

PRELIMINARY ENGINEERING PLANS

FOR



(OGDEN MALL)
1255 E. OGDEN AVENUE
NAPERVILLE, ILLINOIS



NAPERVILLE, IL
(OGDEN MALL)
CW # 14-0099

1255 E. OGDEN AVENUE
NAPERVILLE, IL 60563

COSTCO
WHOLESALE
CORPORATION

999 LAKE DRIVE
ISSAQUAH, WA 98027
T: 425.313.8100
www.costco.com

1101 Second Ave, Ste 100
Seattle, WA 98101

206 962 6500
MG2.com



V3 Companies
7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
630.724.9202 fax
www.v3co.com

Visio, Veritas, Virtute... "The Vision to Transform with Excellence"

PROJECT TEAM

OWNER

Costco Wholesale Corporation
999 Lake Drive
Issaquah, Washington 98027
630 368 0840

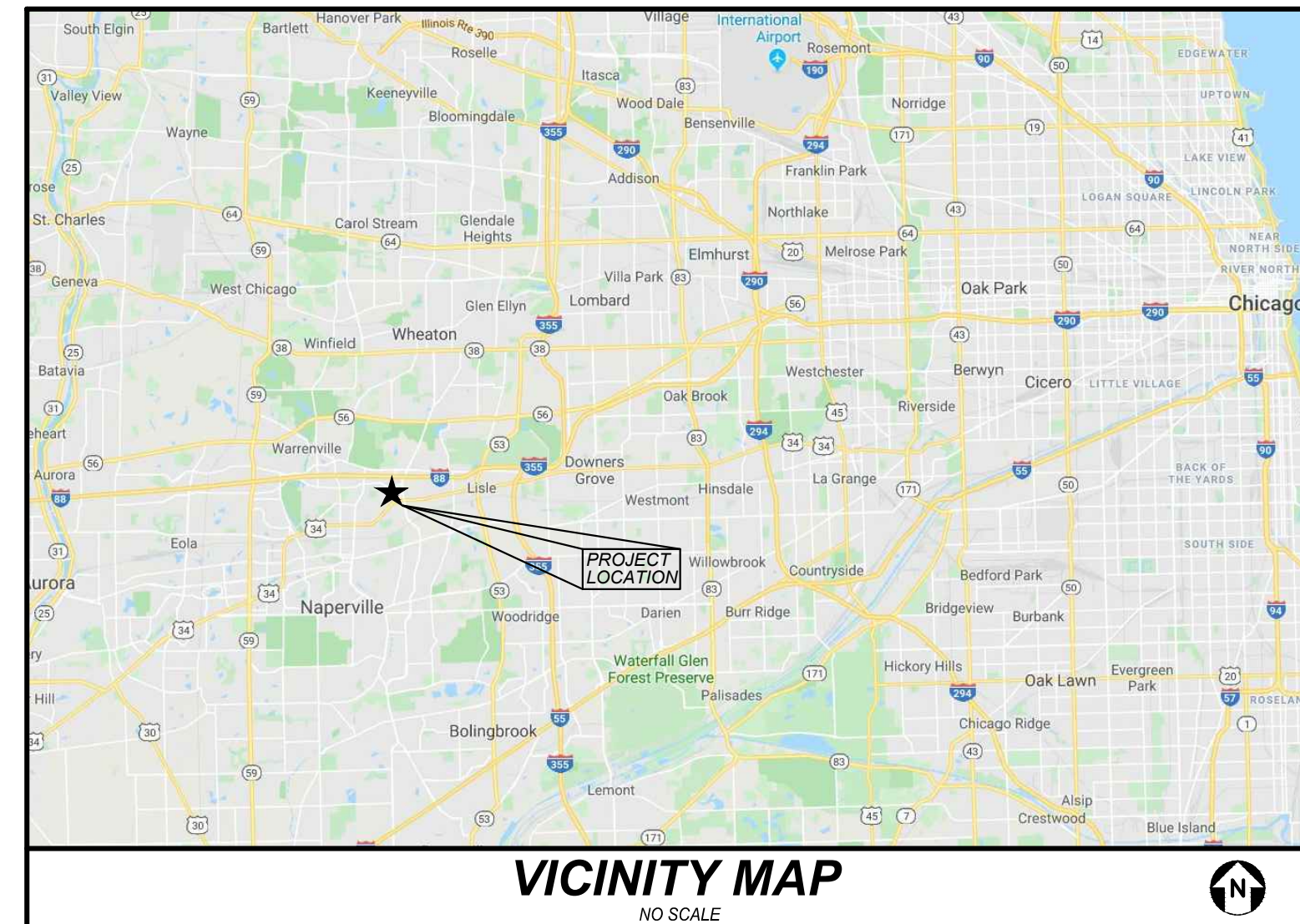
Contacts: Ted Johnson / Jeri Krieg / Steve Cross

ENGINEER

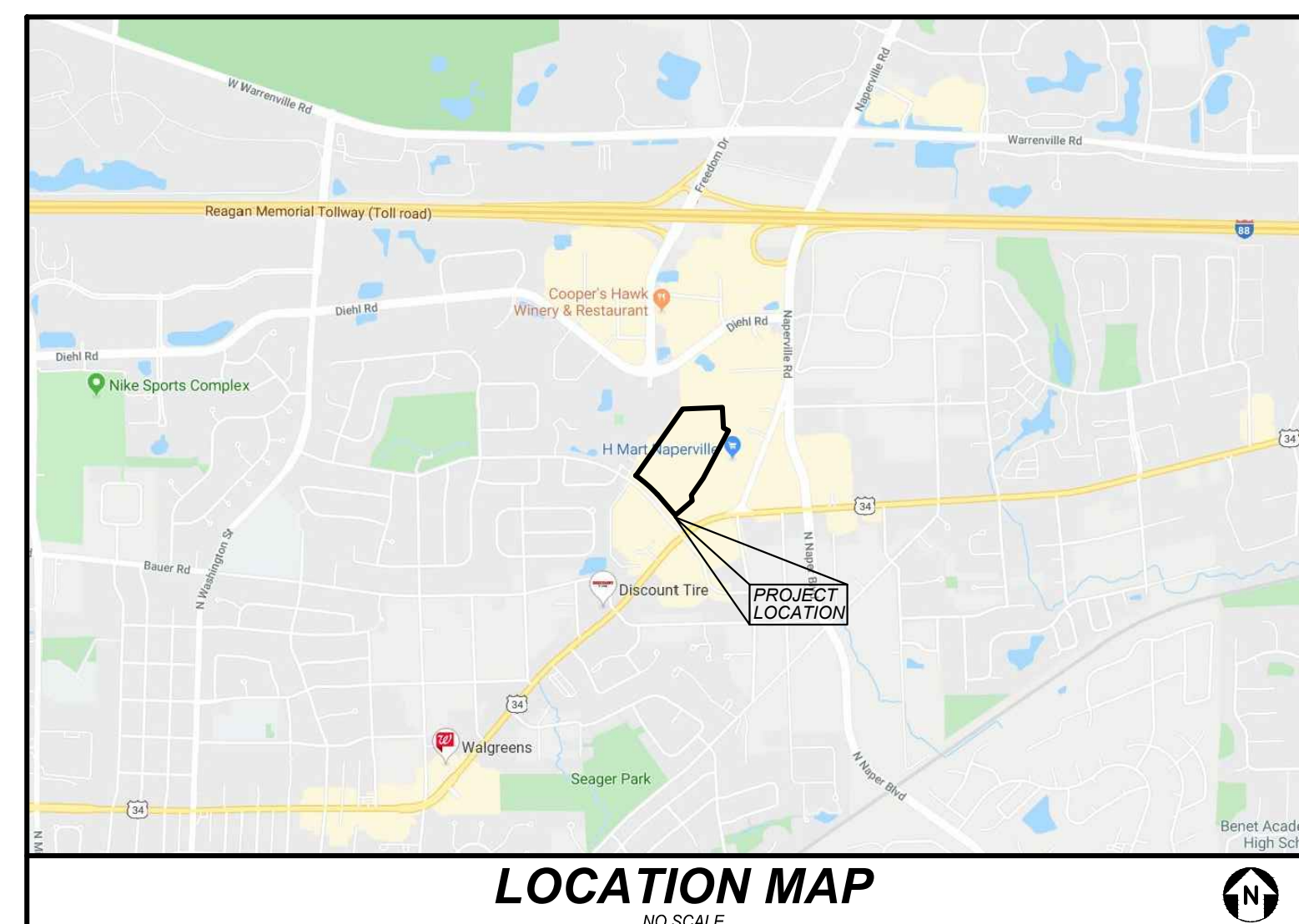
V3 Companies, Ltd.
7325 Janes Avenue
Woodridge, Illinois 60517
630 724 9200
Project Manager: Bradley Prischman, P.E.
bprischman@v3co.com
Project Engineer: Dan Free, P.E.
dfree@v3co.com

ARCHITECT

MG2
1101 Second Avenue, Suite 100
Seattle, Washington 98101
206 962 6500
Contact: Risa Yuki



VICINITY MAP
NO SCALE



LOCATION MAP
NO SCALE

INDEX

PRELIMINARY ENGINEERING PLANS

- C0.0 TITLE SHEET
- C1.0 EXISTING CONDITIONS PLAN
- C1.1 PRELIMINARY DEMOLITION PLAN
- C2.0 PRELIMINARY OVERALL SITE PLAN
- C2.1 PRELIMINARY LAYOUT AND PAVING PLAN
- C3.0 PRELIMINARY GRADING PLAN
- C4.0 PRELIMINARY UTILITY PLAN

BENCHMARKS

SOURCE:	STATION DESIGNATION:
ELEVATIONS ESTABLISHED VIA TRIMBLE VRS NETWORK	SBM#4
	ESTABLISHED BY: V3 COMPANIES DATE: 11-2019
	ELEVATION: 772.94 (MEASURED) DATUM: NAVD88
	DESCRIPTION: SE BOLT ON FIRE HYDRANT LOCATED ON CURB ISLAND IN PARKING LOT
	SBM#5
	ESTABLISHED BY: V3 COMPANIES DATE: 11-2019
	ELEVATION: 771.43 (MEASURED) DATUM: NAVD88
	DESCRIPTION: SW BOLT ON FIRE HYDRANT LOCATED ALONG WESTERLY PROPERTY LINE
	SBM#2
	ESTABLISHED BY: V3 COMPANIES DATE: 11-2019
	ELEVATION: 772.22 (MEASURED) DATUM: NAVD88
	DESCRIPTION: NW BOLT ON FIRE HYDRANT LOCATED ALONG NORTH PROPERTY LINE
	SBM#3
	ESTABLISHED BY: V3 COMPANIES DATE: 11-2019
	ELEVATION: 768.67 (MEASURED) DATUM: NAVD88
	DESCRIPTION: SE BOLT ON FIRE HYDRANT LOCATED ALONG NORTHERLY LINE OF IROQUOIS AVENUE

© MG2, Inc. All rights reserved. No part of this document may be reproduced in any form or by any means without permission in writing from MG2, Inc.

Δ	DATE	DESCRIPTION
1	01-15-20	ISSUED FOR REVIEW
2	02-07-20	TEAM COORDINATION
3	02-26-20	SITE PLAN REVISIONS
4	03-03-20	CITY COMMENTS

PROJECT NUMBER: 19473 - S03
PM: BRP
DRAWN: DB
DATE: 01 - 15 - 2020

TITLE SHEET

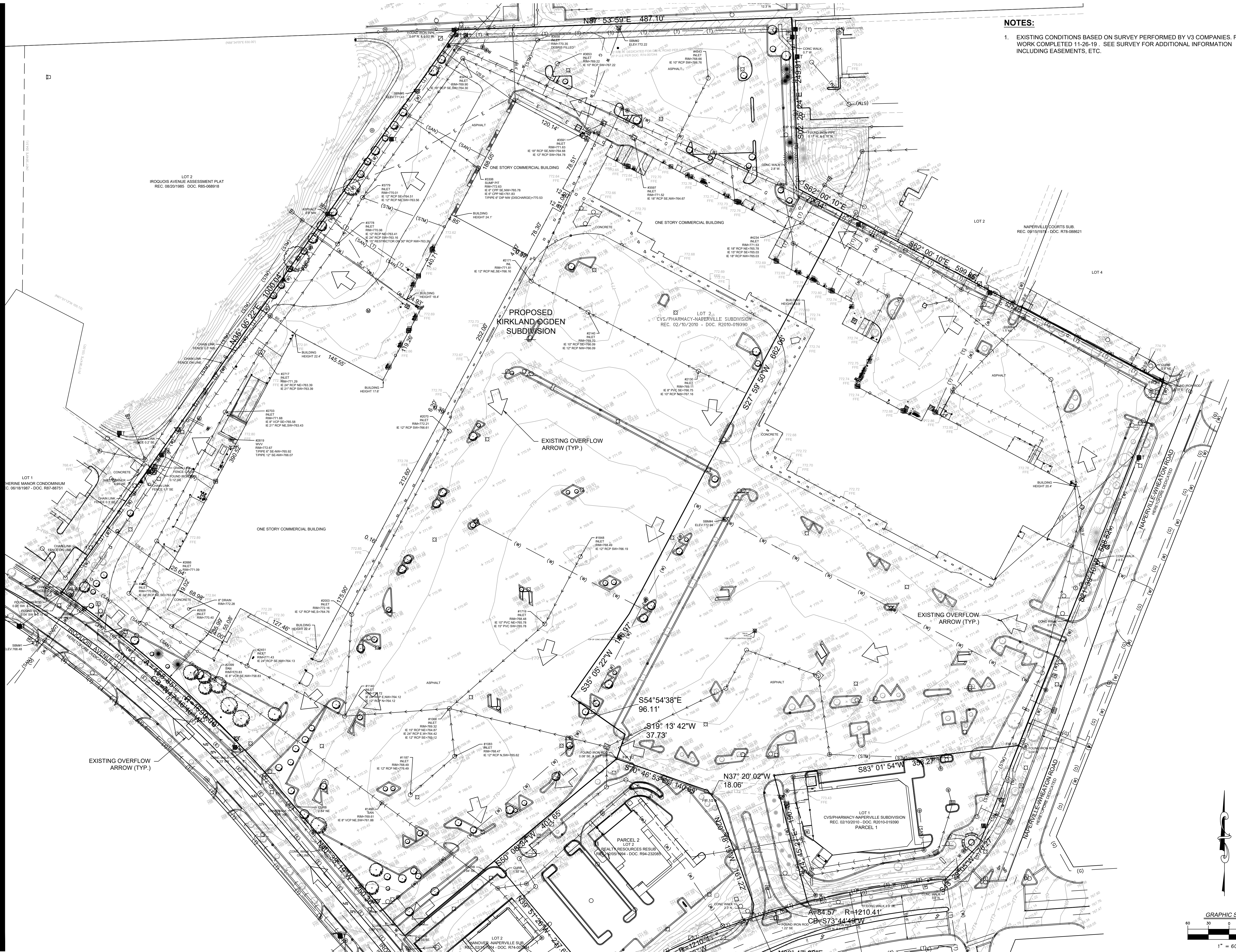
C0.0

Joint
Utility
Locating
Information
for
Excavators

Call 48 hours before you dig

FILE: N:\2019\19473\DRAWINGS\ACAD\19473\03\SHEET DRAWINGS\C0.0\TSH19473.DWG

PLOTTED BY: DEBBIE BOOR DATE/TIME: 3/4/2020 8:38 AM FILE: N:\2019\19473\DRAWINGS\ACAD\1503\SHEET DRAWINGS\C1.0 EXP19473.DWG



NOTES:

- EXISTING CONDITIONS BASED ON SURVEY PERFORMED BY V3 COMPANIES. FIELD WORK COMPLETED 11-26-19. SEE SURVEY FOR ADDITIONAL INFORMATION INCLUDING EASEMENTS, ETC.



NAPERVILLE, IL
(OGDEN MALL)
CW # 14-0099

1255 E. OGDEN AVENUE
NAPERVILLE, IL 60563

**COSTCO
WHOLESALE
CORPORATION**

999 LAKE DRIVE
ISSAQUAH, WA 98027
T: 425.313.8100
www.costco.com

1101 Second Ave, Ste 100
Seattle, WA 98101

206 962 6500
MG2.com



V3 Companies
7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
630.724.9202 fax
www.v3co.com

Visio, Virtute, Virtute... "The Vision to Transform with Excellence"

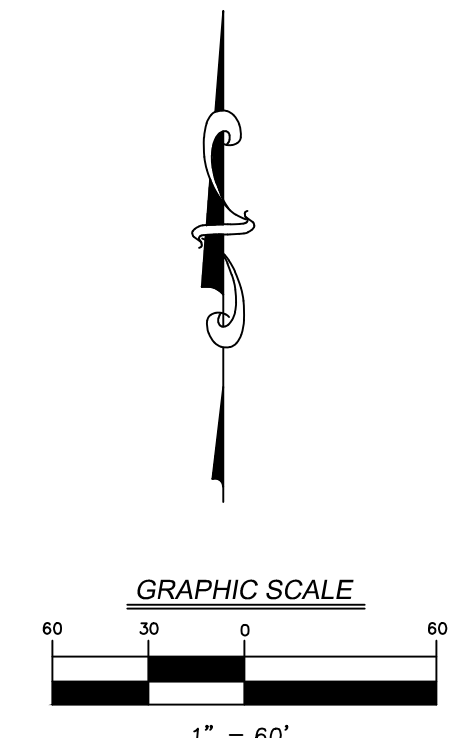
© MG2, Inc. All rights reserved. No part of this document may be reproduced in any form or by any means without permission in writing from MG2, Inc.

DATE	DESCRIPTION
01-15-20	ISSUED FOR REVIEW
02-07-20	TEAM COORDINATION
03-26-20	SITE PLAN REVISIONS
03-03-20	CITY COMMENTS

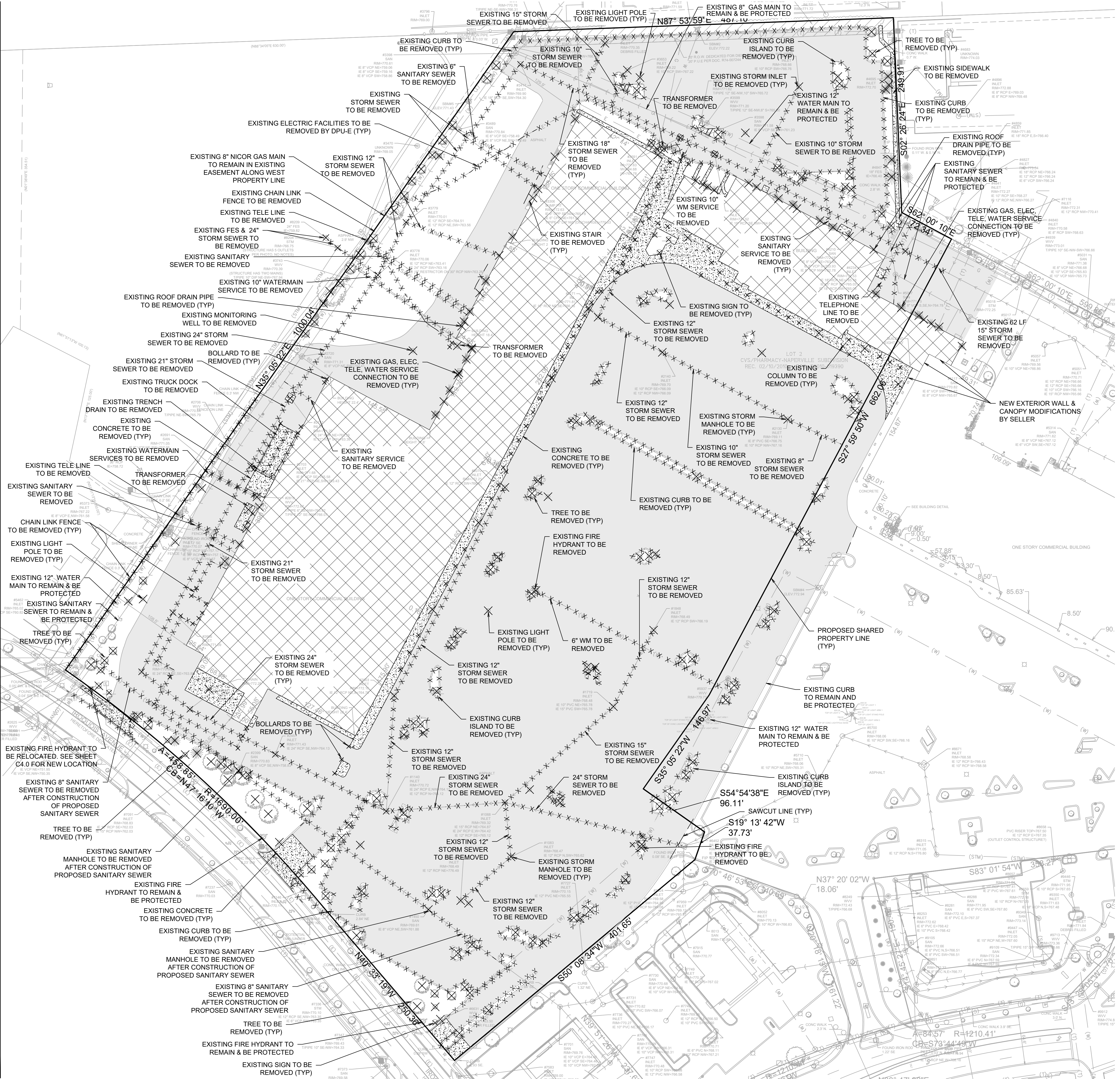
PROJECT NUMBER: 19473 - S03
PM: BRP
DRAWN: DB
DATE: 01 - 15 - 2020

**EXISTING
CONDITIONS PLAN**

C1.0

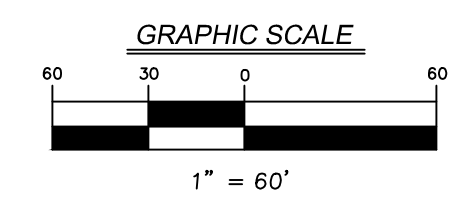
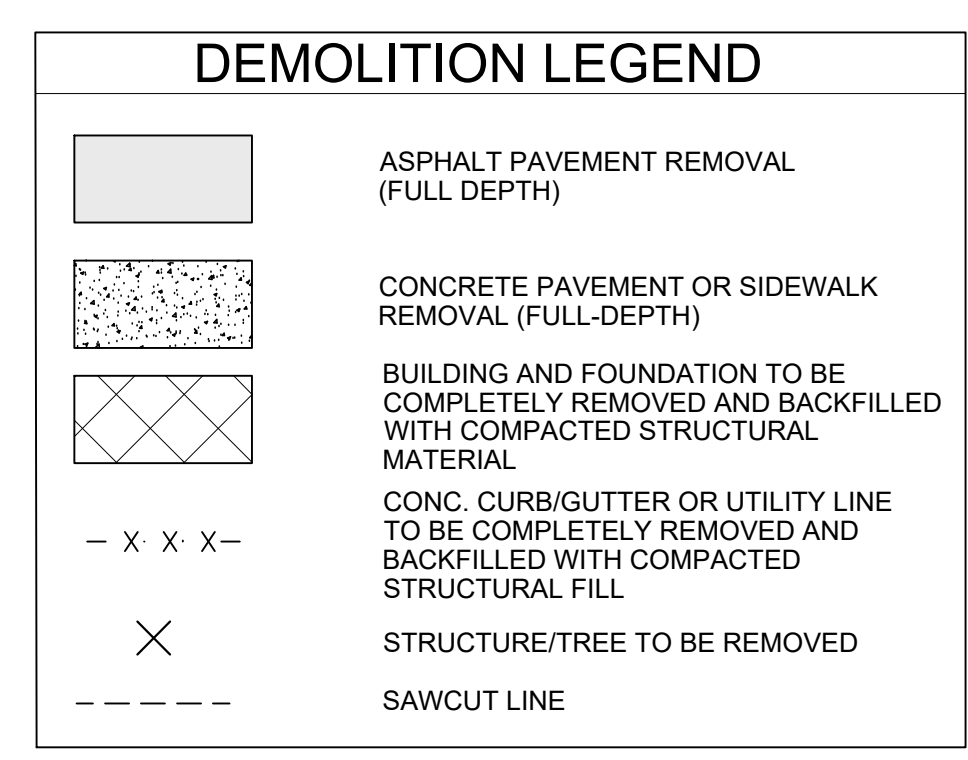


PLOTTED BY: DEBBIE BOOR DATE/TIME: 3/4/2020 8:38 AM FILE: N:\2019\19473\DRAWINGS\ACAD\LD\S3\SHEET DRAWINGS\C1.1 DEMO19473.DWG



NOTES:

- THE EXTENT OF DEMOLITION WORK IS AS GENERALLY SHOWN ON THE CONSTRUCTION DOCUMENTS. SPECIFIC DEMOLITION PROCESSES OR PROCEDURES FOR DEMOLITION AND STRUCTURAL CONSIDERATIONS ARE THE RESPONSIBILITY OF OTHERS. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, REMOVAL AND DISPOSAL OFFSITE OF THE FOLLOWING ITEMS:
 - SIDEWALK AND ON-SITE PAVEMENT
 - BUILDINGS, FOUNDATIONS, AND SUPPORTING WALLS AND SLABS
 - UTILITIES
 - CONSTRUCTION DEBRIS
- ALL PAVEMENT TO BE REMOVED ADJACENT TO PAVEMENT THAT IS TO REMAIN SHALL BE SAWCUT FULL DEPTH AT THE EDGES PRIOR TO REMOVAL TO OBTAIN A "CLEAN" JOINT WHERE IT ABUTS NEW CURB OR PAVEMENT.
- CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.
- STRUCTURES TO BE DEMOLISHED SHALL BE VACATED AND DISCONTINUED FOR USE PRIOR TO START OF WORK. OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF STRUCTURES TO BE DEMOLISHED. CONDITIONS EXISTING AT TIME OF INSPECTION FOR BIDDING PURPOSES WILL BE MAINTAINED BY OWNER IN SO FAR AS PRACTICABLE. HOWEVER, VARIATIONS WITHIN THE STRUCTURES MAY OCCUR BY OWNER'S REMOVAL AND SALVAGE OPERATIONS PRIOR TO START OF DEMOLITION WORK.
- ITEMS OF SALVAGEABLE VALUE TO CONTRACTOR MAY BE REMOVED AS WORK PROGRESSES AND AS APPROVED BY THE OWNER. SALVAGED ITEMS MUST BE TRANSPORTED FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED.
- CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF BUILDINGS, PAVEMENTS AND UTILITIES TO REMAIN FROM ANY DAMAGE AND SHALL BE RESPONSIBLE FOR REPAIRING THE SAME.
- EXISTING UTILITIES, WHICH DO NOT SOLELY SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS.
- EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH FA-1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO HAVE THEIR TRENCHES BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY.
- ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.
- CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- REMOVAL, ABANDONMENT, AND RELOCATION OF EXISTING UTILITIES SHALL BE COMPLETED AS GENERALLY DEPICTED ON THESE PLANS. CONTRACTOR TO COORDINATE RELOCATIONS WITH THE UTILITY OWNER. CONTRACTOR SHALL MINIMIZE DISRUPTION OF SERVICE AND SHALL WORK WITH UTILITY OWNER TO MAINTAIN AN ACCEPTABLE LEVEL OF SERVICE.
- USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO MINIMIZE DUST AND DIRT FROM RISING AND SCATTERING IN THE AIR, COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
- COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE IDOT APPROVED AGGREGATE (CA-6) OR APPROVED EQUAL.
- SEE LANDSCAPE PLANS FOR INFORMATION ON LANDSCAPE AND TREE PROTECTION, PRESERVATION, AND REMOVAL.
- EXISTING MONITORING WELLS ARE TO BE REMOVED AS NECESSARY AND SEALED BY STATE LICENSED WELL DRILLER PER ILLINOIS DEPARTMENT OF PUBLIC HEALTH REQUIREMENTS AND/OR LOCAL/COUNTY REQUIREMENTS.
- THESE DRAWINGS DO NOT INCLUDE THE REMOVAL OF UNDERGROUND STORAGE TANKS. SHOULD UNDERGROUND STORAGE TANKS BE ENCOUNTERED, CONTRACTOR TO CONTACT OWNER AND ENGINEER TO DETERMINE RESPONSIBILITY FOR ANY ENVIRONMENTAL REMEDIATION OR REMOVAL WORK AS NECESSARY. ANY REMOVAL OF UNDERGROUND STORAGE TANKS MUST BE IN CONFORMANCE WITH LOCAL AND STATE STANDARDS.



NAPERVILLE, IL
 (OGDEN MALL)
 CW # 14-0099

1255 E. OGDEN AVENUE
 NAPERVILLE, IL 60563

COSTCO WHOLESALE CORPORATION

999 LAKE DRIVE
 ISSAQUAH, WA 98027
 T: 425.313.8100
 www.costco.com

1101 Second Ave, Ste 100
 Seattle, WA 98101

206 962 6500
 MG2.com



V3 Companies

7325 Janes Avenue
 Woodridge, IL 60517
 630.724.9200 phone
 630.724.9202 fax
 www.v3co.com

Visio, Virtute, Virtute... "The Vision to Transform with Excellence"

© MG2, Inc. All rights reserved. No part of this document may be reproduced in any form or by any means without permission in writing from MG2, Inc.

DATE	DESCRIPTION
01-15-20	ISSUED FOR REVIEW
02-07-20	TEAM COORDINATION
03-26-20	SITE PLAN REVISIONS
03-03-20	CITY COMMENTS

PROJECT NUMBER: 19473 - S03
 PM: BRP
 DRAWN: DB
 DATE: 01 - 15 - 2020

PRELIMINARY DEMOLITION PLAN

C1.1

PLOTTED BY: PETER WAGENMAKER DATE/TIME: 3/4/2020 3:45 PM FILE: N:\2019\1947\3\DRAWINGS\CAD\LD\S03\SHEET DRAWINGS\C2.0 SITE\19473.DWG



- NOTES:**
- CURB & GUTTER SHALL BE B6.12 OR B6 BARRIER CURB PER THE CITY OF NAPERVILLE STANDARD SPECIFICATIONS, UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 - ALL SITE SIGNAGE SHALL BE IN CONFORMANCE WITH M.U.T.C.D. STANDARDS.
 - ALL PARKING SPACES SHALL BE ANGLED AT 90° TO THE ASSOCIATED DRIVE AISLE.
 - SEE UTILITY PLAN FOR LOCATIONS OF PROPOSED UTILITY EASEMENTS (IF REQUIRED).
 - LIGHT POLES SHOWN FOR REFERENCE ONLY. SEE PLANS BY OTHERS FOR MORE INFORMATION.
 - PROPOSED ACCESS POINTS AND SITE LAYOUT SUBJECT TO APPROVAL BY THE CITY OF NAPERVILLE.
 - SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND DETAILS.
 - THE PAVEMENT SECTIONS SHOULD BE VERIFIED BASED ON RECOMMENDATION OF THE COMPLETED GEOTECHNICAL REPORT.
 - EXISTING ABOVE GRADE BUILDINGS WITHIN COSTCO PROPERTY TO BE REMOVED. ANY EXISTING BASEMENTS OR BUILDING AREA DEPRESSIONS (THEATER, ETC.) SHALL BE FILLED AND COMPACTED TO MINIMUM 95% MODIFIED PROCTOR AND PER COSTCO GEOTECHNICAL RECOMMENDATIONS. PRIOR TO FILLING BASEMENTS OR BUILDING AREA DEPRESSIONS, ALL FOUNDATIONS, FLOORS, WALLS AND UTILITIES TO BE REMOVED.
 - EXISTING PAVEMENT TO BE COMPLETELY REMOVED WHERE NEW PAVEMENT IS INDICATED. CONTRACTOR TO COMPACT REMAINING PAVEMENT BASE COURSE AND SUBGRADE TO 95% MODIFIED PROCTOR AND UNDERCUT AND REPLACE SOFT SPOTS AS NEEDED.
 - PROVIDE FROST-RESISTIVE FILL AND UNDERDRAIN BELOW ALL SIDEWALKS ADJACENT TO BUILDING. TIE UNDERDRAIN TO BUILDING FOUNDATION DRAIN. SEE UTILITY PLAN FOR INFORMATION REGARDING FOUNDATION DRAIN.
 - SEE UTILITY PLAN FOR ADDITIONAL PAVEMENT UNDERDRAIN INFORMATION.
 - CONTRACTOR TO MAINTAIN TRAFFIC FLOWS FROM EXISTING OGDEN MALL PROPERTY AT ALL TIMES DURING CONSTRUCTION.
 - EXISTING CONDITIONS TO BE FIELD VERIFIED.

PROJECT DATA

CLIENT: COSTCO WHOLESALE
 999 LAKE DRIVE
 ISSAQUAH, WA 98027

PROJECT ADDRESS: 1255 E. OGDEN AVENUE
 NWC OF OGDEN AVE &
 NAPERVILLE-WHEATON RD
 NAPERVILLE, IL

OVERALL SITE DATA:

PROPOSED RESUBDIVISION OF "LOT 2 CVS/PHARMACY - NAPERVILLE SUBDIVISION"

TOTAL COSTCO SITE AREA (LOT 1): 18.95 ACRES (825,460 SF)
 REMAINING EXIST. MALL AREA (LOT 2): 10.14 ACRES (441,485 SF)
 TOTAL SITE AREA: 29.09 ACRES (1,266,945 SF)

EXISTING IMPERVIOUS AREA: 16.63 ACRES (724,532 SF)
 PROPOSED IMPERVIOUS AREA: 15.17 ACRES (660,631 SF)
 TOTAL REDUCTION OF IMPERVIOUS AREA: 1.47 ACRES (63,901 SF)
 (BEST MANAGEMENT PRACTICES ARE NOT REQUIRED SINCE THE EXISTING IMPERVIOUS AREA WILL DECREASE IN PROPOSED CONDITIONS)

JURISDICTION: CITY OF NAPERVILLE
 ZONING: B2 (CURRENT)
 BOUNDARY INFORMATION: THIS PLAN HAS BEEN PREPARED USING SURVEY BY V3 COMPANIES

COSTCO BUILDING DATA:

TOTAL BUILDING FOOTPRINT AREA: 161,047 SF

INCLUDES:
 WAREHOUSE MAIN LEVEL 155,762 SF
 ENCLOSED CANOPY 5,285 SF
 PROPOSED F.A.R. 0.195
 MAX. F.A.R. ALLOWED 0.325
 LOADING DOCKS 4 (2.25 REQUIRED)

COSTCO PARKING DATA:

REQUIRED PARKING (4.5 SPACES / 1,000 GFA): 717 STALLS
 PROVIDED PARKING: 913 STALLS

INCLUDES:
 MAIN LEVEL PARKING PROVIDED:
 10' WIDE STALLS 894 STALLS
 ACCESSIBLE STALLS 19 STALLS

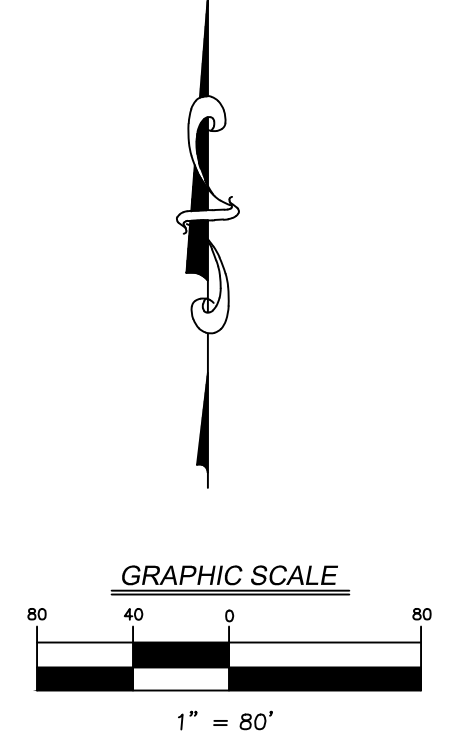
NUMBER OF STALLS PER 1000 SF OF BUILDING AREA: 5.67 STALLS

COSTCO BIKE PARKING:

PROPOSED BIKE PARKING: 9 SPACES

HMART SITE DATA:

SITE AREA: 10.14 ACRES (441,485 SF)
 TOTAL BUILDING FOOTPRINT AREA: 75,000 SF
 PROPOSED F.A.R.: 0.170
 MAX. F.A.R. ALLOWED: 0.325
 REQUIRED PARKING (4.5 SPACES / 1,000 GFA): 338 SPACES
 PROVIDED PARKING: 553 SPACES



COSTCO WHOLESALE

NAPERVILLE, IL
 (OGDEN MALL)
 CW # 14-0099

1255 E. OGDEN AVENUE
 NAPERVILLE, IL 60563

COSTCO WHOLESALE CORPORATION

999 LAKE DRIVE
 ISSAQUAH, WA 98027
 T: 425.313.8100
 www.costco.com

1101 Second Ave, Ste 100
 Seattle, WA 98101

206 962 6500
 MG2.com

MG2

V3

V3 Companies
 7325 Janes Avenue
 Woodridge, IL 60517
 630.724.9200 phone
 630.724.9202 fax
 www.v3co.com

Valo, Verter, Virtute...The Vision to Transform with Excellence™

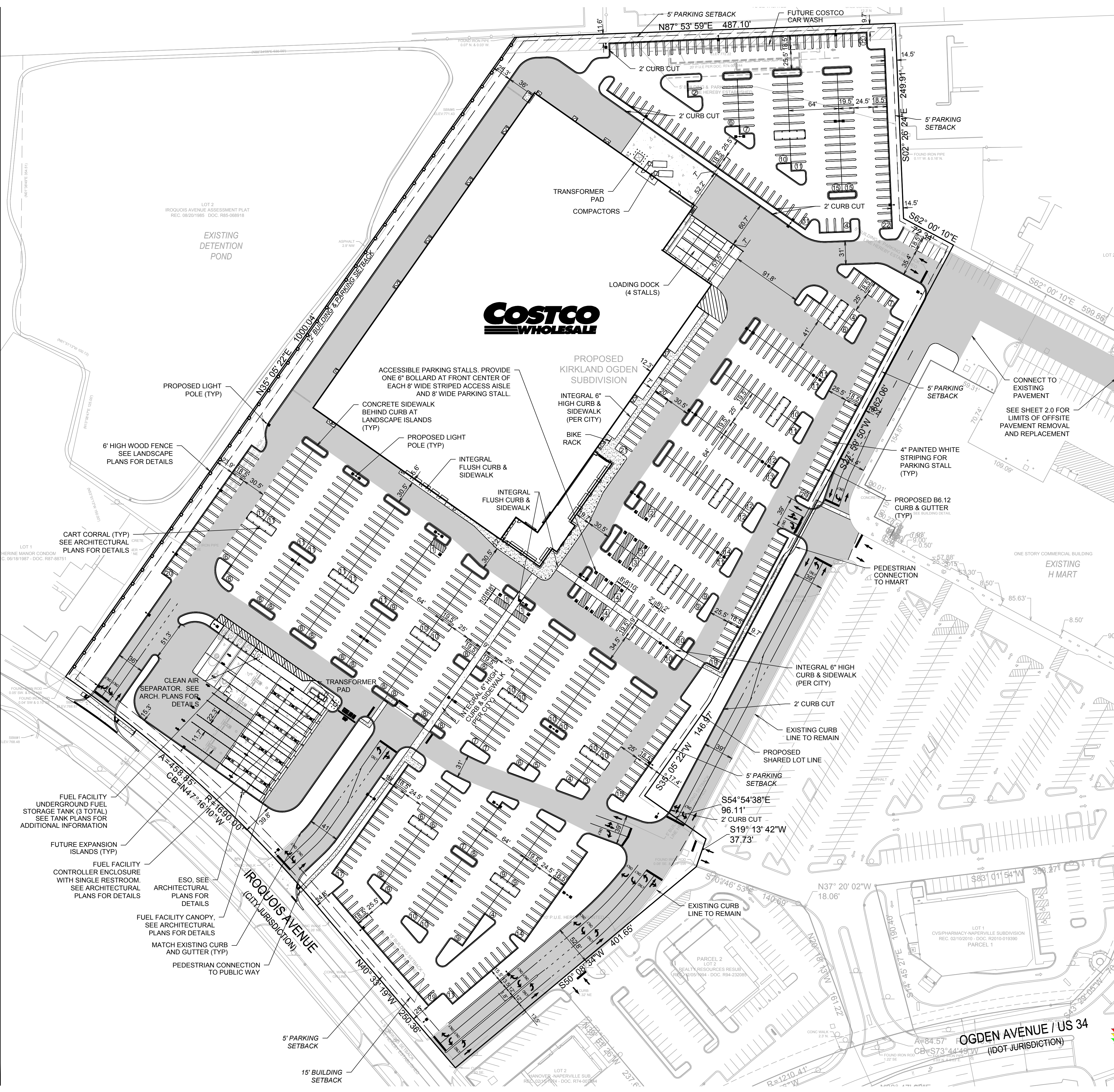
DATE	DESCRIPTION
01-15-20	ISSUED FOR REVIEW
02-07-20	TEAM COORDINATION
02-26-20	SITE PLAN REVISIONS
03-03-20	CITY COMMENTS

PROJECT NUMBER: 19473 - S03
 PM: BRP
 DRAWN: DB
 DATE: 01 - 15 - 2020

PRELIMINARY OVERALL SITE PLAN

C2.0

PLOTTED BY: PETER WAGENMAKER DATE/TIME: 3/6/2020 11:17 AM FILE: I:\2019\19473\DRAWINGS\ACAD\LD\S03\SHEET DRAWINGS\C2.1.LAY19473.DWG



NOTES:

1. CURB & GUTTER SHALL BE B6.12 OR B6 BARRIER CURB PER THE CITY OF NAPERVILLE STANDARD SPECIFICATIONS, UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
3. ALL SITE SIGNAGE SHALL BE IN CONFORMANCE WITH M.U.T.C.D. STANDARDS.
4. ALL PARKING SPACES SHALL BE ANGLED AT 90° TO THE ASSOCIATED DRIVE AISLE.
5. SEE UTILITY PLAN FOR LOCATIONS OF PROPOSED UTILITY EASEMENTS (IF REQUIRED).
6. LIGHT POLES SHOWN FOR REFERENCE ONLY. SEE PLANS BY OTHERS FOR MORE INFORMATION.
7. PROPOSED ACCESS POINTS AND SITE LAYOUT SUBJECT TO APPROVAL BY THE CITY OF NAPERVILLE.
8. SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND DETAILS.
9. THE PAVEMENT SECTIONS SHOULD BE VERIFIED BASED ON RECOMMENDATION OF THE COMPLETED GEOTECHNICAL REPORT.
10. EXISTING ABOVE GRADE BUILDINGS WITHIN COSTCO PROPERTY TO BE REMOVED. ANY EXISTING BASEMENTS OR BUILDING AREA DEPRESSIONS (THEATER, ETC.) SHALL BE FILLED AND COMPACTED TO MINIMUM 95% MODIFIED PROCTOR AND PER COSTCO GEOTECHNICAL RECOMMENDATIONS. PRIOR TO FILLING BASEMENTS OR BUILDING AREA DEPRESSIONS, ALL FOUNDATIONS, FLOORS, WALLS AND UTILITIES TO BE REMOVED.
11. EXISTING PAVEMENT TO BE COMPLETELY REMOVED WHERE NEW PAVEMENT IS INDICATED. CONTRACTOR TO COMPACT REMAINING PAVEMENT BASE COURSE AND SUBGRADE TO 95% MODIFIED PROCTOR AND UNDERCUT AND REPLACE SOFT SPOTS AS NEEDED.
12. PROVIDE FROST-RESISTIVE FILL AND UNDERDRAIN BELOW ALL SIDEWALKS ADJACENT TO BUILDING. TIE UNDERDRAIN TO BUILDING FOUNDATION DRAIN. SEE UTILITY PLAN FOR INFORMATION REGARDING FOUNDATION DRAIN.
13. SEE UTILITY PLAN FOR ADDITIONAL PAVEMENT UNDERDRAIN INFORMATION.
14. CONTRACTOR TO MAINTAIN TRAFFIC FLOWS FROM EXISTING OGDEN MALL PROPERTY AT ALL TIMES DURING CONSTRUCTION.

PAVING LEGEND
(SEE NOTE 9)

BITUMINOUS PAVEMENT (LIGHT DUTY) (SN = 2.50)	
	2" BITUMINOUS CONCRETE SURFACE COURSE, MARSHALL METHOD, PG 64-22 (PROJECT SPECIFICATIONS FOR COSTCO BITUMINOUS PAVEMENT STANDARDS AND REQUIREMENTS).
	2" HOT MIX ASPHALT BINDER COURSE (PROJECT SPECIFICATIONS FOR COSTCO BITUMINOUS PAVEMENT STDS. & REQUIREMENTS).
	8" COMPACTED AGGREGATE BASE COURSE, TYPE B, CA-6, GRADE 8 OR 9
BITUMINOUS PAVEMENT (HEAVY DUTY) (SN = 3.49)	
	2" BITUMINOUS CONCRETE SURFACE COURSE, MARSHALL METHODS, PG 64-22 (PROJECT SPECIFICATIONS FOR COSTCO BITUMINOUS PAVEMENT STANDARDS AND REQUIREMENTS).
	5" HOT MIX ASPHALT BINDER COURSE (PROJECT SPECIFICATIONS FOR COSTCO BITUMINOUS PAVEMENT STDS. & REQUIREMENTS).
	8" COMPACTED AGGREGATE BASE COURSE, TYPE B, CA-6, GRADE 8 OR 9
CONCRETE PAVEMENT (SN = 4.80)	
	7" P.C. CONCRETE PAVEMENT W/ W6.5 X W4 WELDED WIRE FABRIC 10" COMPACTED AGGREGATE BASE COURSE, TYPE B, CA-6, GRADE 8 OR 9
CONCRETE SIDEWALK (SN = 3.02)	
	5" P.C. CONCRETE PAVEMENT - UNREINFORCED 4" COMPACTED AGGREGATE BASE COURSE, TYPE B, CA-6, GRADE 8 OR 9



**NAPERVILLE, IL
(OGDEN MALL)
CW # 14-0099**
1255 E. OGDEN AVENUE
NAPERVILLE, IL 60563

**COSTCO
WHOLESALE
CORPORATION**

999 LAKE DRIVE
ISSAQUAH, WA 98027
T: 425.313.8100
www.costco.com

1101 Second Ave, Ste 100
Seattle, WA 98101

206 962 6500
MG2.com



V3 Companies
7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
630.724.9202 fax
www.v3co.com

Valio, Vertere, Virtute... "The Vision to Transform with Excellence"

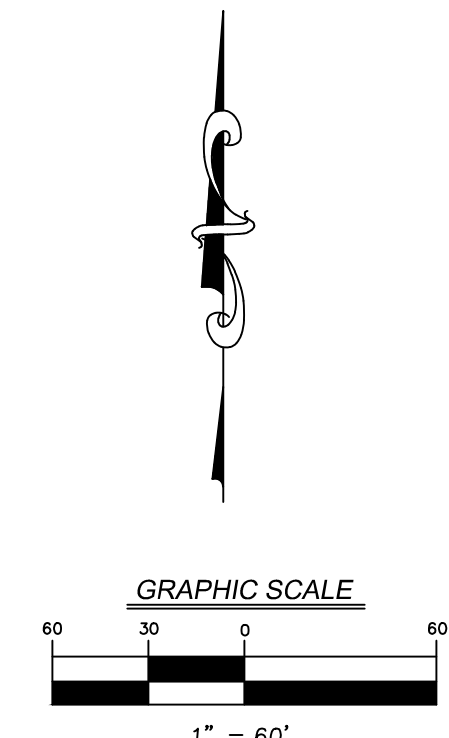
© MG2, Inc. All rights reserved. No part of this document may be reproduced in any form or by any means without permission in writing from MG2, Inc.

DATE	DESCRIPTION
01-15-20	ISSUED FOR REVIEW
02-07-20	TEAM COORDINATION
03-26-20	SITE PLAN REVISIONS
03-03-20	CITY COMMENTS

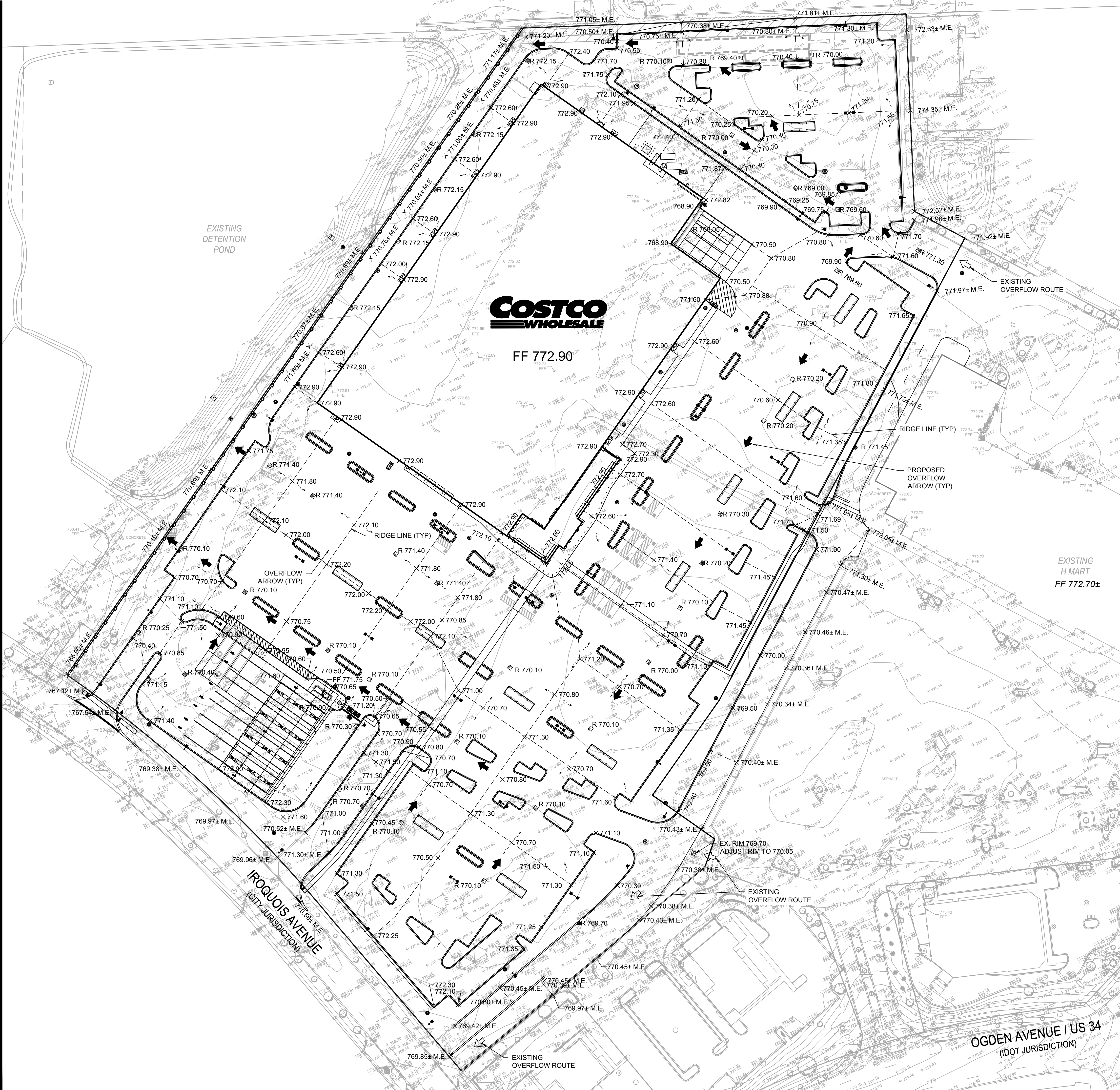
PROJECT NUMBER: 19473 - S03
PM: BRP
DRAWN: DB
DATE: 01 - 15 - 2020

**PRELIMINARY
LAYOUT AND
PAVING PLAN**

C2.1



FILE: N:\2019\19473\DRAWINGS\CAD\DISO\SHEET DRAWINGS\C3.0 GRD\19473.DWG PLOTTED BY: DEBBIE BOOR DATE/TIME: 3/5/2020 12:41 PM



NOTES:

- ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. SUBTRACT TOPSOIL THICKNESS OR PAVEMENT SECTION TO ESTABLISH SUBGRADE ELEVATIONS.
- PROVIDE 1.50% MAX (1.00% MIN) CROSS SLOPE AND 4.00% MAX LONGITUDINAL SLOPE ON ALL SIDEWALKS. ALWAYS MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING.
- EXISTING STORMWATER DETENTION PROVIDED IN EXISTING, OFFSITE DETENTION FACILITY. NO NEW DETENTION VOLUME IS ANTICIPATED TO BE REQUIRED FOR THE PROPOSED COSTCO REDEVELOPMENT.
- CONTRACTOR TO REFER TO RECOMMENDATIONS PROVIDED IN THE FINAL GEOTECHNICAL REPORT TO BE COMPLETED BY OTHERS.

LEGEND		DESCRIPTION
EXISTING	PROPOSED	
⊙	⊙	UTILITY STRUCTURE WITH CLOSED LID
□	□	CURB INLET
○	○	DRAINAGE STRUCTURE WITH OPEN LID
⊙	⊙	FIRE HYDRANT
⊙	⊙	VALVE IN VALVE BOX
⊙	⊙	GATE VALVE IN VALVE VAULT
⊙	⊙	FLARED END SECTION (F.E.S.)
— 710 —	— 710 —	CONTOUR
x 706.00	x 706.0	SPOT ELEVATION
→	→	STORMWATER FLOW DIRECTION
→	→	STORMWATER OVERFLOW ROUTE



NAPERVILLE, IL
(OGDEN MALL)
CW # 14-0099

1255 E. OGDEN AVENUE
NAPERVILLE, IL 60563

**COSTCO
WHOLESALE
CORPORATION**

999 LAKE DRIVE
ISSAQUAH, WA 98027
T: 425.313.8100
www.costco.com

1101 Second Ave, Ste 100
Seattle, WA 98101

206.962.6500
MG2.com



V3 Companies
7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
630.724.9202 fax
www.v3co.com

Visio, Veritas, Virtute... "The Vision to Transform with Excellence"

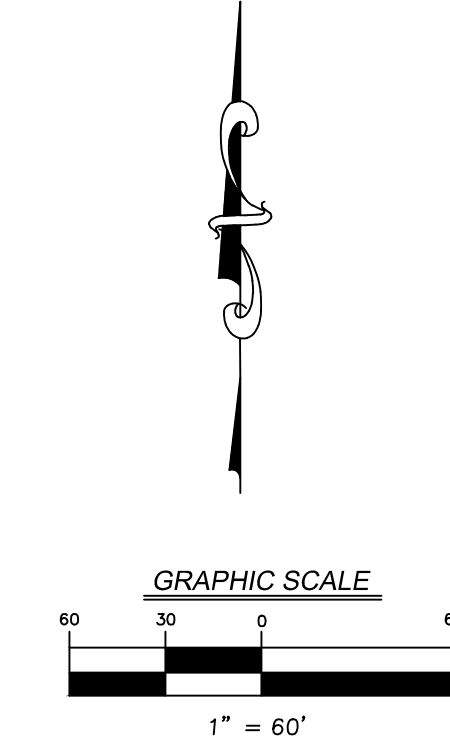
© MG2, Inc. All rights reserved. No part of this document may be reproduced in any form or by any means without permission in writing from MG2, Inc.

Δ	DATE	DESCRIPTION
1	01-15-20	ISSUED FOR REVIEW
2	02-07-20	TEAM COORDINATION
3	02-26-20	SITE PLAN REVISIONS
4	03-03-20	CITY COMMENTS

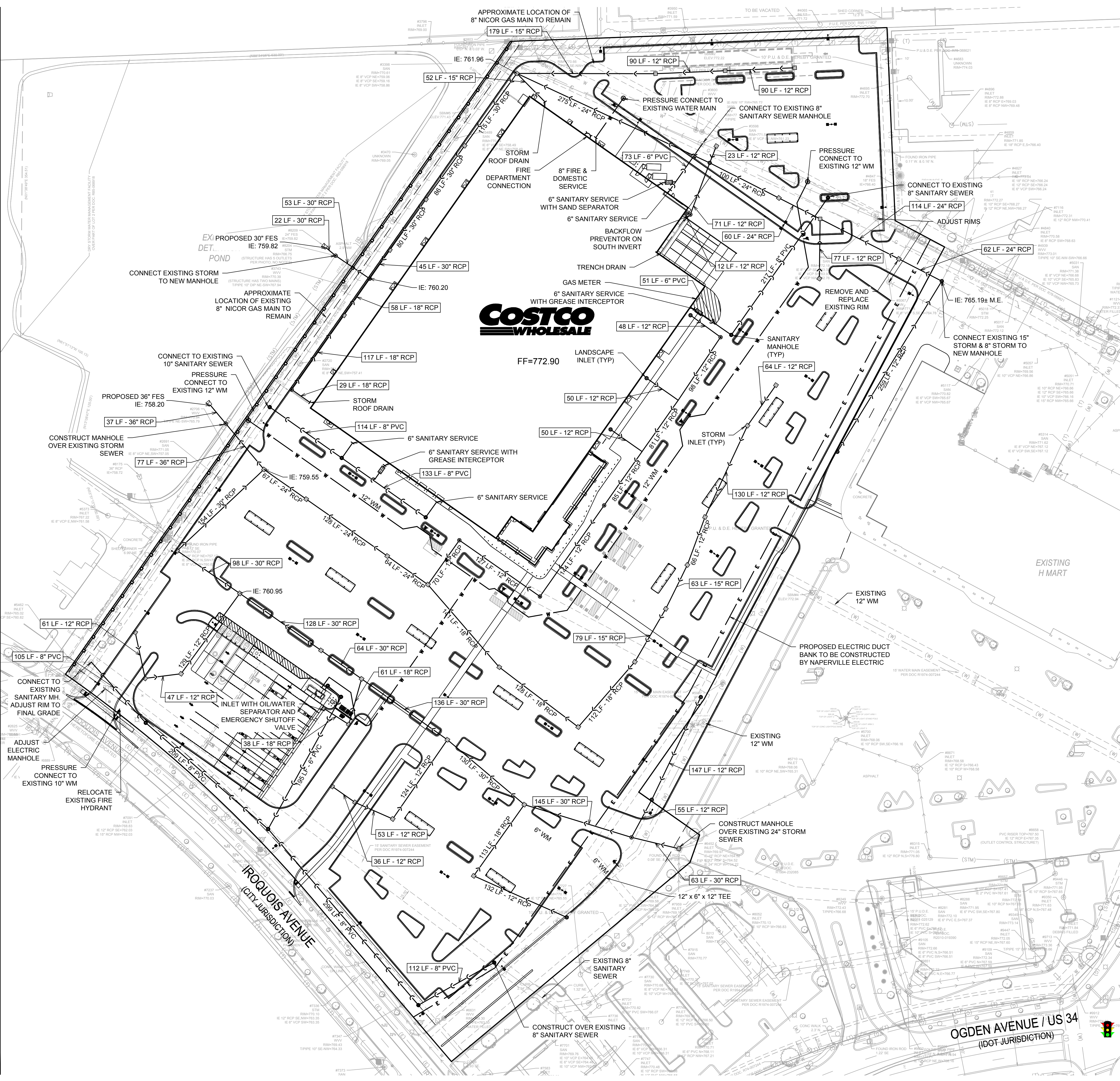
PROJECT NUMBER: 19473 - S03
PM: BRP
DRAWN: DB
DATE: 01 - 15 - 2020

PRELIMINARY
GRADING PLAN

C3.0



FILE: N:\2019\19473\DRAWINGS\CAD\DISO\SHEET DRAWINGS\C4.0 UTIL\19473.DWG
 PLOTTED BY: DEBBIE BOOR DATE/TIME: 3/5/2020 12:40 PM

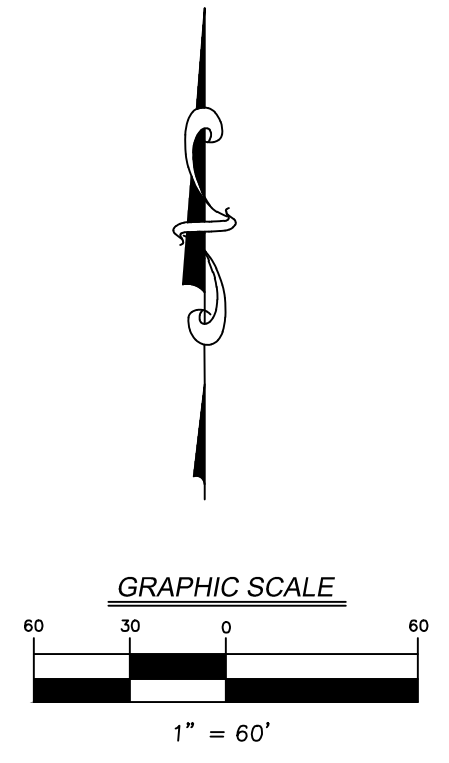


NOTES:

- CONTRACTOR TO UTILIZE DUCTILE IRON PIPE, CLASS 52 CONFORMING TO ANSI A21.4 (AWWA C104) AND PUSH-ON JOINTS CONFORMING TO ANSI A21.11 (AWWA C111).
- SANITARY SEWER MAINS AND SERVICES SHALL BE PVC SDR 26 CONFORMING TO ASTM D-2241. ELASTOMETRIC GASKET JOINTS SHALL BE IN CONFORMANCE WITH ASTM D-3139.
- UNLESS OTHERWISE INDICATED ON THE PLANS, STORM SEWER PIPE SHALL BE REINFORCED CONCRETE IN CONFORMANCE WITH HDOT STANDARD SPECIFICATIONS DETERMINATION FOR PIPE CLASS, AND CONFORMING TO ASTM C76. ALL STORM SEWER SHALL HAVE GASKETED JOINTS CONFORMING TO ASTM C461.
- LIGHT POLES ARE SHOWN FOR REFERENCE ONLY. SEE PLANS BY OTHERS FOR MORE INFORMATION.
- SEE LANDSCAPE PLANS BY OTHERS FOR TREE, PLANTING AND LANDSCAPING.
- CONTRACTOR TO FIELD VERIFY LOCATION, SIZE AND INVERT ELEVATION OF EXISTING UTILITIES PRIOR TO ORDERING MATERIALS AND STARTING CONSTRUCTION.
- FIRE HYDRANTS SHALL MAINTAIN A MINIMUM OF 5 FEET OF SEPARATION FROM BACK OF CURB. ALL WATERMAIN LEADS TO FIRE HYDRANTS SHALL BE A MINIMUM OF 6 INCHES UNLESS OTHERWISE NOTED.
- DRY UTILITIES SERVICES ARE SHOWN FOR REFERENCE ONLY. FINAL LAYOUT AND DESIGN SHALL BE COORDINATED BY THE CONTRACTOR WITH THE UTILITY OWNER.
- THE PROPOSED WATERMAIN ON-SITE IS ANTICIPATED TO BE A LOOPEED PUBLIC WATERMAIN.
- ALL STORM SEWER ROOF DRAINS FROM BUILDING TO MAIN STORM SEWER TRUNK LINE SHALL BE PVC SDR 26 AT 1.0% SLOPE (MINIMUM) UNLESS OTHERWISE NOTED.
- FRAMES AND GRATES ARE AS FOLLOWS UNLESS OTHERWISE NOTED:
 F&CL IN OPEN SPACE AND PAVEMENT: NEENAH R-1772 (OR APPROVED EQUAL)
 F&OL IN OPEN SPACE: NEENAH R-4340-B (OR APPROVED EQUAL)
 F&OL IN PAVEMENT: NEENAH R-3563-HB (OR APPROVED EQUAL)
- F&CL = FRAME AND CLOSED LID
 F&OL = FRAME AND OPEN LID
- UTILITY CROSSINGS BETWEEN WET UTILITIES (WATER, SANITARY, STORM) AND DRY UTILITIES (GAS, ELECTRIC, TELEPHONE, TELECOMMUNICATIONS) SHALL BE COORDINATED BETWEEN THE CONTRACTOR AND THE UTILITY COMPANIES TO ACCOMMODATE THE DESIGN OF THE WET UTILITY.
- CONTRACTOR TO COORDINATE WITH DRY UTILITY OWNERS, FOR FINAL DESIGN AND CONSTRUCTION OF PROPOSED SERVICES TO COSTCO PROPERTY.
- EXISTING STORMWATER DETENTION PROVIDED IN EXISTING, OFF-SITE DETENTION FACILITY. NO NEW DETENTION VOLUME IS ANTICIPATED TO BE REQUIRED FOR THE PROPOSED COSTCO REDEVELOPMENT.
- RADIAL UNDERDRAINS TO BE PROVIDED AT EACH OPEN LID MANHOLE WITHIN THE PAVEMENT. PROVIDE UNDERDRAIN ALONG ALL EDGES OF CONCRETE PAVEMENT THAT ABUT ASPHALT PAVEMENT.
- ALL PROPOSED PUBLIC WATER MAIN SHALL BE PLACED WITHIN A 10' PUBLIC UTILITY EASEMENT.
- PROVIDE ONE 6" FOUNDATION DRAIN DISCHARGE CONNECTION TO EXISTING STORM SEWER DOWNSTREAM OF OFF-SITE DETENTION BASIN RESTRICTOR TO THE WEST.
- SEE LAYOUT AND PAVING PLAN FOR ADDITIONAL UNDERDRAIN INFORMATION.
- CONTRACTOR TO MAINTAIN EXISTING SEWER AND WATER FLOWS FROM THE EXISTING OGDEN MALL PROPERTY TO THE EAST AT ALL TIMES.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		SANITARY SEWER
		SANITARY FORCE MAIN
		STORM SEWER
		COMBINED SEWER
		WATER MAIN
		UNDERGROUND FIBER OPTIC
		UNDERGROUND ELECTRIC
		UNDERGROUND TELEPHONE
		OVERHEAD ELECTRIC
		OVERHEAD TELEPHONE
		OVERHEAD WIRE
		UTILITY STRUCTURE WITH CLOSED LID
		CURB INLET
		DRAINAGE STRUCTURE WITH OPEN LID
		FIRE HYDRANT
		VALVE IN VALVE BOX
		GATE VALVE IN VALVE VAULT
		FLARED END SECTION (F.E.S.)
		LIGHT STANDARD
		OVERHEAD UTILITY POLE



NAPERVILLE, IL
 (OGDEN MALL)
 CW # 14-0099
 1255 E. OGDEN AVENUE
 NAPERVILLE, IL 60563

COSTCO WHOLESALE CORPORATION

999 LAKE DRIVE
 ISSAQUAH, WA 98027
 T: 425.313.8100
 www.costco.com

1101 Second Ave, Ste 100
 Seattle, WA 98101
 206 962 6500
 MG2.com



V3 Companies
 7325 Janes Avenue
 Woodridge, IL 60517
 630.724.9200 phone
 630.724.9200 fax
 www.v3co.com

Visio, Veritas, Virtute... "The Vision to Transform with Excellence"

© MG2, Inc. All rights reserved. No part of this document may be reproduced in any form or by any means without permission in writing from MG2, Inc.

DATE	DESCRIPTION
01-15-20	ISSUED FOR REVIEW
02-07-20	TEAM COORDINATION
02-26-20	SITE PLAN REVISIONS
03-03-20	CITY COMMENTS

PROJECT NUMBER: 19473 - S03
 PM: BRP
 DRAWN: DB
 DATE: 01 - 15 - 2020

PRELIMINARY UTILITY PLAN

C4.0