

# Additions & Renovations to: *The Fitch Residence*

32 South Wright Street  
Naperville, IL 60540

May 6, 2019

ABBREVIATIONS			
ACT.	ACoustICAL TILE	INFO.	INFORMATION
A.F.F.	ABOVE FIN. FLR.	INSUL.	INSULATION
ALUM.	ALUMINUM	INT.	INTERIOR
ALT.	ALTERNATE	JT.	JOINT
BL.	BLOCK	MANU.	MANUFACTURED
BLDG.	BUILDING	MAS.	MASONRY
BLKG.	BLOCKING	MAT.	MATERIAL
BRG.	BEARING	M.C.	MINISTRY CENTER
B.PL.	BEARING PLATE	MECH.	MECHANICAL
CAB.	CABINET	NET	METAL
C/C	CONTRACTOR SUPPLIED	MIN	MINIMUM
	CONTRACTOR INSTALLED	M.O.	MASONRY OPEN.
CJ	CONTROL JOINT	MTD	MOUNTED
CLG.	CELLING	O.C.	ON CENTER
CMU	CONC. MAS. UNIT	O/C	OWNER SUPPLIED
CPT.	CARPET	CI	CENTER INSTALLED
C/O	CONTRACTOR SUPPLIED	O.D.	OUTSIDE DIM.
	OWNER INSTALLED	O/O	OWNER SUPPLIED/
			INSTALLED
COL.	CONCRETE	PR.	PAIR
CONC.	CONCRETE	PTD	PAINTED
CONT.	CONTINUOUS	R.	RADIUS
C.T.	CERAMIC TILE	RD.	ROOF DRAIN
DET.	DETAIL	REINF.	REINFORCING
DR	DOOR	REQ'D	REQUIRED
D.S.	DOWN SPOUT	R.O.	ROUGH OPENING
E.A.	EACH	S.C.	STRUCTURAL
E.E.	EACH END	S.C.	SOLID CORE
E.J.	EXPANSION JOINT	SCHED.	SCHEDULE
E.O.	ELECTRICAL OUTLET	SHT	SHEET
EL.	ELEVATION	SIM.	SIMILAR
EQ.	EQUAL	S.S.	STAINLESS STEEL
EXIST.	EXISTING	STL.	STEEL
EXT.	EXTERIOR	STN & V	STAIN & VARNISH
FAB.	FABRICATE(D)	T/	TOP OF
FDN.	FOUNDATION	T&B	TOP & BOTTOM
FEC	FIRE EXTINGUISHER	T&G	TONGUE & GROVE
FEW	FIRE EXTINGUISHER	TLT.	TOILET
	WALL MOUNTED	T.O.S.	TOP OF STEEL
	FIRE EXTINGUISHER	T.O.W.	TOP OF WALL
FLR.	FLOOR	T.S.	TUBE STEEL
FTG.	FOOTING	TYP.	TYPICAL
GA.	GAUGE	U.N.O.	UNLESS NOTED
GALV.	GALVANIZED	VCT	VINYL COMPOSITION TILE
G.C.	GENERAL CONTRACTOR	V.I.F.	VERIFY IN FIELD
		W/	WITH
		WD	WOOD

MATERIALS			
	EARTH		WOOD, ROUGH
	FILL		WOOD, FINISH
	GRAVEL		BATT INSUL.
	CONCRETE		RIGID INSUL.
	BRICK		PLYWOOD
	BLOCK		WIRE FABRIC
	LIMESTONE		CERAMIC TILE
	CORK BOARD		

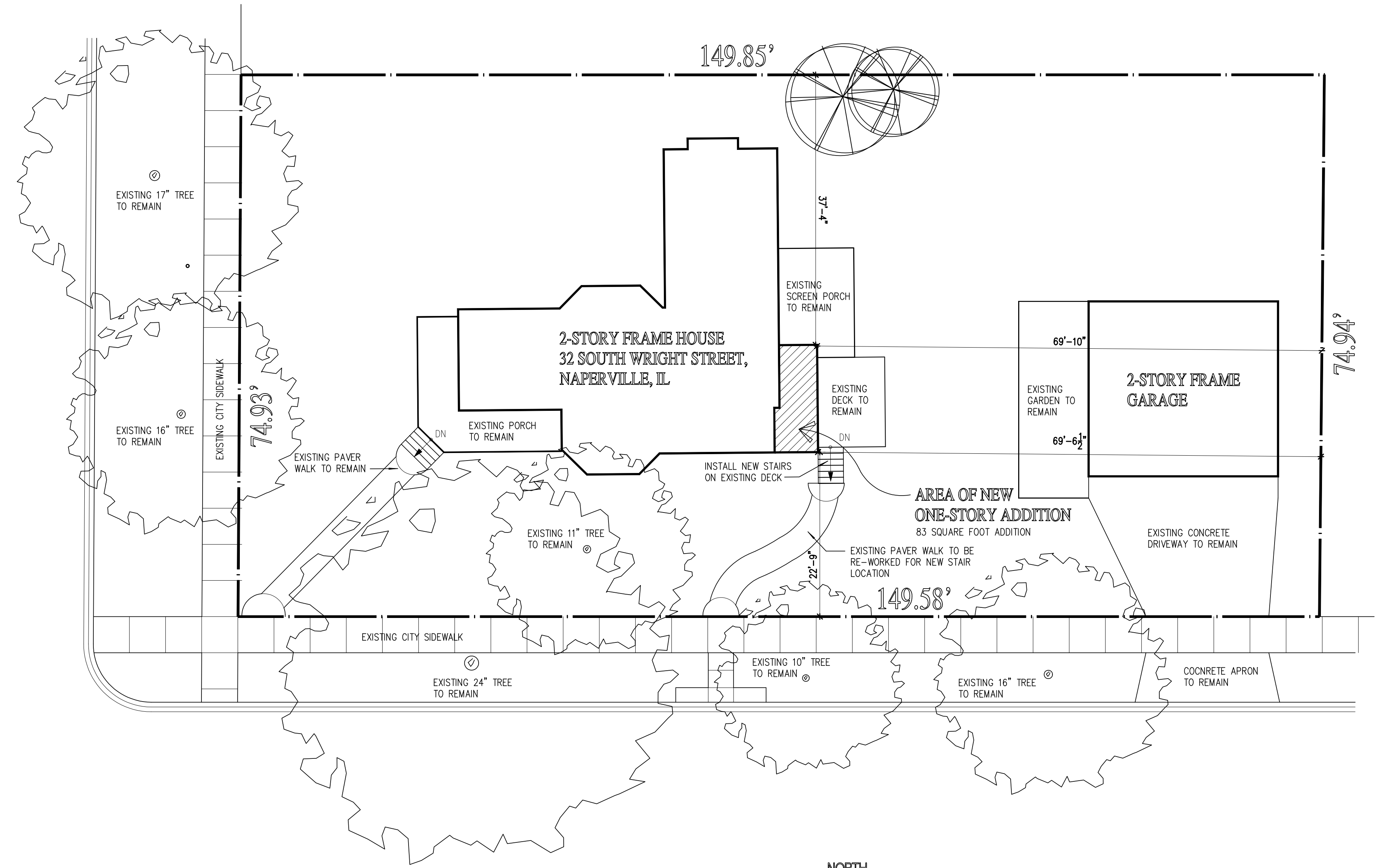
SYMBOLS	
	PLAN TITLE
	DETAIL SECTION
	BUILDING SECTION
	EXTERIOR ELEVATION
	DETAIL TITLE
	ELEVATION REFERENCE
	DEMOLITION NOTE
	ACCESSORY TAG
	REVISION
	PARTITION TAG
	ROOM TAG
	DETAIL BUBBLE TAG
	COLUMN LINE
	EXISTING DOOR
	NEW DOOR

DRAWING INDEX	
T-1	SITE PLAN & TITLE SHEET
A1.1	FLOOR PLANS AND DEMOLITION PLANS
A1.2	FOUNDATION PLAN
A2.1	EXTERIOR ELEVATIONS

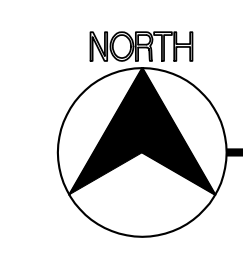
GOVERNING CODES	
Current Naperville Zoning Ordinance	
2018 International Residential Code w/ Naperville Amendments	
2017 National Electric Code w/ Amendments	
Current Illinois Plumbing Code	
2018 International Mechanical Code w/ Amendments	
2018 International Fuel Gas Code w/ Amendments	
2018 International Energy Code w/ Amendments	

WRIGHT STREET



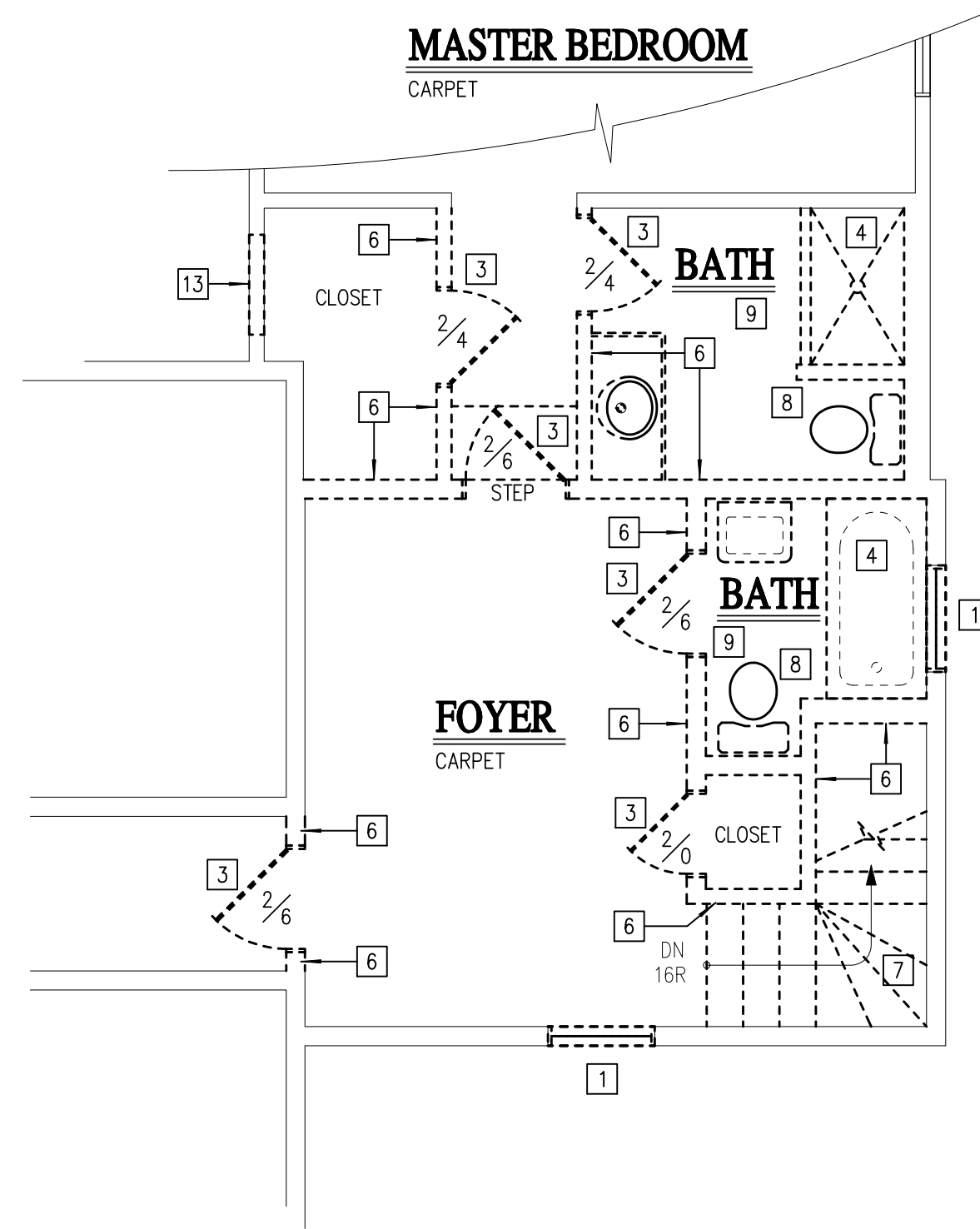
ALLEY

VAN BUREN STREET



PROPOSED SITE PLAN  
1" = 10'-0"

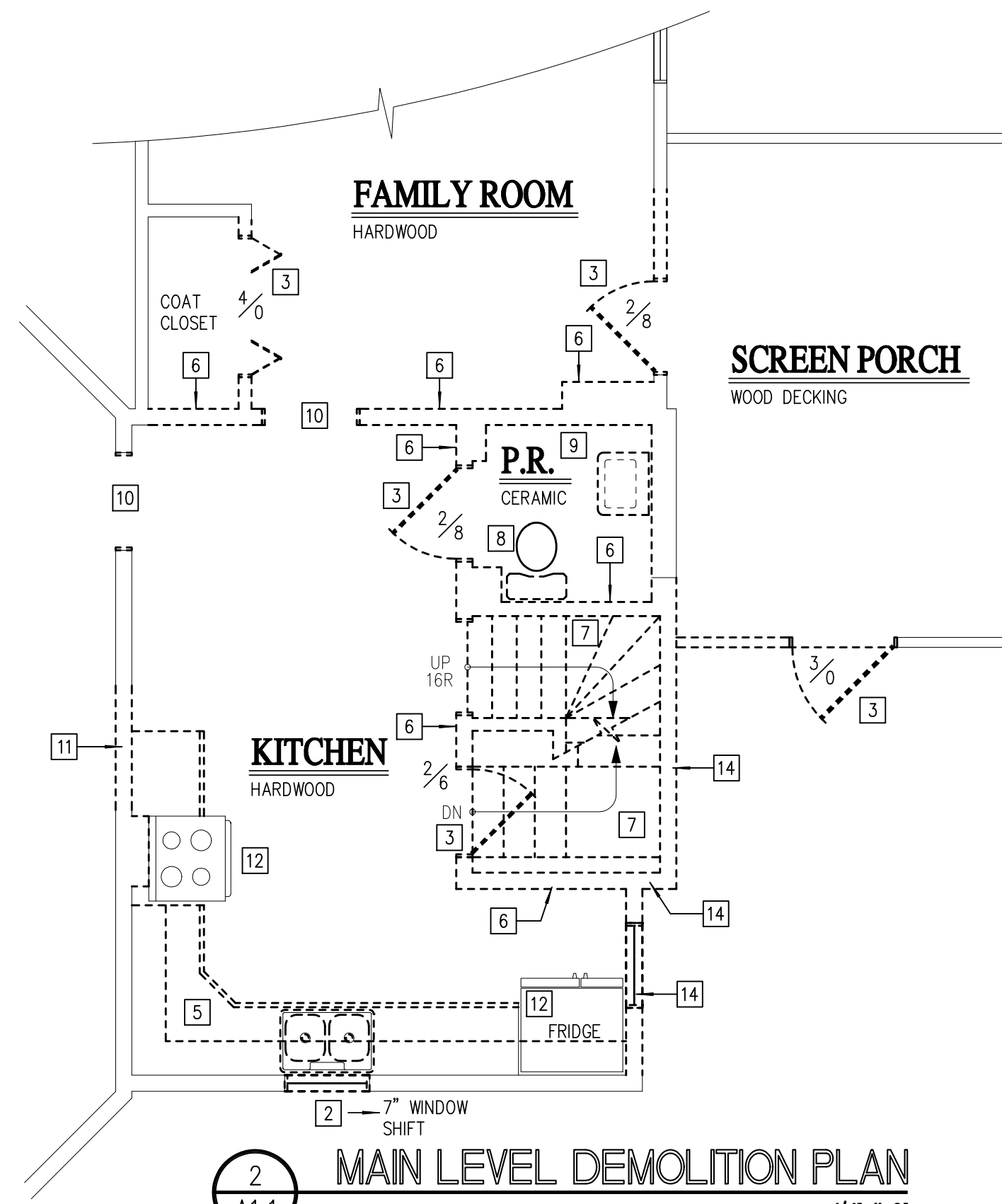
FITCH -- REVISED COA SET
MAY 6, 2019
T-1



1  
A1.1  
**UPPER LEVEL DEMOLITION PLAN**  
1/4"=1'-0"

**DEMOLITION PLAN KEY NOTES**

- 1 REMOVE EXISTING WINDOW AND PATCH OPENING IN WALL.
- 2 REMOVE EXISTING WINDOW UNIT AND MODIFY EXISTING RO AS NECESSARY FOR NEW WINDOW UNIT.
- 3 REMOVE EXISTING DOOR AND SALVAGE FOR OWNER IF DESIRED.
- 4 REMOVE EXISTING TUB OR SHOWER UNIT.
- 5 REMOVE EXISTING CABINETS, COUNTERS, PLUMBING FIXTURES AND APPLIANCES IN KITCHEN.
- 6 REMOVE EXISTING WALL.
- 7 REMOVE EXISTING STAIR CASES COMPLETELY.
- 8 REMOVE EXISTING TOILET AND ROUGH PLUMBING.
- 9 REMOVE ALL FIXTURES AND FINISHES IN EXISTING BATHROOM.
- 10 REMOVE EXISTING CASED OPENING AND SALVAGE TRIM FOR POSSIBLE RE-USE.
- 11 CUT OPENING IN EXISTING WALL FOR NEW DOORWAY. PROVIDE STRUCTURAL HEADER.
- 12 REMOVE APPLIANCES AND RECYCLE.
- 13 SAW CUT OPENING IN EXISTING EXTERIOR WALL FOR NEW AWNING WINDOW UNIT. PROVIDE STRUCTURAL HEADER.
- 14 REMOVE THIS SECTION OF EXTERIOR WALL COMPLETELY FOR NEW ADDITION. PROVIDE STRUCTURAL BEAM PER FRAMING PLANS.



2  
A1.1  
**MAIN LEVEL DEMOLITION PLAN**  
1/4"=1'-0"

**FLOOR PLAN GENERAL NOTES**

1. ALL FLOOR JOIST MATERIAL IS ASSUMED TO BE SPRUCE-PINE-FIR UNLESS NOTED OTHERWISE.
2. CONTRACTOR SHALL PROVIDE 1/2" EXTERIOR GRADE PLYWOOD OR 7/16" EXTERIOR GRADE OSB FOR ALL WALL SHEATHING MATERIAL.
3. REFER TO EXTERIOR ELEVATIONS FOR WINDOW SILL ELEVATIONS.
4. ALL EXTERIOR WALL DIMENSIONS SHOWN DO NOT INCLUDE SIDING OR EXTERIOR TRIM.
5. ALL HEADERS SHALL BE A TRIPLE 2 X 12 WITH FURRING AS NECESSARY.
6. ALL JOIST & RAFTER SIZES ARE BASED ON THE WESTERN WOOD PRODUCTS, SPAN BOOK WITH THE FOLLOWING STRUCTURAL VALUES:

F <sub>b</sub>	2 X 8	2 X 10	2 X 12
NO.1 /NO.2			
SINGLE MEMBER	1050	960	875
REPETITIVE USE	1210	1105	1005

MODULES OF ELASTICITY = 1,400,000 PSI

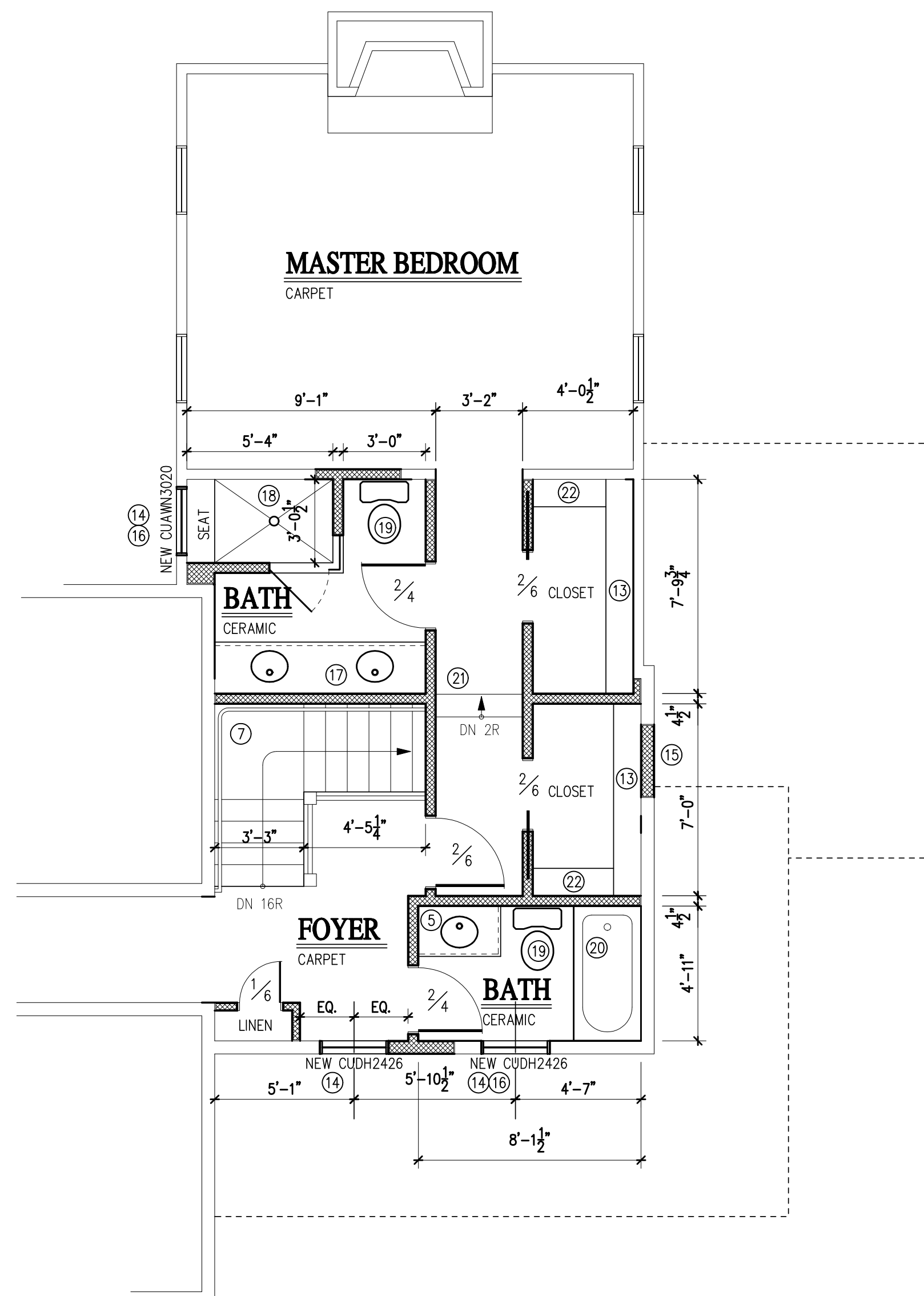
7. ALL WALLS AND CEILINGS ARE TO BE 1/2" DRYWALL WITH A PAINTED FINISH.
8. ALL LVL MEMBERS SHALL HAVE MINIMUM F<sub>b</sub> OF 2600 psi AND A MINIMUM M-O-E OF 1,900,000 psi.
9. MULTIPLE LVL MEMBERS SHALL BE NAILED WITH THREE ROWS OF 16d NAILS AT 12" O.C. HORIZONTALLY. ROWS OF NAILS AT THE TOP AND BOTTOM OF THE MEMBER SHALL BE 2" FROM THE MEMBER EDGE.
10. ALL HANDRAILS SHALL BE MOUNTED AT 34" ABOVE THE TIP OF THE STAIR TREADS.
11. ALL LOAD BEARING COLUMNS SHALL BE BLOCKED TO STEEL OR WOOD SUPPORT BEAM BELOW.
12. ALL DOORS AND WINDOWS SHALL HAVE A U-VALUE OF .32 OR LESS. SKYLIGHTS SHALL HAVE A U-VALUE OF .55 OR LESS.
13. ALL STAIRS TO HAVE A MINIMUM HEADROOM HEIGHT OF 80" FROM THE PLANE OF THE NOSING.

**TYPICAL DESIGN LOADS**

FLOOR LOADS IN ALL AREAS	40 PSF LL	10 PSF DL
WALL LOAD	60 PLF (UNLESS NOTED OTHERWISE)	
ROOF LOAD	30 PSF LL	10 PSF DL
EXTERIOR DECK	40 PSF LL	10 PSF DL

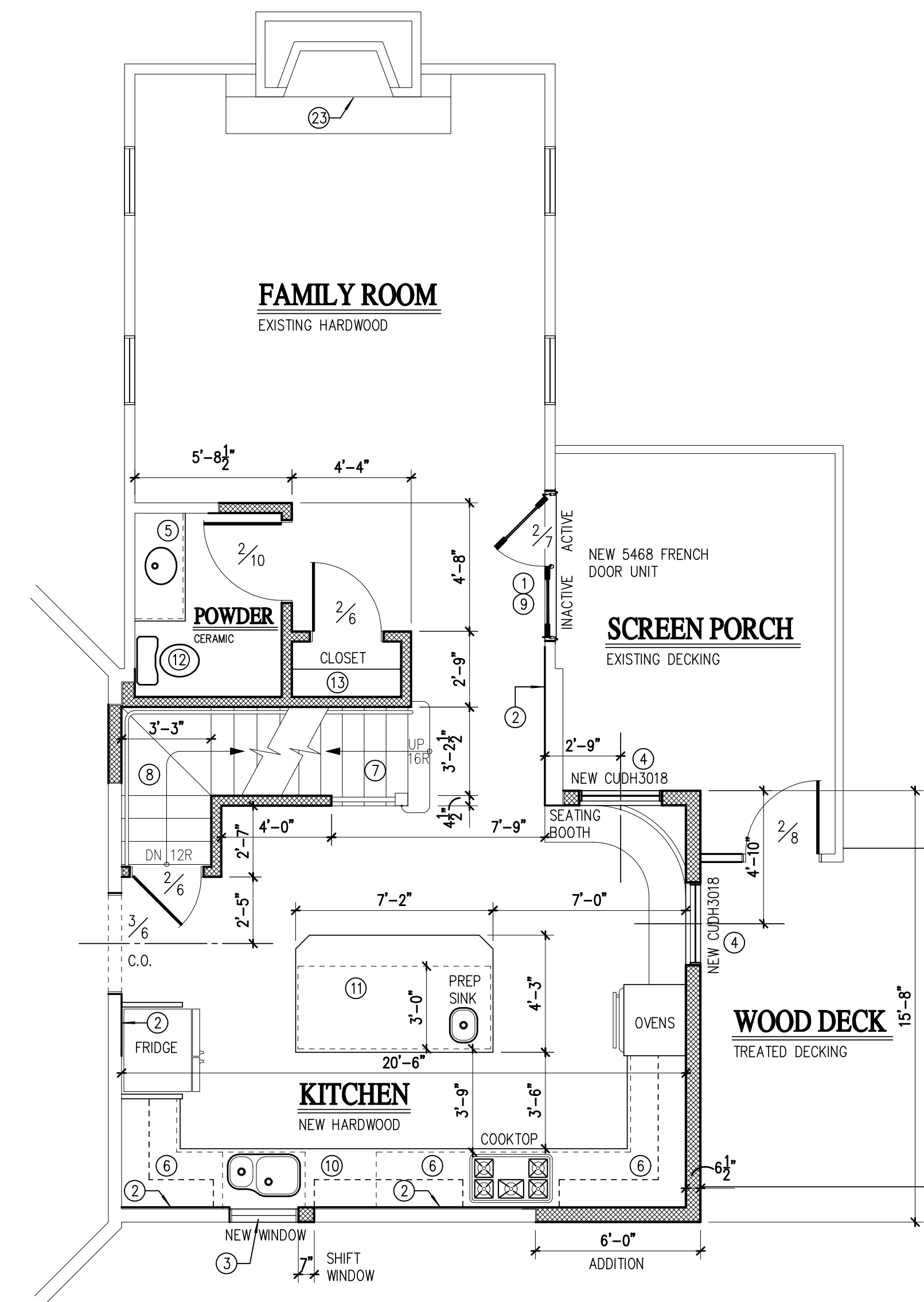
**FLOOR PLAN KEY NOTES**

- 1 NEW FRENCH ENTRY DOOR. HOLD EXISTING ROUGH OPENING ON THE SOUTH END AND EXPAND TO THE NORTH.
- 2 PATCH EXISTING WALL SURFACE AFTER REMOVAL OF EXISTING PLASTER/WALL MATERIALS.
- 3 PROVIDE NEW WINDOW TO REPLACE EXISTING. MODIFY ROUGH OPENING AS NECESSARY.
- 4 NEW WINDOW IN NEWLY FRAMED WALL.
- 5 NEW VANITY CABINET & COUNTER WITH SINK AS SHOWN.
- 6 NEW UPPER & LOWER KITCHEN CABINETS WITH STONE COUNTER.
- 7 COMPLETELY NEW STAIRCASE BETWEEN THE MAIN & UPPER LEVELS. PROVIDE CODE COMPLIANT GAIRDRAILS AND HANDRAILS.
- 8 COMPLETELY NEW CARPENTER-BUILT STAIRCASE TO BASEMENT. PROVIDE CODE COMPLIANT HANDRAIL ON ONE SIDE.
- 9 PROVIDE SAFETY GLAZING IN THIS DOOR OR WINDOW UNIT.
- 10 DISHWASHER NEXT TO SINK CABINET.
- 11 NEW ISLAND CABINETS WITH STONE COUNTER AND OVERHANG FOR SEATING.
- 12 NEW LOCATION FOR POWDER ROOM TOILET. REVISE ROUGH PLUMBING AS NECESSARY.
- 13 PROVIDE CLOSET SHELF AND CLOTHES HANGING ROD.
- 14 CUT NEW WINDOW IN EXISTING WALL. PROVIDE STRUCTURAL HEADER.
- 15 PATCH OPENING IN EXISTING WALL AFTER REMOVAL OF OLD WINDOW.
- 16 PROVIDE TEMPERED GLAZING FOR THIS WINDOW UNIT.
- 17 NEW VANITY CABINETS, STONE COUNTER AND SINKS AS SHOWN.
- 18 PROVIDE MUD BED SHOWER, SLOPED TO DRAIN WITH TILE WALLS AND FRAMELESS GLASS SHOWER DOOR.
- 19 PROVIDE NEW TOILET ON NEW ROUGH PLUMBING.
- 20 NEW STANDARD SIZE BATHTUB UNIT WITH FILLER AND VALVE.
- 21 TWO RISER STAIR IN HALLWAY.
- 22 PROVIDE SHELVING UNIT AT END OF CLOSET.
- 23 CUT AND PATCH DRYWALL AS NECESSARY FOR NEW CABLE AND ELECTRIC ABOVE FIREPLACE.



**Revised Upper Level Plan**

SCALE 1/4"=1'-0"



**Revised Main Level Plan**

SCALE 1/4"=1'-0"

Additions & Renovations to:  
**The Fitch Residence**

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32 South Wright Street

**Renovation Creations LLC**  
 11516 McGrath Lane, Naperville, IL 60564  
 630-336-0937 joelkristianson@gmail.com



JOB NO:

ISSUE DATE

5-6-2019

REV COA SET

REVISIONS

REVISED FLOOR PLAN DRAWINGS

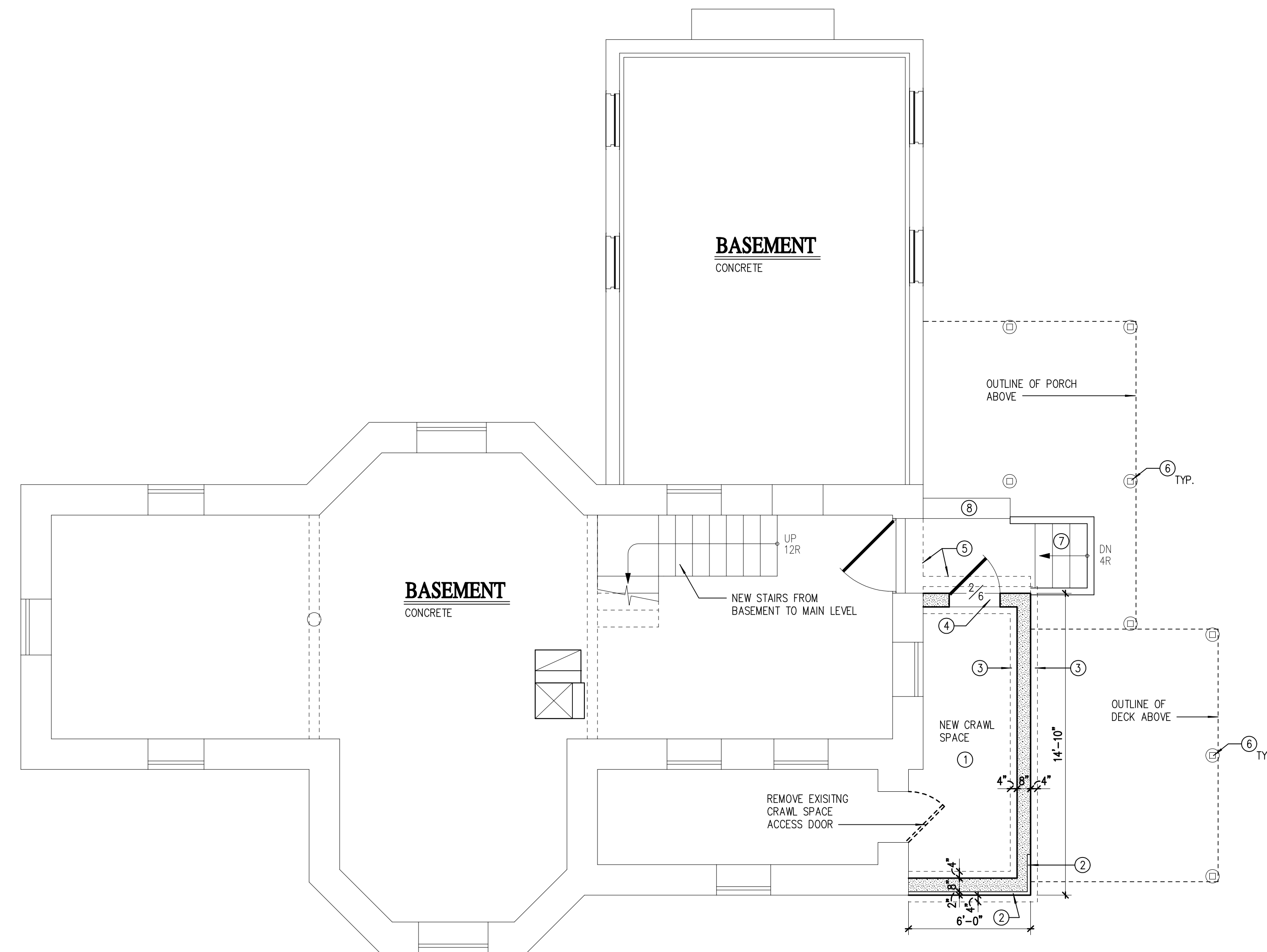
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**FOUNDATION PLAN GENERAL NOTES**

1. ALL BACKFILL MATERIAL AT DRIVEWAYS, SIDEWALKS AND INTERIOR CONCRETE SLABS SHALL BE SELF-COMPACTING GRANULAR FILL.
2. CONCRETE CONTRACTOR TO PROVIDE **GALVANIZED** ANCHOR BOLTS AT 4' O.C., TYPICAL.
3. ALL CONCRETE FOUNDATION WALLS SHALL BE AS NOTED ON THE DRAWING. ALL FOOTINGS SHALL BE 16" WIDE X 8" DEEP UNLESS NOTED OTHERWISE.
4. ALL EXTERIOR WALLS SHALL BE FRAMED USING 2 X 6 STUDS @ 16" O.C.
5. SOIL BEARING SHALL BE 3000 psf MINIMUM.
6. POURED CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 3000 psi WHEN TESTED AT 28 DAYS.
7. PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL WALLS UNLESS NOTED OTHERWISE.
8. PROVIDE JOIST BRIDGING FOR EVERY 8' OF UNSUPPORTED JOIST SPAN. BC JOISTS DO NOT REQUIRE BRIDGING.
9. CONCRETE CONTRACTOR TO PROVIDE (2) #4 R-BAR IN TOP AND BOTTOM OF ALL FOUNDATION WALLS.
10. POURED CONCRETE SLABS IN THE BASEMENT, OUTSIDE SIDEWALKS AND FOR THE GARAGE SHALL NOT BE LESS THAN 4000psi WHEN TESTED AT 28 DAYS.

**FLOOR PLAN KEY NOTES**

- ① PROVIDE NEW 3" THICK CRAWL SPACE SLURRY SLAB. SLAB ELEVATION WILL BE ROUGHLY THAT OF CURRENT GRADE THEREFORE A DRAIN TILE WILL NOT BE REQUIRED.
- ② PROVIDE A 2" RECESSED LEDGE IS FOUNDATION WALL FOR NATURAL STONE VENEER TO MATCH EXISTING FOUNDATION AS BEST AS POSSIBLE.
- ③ LINE OF FOOTING BELOW
- ④ PROVIDE LOCKABLE CRAWL SPACE ACCESS DOOR FROM CURRENT STAIRWELL
- ⑤ DASHED LINE DENOTES OVERHANG OF MAIN LEVEL FRAMING ABOVE.
- ⑥ EXISTING FRAMING AND FOUNDATIONS FOR SCREEN PORCH AND DECK ARE TO REMAIN AS POSSIBLE.
- ⑦ EXISTING CONCRETE BASEMENT ACCESS STAIRS TO REMAIN.
- ⑧ EXISTING STONE RETAINING WALL TO REMAIN.



**Revised Basement Level Plan**

SCALE 1/4"=1'-0"

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FOUNDATION PLAN

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**GENERAL ELEVATION NOTES**

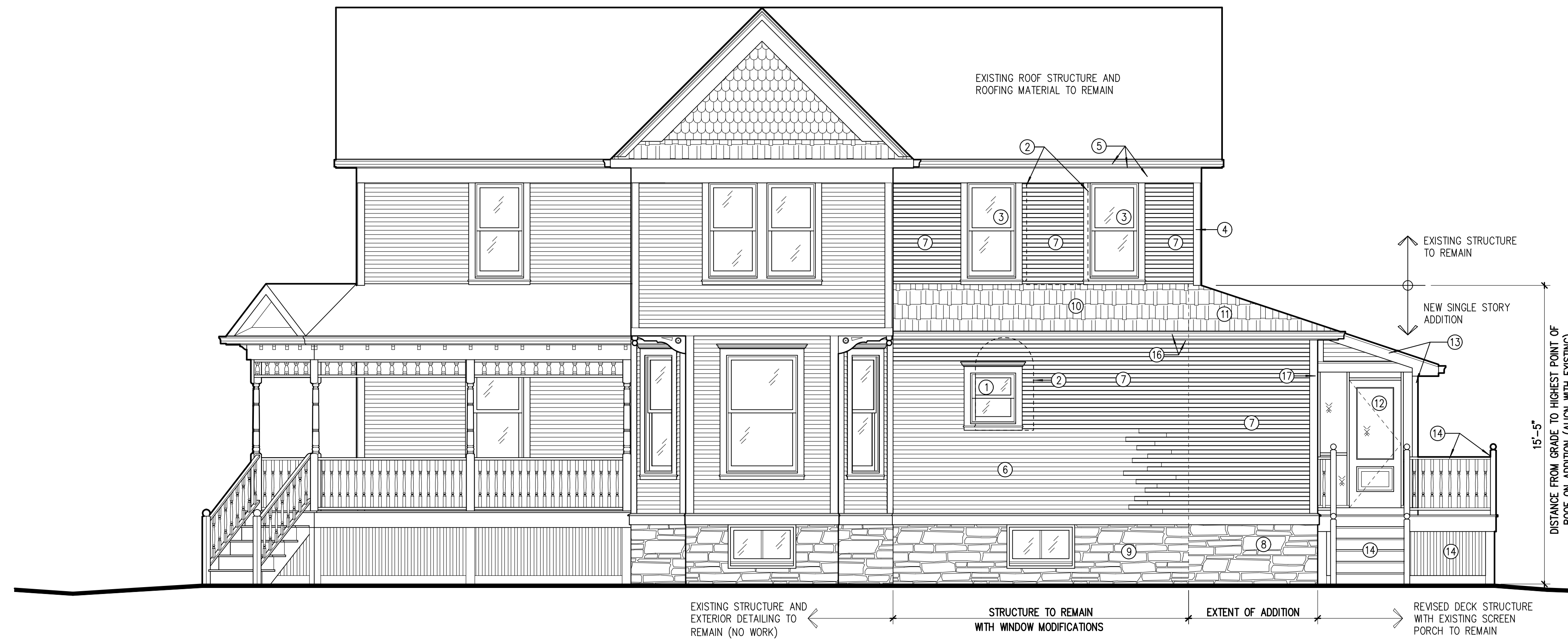
1. ALL EXISTING SIDING, EAVES, GUTTERS AND TRIM TO REMAIN UNLESS SPECIFICALLY NOTED.
2. NO EXISTING SIDING OR TRIM IS TO BE PAINTED UNLESS IT IS DISTURBED BY THE WORK.
3. EXISTING WINDOWS AND DOORS ARE TO REMAIN UNLESS NOTED TO BE REMOVED OR REPLACED.

**TYPICAL ELEVATION MATERIALS**

1. ALL NEW SOFFITS ARE PAINTED WOOD TO MATCH EXISTING.
2. ALL NEW FASCIA IS WOOD TO MATCH EXISTING.
3. ALL DECKING TO BE TRIMMED WITH CEDAR OR TREATED MATERIALS.
4. ALL ROOFING MATERIAL IS TO BE 30 YEAR ARCHITECTURAL ASPHALT SHINGLE TO MATCH EXISTING.
5. ALL CORNER BOARDS SHALL BE 5/4 WOOD TO MATCH EXISTING.
6. ALL NEW SIDING MATERIAL IS TO BE 3" PAINTED WOOD TO MATCH EXISTING.

**ELEVATION KEY NOTES**

1. REPLACE EXISTING WINDOW UNIT WITH NEW MARVIN CLAD ULTIMATE DOUBLE HUNG WINDOW. PATCH IN EXISTING ARCH ABOVE WINDOW. WINDOW IS SHIFTING APPROXIMATELY 7" TO THE WEST IN ORDER TO ALIGN WITH THE WINDOW ON THE UPPER LEVEL.
2. OUTLINE OF EXISTING WINDOW TO BE RELOCATED OR REMOVED.
3. PROVIDE NEW CLAD ULTIMATE DOUBLE HUNG MARVIN WINDOW UNIT TO MATCH EXISTING WINDOWS PREVIOUSLY REPLACED.
4. EXISTING CORNER TRIM TO REMAIN. REPAINT AS NECESSARY.
5. EXISTING FRIEZE, SOFFIT, FASCIA AND GUTTER TO REMAIN.
6. AREA OF EXISTING WOOD SIDING TO REMAIN. REPAINT THIS WALL AFTER INSTALLATION OF NEW SIDING.
7. AREA OF NEW WOOD SIDING TO MATCH EXISTING. CURRENT SIDING TO BE MATCHED IS 3" REVEAL PAINTED BEVEL WOOD SIDING.
8. VENEER CUT STONE COVERING ON NEW FOUNDATION WALL.
9. EXISTING STONE FOUNDATION TO REMAIN.
10. RE-ROOF EXISTING SHED ROOF TO MATCH AFTER JOINING ROOF ADDITION. NEW SHINGLES TO BE ARCHITECTURAL ASPHALT TO MATCH ALL OTHER EXISTING ROOFS.
11. AREA OF NEW ROOF ADDITION. BLEND WITH EXISTING ROOF AND COVER WITH ARCHITECTURAL ASPHALT SHINGLES TO MATCH.
12. PROVIDE NEW SCREEN DOOR FOR EXISTING SCREEN PORCH.
13. EXISTING SCREEN PORCH AND ROOF TO REMAIN. NO WORK OTHER THAN MOVING THE DOOR.
14. RE-BUILD AND RE-COVER EXISTING DECK. PROVIDE NEW RAILINGS, SPINDLES AND SKIRTS TO MATCH EXISTING FRONT PORCH. MATERIAL TO BE TREATED YELLOW PINE PAINTED TO MATCH COLOR SCHEME ON THE FRONT PORCH.
15. NEW MARVIN CLAD ULTIMATE DOUBLE HUNG WINDOW IN ADDITION.
16. PROVIDE NEW WOOD SOFFITS, FASCIA, GUTTER AND FRIEZE BOARDS TO MATCH EXISTING.
17. PROVIDE NEW WOOD CORNER BOARDS TO MATCH EXISTING. PAINT TO MATCH.
18. CUT IN A NEW MARVIN CLAD ULTIMATE AWNING WINDOW AS SHOWN. EXISTING ADJACENT SIDING AND EXTERIOR TRIM IS TO REMAIN. PAINT THE NEW WINDOW TRIM TO MATCH.



**Proposed South (Side) Elevation**

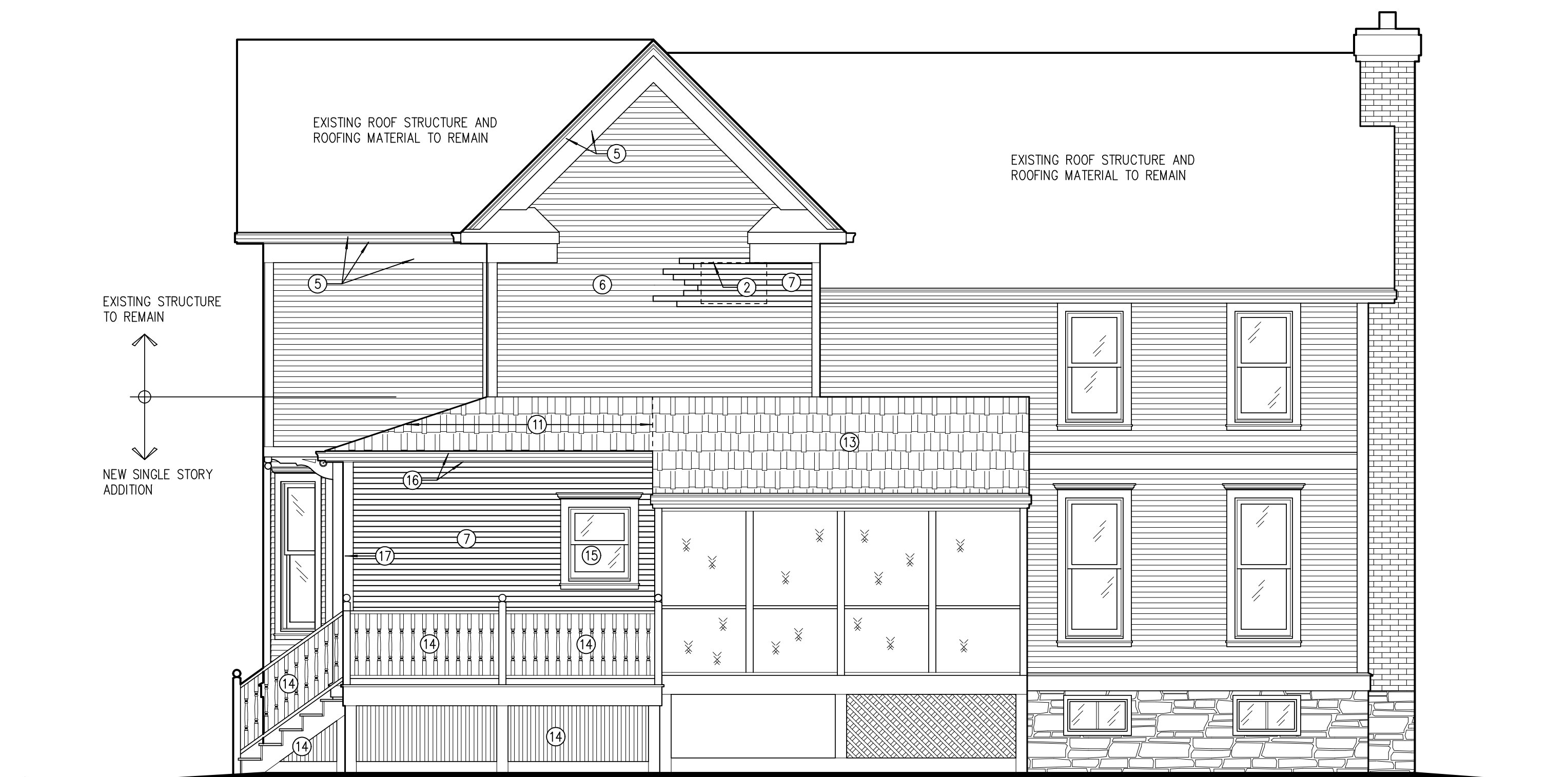
SCALE 1/4"=1'-0"



NOTE:  
THE ONLY WORK VISIBLE ON THIS ELEVATION IS THE ADDITION OF AN AWNING WINDOW IN THE BATHROOM AS NOTED.

**Proposed West (Front) Elevation**

SCALE 1/4"=1'-0"



**Proposed East (Rear) Elevation**

SCALE 1/4"=1'-0"

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REVISIONS

**EXTERIOR ELEVATIONS**

**A2.1**