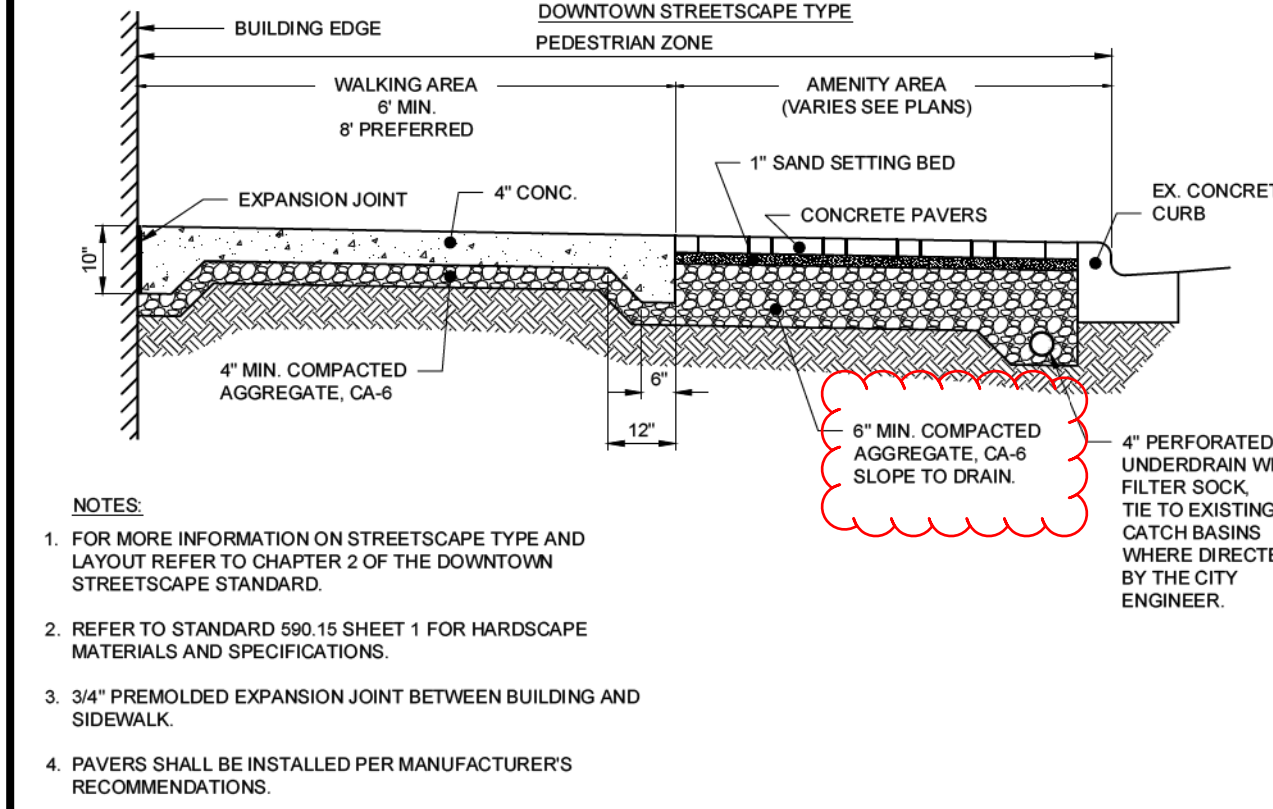
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REVISID: 06/14/2013	SHEET 2 OF 2	590.14

City of Naperville STANDARD DETAIL	B6.12 BARRIER CURB & GUTTER	PAVEMENT 20
REVISID: 01/01/2013	SHEET 1 OF 1	590.20

City of Naperville STANDARD DETAIL	TYPICAL COMMERCIAL DRIVEWAY DETAIL	PAVEMENT 5
REVISID: 06/14/2013	SHEET 1 OF 1	590.05

City of Naperville STANDARD DETAIL	DOWNTOWN STREETSCAPE MATERIALS	PAVEMENT 15
REVISID: 06/14/2013	SHEET 1 OF 1	590.15

City of Naperville STANDARD DETAIL	DOWNTOWN STREETSCAPE IRRIGATION SPECIFICATIONS	LANDSCAPE 17
REVISID: 06/14/2013	SHEET 1 OF 1	590.17



City of Naperville STANDARD DETAIL	DOWNTOWN STREETSCAPE PAVEMENT DETAIL	PAVEMENT 15
REVISID: 06/14/2013	SHEET 1 OF 2	590.15

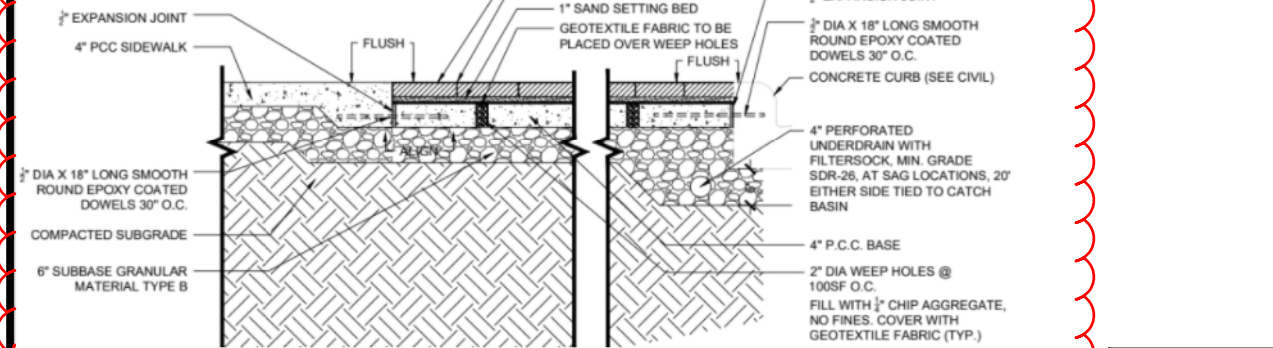
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REVISID: 06/14/2013	SHEET 2 OF 2	590.15

City of Naperville STANDARD DETAIL	DOWNTOWN STREETSCAPE PAVEMENT DETAIL	PAVEMENT 15
REVISID: 06/14/2013	SHEET 3 OF 3	590.15

City of Naperville STANDARD DETAIL	DOWNTOWN STREETSCAPE PAVEMENT DETAIL	PAVEMENT 15
REVISID: 06/14/2013	SHEET 4 OF 4	590.15

City of Naperville STANDARD DETAIL	DOWNTOWN STREETSCAPE PAVEMENT DETAIL	PAVEMENT 15
REVISID: 06/14/2013	SHEET 5 OF 5	590.15

City of Naperville STANDARD DETAIL	DOWNTOWN STREETSCAPE PAVEMENT DETAIL	PAVEMENT 15
REVISID: 06/14/2013	SHEET 6 OF 6	590.15



GENERAL NOTES

A. REFERENCED SPECIFICATIONS

1.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING, EXCEPT AS MODIFIED HEREIN OR ON THE PLANS:
 - STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) FOR ALL IMPROVEMENTS EXCEPT SANITARY SEWER AND WATER MAIN CONSTRUCTION;
 - STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION (SSWS) FOR SANITARY SEWER AND WATER MAIN CONSTRUCTION
 - CITY OF NAPERVILLE MUNICIPAL CODE
 - DUPAGE COUNTY STORMWATER ORDINANCE

IN CASE OF CONFLICT BETWEEN THE APPLICABLE ORDINANCES NOTED, THE MORE STRINGENT SHALL TAKE PRECEDENCE AND SHALL CONTROL ALL CONSTRUCTION.

B. NOTIFICATIONS

1.

THE CITY OF NAPERVILLE MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO EACH PHASE OF WORK. CONTRACTOR SHALL DETERMINE ITEMS REQUIRING INSPECTION PRIOR TO START OF CONSTRUCTION OR EACH WORK PHASE.
2.

THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION FOR THE EXACT LOCATIONS OF THE UTILITIES AND FOR THEIR PROTECTION DURING CONSTRUCTION. IF EXISTING UTILITIES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, IMMEDIATELY NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED. CALL J.U.L.I.E. AT 1-800-892-0123.

C. GENERAL NOTES

1.

THE MUNICIPALITY AND THE OWNER OR OWNER'S REPRESENTATIVE SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION IMPROVEMENTS.
2.

THE CONTRACTOR(S) SHALL INDEMNIFY THE OWNER, ENGINEER, MUNICIPALITY, AND THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, OR TESTING OF THIS WORK ON THE PROJECT.
3.

THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY THE MUNICIPALITY UNLESS CHANGES ARE APPROVED BY THE MUNICIPALITY OR AUTHORIZED AGENT. THE CONSTRUCTION DETAILS, AS PRESENTED ON THE PLANS, MUST BE FOLLOWED. PROPER CONSTRUCTION TECHNIQUES MUST BE FOLLOWED ON THE IMPROVEMENTS INDICATED ON THE PLANS.
4.

A WATER-TIGHT PLUG SHALL BE INSTALLED IN THE DOWNSTREAM SEWER PIPE AT THE POINT OF SEWER CONNECTION PRIOR TO COMMENCING ANY SEWER CONSTRUCTION. THE PLUG SHALL REMAIN IN PLACE UNTIL REMOVAL IS AUTHORIZED BY THE MUNICIPALITY AND/OR SEWER DISTRICT AFTER THE SEWERS HAVE BEEN TESTED AND ACCEPTED.
5.

THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT ANY UNPOLLUTED WATER, SUCH AS GROUND AND SURFACE WATER, FROM ENTERING THE EXISTING SANITARY SEWERS.
6.

DISCHARGING ANY UNPOLLUTED WATER INTO THE SANITARY SEWER SYSTEM FOR THE PURPOSE OF SEWER FLUSHING OF LINES FOR THE DEFLECTION TEST SHALL BE PROHIBITED WITHOUT PRIOR APPROVAL FROM THE MUNICIPALITY AND/OR SEWER DISTRICT.
7.

THE LOCATION OF VARIOUS EXISTING UNDERGROUND UTILITIES WHICH ARE SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND REPRESENT THE BEST KNOWLEDGE OF THE ENGINEER. VERIFY LOCATIONS AND ELEVATIONS PRIOR TO BEGINNING THE CONSTRUCTION OPERATIONS.
8.

ANY EXISTING PAVEMENT, SIDEWALK, DRIVEWAY, ETC., DAMAGED DURING CONSTRUCTION OPERATIONS AND NOT CALLED FOR TO BE REMOVED SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
9.

NO FINAL CONNECTION SHALL BE MADE TO THE EXISTING WATER MAIN SYSTEM UNTIL THE WATER MAIN HAS BEEN PRESSURE TESTED AND CHLORINATED.
10.

ALL NON-PAVING CONCRETE USED ON THE PROJECT SHALL BE IDOT CLASS S1.
11.

MATERIAL AND COMPACTION TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPALITY AND OWNER.
12.

THE UNDERGROUND CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS TO NOTIFY ALL INSPECTION AGENCIES.
13.

ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED DURING CONSTRUCTION SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO FINAL INSPECTION.
14.

RECORD DRAWINGS SHALL BE KEPT BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER AS SOON AS UNDERGROUND IMPROVEMENTS ARE COMPLETED. FINAL PAYMENTS TO THE CONTRACTOR SHALL BE HELD UNTIL THEY ARE RECEIVED. ANY CHANGES IN LENGTH, LOCATION OR ALIGNMENT SHALL BE SHOWN IN RED. ALL WYES OR BENDS SHALL BE LOCATED FROM THE DOWNSTREAM MANHOLE. ALL VALVES, B-BOXES, TEES OR BENDS SHALL BE TIED TO A FIRE HYDRANT.
15.

TRAFFIC CONTROL SIGNS SHALL BE INSTALLED DURING CONSTRUCTION IN ACCORDANCE WITH THE IDOT SS AND IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. THE SAFE AND ORDERLY PASSAGE OF TRAFFIC AND PEDESTRIANS SHALL BE MAINTAINED AT ALL TIMES.

D. EXCAVATION AND SITE GRADING

1.

EXCAVATION AND EMBANKMENT REQUIRED FOR SITE GRADING SHALL BE CONSTRUCTED IN ACCORDANCE WITH SOILS REPORTS PREPARED FOR THIS SITE. COPIES OF THE SOILS REPORTS ARE AVAILABLE FROM THE OWNER.
2.

BUILDING PAD, BUILDING FOOTING, AND PAVEMENT SUBGRADES SHALL BE CONSTRUCTED OF SUITABLE FILL MATERIAL, AS DETERMINED BY THE SOILS ENGINEER, AND COMPACTED TO A MINIMUM BEARING CAPACITY OF 3,000 PSF IN BUILDING PAD AREAS AND 95% MODIFIED PROCTOR DENSITY WITHIN PARKING LOT PAVEMENT AREAS OR PUBLIC RIGHT-OF-WAYS.

3.

ALL CLAY EMBANKMENT NECESSARY FOR STORMWATER MANAGEMENT AREAS AS NOTED ON THE CROSS SECTION SHALL CONSIST OF COHESIVE SOIL TYPES WITH LESS THAN 25% SAND AND GRAVEL. MATERIAL SHALL HAVE A COEFFICIENT OF PERMEABILITY OF LESS THAN 10 X -7 CM/SEC. MAXIMUM PARTICLE SIZE SHALL BE 4-INCHES. THESE MATERIALS WILL BE PRACTICALLY IMPERVIOUS. MATERIAL SHALL BE TESTED FOR CLASSIFICATION, COMPACTION CHARACTERISTICS, PERMEABILITY CHARACTERISTICS AND UNCONFINED COMPRESSIVE STRENGTH, IN ORDER TO ENSURE THAT THEY MEET THE ABOVE REQUIREMENTS.

THE MATERIAL SHALL BE CL TYPE (USING THE USC CLASSIFICATION SYSTEM, ASTM D2487) AND FREE FROM GRAVEL, ROOTS, ORGANIC MATTER, AND ANY OTHER OBJECTIONABLE MATERIALS.

THE EMBANKMENT SHALL BE PLACED IN ESSENTIALLY HORIZONTAL LIFTS NOT EXCEEDING 8 INCHES IN LOOSE THICKNESS. EACH LIFT SHOULD BE COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED IN THE LABORATORY BY THE MODIFIED PROCTOR COMPACTION TEST (ASTM D1557). EACH LIFT TO BE COMPACTED TO SPECIFIED DENSITY PRIOR TO THE PLACEMENT OF ADDITIONAL FILL. MOISTURE CONTROL IS IMPORTANT IN THE COMPACTION OF COHESIVE SOIL TYPES, AND THE WATER CONTENT OF THE EMBANKMENT FILL SHALL BE WITHIN 4 PERCENTAGE POINTS OF OPTIMUM MOISTURE AS ESTABLISHED BY THE LABORATORY COMPACTION CURVE.

4.

COMPACTION TESTING SHALL MEET THE REQUIREMENTS OF THE MUNICIPALITY AND THE OWNER.
5.

NO EQUIPMENT, MATERIAL OR WORK IS TO BE PERFORMED OUTSIDE THE LIMITS OF CONSTRUCTION.
6.

THE CONTRACTOR IS REQUIRED TO MEET ALL SOIL EROSION CONTROL AND SEDIMENTATION REQUIREMENTS AS SET FORTH IN THE IEPA STANDARDS, MUNICIPAL ORDINANCES, COUNTY ORDINANCES, AND THE ENGINEERING PLANS.
7.

ALL PAVEMENT SUBGRADES SHALL BE PROOF-ROLLED WITH A FULLY LOADED TEN WHEEL TRUCK YIELDING AREAS SHALL BE REMOVED AND REPLACED WITH COMPACTED CA-6 CRUSHED STONE.
8.

ALL UNSUITABLE MATERIAL, AS DETERMINED BY THE SOILS ENGINEER, SHALL BE REMOVED AND (A.) DISC-DRIED AND RECOMPACTED, OR (B.) LIME OR CEMENT DRIED AND RECOMPACTED, OR (C.) REPLACED WITH CRUSHED STONE. IDOT CA-6 GRADATION. ALL OPTIONS MEETING COMPACTION REQUIREMENTS AS SPECIFIED EARLIER IN THESE SPECIFICATIONS.
9.

LIMITS OF BUILDING PAD SHALL EXTEND FIVE (5) FEET BEYOND PROPOSED BUILDING WALLS. LIMITS OF SUITABLE PAVEMENT SUBGRADE SHALL EXTEND TWO (2) FEET BEYOND BACK OF PROPOSED CURB, OR EDGE OF PAVEMENT.
10.

ALL REMOVAL OR EXCAVATION ITEMS BEING DISPOSED OF AT AN UNCONTAMINATED SOIL FILL OPERATION OR CLEAN CONSTRUCTION AND DEMOLITION DEBRIS (CCDD) FILL SITE SHALL MEET THE REQUIREMENTS OF PUBLIC ACT 96-1416. ALL COSTS ASSOCIATED WITH MEETING THESE REQUIREMENTS SHALL BE INCLUDED IN THE UNIT PRICE COST FOR THE ASSOCIATED REMOVAL OR EXCAVATION ITEMS IN THE CONTRACT. THESE COSTS SHALL INCLUDE BUT ARE NOT LIMITED TO ALL REQUIRED TESTING, LAB ANALYSIS, CERTIFICATION BY A LICENSED PROFESSIONAL ENGINEER, AND STATE AND LOCAL TIPPING FEES.

E. PAVEMENT CONSTRUCTION

1.

HOT-MIX ASPHALT PAVEMENT SHALL HAVE A MINIMUM TOTAL COMPACTED THICKNESS AS SHOWN ON THE DRAWINGS AND SHALL BE COMPACTED TO 93% OF THE MAXIMUM UNIT WEIGHT AS DETERMINED BY ASTM D-2041.
2.

THE PAVEMENT SUBGRADE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF SECTION 36 (SUBGRADE PREPARATION) OF THE IDOT SS. SUBGRADE SHALL BE COMPACTED TO A MINIMUM IBR OF 3-0.
3.

THE AGGREGATE BASE COURSE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF SECTION 351 (AGGREGATE BASE COURSE) OF THE IDOT SS.
4.

NO AGGREGATE BASE COURSE SHALL BE INSTALLED UNTIL THE SUBGRADE HAS BEEN APPROVED BY THE OWNER.
5.

HOT-MIX ASPHALT PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF SECTION 406 (HOT-MIX ASPHALT BINDER AND SURFACE COURSE).
6.

NO HOT-MIX ASPHALT BINDER SHALL BE INSTALLED UNTIL THE AGGREGATE BASE COURSE HAS BEEN APPROVED BY THE OWNER. AGGREGATE BASE COURSE PRIME COAT (MC-30) SHALL BE APPLIED AT A RATE OF 0.25 TO 0.5 GALLONS PER SQUARE YARD, THE EXACT RATE TO BE SPECIFIED BY THE ENGINEER.
7.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY SIGNS, BARRICADES, FENCES, ETC. TO KEEP THE CONSTRUCTION SITE IN COMPLIANCE WITH STATE AND FEDERAL LAWS. THE MUNICIPALITY MAY REQUIRE ADDITIONAL SIGNAGE OR BARRICADES. THE CONTRACTOR SHALL COMPLY WITH ALL SUCH MUNICIPAL REQUIREMENTS.
8.

ALL EXISTING PAVEMENT, SIDEWALK, OR CURB AND GUTTER TO BE REMOVED SHALL BE SAWCUT ALONG THE LIMITS OF THE PROPOSED REMOVAL BEFORE REMOVAL OPERATIONS BEGIN.
9.

PRIOR TO PLACEMENT OF BASE COURSE, THE SUBGRADE SHALL BE PROOF-ROLLED WITH A FULLY LOADED TEN WHEEL TRUCK, AND ANY SOFT YIELDING AREAS SHALL BE REMOVED AND REPLACED WITH COMPACTED CA-6 CRUSHED STONE.
10.

CURB AND GUTTER REMOVAL SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF SECTION 440 (REMOVAL OF EXISTING PAVEMENT AND APPURTENANCES) OF THE IDOT SS.
11.

ALL PAVEMENT MARKINGS SHALL BE PAINT.
12.

ADA ACCESSIBLE CURB RAMPS SHALL BE PROVIDED AT ALL LOCATIONS WHERE THE SIDEWALK ADJOINS THE CURB AND GUTTER. ALL ADA RAMPS SHALL PROVIDE DETECTABLE WARNINGS PER THE DETAIL NOTED WITHIN THIS PLAN SET. THE INSTALLATION OF THESE DETECTABLE WARNINGS SHALL CONFORM TO SECTION 424 OF THE IDOT SS AND THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES.
13.

ALL CONCRETE FOR SIDEWALK AND CURB AND GUTTER IS TO BE CLASS S1, 6-1 BAG MIX WITH NO FLY ASH.

15.

COMBINATION CURB AND GUTTER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF SECTION 606 (CONCRETE GUTTER, CURB, MEDIAN, AND PAVED DITCH) OF THE IDOT SS.
 - EXPANSION JOINTS SHALL BE PLACED AT THE END OF RADI AND AT INTERVALS OF NO MORE THAN 40- FEET IN STRAIGHT LINE PORTIONS OF WORK. EXPANSION JOINTS SHALL BE PROVIDED WHERE THE CURB AND GUTTER ABUTS AN EXISTING OR PROPOSED SIDEWALK, BUILDING, PERMANENT STRUCTURE OR EXISTING OR PROPOSED CONCRETE DRIVEWAY. EXPANSION JOINTS ARE REQUIRED 5- FEET ON EACH SIDE OF ANY STORM SEWER STRUCTURE IN THE CURB LINE. EXPANSION JOINTS SHALL CONSIST OF 1-INCH PREMOLED EXPANSION JOINT FILLER MATERIAL.
 - EXPANSION JOINTS SHALL INCLUDE 12-INCH LONG #4 DOWEL BARS WITH CAP.
 - CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NO MORE THAN 10- FEET. CONTRACTION JOINTS SHALL BE SAWED TO A DEPTH EQUAL TO 1/3 THE THICKNESS OF THE GUTTER FLAG AND TO A WIDTH OF NOT LESS THAN 1/8 INCH.
 - A MINIMUM 4-INCH COMPACTED AGGREGATE BASE SHALL BE PROVIDED UNDER THE CURB AND GUTTER AND SHALL EXTEND 1-FOOT BEHIND BACK OF CURB. REFER TO SECTION 606 FOR ADDITIONAL JOINTING REQUIREMENTS.

16.

SIDEWALK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF SECTION 424 (PORTLAND CEMENT CONCRETE SIDEWALK) OF THE IDOT SS.
 - THE SURFACE SHALL BE DIVIDED BY GROOVES CONSTRUCTED AT RIGHT ANGLES TO THE CENTERLINE OF THE SIDEWALK OR AS SHOWN ON THE ENGINEERING PLANS. GROOVES SHALL EXTEND TO 1/4 THE DEPTH OF THE SIDEWALK. SHALL BE NOT LESS THAN 1/8 IN. NOR MORE THAN 1/4 IN. IN WIDTH, AND SHALL BE LONGER THAN 6 FT. NOR LESS THAN 4 FT. ON ANY SIDE, UNLESS OTHERWISE NOTED.
 - EXPANSION JOINTS SHALL BE 1/2 IN. THICK AND CONSIST OF PREFORMED JOINT FILLER. THE TOP OF THE JOINT FILLER SHALL BE 1/4 IN. BELOW THE SURFACE OF THE SIDEWALK.
 - EXPANSION JOINTS SHALL BE PLACED BETWEEN THE SIDEWALK AND ALL STRUCTURES SUCH AS LIGHT POLES, TRAFFIC SIGNAL POLES, TRAFFIC POLES AND SUBWAY COLUMNS, WHICH EXTEND THROUGH THE SIDEWALK. EXPANSION JOINTS SHALL BE PLACED AT MAXIMUM INTERVALS OF 50 FT. IN THE SIDEWALK. WHERE THE SIDEWALK IS CONSTRUCTED ADJACENT TO PAVEMENT OR CURB HAVING EXPANSION JOINTS, THE EXPANSION JOINTS IN THE SIDEWALK SHALL BE PLACED IN LINE WITH THE EXPANSION JOINTS AS NEARLY AS PRACTICABLE. EXPANSION JOINTS SHALL BE PLACED WHERE THE SIDEWALK ABUTS EXISTING SIDEWALKS, BETWEEN DRIVEWAY PAVEMENT AND SIDEWALK, AND BETWEEN SIDEWALK ACCESSIBILITY RAMPS AND CURBS WHERE THE RAMP ABUTS A CURB.

17.

HOT-MIX ASPHALT BASE COURSE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF SECTION 355 (HOT-MIX ASPHALT BASE COURSE) OF THE IDOT SS.

18.

HOT-MIX ASPHALT SPECIFICATIONS SHALL BE AS FOLLOWS:

ITEM	AIR VOIDS
HMA SURFACE COURSE, MIX "D", IL-9.5MM, N50, 1.5" MIN.	4% AT 50 GYR.
HMA BINDER COURSE, IL-19.0, N50; 2.25" MIN	4% AT 50 GYR.
LEVELING BINDER (MACHINE METHOD), IL-4.75, N50, 3/4" MIN	3.5% AT 50 GYR.
CLASS D PATCHES (HMA BINDER IL-19mm)	4% AT 70 GYR.

THE UNIT WEIGHT USED TO CALCULATE ALL HMA SURFACE MIXTURE QUANTITIES IS 112 LBS/SO YD/IN.

THE "AC TYPE" FOR POLYMERIZED HMA MIXES SHALL BE "SBS/SBR PG 76-22" AND FOR ALL NON-POLYMERIZED HMA THE "AC TYPE" SHALL BE "PG 64-22" UNLESS MODIFIED BY DISTRICT ONE SPECIAL PROVISIONS. FOR "PERCENT OF RAP" SEE SPECIAL PROVISIONS. APPLICABLE DISTRICT ONE SPECIAL PROVISIONS MAY INCLUDE, "RECLAIMED ASPHALT PAVEMENT AND SHINGLES", "HMA MIXTURE IL-4.75" AND "STONE MATRIX ASPHALT (SMA)".

19.

ALL CURBS CONSTRUCTED OVER A UTILITY TRENCH SHALL BE REINFORCED WITH TWO EQUALLY SPACED #4 REBARS CENTERED IN THE FLAG FOR A LENGTH OF 10 FEET ON EITHER SIDE OF THE TRENCH. SIDEWALKS SHALL BE TREATED IN THE SAME MANNER USING THREE EQUALLY SPACED #4 REBARS CENTERED IN THE SIDEWALK FOR A LENGTH OF 10 FEET ON EITHER SIDE OF THE TRENCH.
20.

ALL WATER AND SANITARY SERVICE LOCATIONS SHALL BE STAMPED ON THE CURB WITH "W" OR "S" AT THE DEMARKED LOCATIONS WHERE POSSIBLE.

F. SANITARY SEWER

1.

ALL SANITARY SEWERS, SERVICES AND APPURTENANCES SHALL BE CONSTRUCTED OR LINED IN ACCORDANCE WITH THE LOCAL MUNICIPAL REQUIREMENTS OR SANITARY DISTRICT SPECIFICATIONS AND THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION (SSWS).
2.

THE CIPP LATERAL SANITARY LINING MUST MEET THE REQUIREMENTS OF ASTM F-2561-20 AND F-3240-17 AS MANUFACTURED BY LMK TECHNOLOGIES OR APPROVED EQUAL.
3.

SANITARY SEWER SERVICE FOR THE PROPOSED BUILDINGS SHALL BE COORDINATED WITH THE ARCHITECTURAL PLANS FOR SIZE AND LOCATION. LATER REVISIONS TO ARCHITECTURAL PLANS MAY EXIST, THEREFORE, CONTRACTOR SHALL VERIFY LOCATION OF SANITARY SERVICE AS SHOWN ON ENGINEERING PLANS IS CONSISTENT WITH ARCHITECTURAL PLANS. NOTIFY ENGINEER OR OWNER IF DISCREPANCY EXISTS. FIELD LOCATION OF ALL SERVICE STUBS TO BE VISIBLY DEMARKED, SUPPLIED BY CONTRACTOR, AND SHOWN ON RECORD DRAWINGS.

G. WATER MAIN

1.

ALL WATER MAINS, SERVICES, AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL MUNICIPAL REQUIREMENTS AND THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION (SSWS).
2.

WATER MAINS SHALL BE DUCTILE IRON PIPE CONFORMING TO ANSI A 21-51 (AWWA C151), CLASS 52 PER ANSI A 21-50 (AWWA C150), SEAL COATED OR CEMENT LINED PER ANSI A21-4 (AWWA C104), WITH RUBBER RING (SLIP SEAL OR PUSH ON) JOINTS OR MECHANICAL FOR RESTRAINED JOINTS.
3.

A MINIMUM OF 5'-6" OF COVER SHALL BE MAINTAINED OVER THE WATER MAIN AND SERVICES AT ALL TIMES, UNLESS SPECIAL PROVISIONS HAVE BEEN MADE.
4.

GRANULAR PIPE BEDDING MATERIAL SHALL BE IDOT CA-6 AND SHALL BE INSTALLED PER ASTM D2321. GRANULAR BEDDING SHALL BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
5.

SELECTED GRANULAR BACKFILL IDOT CA-6 SHALL BE USED WHERE THE TOP OF THE TRENCH LIES UNDER OR WITHIN 24-INCHES OF ALL PAVEMENTS, CURB AND GUTTERS, DRIVEWAYS AND SIDEWALKS.
6.

ALL WATER VAULTS SHALL HAVE THE WORD "WATER" CAST INTO THE LID.
7.

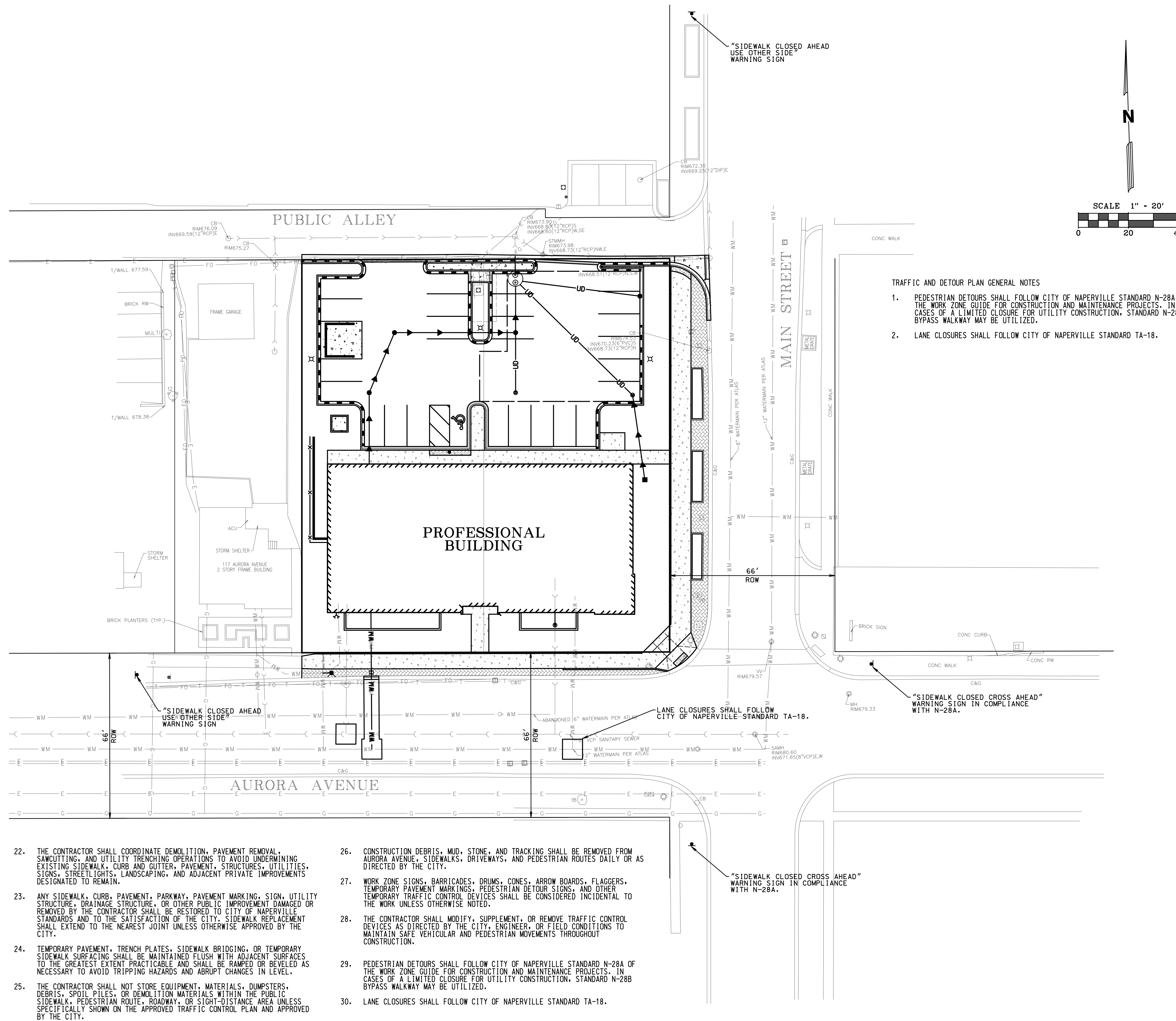
VALVES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO THE RESPECTIVE STANDARDS OF THE LATEST AWWA C500, AWWA C509 AND AWWA C515 STANDARDS. ALL MATERIALS USED IN THE MANUFACTURE OF WATERWORKS GATE VALVES SHALL CONFORM TO THE AWWA STANDARDS DESIGNED FOR EACH MATERIAL LISTED. ALL VALVES SHALL CONFORM TO THE STANDARDS SET FORTH IN THE SSWS.
8.

WATER MAINS SHALL BE PRESSURE TESTED, LEAK TESTED AND CHLORINATED IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS AND THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS, LATEST EDITION.
9.

WATER SERVICE FOR THE PROPOSED BUILDINGS SHALL BE COORDINATED WITH THE ARCHITECTURAL PLANS FOR SIZE AND LOCATION. LATER REVISIONS TO THE ARCHITECTURAL PLANS MAY EXIST, THEREFORE, CONTRACTOR SHALL VERIFY LOCATION AND SIZE OF WATER SERVICES AS SHOWN ON ENGINEERING PLANS IS CONSISTENT WITH ARCHITECTURAL PLANS. NOTIFY ENGINEER OR OWNER IF DISCREPANCY EXISTS. FIELD LOCATION OF ALL SERVICE STUBS TO BE VISIBLY DEMARKED, SUPPLIED BY CONTRACTOR, AND SHOWN ON RECORD DRAWINGS
10.

WATER MAINS SHALL BE LOCATED AT LEAST 10- FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED SANITARY SEWER, STORM SEWER, COMBINED SEWER OR SEWER SERVICE CONNECTION. WATER MAINS MAY BE LOCATED CLOSER THAN 10- FEET TO A SEWER LINE WHEN:
 - LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF 10- FEET AND
 - THE WATER MAIN INVERT IS AT LEAST 18-INCHES ABOVE

1. WORK WITHIN AURORA AVENUE IS ONLY PERMITTED MONDAY THROUGH THURSDAY.
2. DURING SIDEWALK AND/OR PAVEMENT CONSTRUCTION, PEDESTRIANS SHALL BE ROUTED TO THE OPPOSITE SIDE OF THE ROAD TO AVOID CONFLICTS BETWEEN PEDESTRIANS AND CONSTRUCTION.
3. DURING AURORA AVE UTILITY CONSTRUCTION, PEDESTRIANS WILL BE ROUTED TO THE OPPOSITE SIDE OF THE ROAD TO AVOID CONFLICTS BETWEEN PEDESTRIANS AND CONSTRUCTION.
4. MAINTENANCE OF TRAFFIC - THE CONTRACTOR SHALL EMPLOY THE APPROPRIATE METHODS OF TRAFFIC CONTROL IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, SUCH THAT THE SAFETY OF VEHICLES, AND PEDESTRIANS IS PRESERVED AT ALL TIMES. THE ERECTION AND MAINTENANCE OF THE TRAFFIC CONTROL DEVICES SHALL BE TO THE SATISFACTION OF THE AGENCY OF JURISDICTION AND THE CITY ENGINEER.
5. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF NAPERVILLE DESIGN MANUAL, CITY OF NAPERVILLE STANDARD SPECIFICATIONS AND STANDARD DETAILS, CITY OF NAPERVILLE WORK ZONE GUIDE FOR CONSTRUCTION AND MAINTENANCE PROJECTS AND THE ILLINOIS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AND THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
6. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED RIGHT-OF-WAY, UTILITY, DEMOLITION, AND/OR EXCAVATION PERMITS PRIOR TO BEGINNING WORK WITHIN AURORA AVENUE, THE PUBLIC SIDEWALK, PARKWAY, OR OTHER PUBLIC RIGHT-OF-WAY.
7. A MINIMUM OF 48 HOURS' NOTICE SHALL BE GIVEN TO THE CITY OF NAPERVILLE PRIOR TO STARTING WORK, RESTARTING WORK AFTER AN EXTENDED STOPPAGE, IMPLEMENTING A LANE CLOSURE, OR MODIFYING THE APPROVED TRAFFIC CONTROL PLAN. THE CITY OF NAPERVILLE AT 630-420-6100, OPTION 1, UNLESS OTHERWISE DIRECTED BY THE CITY.
8. THE CONTRACTOR SHALL SUBMIT A DETAILED TRAFFIC CONTROL PLAN TO THE CITY OF NAPERVILLE FOR REVIEW AND APPROVAL PRIOR TO BEGINNING WORK WITHIN OR ADJACENT TO AURORA AVENUE, THE PUBLIC SIDEWALK, OR ANY PUBLIC RIGHT-OF-WAY. TRAFFIC CONTROL SHALL BE MAINTAINED AND ADJUSTED AS NECESSARY THROUGHOUT CONSTRUCTION.
9. THE CONTRACTOR SHALL MAINTAIN SAFE AND CONTINUOUS ACCESS FOR PEDESTRIANS TO THE MAXIMUM EXTENT PRACTICABLE. WHERE THE EXISTING SIDEWALK IS CLOSED, THE CONTRACTOR SHALL PROVIDE A SIGNED, ACCESSIBLE ALTERNATE PEDESTRIAN ROUTE OR TEMPORARY PEDESTRIAN BYPASS IN ACCORDANCE WITH MUTCD/IDOT REQUIREMENTS AND CURRENT ADA/PROWAG REQUIREMENTS.
10. TEMPORARY PEDESTRIAN ROUTES SHALL BE FIRM, STABLE, SLIP-RESISTANT, DETECTABLE, AND FREE OF ABRUPT VERTICAL CHANGES, OPEN HOLES, CONSTRUCTION DEBRIS, MUD, LOOSE STONE, EQUIPMENT, AND OTHER HAZARDS. TEMPORARY PEDESTRIAN SURFACING SHALL CONSIST OF A HARD SURFACE MATERIAL. STONE OR GRAVEL PEDESTRIAN SURFACES SHALL NOT BE PERMITTED.
11. TEMPORARY PEDESTRIAN ROUTES SHALL BE CLEARLY DELINEATED WITH BARRICADES, FENCING, DRUMS, CONES, TEMPORARY CUR



1. PEDESTRIAN DETOURS SHALL FOLLOW CITY OF NAPERVILLE STANDARD N-28A OF THE WORK ZONE GUIDE FOR CONSTRUCTION AND MAINTENANCE PROJECTS. IN CASES OF A LIMITED CLOSURE FOR UTILITY CONSTRUCTION, STANDARD N-28B BYPASS WALKWAY MAY BE UTILIZED.
2. LANE CLOSURES SHALL FOLLOW CITY OF NAPERVILLE STANDARD TA-18.

22. THE CONTRACTOR SHALL COORDINATE DEMOLITION, PAVEMENT REMOVAL, SAWCUTTING, AND UTILITY TRENCHING OPERATIONS TO AVOID UNDERMINING EXISTING SIDEWALK, CURB AND GUTTER, PAVEMENT, STRUCTURES, UTILITIES, SIGNS, STREETLIGHTS, LANDSCAPING, AND ADJACENT PRIVATE IMPROVEMENTS DESIGNATED TO REMAIN.
23. ANY SIDEWALK, CURB, PAVEMENT, PARKWAY, PAVEMENT MARKING, SIGN, UTILITY STRUCTURE, DRAINAGE STRUCTURE, OR OTHER PUBLIC IMPROVEMENT DAMAGED OR REMOVED BY THE CONTRACTOR SHALL BE RESTORED TO CITY OF NAPERVILLE STANDARDS AND TO THE SATISFACTION OF THE CITY. SIDEWALK REPLACEMENT SHALL EXTEND TO THE NEAREST JOINT UNLESS OTHERWISE APPROVED BY THE CITY.
24. TEMPORARY PAVEMENT, TRENCH PLATES, SIDEWALK BRIDGING, OR TEMPORARY SIDEWALK SURFACING SHALL BE MAINTAINED FLUSH WITH ADJACENT SURFACES TO THE GREATEST EXTENT PRACTICABLE AND SHALL BE RAMPED OR BEVELED AS NECESSARY TO AVOID TRIPPING HAZARDS AND ABRUPT CHANGES IN LEVEL.
25. THE CONTRACTOR SHALL NOT STORE EQUIPMENT, MATERIALS, DUMPSTERS, DEBRIS, SPILL PILLION MATERIALS WITHIN THE PUBLIC SIDEWALK, PEDESTRIAN ROUTE, ROADWAY, OR SIGHT-DISTANCE AREA UNLESS SPECIFICALLY SHOWN ON THE APPROVED TRAFFIC CONTROL PLAN AND APPROVED BY THE CITY.
26. CONSTRUCTION DEBRIS, MUD, STONE, AND TRACKING SHALL BE REMOVED FROM AURORA AVENUE, SIDEWALKS, DRIVEWAYS, AND PEDESTRIAN ROUTES DAILY OR AS DIRECTED BY THE CITY.
27. WORK ZONE SIGNS, BARRICADES, DRUMS, CONES, ARROW BOARDS, FLAGGERS, TEMPORARY PAVEMENT MARKINGS, PEDESTRIAN DETOUR SIGNS, AND OTHER TEMPORARY TRAFFIC CONTROL DEVICES SHALL BE CONSIDERED INCIDENTAL TO THE WORK UNLESS OTHERWISE NOTED.
28. THE CONTRACTOR SHALL MODIFY, SUPPLEMENT, OR REMOVE TRAFFIC CONTROL DEVICES AS DIRECTED BY THE CITY, ENGINEER, OR FIELD CONDITIONS TO MAINTAIN SAFE VEHICULAR AND PEDESTRIAN MOVEMENTS THROUGHOUT CONSTRUCTION.
29. PEDESTRIAN DETOURS SHALL FOLLOW CITY OF NAPERVILLE STANDARD N-28A OF THE WORK ZONE GUIDE FOR CONSTRUCTION AND MAINTENANCE PROJECTS. IN CASES OF A LIMITED CLOSURE FOR UTILITY CONSTRUCTION, STANDARD N-28B BYPASS WALKWAY MAY BE UTILIZED.
30. LANE CLOSURES SHALL FOLLOW CITY OF NAPERVILLE STANDARD TA-18.



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			DRAWN	JD
			APPROVED	ST
			DATE	06/12/2020
DATE	DESCRIPTION OF REVISION	BY	SCALE	1" = 20'

TRAFFIC CONTROL & DETOUR PLAN

AURORA AVENUE PROFESSIONAL BUILDING

NAPERVILLE, ILLINOIS

SHEET	
13	OF 13
PROJECT NUMBER:	5268
MACKIE CONSULTANTS LLC, 2026	
ILLINOIS FIRM LICENSE 184-002694	

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