

**Supplemental Information  
Submitted for Historic  
Preservation Commission  
Review**



## CITY OF NAPERVILLE

TRANSPORTATION, ENGINEERING, & DEVELOPMENT (T.E.D.) BUSINESS GROUP

### **HISTORIC PRESERVATION COMMISSION CERTIFICATE OF APPROPRIATENESS (COA) APPLICATION PACKET**

This application form is used for the Historic Preservation Commission's review of COA applications.

**PLEASE TYPE OR PRINT CLEARLY. \*\*\*\*NO MAIL-IN APPLICATIONS WILL BE ACCEPTED\*\*\*\***

1. **OWNER/APPLICANT (REQUIRED INFORMATION)**

Property Address:	140 and 126 N. Wright St., Naperville, IL 60540
Applicant Name(s):	RAM West Capital LLC
Address/Zip:	127 Aurora Avenue, Naperville, IL 60540
Telephone – Day/Evening:	708-259-7713
Fax (optional):	
Email:	bill.novak.51@gmail.com
Property Owner Name(s):	Little Friends, Inc.
Address/Zip:	140 N. Wright St., Naperville, IL 60540
Telephone – Day/Evening	630-355-6533 ext. 1828

2. PICTURES OF EXISTING STRUCTURE OR PORTION OF STRUCTURE TO BE MODIFIED

Provide color photos (clearly labeled) or a building elevation diagram to show the existing structure or portion of structure that would be affected by the proposed work.

3. PROPOSED WORK (Check all that apply)

A COA from the Historic Preservation Commission is required for the following works performed on the primary façade (street-facing façade) of the principal building, fences, driveways or attached garages. Please refer to Exhibit A for a list of improvements that are waived from the COA requirement or are eligible for fast track (staff level) approval.

	<b>Improvement Type*</b>	<b>A COA from the Commission is required for the following:</b>
<input checked="" type="checkbox"/>	Doors	New opening, a change in style or opening, or use of material that is not wood or original material
<input checked="" type="checkbox"/>	Windows	New opening, a change in style or opening, or use of material other than wood or aluminum clad wood
<input checked="" type="checkbox"/>	Roofs	A change in height or pitch; or use of material other than asphalt or original material.
<input checked="" type="checkbox"/>	Exterior Building Materials	A change in reveal or profile; or use of material other than wood, fiber cement board or original material.
<input checked="" type="checkbox"/>	Porches	New enclosure, a change in size or style, or use of material that is not one of the following: <ol style="list-style-type: none"> <li>1. Replacement of porch columns with use of wood, plaster or cement materials;</li> <li>2. Replacement of porch flooring with use of wood or composite decking materials; or</li> <li>3. Replacement of other porch components with use of wood or original material.</li> </ol>
<input type="checkbox"/>	Shutters and Awnings	A change in size, style or new addition
<input checked="" type="checkbox"/>	New Principal Structure	The primary façade of the new structure
<input checked="" type="checkbox"/>	Additions	The primary façade of the addition
<input type="checkbox"/>	Modifications to the Primary Façade	Any modifications that will change the appearance of the original Improvement.
<input checked="" type="checkbox"/>	Demolition	Demolition of a principal structure in whole; removal without replacement of original architectural features contributing to the style of the principal building or structure
<input type="checkbox"/>	Driveways	New or relocated street access that is more than five feet (5') from the existing street access.

<input type="checkbox"/>	Fences	Along the street: fences constructed of materials other than wood or iron open picket
<input type="checkbox"/>	Attached Garage	New attached garages
<input type="checkbox"/>	Solar Panels and Skylights	Solar Panels and Skylights on Principal Structures

**\*A building permit may also be required for the above improvements. Please contact the Development Services Department at 630-420-6100 (press "2") to confirm.**

4. DESCRIPTION OF PROPOSED WORK (attach a separate sheet as needed)

- A. If demolition is proposed, describe the scope of the demolition in detail, including a list of original features to be removed or replaced from the primary façade of the building.

See attached

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- B. Describe the proposed work in full detail, including materials, style and specifications of key items (e.g., windows and trim; siding and reveal, soffit, fascia, and gutters; porch rails, balustrades, pillars, decking, and ceiling; roofing; exposed foundation; fencing; etc.).

See attached

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C. Describe how the proposed work will affect any external architectural features of the structure.

See attached

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D. Attach drawings and specifications (not to exceed 11”X17” in size) to include:

- Address of property
- Date of most recent revision
- Site Plan to include:
  - i. Measurements of the lot
  - ii. Existing buildings
  - iii. Proposed modifications or additions with the distance from front, back, and side lot lines labeled.
- Demolition Plan to clearly identify any portion of the structure to be demolished, even if it will be replaced with a similar structure or building addition.
- Building Elevations of proposed modifications or building additions to include:
  - i. A key that specifies the location and details of proposed building materials and styles.
  - ii. Height of any proposed building additions or new structures.

5. FACTORS FOR CONSIDERATION OF A CERTIFICATE OF APPROPRIATENESS APPLICATION RESPONSES (attach a separate sheet as needed)

Respond to the factors for consideration below that demonstrate the need and appropriateness of your request. Example responses to each factor can be found in Exhibit F. Your responses will be forwarded to the Historic Preservation Commission along with the staff memo. **Before responding to the standards, review the Historic Building Design and Resource Manual (<https://www.naperville.il.us/contentassets/7fed1bf2ba19496fa9a037f019616748/cdg-historic-building-design-and-resource-manual.pdf>) against your proposed changes.** If your proposed changes are not listed in the Historic Building Design and Resource Manual as “encouraged” or “acceptable” changes, please respond to 5.3 and 5.4. If the changes are considered “encouraged” or “acceptable” please write “N/A” for 5.3 and 5.4. Please provide thorough responses to each of the standards below.

Factors For Consideration Of A Certificate Of Appropriateness Application:

5.1. Compatibility With District Character: The Commission and Zoning Administrator shall consider the compatibility of the proposed improvement with the character of the historic district

**COA # \_\_\_\_\_**

in terms of scale, style, exterior features, building placement and site access, as related to the primary facade(s), in rendering a decision to grant or deny a certificate of appropriateness.

*Explanation: Please describe how the proposed changes will be generally consistent with the overall character of the historic district. With this factor, the Historic Preservation Commission seeks to confirm that the proposed changes will not conflict with the characteristics (i.e., building setback, height, materials, etc.) that are typically found in the district.*

Response to 5.1:

See attached

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5.2. Compatibility With Architectural Style: The Commission and Zoning Administrator shall consider the compatibility of the proposed improvement with the historic architectural style of the building or structure to be modified by the certificate of appropriateness request.

*Explanation: As a structure in the Historic District, guidelines for appropriate maintenance, rehabilitation and new improvements to enhance and preserve the appearance of homes are outlined in the Historic Building Design and Resource Manual. The Manual also provides background information on each architectural style found in the Historic District. For this factor, please use the Historic Building Design and Resource Manual to identify the historic features of your home as well as if your proposed changes are “encouraged, acceptable or discouraged” in the manual. Please also reference the 2008 Architectural Survey (<https://www.naperville.il.us/about-naperville/historic-district/>) and identify if any of the listed significant features of the home are being removed or changed.*

Response to 5.2:

See attached

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5.3. Economic Reasonableness: The Commission and the Zoning Administrator shall consider the economic reasonableness of any recommended changes determined to be necessary to bring the application into conformity with the character of the historic district.

*Explanation: If the proposed improvement is “discouraged” in the Historic Building Design and Resource Manual, this factor allows the applicant to explain if there is an economic benefit necessitating the requested improvement instead of an improvement that is considered “encouraged” or “accepted”. The economic benefit must be reasonable. The explanation should compare the economic benefit in receiving the COA approval for the improvement, as requested, as opposed to the alternative improvement required if the COA was not approved.*

Response to 5.3 (Only respond if your proposed changes do not meet the Historic Building Design and Resource Manual guidelines):

See attached

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5.4. Energy Conservation Effect: In making its determinations, the Commission and Zoning Administrator shall consider the effect that any recommended changes may have on energy conservation.

*Explanation: If the proposed improvement is “discouraged” in the Historic Building Design and Resource Manual, this factor allows the applicant to explain if there is an Energy Conservation benefit which is necessitating the requested improvement instead of an improvement that is considered “encouraged” or “accepted.” Please describe which aspects of the proposed changes will impact the energy efficiency of the home, and if possible, include metrics that show the change in efficiency. The explanation should compare the efficiency benefit in receiving the COA approval for the improvement, as requested, as opposed to the alternative improvement required if the COA was not approved.*

Response to 5.4 (Only respond if your proposed changes do not meet the Historic Building Design and Resource Manual guidelines):

See attached

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5.6. The City's Historic Building Design and Resource Manual may be used as a resource in consideration of the above.

*Explanation: The Historic Building Design and Resource Manual is a guiding document for the Historic Preservation Commission with educational resources to assist the members in making well-informed decisions to protect and maintain the Historic District. In this section, please list and describe all portions of the manual that apply to your proposed changes. Please note if the proposed changes align with what is “encouraged”, “acceptable”, or “discouraged” in the manual.*

Response to 5.6:

See attached

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6. RELATED VARIANCE, CONDITIONAL USE OR REZONING REQUEST(S):

Please describe any zoning variance, conditional use, or rezoning requests that may be required to complete the proposed work. (note: a separate application must be filed with the Planning Services Team for these requests).

Conditional use, zoning and subdivision variances and subdivision.

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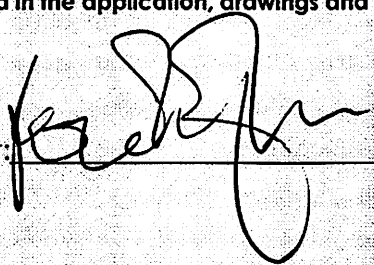
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**Please note: If the COA is approved, any changes to the approved COA will require additional review by city staff or the Historic Preservation Commission. An approved COA is valid for three (3) years from the date of the issuance of the COA.**

**Required Signature:** The undersigned certifies that the statements set forth in this application including all drawings and specifications submitted herewith are true and correct, and further agrees that the proposed improvements described in this application will be constructed in all respects in accordance with the approved COA as specified in the application, drawings and specifications submitted herewith.

Signature of Applicant:  Date: 7-15-2020.

Signature of Owner (if different): \_\_\_\_\_ Date: \_\_\_\_\_



## **Factors for Consideration of a Certificate of Appropriateness Application:**

5.1. Compatibility With District Character: The Commission and Zoning Administrator shall consider the compatibility of the proposed improvement with the character of the historic district in terms of scale, style, exterior features, building placement and site access, as related to the primary facade(s), in rendering a decision to grant or deny a Certificate of Appropriateness.

*Analysis: The City of Naperville has issued a certificate of appropriateness to authorize demolition of all structures on the Property. Absent approval of Applicants plan, which is centered around renovation of the Kroehler Mansion, all of the structures may legally be demolished and the Property may be redeveloped as a matter of right with 20 new single-family structures.*

*Applicant believes that the proposed plan for Heritage Place strikes an appropriate balance between preservation efforts consistent with the intent of the City's historic district and current redevelopment that is consistent with market trends and meets the needs of the community for a more diverse housing stock. While the proposed rowhomes take a different form than the single family and duplex structures that predominate the historic district, so too does the Kroehler Mansion. The Kroehler Mansion would not fit well within other blocks of the historic district. It is the unique size and scale of the Kroehler Mansion, and the opportunity to develop an entire city block, that creates the opportunity to introduce 3-story rowhomes to the historic district. The scale of the rowhomes appropriately relate to the renovated 3-unit Kroehler Mansion that will stand as the focal point of Heritage Place.*

*The proposed rowhomes will consist of a mix of 2, 3, 4 and 6 unit buildings. Applicant proposes 5 different dwelling units facades which will be incorporated in different configurations for each building. The variation in building configuration is intended to avoid monotony and address the overall scale of the buildings. Focus is given to the two buildings immediately north/south of the park site which will feature a stepped-down roof line with an open gable and a side-load entrance with a covered porch that incorporates a hip roof. The form and primary architectural features of these two buildings will follow the Kroehler Mansion and create a unique setting around the new dedicated public park space.*

*All of the proposed rowhome buildings will be four-sided brick buildings with a stone water table, clear nods to the character of the Kroehler Mansion. While the Kroehler Mansion has a simple façade with very little ornamentation, the proposed rowhome buildings incorporate additional ornamentation with cast stone details intended to create architectural interest. Dormers are incorporated into the primary roof line to incorporate one of the most recognizable architectural features of the Kroehler Mansion. Vertical gutters, horizontal articulation, and changes in roof lines will identify breaks between the units and help address the visual massing of the buildings in a manner that clearly relates to the Kroehler Mansion. The third story windows are slightly smaller and the roof line is brought down to address the height of the building.*

*Wood or hardy type siding material will be used on architectural features such as dormers and bay windows. All of the units will feature one of three different covered front entry designs, each of which is inspired by the renovation of the Kroehler Mansion and front porches on other brick homes surrounding the Property. One covered entrance design will be constructed with wood pillars and incorporate brackets or “dentil” details and will follow the form of the historic north entrance to the Kroehler Mansion. One covered entrance design will incorporate brick pillars and limestone caps, again following the form of the front porch of the Kroehler Mansion and other surrounding homes. At block corners, the third covered entrance design will feature a wrap-around front porch with brick pillars and limestone caps, again following the form of the Kroehler Mansion. The proposed rowhome dwellings are not intended to mimic the Kroehler Mansion, but to incorporate important architectural details that provide a clear nod to the historical design while creating modern space with light and air that meets the discerning criteria of target buyers.*

5.2. Compatibility With Architectural Style: The Commission and Zoning Administrator shall consider the compatibility of the proposed improvement with the historic architectural style of the building or structure to be modified by the Certificate of Appropriateness request.

*Analysis: The architectural style of the Kroehler Mansion is designated as craftsman in City documentation. Applicant has utilized that designation in the selection and design of various architectural components. In particular, Applicant has selected windows and doors with typical craftsman style detailing for both the renovation of the Kroehler Mansion and for the proposed rowhome buildings.*

5.3. Economic Reasonableness: The Commission and the Zoning Administrator shall consider the economic reasonableness of any recommended changes determined to be necessary to bring the application into conformity with the character of the historic district.

*Analysis: The City previously approved plans for demolition of all structures located on the Property, including the Kroehler Mansion, finding preservation would create an undue burden on Little Friends and that redevelopment of the Property was the highest and best use. Applicant maintains the right to demolish pursuant to City approvals in the event that renovation of the Kroehler Mansion cannot be accomplished in an economically reasonable fashion and the use Kroehler Mansion converted to a modern and productive use consistent with market trends. As detailed in documentation previously provided by Little Friends, the sales history in the Historic District simply does not support a multi-million dollar renovation on the scale of the Kroehler Mansion. The renovation and adaptive use proposed by Applicant is a reasonable means of bridging the gap between total demolition of existing improvements and strict application of preservation requirements.*

*As part of the renovation effort, Petitioner seeks to upgrade the Kroehler Mansion consistent with current HVAC, plumbing, electric and energy conservation standards. By way of example, Petitioner simply cannot sell new row home units from the \$800,000's with window air conditioning units. These units are extraordinarily inefficient by modern standards and are inconsistent with the character and quality of development being proposed. In a similar vein, Petitioner will be replacing the existing windows with a modern window systems which meet current energy efficiency requirements. While this is important for the modern function of the interior of the dwelling units, it will also allow Petitioner to also address aesthetic issues. First and foremost, with new windows the Kroehler Mansion will get a uniform treatment around the building. The existing windows include a variety of different formats that have been modified throughout the years. In addition, with the demolition of the building additions to the original Kroehler Mansion, Petitioner will need to add new window opening that were removed during the construction of those building additions. To maintain the integrity of the Kroehler Mansion, Petitioner proposes new window systems that match the structure and appearance of the existing window systems. While the new windows will not include the leaded glass that is original to the home, Petitioner intends to custom build an interior shutter system to apply the leaded glass and maintain that original appearance from the exterior. At a minimum, Petitioner is committed to installing the shutter system across the front façade of the Kroehler Mansion. Petitioner anticipates additional applications, but believes that the front elevation is the critical element that must be maintained. Petitioner believes that this is an economically reasonable solution that maintains the integrity of the building while positioning it as modern housing for the next century.*

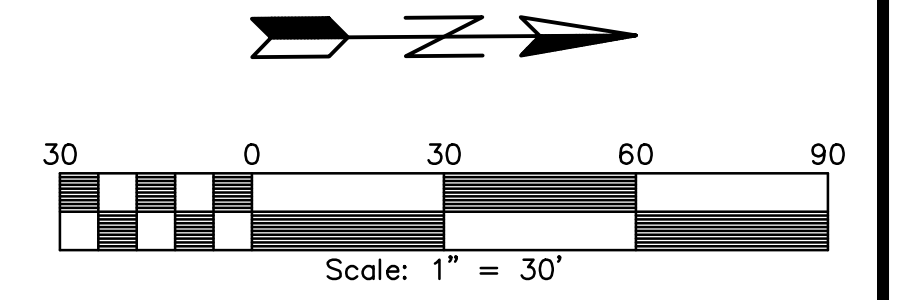
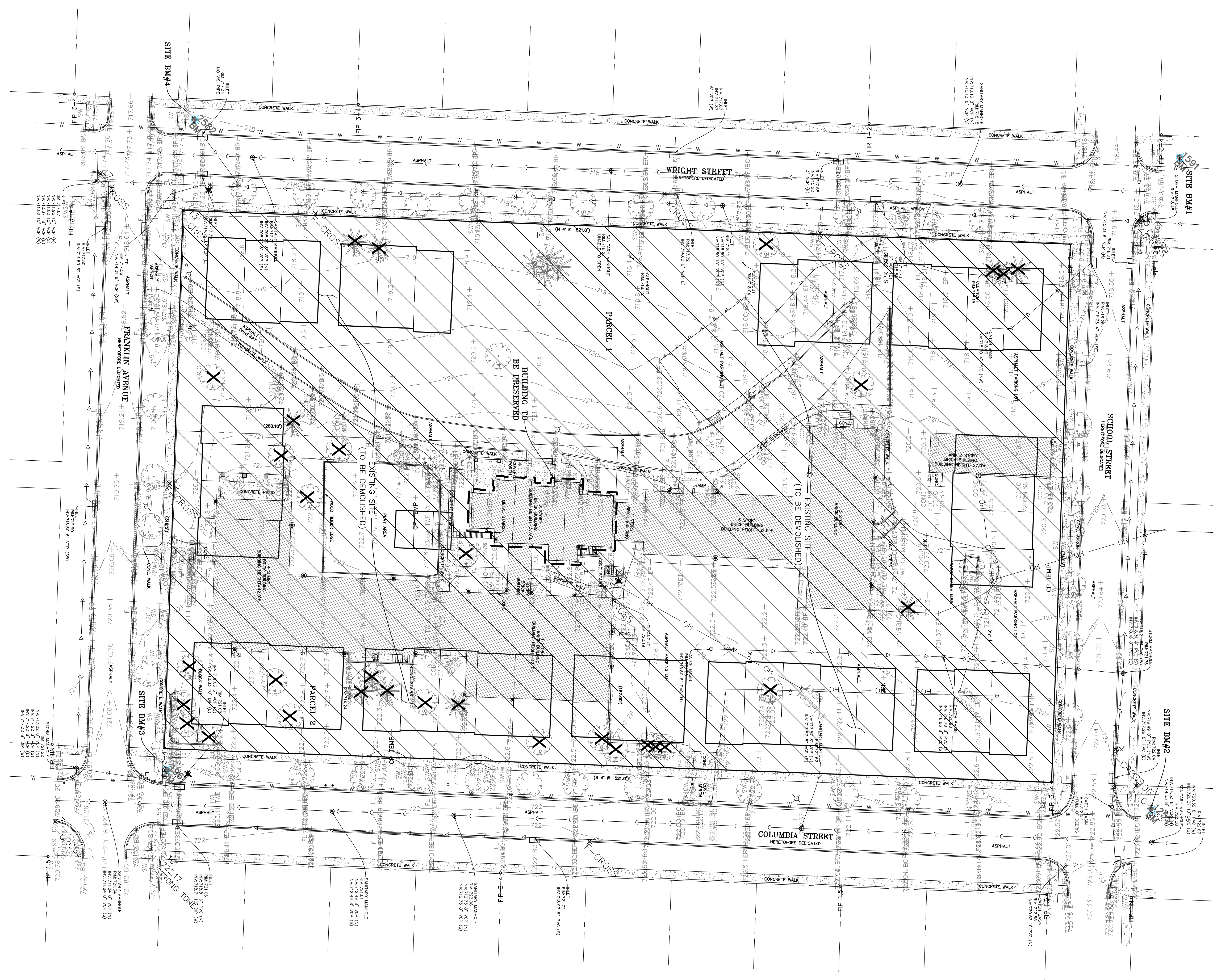
5.4. Energy Conservation Effect: In making its determinations, the Commission and Zoning Administrator shall consider the effect that any recommended changes may have on energy conservation.

*Analysis: The renovated Kroehler Mansion and the proposed rowhome buildings will be constructed consistent with current energy conservation codes, utilizing less natural resources than the current buildings require. The new roof, window and door systems that are proposed by the Applicant are critical to meeting these standards.*

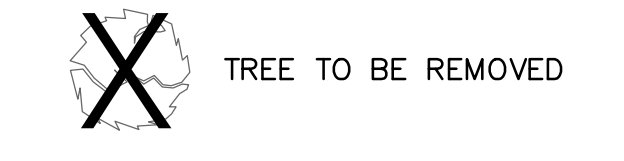
5.6. The City's Historic Building Design and Resource Manual may be used as a resource in consideration of the above.

*Analysis: Applicant has considered provisions of the Historic Building Design and Resource Manual and the City's designation of the Kroehler Mansion as a "Craftsman" style home in preparation of both the Preservation Plan and the elevations for the proposed rowhome buildings. Applicant believes that the proposed plans appropriately consider context and adaptive reuse of the Kroehler Mansion to create a unique*

*redevelopment plan where demolition of all structures previously seemed a foregone conclusion.*



NOTES:  
 1. EXISTING MANSION TO REMAIN



REVISIONS:					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

DRAWN BY: CNB  
 CHECKED BY: NAV  
 APPROVED BY: NAV



35701 WEST AVENUE, SUITE 150  
 WARRENVILLE, ILLINOIS 60555  
 PHONE (630) 393-3060  
 FAX (630) 393-2152

10 S. RIVERSIDE PLAZA, SUITE 875  
 CHICAGO, ILLINOIS 60606  
 PHONE (312) 474-7841  
 FAX (312) 474-6099

2416 GALEN DRIVE  
 CHAMPAIGN, ILLINOIS 61821  
 PHONE (217) 351-6268  
 FAX (217) 355-1902

**RAM WEST CAPITAL LLC  
 IN PARTNERSHIP WITH  
 DJK CUSTOM HOMES**

TITLE:

**DEMOLITION PLAN  
 HERITAGE PLACE  
 NAPERVILLE, ILLINOIS**

PROFESSIONAL DESIGN FIRM NUMBER: 184.001186

SCALE: 1" = 30'  
 DATE: 08/06/2020  
 JOB NO: W20052  
 SHEET 1 OF 1



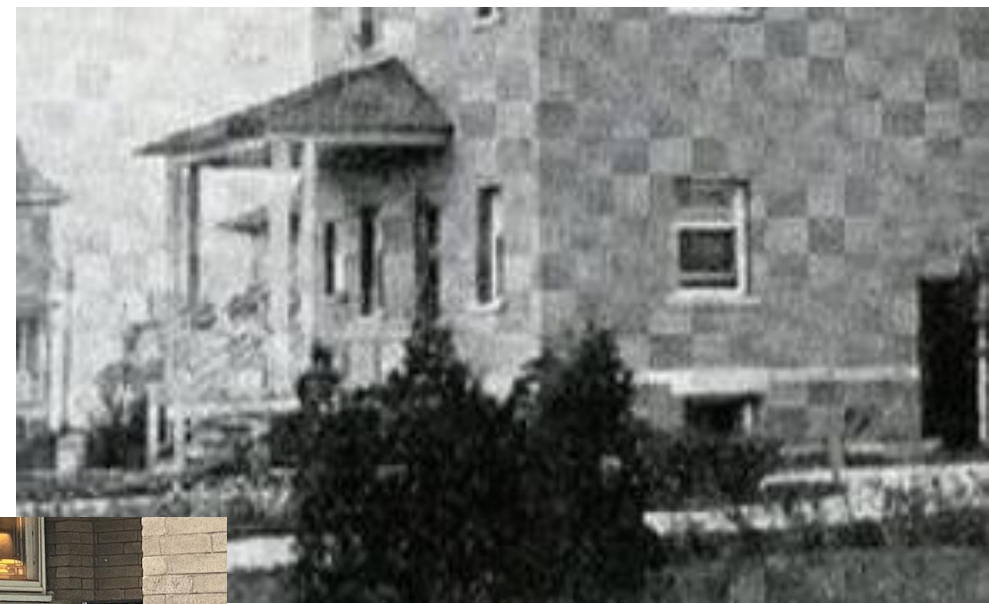
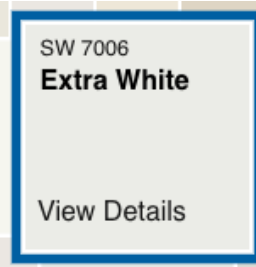
# Kroehler Mansion Preservation Scope

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# North Side Entry

- Detach existing structure from the north side and place an entryway on the North side to replicate the original entryway as seen in the photo.
- Hip Roof structure with shingled roof to match
- Square painted wood columns (Painted Extra White SW 7006)
- Wood painted stair system with railings to match the railings on front of mansion at porch
- Add entry door and windows as located in original photo
- Entry door to match the main front entry door



## Eave and Gutter System

- Remove eave decorative covering and replace as follows
- Reframe areas where soffits are dipping
- New Copper Fascia and eave trim
- New soffit under to be painted to color tone to building trim color SW 7023 Requisite Gray
- Restore gutters by polishing the original copper



SW 7023  
**Requisite Gray**

[View Details](#)



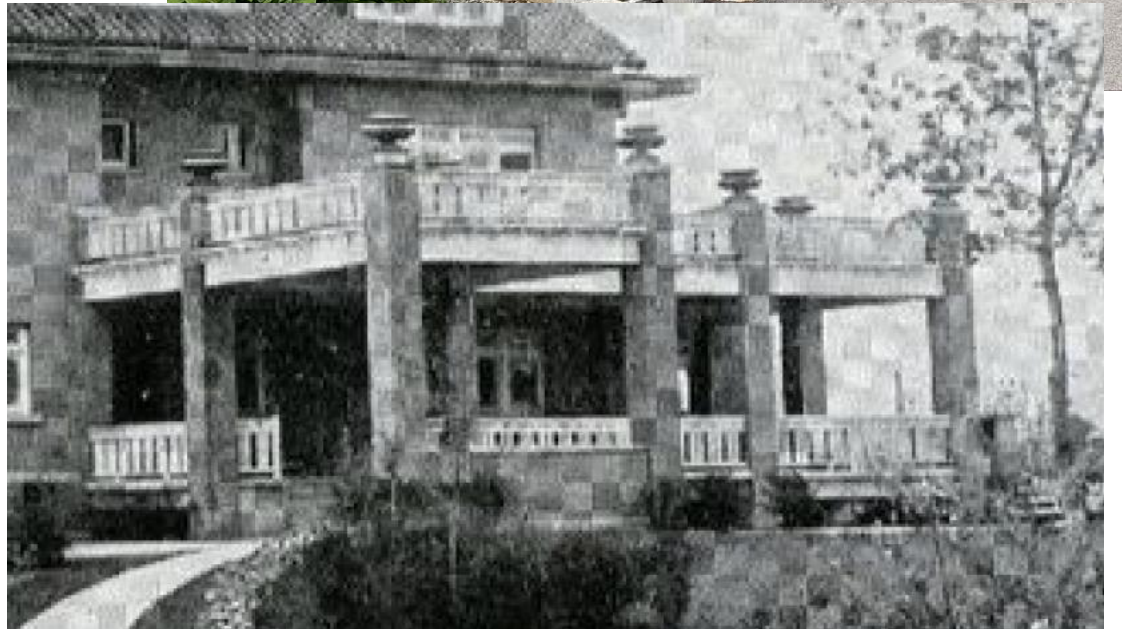
# Front Porch Main Floor

- Remove existing unilock retaining wall blocks from under the porch surface
- Frame in area where unilock blocks will be removed
- Build wood lattice system to match profile of the wood railings under porch surface to ground. Paint Extra White SW 7006
- Remove existing stairs and metal railing system and replace with a wood painted stair system in same location and railing system in same design detail as the railing system existing today (green rails). New rail color would be Extra White SW 7006



## Front Porch Upper section

- Extend the brick columns that exist up above the roof of the porch to approx. 40" above roof surface and place limestone caps as in original photo. On far left column against brick wall you can see original column height and cap.
- Place limestone decorative pots on top of limestone caps to replace existing lions (not original)
- Add wood painted railing system in same design detail as the railing system existing today (green rails) but they will be painted white SW 7006 Extra White
- All existing railings on top of porch will be removed



# Dormers

- Remove existing siding and replace with new cedar siding using 4" exposer and lap profile
- Siding will be painted in a deeper color called Requisite Gray SW 7023 as depicted in the original photo
- Trim around the windows with 4" smooth cedar trim painted Extra White SW 7006
- Windows on dormers to be replaced with white framed windows in double casement style as depicted in the original photo
- Dentil molding at perimeter of soffits to be stripped and repainted
- Trim Color: Requisite Gray SW 7023
- Soffit color: Extra White SW 7006

SW 7023  
**Requisite Gray**

[View Details](#)

SW 7006  
**Extra White**

[View Details](#)



## Brick exterior

- Power wash entire exterior of the brick and limestone and spot tuckpoint mortar as needed then seal the brick and limestone with a non color changing sealer
- Color tone brick in areas where may need patching and old areas that currently do not match by use of Nawkaw Architectural color design match technology staining



## Exterior Entry Doors

- Remove existing Storm door system
- Replace existing Main entry door to be similar to the door provided in the photo
- Add new entry door at secondary porch entrance to match the main entry door
- Entry door color: Mahogany



## Exterior Entry Doors

- Remove existing entry door to the North East side of mansion and replace with a smaller version of the main entry door very similar in design to the original
- Entry door color: Mahogany



# Windows

- Remove existing windows and replace with Pella Lifestyle Series windows with window profiles to be similar to the original window units
- Save existing leaded glass window panels and reuse the leaded glass panels on the front elevation mounted on interior of new window units as interior shutters which will allow the view of these decorative leaded glass units from the exterior
- Exterior window color to be white as it appears was original color



# Roof

- Remove existing shingles
- Replace shingles with new shingles that would be Architectural grade Certainteed
- Original shingles appear to be red / orange clay tiles
- Shingle color: Certainteed Weathered Wood





# Window Replacement /Restoration Notes

## The Mansion

# Left Side

4 Window units



Add new window units and entry door as seen in historic mansion photo. The lower units to utilize the historic leaded glass panels as interior shutters



Remove and replace window unit with double hung clear glass.



Remove and replace window unit with double hung clear glass.



Remove and replace window unit with double hung clear glass.



Remove and replace window unit with double hung clear glass.

# Front

23 Window units



3 Roof Dormers: Remove and replace window units with like style units with clear glass.

Lower window units to be replaced with like style and leaded glass panels to be saved, refurbished and reused as interior leaded glass historic shutters

3 Units below water table: Remove and replace 3 awning window units with like style awning units with clear glass.

# Right Side

9 Window units

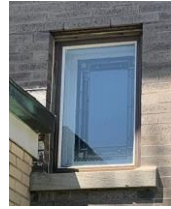


Lower window units to be replaced with like style and leaded glass panels to be saved, refurbished and reused as interior leaded glass historic shutters

1 Unit below water table: Remove and replace 1 awning window unit with like style awning units with clear glass.

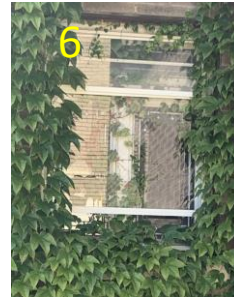
# Rear

20 window units



Replace this boarded up window with a window matching others

Remove and replace the 3 stepped units with like style and refurbish the leaded glass units for interior shutters



Replace these 2 window units with like type and style

All window units in this section will be replaced by like kind and style with clear glass

Lower window units to be replaced with like style and type but leaded glass panels to be saved, refurbished and reused as interior leaded glass historic shutters on missing areas on front and left elevations



6 Units below water table: Remove and replace 3 awning window units with like style awning units with clear glass.

# Rear Dormers

6 Window units



3 Rear Roof Dormers: Remove and replace window units with like style units with clear glass.

STREET #

DIRECTION

STREET

SUFFIX

PIN

LOCAL SIGNIFICANCE RATING

POTENTIAL IND NR? (Y or N)

Contributing to a NR DISTRICT?

Contributing secondary structure?

Listed on existing SURVEY?



**GENERAL INFORMATION**

CATEGORY  CURRENT FUNCTION

CONDITION  HISTORIC FUNCTION

INTEGRITY  REASON for SIGNIFICANCE

SECONDARY STRUCTURE

**ARCHITECTURAL DESCRIPTION**

ARCHITECTURAL CLASSIFICATION  PLAN

DETAILS  NO OF STORIES

BEGINYEAR  ROOF TYPE

OTHER YEAR  ROOF MATERIAL

DATESOURCE  FOUNDATION

WALL MATERIAL (current)  PORCH

WALL MATERIAL 2 (current)  WINDOW MATERIAL

WALL MATERIAL (original)  WINDOW MATERIAL

WALL MATERIAL 2 (original)  WINDOW TYPE

SIGNIFICANT FEATURES  WINDOW CONFIG

ALTERATIONS

**HISTORIC INFORMATION**

**HISTORIC NAME**

**COMMON NAME**

**COST**

**ARCHITECT**

**ARCHITECT2**

**BUILDER**

**ARCHITECT SOURCE**

**HISTORIC INFO**

**PERMITS**

**LANDSCAPE**

**COA DATE**

**COA DECISION**

**PREPARER**

**PREPARER ORGANIZATION**

**SURVEYDATE**

**SURVEYAREA**



**DIGITAL PHOTO ID**

**DIGITAL PHOTO ID3**

**DIGITAL PHOTO ID2**

**DIGITAL PHOTO ID4**