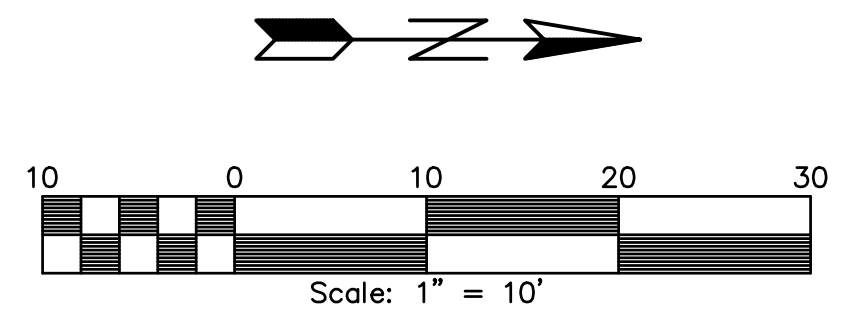


TOPOGRAPHICAL SITE DEVELOPMENT PLAN

LOT 5 IN BLOCK 4 IN ARTHUR T. MCINTOSH AND COMPANY'S NAPERVILLE HIGHLANDS, BEING A SUBDIVISION OF PARTS OF SECTION 18 AND 19, TOWNSHIP 38 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 8, 1926 AS DOCUMENT 205844, IN DUPAGE COUNTY, ILLINOIS.

COMMON ADDRESS: 730 HIGHLAND AVENUE, NAPERVILLE, ILLINOIS
PIN: 08-18-416-006



EXISTING GRADE	+XXX.XX
EXISTING CONTOUR	-XXX-
PROPOSED GRADE	+XXX.XX
PROPOSED CONTOUR	-XXX-
PROPOSED FLOW	---
SILT FENCE	-XX-XX-
CONSTRUCTION SAFETY FENCE	-X-

KEY:
T/F = TOP OF FOUNDATION
P.T.F. = PROPOSED TOP OF FOUNDATION

IMPERVIOUS AREAS TABLE

EXISTING IMPERVIOUS AREA:	
HOUSE:	1,048 S.F.
DETACHED GARAGE:	459 S.F.
CONCRETE DRIVEWAY:	1,359 S.F.
FLAGSTONE PATIO:	285 S.F.
CONCRETE AREAS:	131 S.F.
TOTAL:	3,282 S.F.

PROPOSED IMPERVIOUS AREA:	
HOUSE AND GARAGE:	2,711 S.F.
SCREENED PORCH:	255 S.F.
CONCRETE DRIVEWAY:	610 S.F.
CONCRETE WALK:	54 S.F.
CONCRETE STOOP & STAIRS:	43 S.F.
TOTAL:	3,673 S.F.

NET NEW IMPERVIOUS AREA:
3,673 S.F. - 3,282 S.F. = 391 S.F.
NO BMP'S REQUIRED.

INSTALL COPPER WATER SERVICE PER CITY STANDARDS. 63L.F. 1-1/2" FROM MAIN TO HOUSE (SEE ARCH). REMOVE AND REPLACE ANY DAMAGED SIDEWALK TO THE CLOSEST CONTROL JOINT, CURB AND GUTTER, ROADWAY AND PARKWAY. MATCH EXISTING PLAN AND PROFILE. PROVIDE B-BOX IN AN UNPAVED AREA OF R.O.W. TRENCH BACKFILL UNDER AND 2' BEYOND ALL IMPERVIOUS AREAS. MAINTAIN A MINIMUM OF 10' HORIZONTAL CLEARANCE BETWEEN THE WATER SERVICE AND SANITARY SERVICE. AUGER BENEATH THE TREE PROTECTION ZONE PER VILLAGE STANDARDS.

PROVIDE A MINIMUM OF 18" VERTICAL CLEARANCE BETWEEN THE SANITARY SERVICE AND WATER MAIN PER EPA REQUIREMENTS.

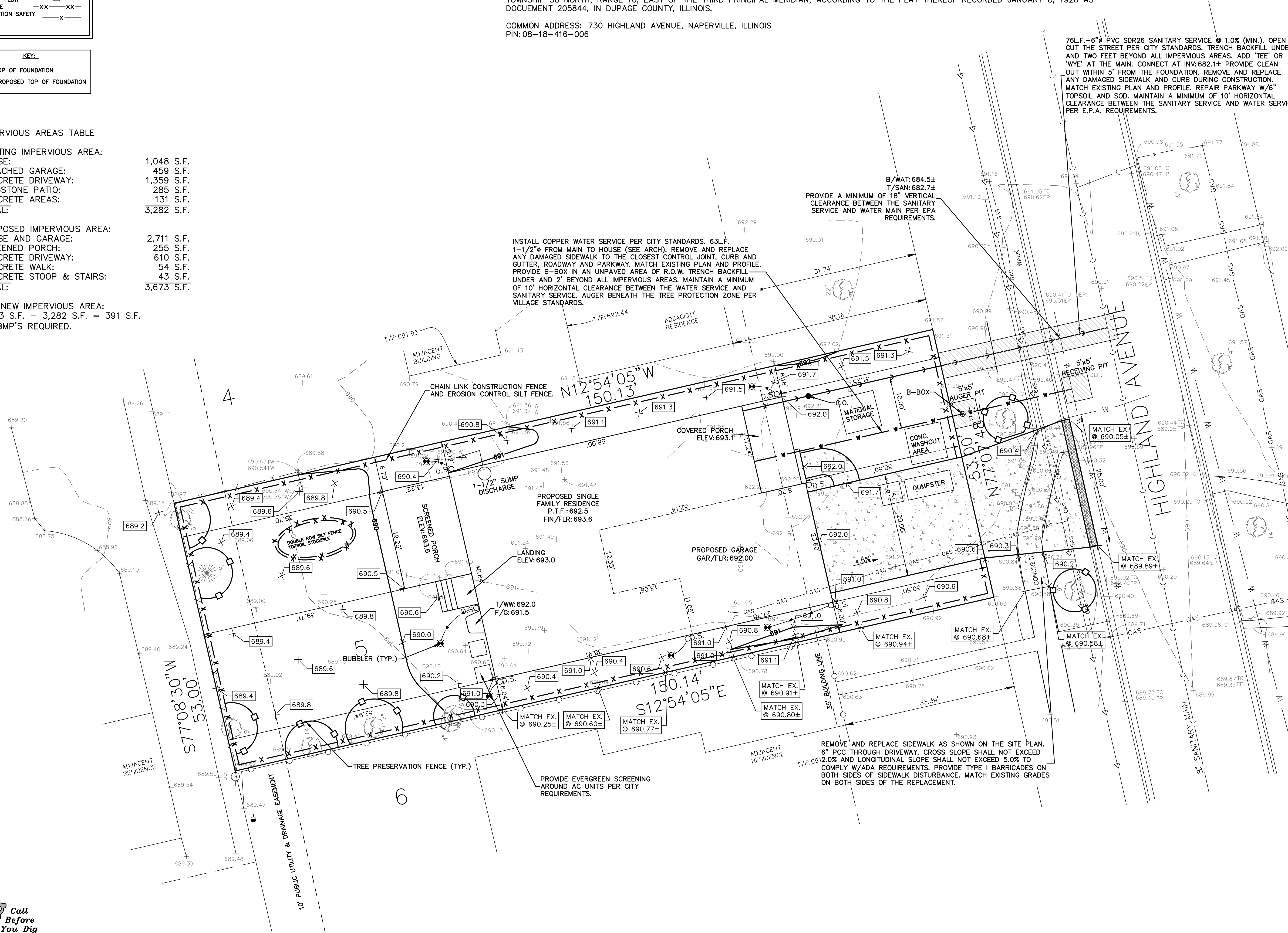
76L.F. - 6" PVC SDR26 SANITARY SERVICE @ 1.0% (MIN.). OPEN OUT THE STREET PER CITY STANDARDS. TRENCH BACKFILL UNDER AND TWO FEET BEYOND ALL IMPERVIOUS AREAS. ADD 'TEE' OR 'WYE' AT THE MAIN. CONNECT AT INV: 682.1± PROVIDE CLEAN OUT WITHIN 5' FROM THE FOUNDATION. REMOVE AND REPLACE ANY DAMAGED SIDEWALK AND CURB DURING CONSTRUCTION. MATCH EXISTING PLAN AND PROFILE. REPAIR PARKWAY W/6" TOPSOIL AND SOD. MAINTAIN A MINIMUM OF 10' HORIZONTAL CLEARANCE BETWEEN THE SANITARY SERVICE AND WATER SERVICE PER E.P.A. REQUIREMENTS.

NOTES

- EXISTING RESIDENCE, ASPHALT DRIVE AND CONCRETE IMPERVIOUS AREAS SHALL BE REMOVED IN ACCORDANCE WITH STANDARDS FOR DEMOLITION AND CONSTRUCTION WORK IN THE CITY OF NAPERVILLE.
- EXISTING WATER SERVICE TO BE COMPLETELY REMOVED. 1-1/2" DIA. TYPE 'K' COPPER WATER SERVICE TO BE PROVIDED PER CITY OF NAPERVILLE STANDARDS.
- EXISTING SANITARY SERVICE TO BE COMPLETELY REMOVED. NEW 6" PVC SDR26 AT 1.0%(MIN.) TO BE PROVIDED PER CITY OF NAPERVILLE STANDARDS.
- EXISTING ELECTRICAL METER AND SERVICE TO BE REMOVED AND REPLACED BY PROVIDER.
- EXISTING GAS METER AND SERVICE TO BE REMOVED AND REPLACED BY PROVIDER.
- THE SITE MUST BE KEPT SAFE AND CLEAN. ALL CONSTRUCTION DEBRIS AND DEMOLITION MATERIAL SHALL BE REMOVED AND/OR PLACED IN THE APPROPRIATE CONTAINERS.
- GRAVEL MAT CONSTRUCTION ENTRANCE SHALL EXTEND INTO LOT TO PROVIDE SUFFICIENT AREA TO WASH DOWN VEHICLES. GRAVEL MAT SHALL BE 3 INCH AGGREGATE WITH A MINIMUM DEPTH OF 6 INCHES.
- CONTRACTOR SHALL KEEP STREETS CLEAN.
- ALL DISTURBED AREAS SHALL BE RESTORED WITH HYDROSEED. DISTURBED AREAS WITHIN PARKWAY SHALL BE RESTORED WITH 6" TOPSOIL & SOD.
- NO MATERIAL SHALL BE STORED WITHIN 10 FEET OF ANY LOT LINE.
- AT TIME OF BACKFILL, SWALES WILL BE CONSTRUCTED TO PROTECT NEIGHBORING PROPERTY OWNERS.
- THE PROPOSED PORTABLE TOILET SHALL NOT BE PLACED WITHIN 10 FEET OF ANY LOT LINE.
- WASH DOWN AREA FOR CONSTRUCTION VEHICLES SHALL BE LOCATED ON SITE SOUTH OF CONSTRUCTION ENTRANCE (WITH SILT FENCE PROTECTION FOR RUN OFF).
- ALL BROKEN OR DEFECTIVE SIDEWALK MUST BE REMOVED AND REPLACED PRIOR TO ISSUE AN OCCUPANCY PERMIT.
- THE CHAIN LINK FENCE AND EROSION CONTROL FENCES MUST BE INSTALLED PRIOR TO ANY WORK ON THE SITE. WE RECOMMEND THAT THE EROSION CONTROL FENCE BE INSTALLED OUTSIDE THE CHAIN LINK FENCE. THE EROSION FENCE MUST REMAIN IN PLACE UNTIL FINAL VEGETATION IS ESTABLISHED.
- STOCKPILES TO REMAIN IN PLACE MORE THAN THREE DAYS SHALL BE PROVIDED WITH SOIL EROSION AND SEDIMENT CONTROL MEASURES, INCLUDING DOUBLE ROW OF SILT FENCE.
- ALL TEMPORARY EROSION & SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL STABILIZATION IS ACHIEVED. TRAPPED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION.
- COORDINATE ANY WORK IN HIGHLAND AVENUE WITH CITY OF NAPERVILLE PUBLIC WORKS DEPARTMENT.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NAPERVILLE STORMWATER AND FLOODPLAIN ORDINANCE.
- CONTACT PERSON FOR SITE:

A FINAL GRADING SURVEY IS REQUIRED AT THE COMPLETION OF THE PROJECT, INCLUDING AN ELECTRONIC COPY (TIFF. FORMAT). IT SHALL INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING ITEMS:

- SUMP PUMP DISCHARGE LOCATION, DISCHARGE PATH, AND THE LOCATION, SIZE AND MATERIAL OF ANY ASSOCIATED PIPING (SUMP DISCHARGE SHALL BE AT LEAST 20 FEET FROM THE DOWNSTREAM PROPERTY LINE).
- DOWNSPOUT LOCATION, DISCHARGE PATH, AND THE LOCATION, SIZE, AND MATERIAL OF ANY ASSOCIATED PIPING (DOWNSPOUT DISCHARGE SHALL BE AT LEAST 20 FEET FROM THE DOWNSTREAM PROPERTY LINE).
- TOP OF FOUNDATION ELEVATIONS OF ALL NEW STRUCTURES.
- SPOT GRADES ADJACENT TO THE FOUNDATIONS OF ALL NEW STRUCTURES.
- ALL NEW IMPERVIOUS AREAS INCLUDING THOSE MADE OF CONCRETE, ASPHALT, AND BRICK.
- STOOPS OUTSIDE OF DOORWAYS.
- WINDOW WELL LOCATIONS, ELEVATIONS, AND THE ADJACENT GRADE.
- UPDATED CALCULATIONS OF THE AS-BUILT IMPERVIOUS AREAS. TABULATE TO SHOW THE NET INCREASE IN IMPERVIOUS AREA (ANY INCREASE IN IMPERVIOUS AREA FROM THE PROPOSED WILL RESULT IN AN ADDITIONAL FEE).



PREPARED FOR: LAKEWEST CUSTOM HOMES

DRAWN BY: S.F.
CHECKED BY: J.G.
APPROVED BY: J.G.



35701 WEST AVENUE, SUITE 150
WARRENVILLE, ILLINOIS 60055
PHONE (630) 393-3060
FAX (630) 393-2152

10 S. RIVERSIDE PLAZA, SUITE 875
CHICAGO, ILLINOIS 60606
PHONE (312) 474-7841
FAX (312) 474-6099

2416 GALEN DRIVE
CHAMPAIGN, ILLINOIS 61821
PHONE (217) 351-6268
FAX (217) 355-1902

AVG. GRADE ELEVATION:	
1	692.00
2	691.00
AVG. GRADE :	691.50

SHEET 1 OF 3

SITE PLAN DATED: OCTOBER 20, 2020

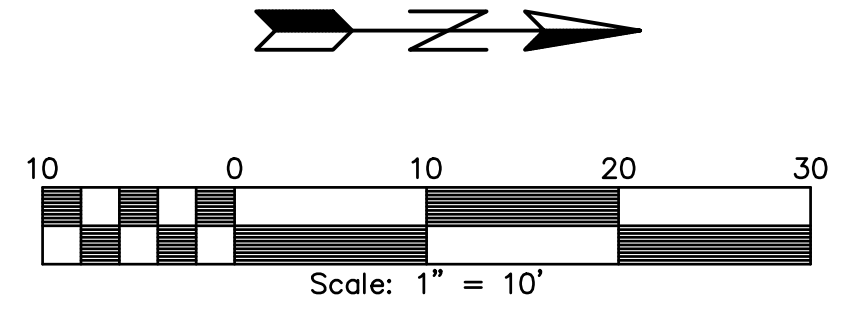
PROFESSIONAL DESIGN FIRM NUMBER: 184.001186

Jon P. Green, P.E.
IL. P.E. NO. 062-052108
Expires November 30, 2021

EXISTING CONDITIONS AND DEMOLITION PLAN

LOT 5 IN BLOCK 4 IN ARTHUR T. MINTOSH AND COMPANY'S NAPERVILLE HIGHLANDS, BEING A SUBDIVISION OF PARTS OF SECTION 18 AND 19, TOWNSHIP 38 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 8, 1926 AS DOCUMENT 205844, IN DUPAGE COUNTY, ILLINOIS.

COMMON ADDRESS: 730 HIGHLAND AVENUE, NAPERVILLE, ILLINOIS
PIN: 08-18-416-006



EXISTING GRADE	+XXX.XX
EXISTING CONTOUR	-XXX-
PROPOSED GRADE	+XXX.XX
PROPOSED CONTOUR	-XXX-
PROPOSED FLOW	---
SILT FENCE	-XX--XX-
CONSTRUCTION SAFETY FENCE	-X-

KEY:
T/F = TOP OF FOUNDATION
P.T.F. = PROPOSED TOP OF FOUNDATION

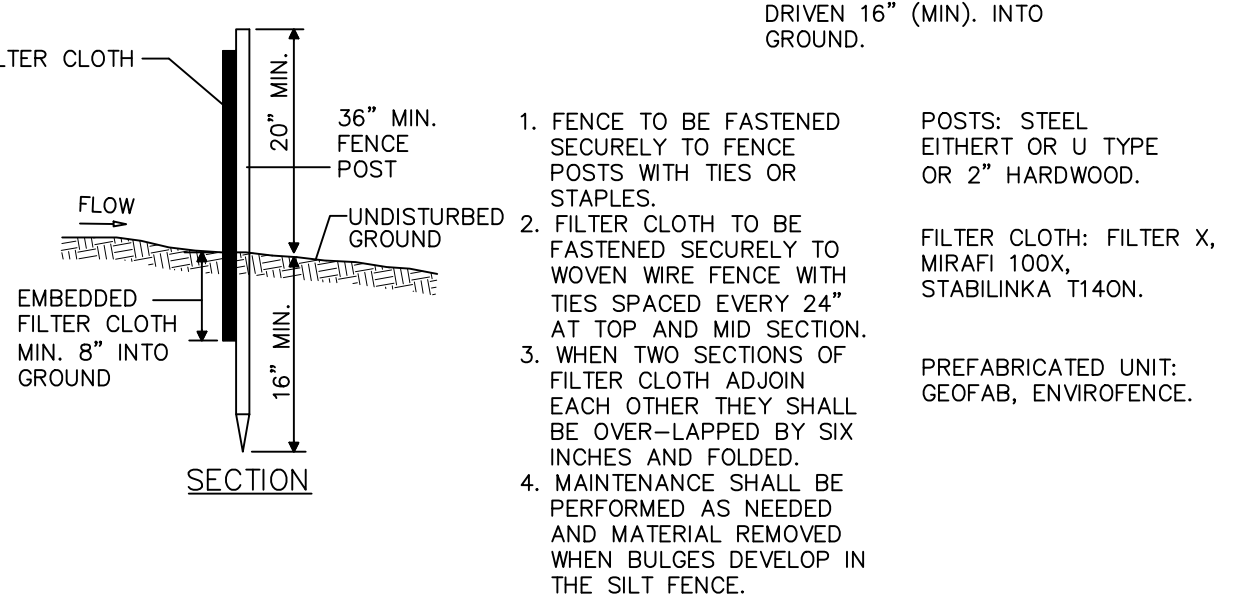
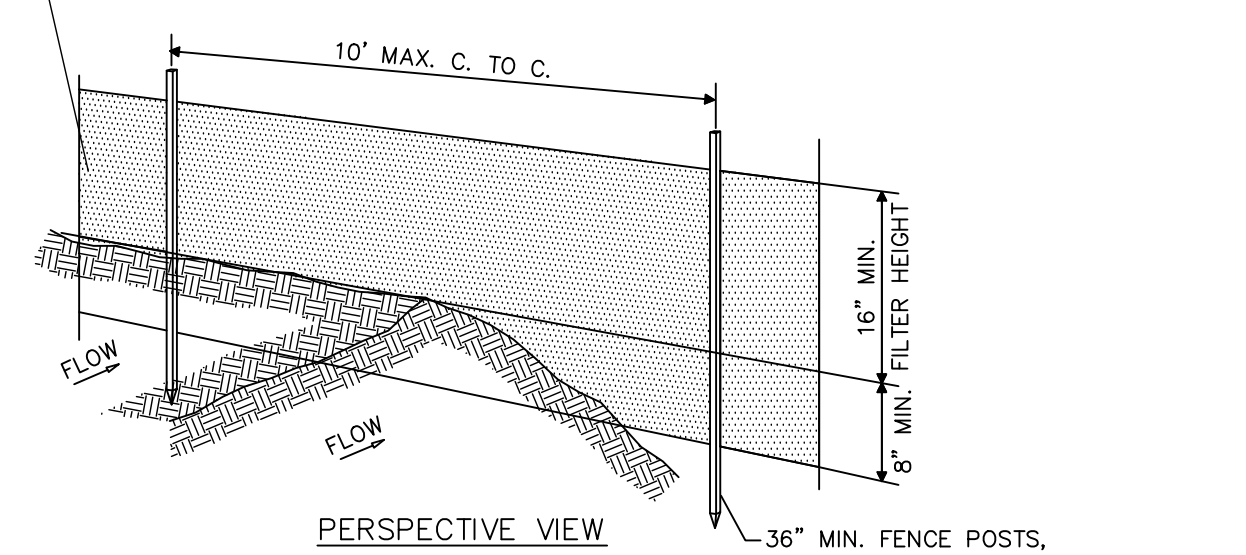
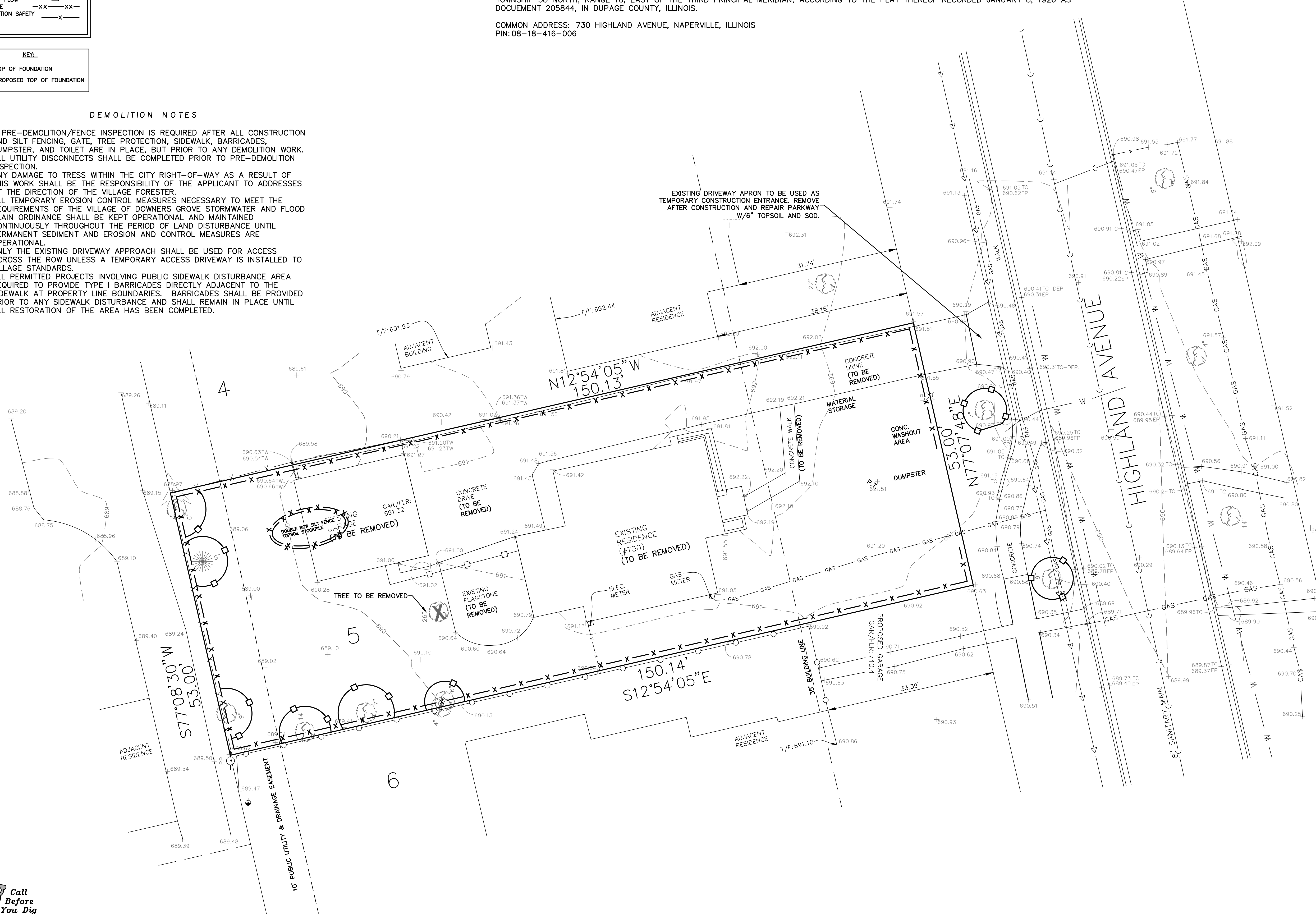
DEMOLITION NOTES

- A PRE-DEMOLITION/FENCE INSPECTION IS REQUIRED AFTER ALL CONSTRUCTION AND SILT FENCING, GATE, TREE PROTECTION, SIDEWALK, BARRICADES, DUMPSTER, AND TOILET ARE IN PLACE, BUT PRIOR TO ANY DEMOLITION WORK. ALL UTILITY DISCONNECTS SHALL BE COMPLETED PRIOR TO PRE-DEMOLITION INSPECTION.
- ANY DAMAGE TO TRESS WITHIN THE CITY RIGHT-OF-WAY AS A RESULT OF THIS WORK SHALL BE THE RESPONSIBILITY OF THE APPLICANT TO ADDRESSES AT THE DIRECTION OF THE VILLAGE FORESTER.
- ALL TEMPORARY EROSION CONTROL MEASURES NECESSARY TO MEET THE REQUIREMENTS OF THE VILLAGE OF DOWNERS GROVE STORMWATER AND FLOOD PLAIN ORDINANCE SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SEDIMENT AND EROSION CONTROL MEASURES ARE OPERATIONAL.
- ONLY THE EXISTING DRIVEWAY APPROACH SHALL BE USED FOR ACCESS ACROSS THE ROW UNLESS A TEMPORARY ACCESS DRIVEWAY IS INSTALLED TO VILLAGE STANDARDS.
- ALL PERMITTED PROJECTS INVOLVING PUBLIC SIDEWALK DISTURBANCE AREA REQUIRED TO PROVIDE TYPE I BARRICADES DIRECTLY ADJACENT TO THE SIDEWALK AT PROPERTY LINE BOUNDARIES. BARRICADES SHALL BE PROVIDED PRIOR TO ANY SIDEWALK DISTURBANCE AND SHALL REMAIN IN PLACE UNTIL ALL RESTORATION OF THE AREA HAS BEEN COMPLETED.

- PROPOSED THE WATER SERVICE MUST REMAIN 1.5" ALL THE WAY INTO THE BUILDING WITH A 1.5" WATER METER (68 WSFU COUNT).
- THE WATER SERVICE REQUIRED TO BE TERMINATED AT THE MAIN AND THE OLD BBOX REMOVED. CREDIT WILL BE GIVEN FOR THE EXISTING WATER SERVICE, DPU-W/WW IAC FEE IS \$2078.00, 1.5" WATER METER \$618.00
- ALL WATER COMPONENTS SHALL BE LEAD FREE AND CERTIFIED TO MEET BOTH NSF 61 AND 372, AND IDENTIFIED WITH APPLICABLE MARKINGS.
- IF ATTEMPTING TO RE-USE THE EXISTING SANITARY SERVICE LATERAL IT MUST BE TV'D, WITNESSED, AND APPROVED BY DPU-W/WW, CECOM. IF NOT APPROVED FOR RE-USE IT MUST BE REPLACED OR LINED PER CITY STANDARDS. RECORDS INDICATE THE 8" SANITARY MAIN ON WRIGHT ST IS CIPP LINED, THE SERVICE LATERAL IS NOT LINED.
- A LICENSED PLUMBER MUST BE ON SITE FOR ALL PLUMBING WORK PERFORMED IN THE CITY ROW.
- OVERHEAD SEWERS ARE REQUIRED.
- ANY EXCAVATION NECESSARY TO INSTALL AND/OR DISCONNECT WATER AND/OR SANITARY SEWER SERVICES SHALL PROTECT TREES AND BE IN ACCORDANCE WITH NAPERVILLE STANDARD DETAILS 790.10 AND 790.11, WHERE EXCAVATION IS NECESSARY WITHIN THE DRIPLINE OF ANY TREE ALTERNATE EXCAVATION METHODS MAY BE REQUIRED.
- INSPECTIONS ARE REQUIRED AND SCHEDULED AT 630-420-6082.

EROSION CONTROL NOTES

- THE SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE ANY LAND IS DISTURBED ON THE SITE.
- STOCKPILES OF SOIL SHALL NOT BE LOCATED WITHIN ANY DRAINAGEWAYS, FLOODPLAINS, WETLANDS, OR BUFFERS.
- SEDIMENT AND EROSION CONTROL SHALL BE PROVIDED FOR ANY SOIL STOCKPILE IF IT IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS INCLUDING A DOUBLE ROW OF SILT FENCE.
- PROPERTIES DOWNSTREAM FROM THE SITE SHALL BE PROTECTED FROM EROSION IF THE VOLUME, VELOCITY, SEDIMENT LOAD, OR PEAK FLOW RATES OF STORMWATER RUNOFF ARE TEMPORARILY INCREASED DURING CONSTRUCTION.
- STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTER CONTROL DEVICES DURING CONSTRUCTION.
- THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL EROSION WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED. STRIPPED AREAS THAT WILL REMAIN UNDISTURBED FOR MORE THAN SEVEN DAYS AFTER INITIAL DISTURBANCE SHALL BE PROTECTED FROM EROSION.
- WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION DEWATERING SHALL BE FILTERED.
- A STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO PREVENT THE DEPOSITION OF SOIL ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SOIL REACHING A PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED BEFORE THE END OF EACH WORKDAY.
- ALL TEMPORARY EROSION CONTROL MEASURES NECESSARY TO MEET THE REQUIREMENTS OF THE CITY OF NAPERVILLE STORMWATER AND FLOOD PLAIN ORDINANCE SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SEDIMENT AND EROSION CONTROL MEASURES ARE OPERATIONAL.
- AN INITIAL SEDIMENTATION AND EROSION CONTROL INSPECTION IS REQUIRED PRIOR TO NOTIFY THE CITY OF NAPERVILLE PUBLIC WORKS DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF CONSTRUCTION.



SILT FENCE

NOT TO SCALE

- FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN BULGES DEVELOP IN THE SILT FENCE.

POSTS: STEEL EITHERH OR U TYPE OR 2" HARDWOOD.
FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N.
PREFABRICATED UNIT: GEOFAB, ENVIROFENCE.



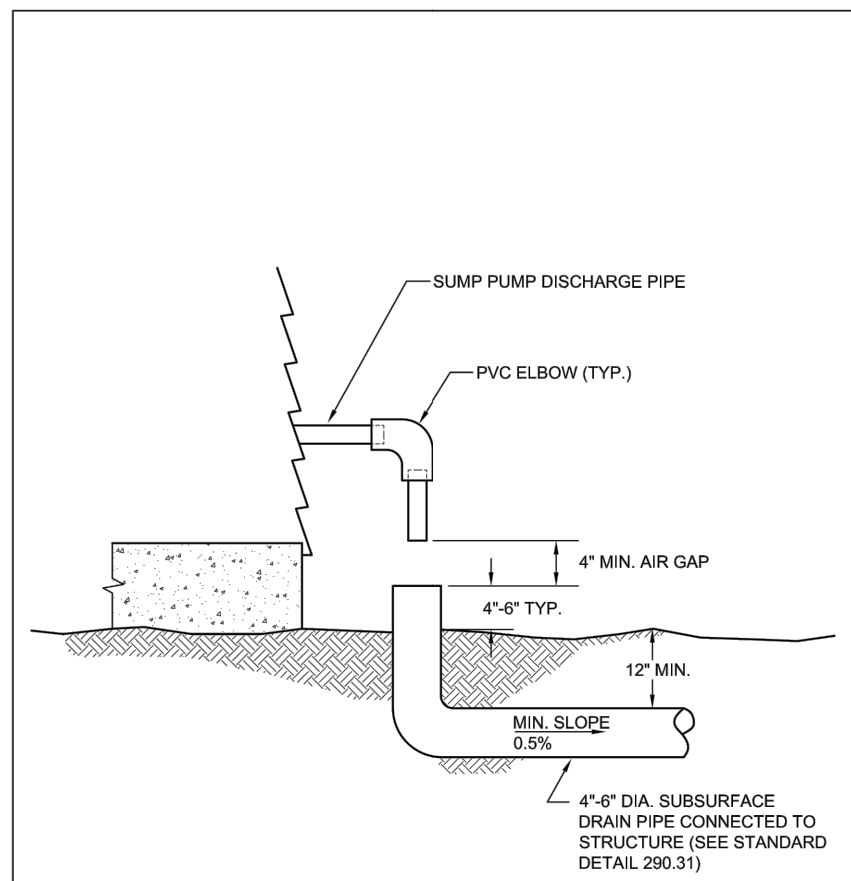
PREPARED FOR: LAKEWEST CUSTOM HOMES

DRAWN BY: S.F.	ENGINEERING RESOURCE ASSOCIATES	35701 WEST AVENUE, SUITE 150 WARRENVILLE, ILLINOIS 60555 PHONE (630) 393-3060 FAX (630) 393-2152	10 S. RIVERSIDE PLAZA, SUITE 875 CHICAGO, ILLINOIS 60606 PHONE (312) 474-7841 FAX (312) 474-6099	2416 GALEN DRIVE CHAMPAIGN, ILLINOIS 61821 PHONE (217) 351-6268 FAX (217) 355-1902
CHECKED BY: J.G.				
APPROVED BY: J.G.				

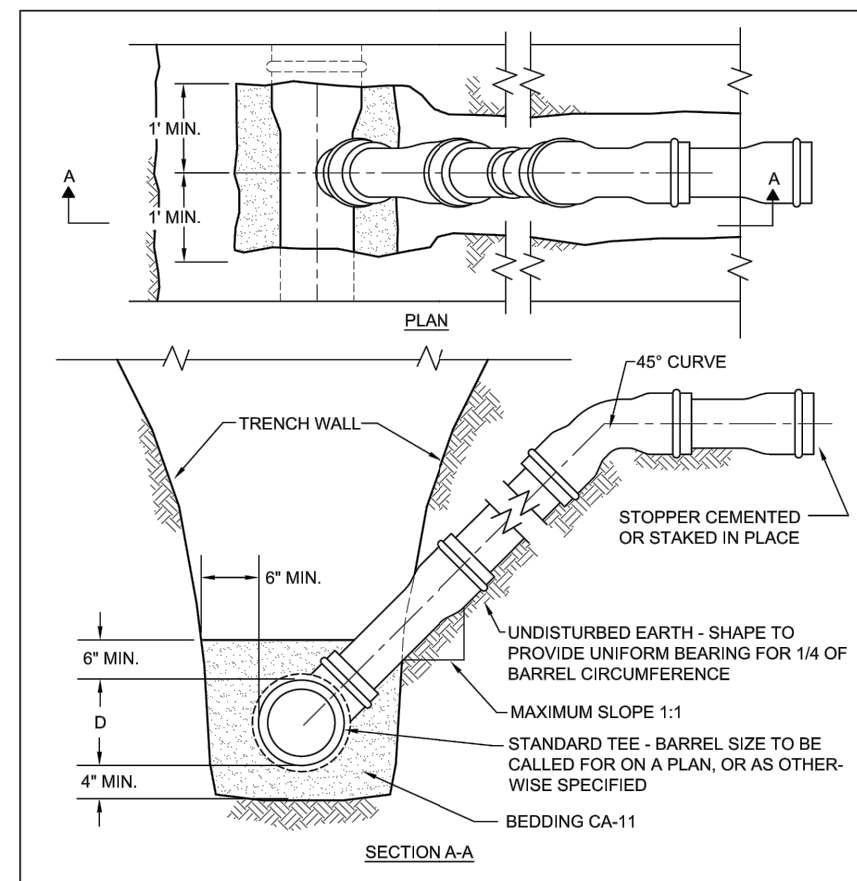
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PROFESSIONAL DESIGN FIRM NUMBER: 184.001186

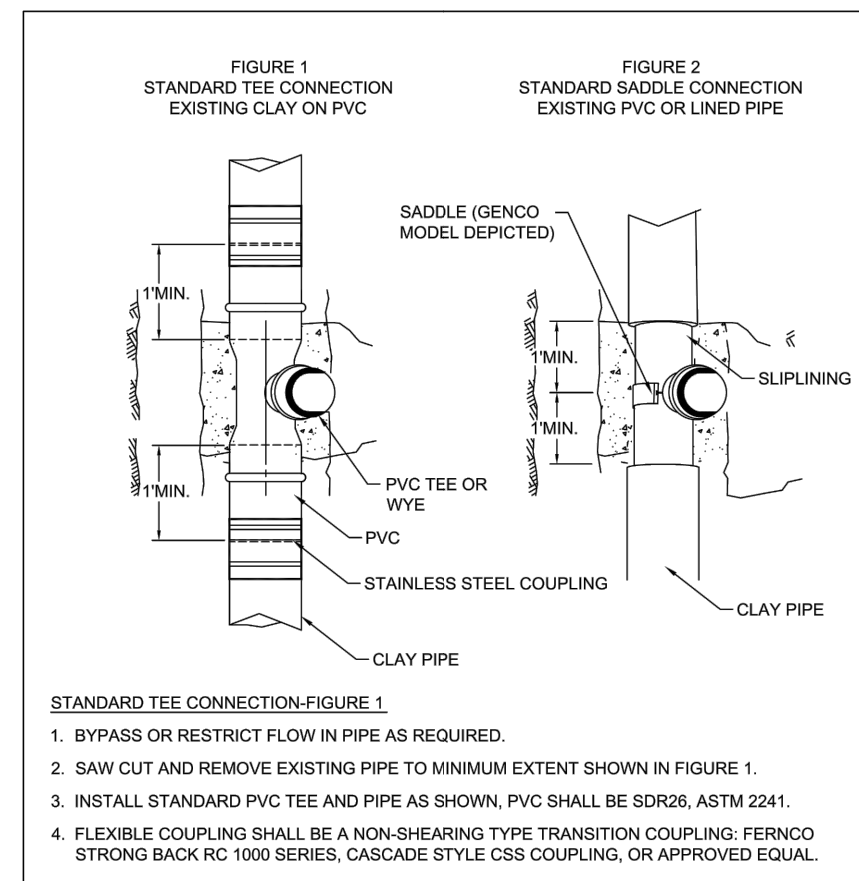
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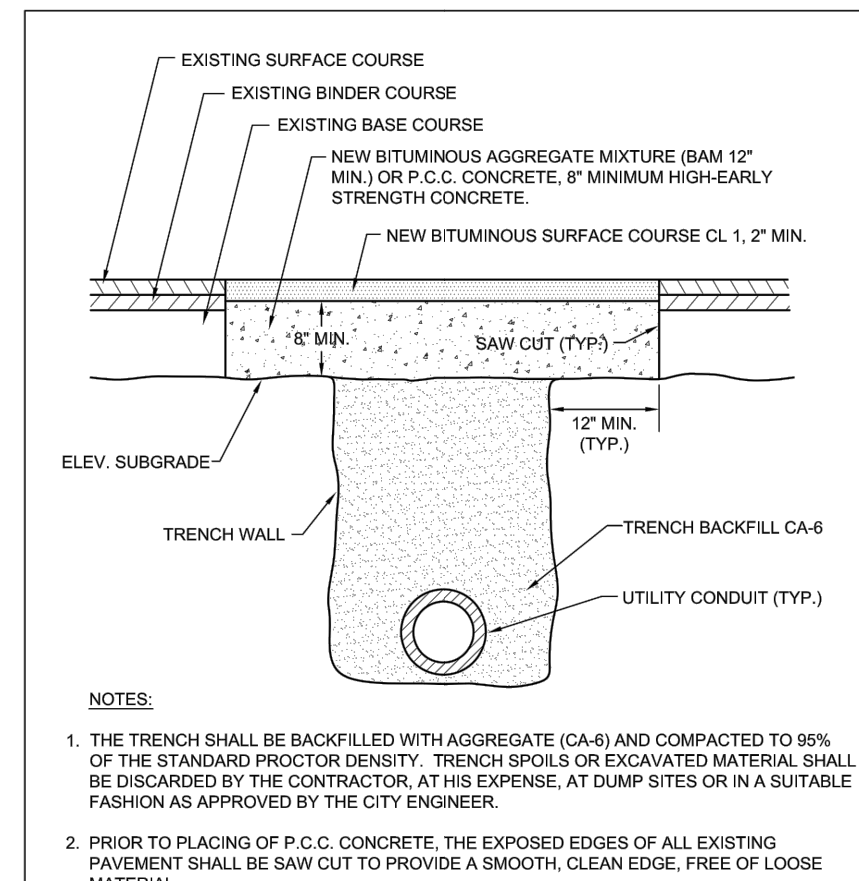
City of Naperville STANDARD DETAIL	SUMP PUMP CONNECTION	STORM 30
REVISED: 01/01/2013	SHEET 1 OF 1	290.30



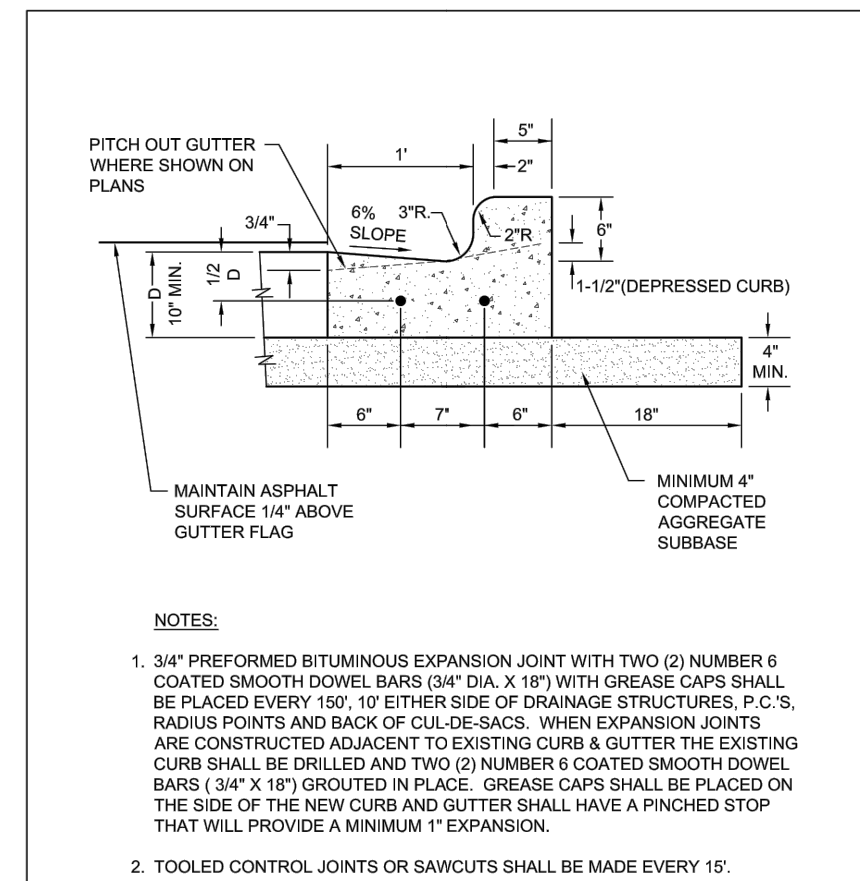
City of Naperville STANDARD DETAIL	RISE FOR SERVICE LATERAL	SANITARY 20
REVISED: 01/01/2013	SHEET 1 OF 1	390.20



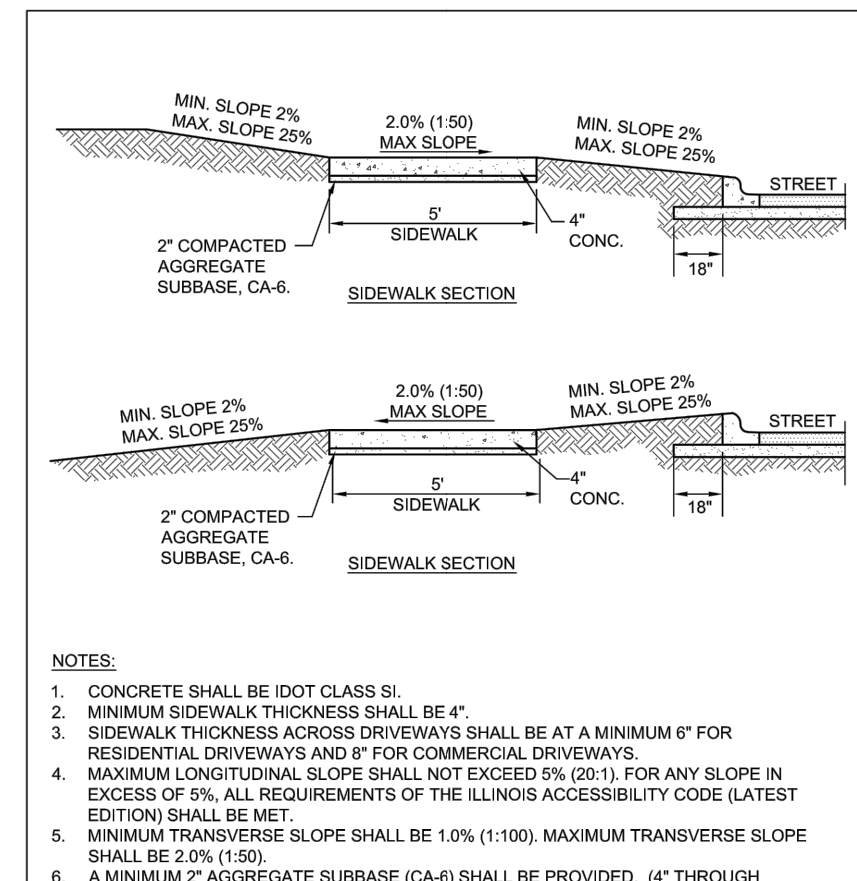
City of Naperville STANDARD DETAIL	SANITARY SEWER SERVICE CONNECTION	SANITARY 21
REVISED: 06/01/2016	SHEET 1 OF 1	390.21



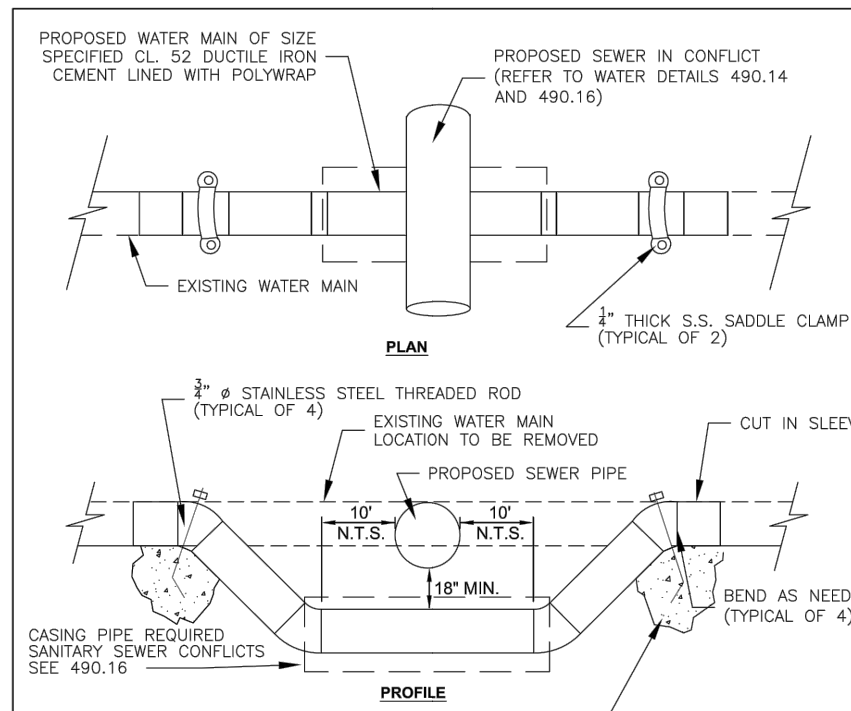
City of Naperville STANDARD DETAIL	UTILITY TRENCH PAVING SECTION (FLEXIBLE PAVEMENT)	PAVEMENT 13
REVISED: 01/01/2013	SHEET 1 OF 1	590.13



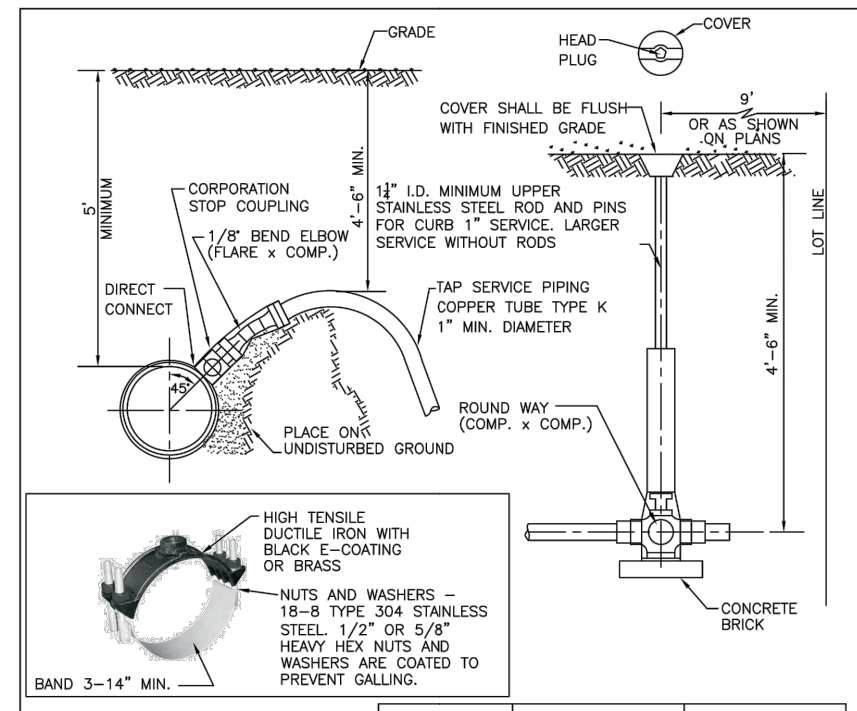
City of Naperville STANDARD DETAIL	B6.12 BARRIER CURB & GUTTER	PAVEMENT 20
REVISED: 01/01/2013	SHEET 1 OF 1	590.20



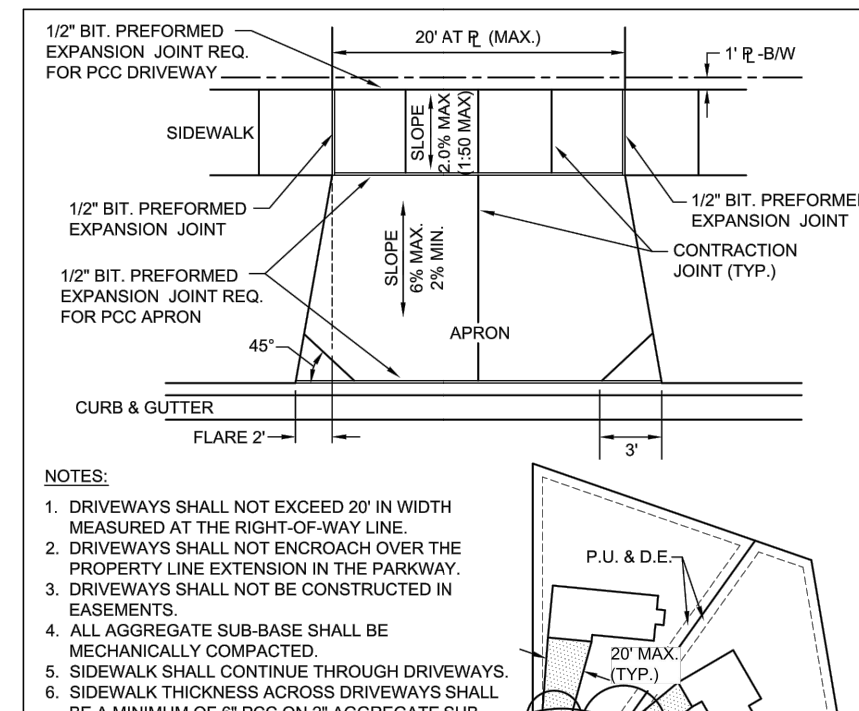
City of Naperville STANDARD DETAIL	SIDEWALK	PAVEMENT 30
REVISED: 01/01/2013	SHEET 1 OF 1	590.30



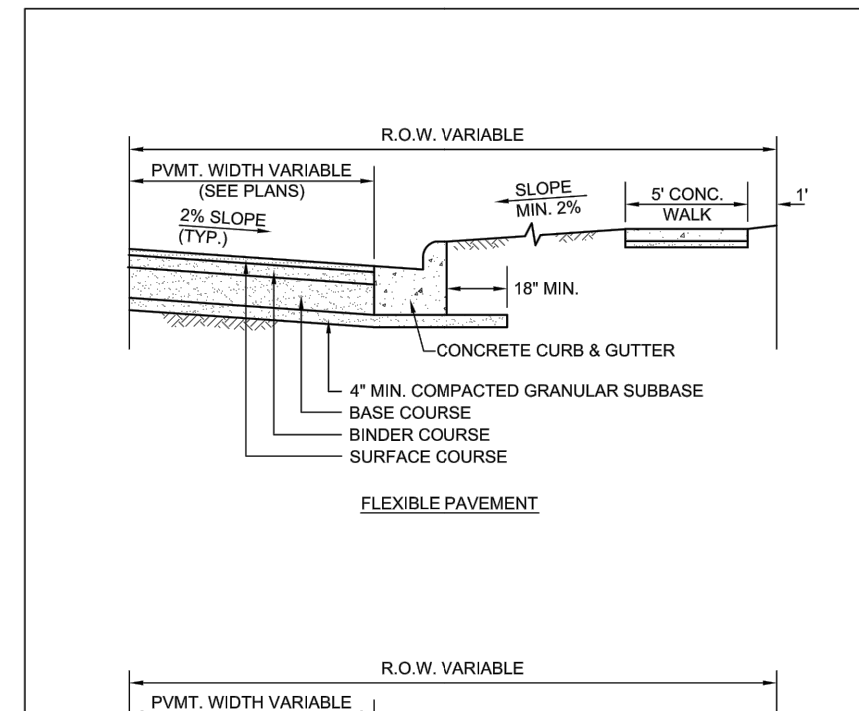
City of Naperville STANDARD DETAIL	LOWERING/ADJUSTING WATER MAIN	WATER 13
REVISED: 05/10/2015	SHEET 1 OF 1	490.13



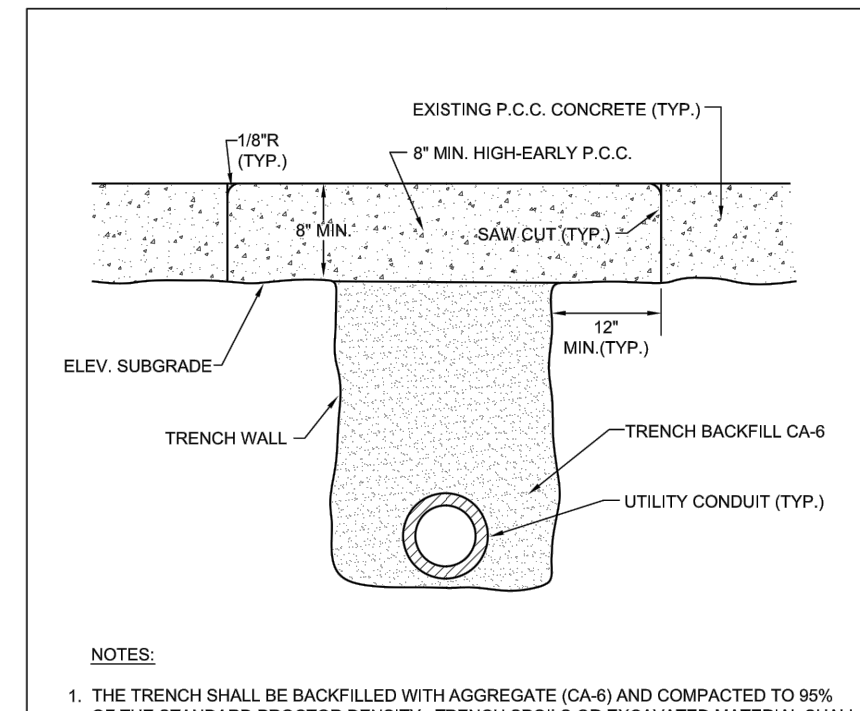
City of Naperville STANDARD DETAIL	SERVICE TAP AND CONNECTION	WATER 20
REVISED: 05/10/2015	SHEET 1 OF 1	490.20



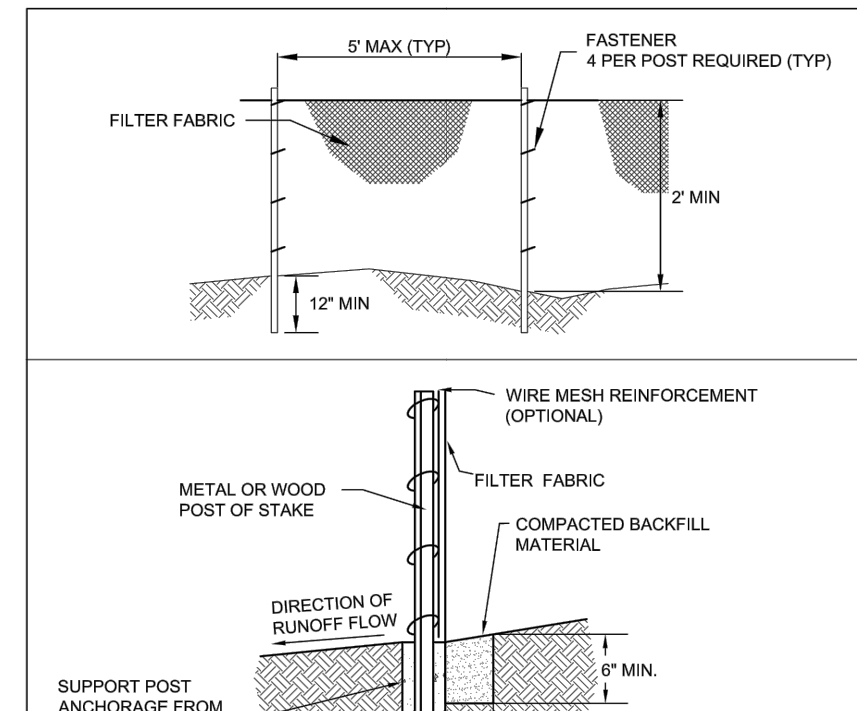
City of Naperville STANDARD DETAIL	TYPICAL RESIDENTIAL DRIVEWAY DETAIL	PAVEMENT 6
REVISED: 08/01/2016	SHEET 1 OF 2	590.06



City of Naperville STANDARD DETAIL	TYPICAL PAVEMENT DETAILS	PAVEMENT 10
REVISED: 01/01/2013	SHEET 1 OF 1	590.10



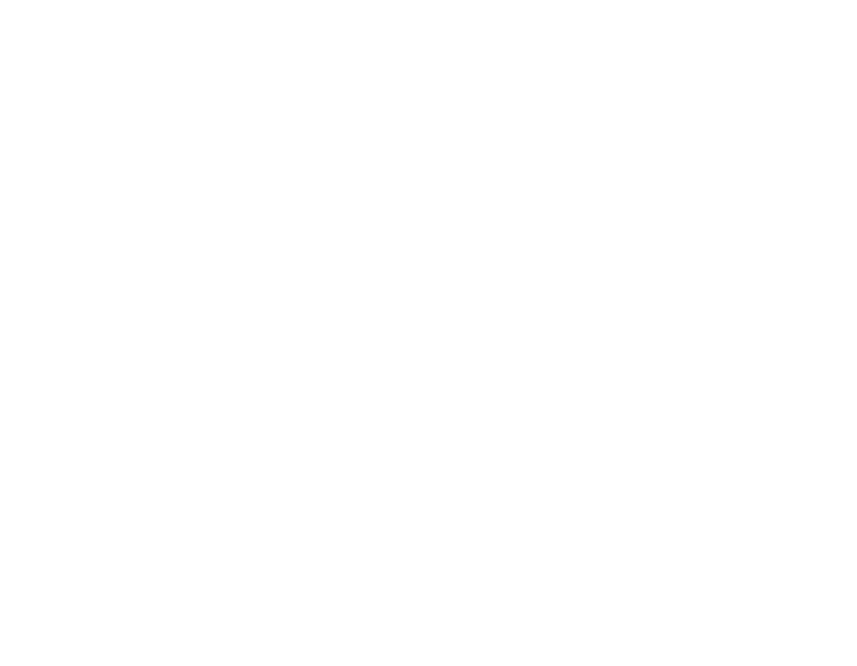
City of Naperville STANDARD DETAIL	UTILITY TRENCH PAVING SECTION (RIGID PAVEMENT)	PAVEMENT 12
REVISED: 01/01/2013	SHEET 1 OF 1	590.12



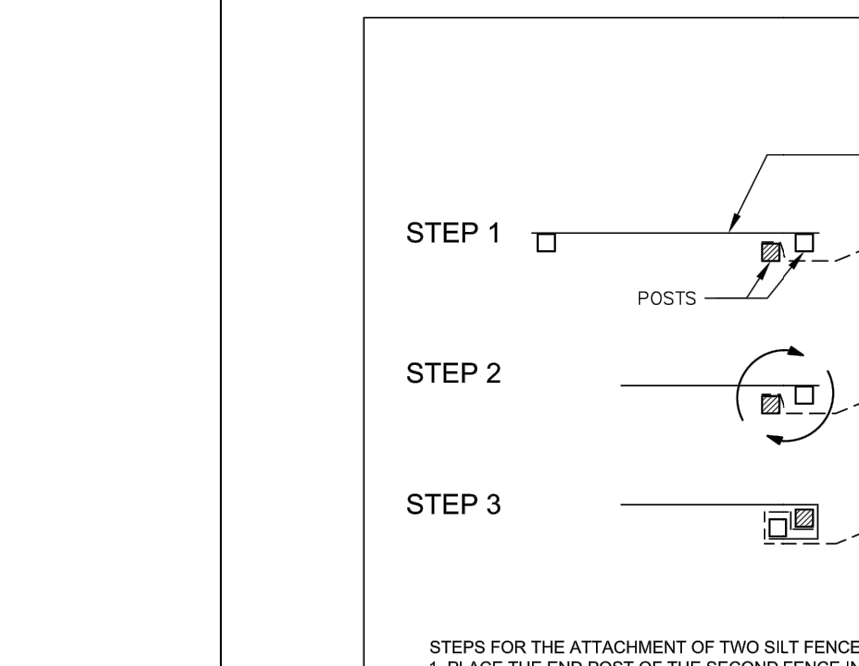
City of Naperville STANDARD DETAIL	TEMPORARY EROSION CONTROL MEASURE - SILT FENCE	LANDSCAPE 3
REVISED: 01/01/2013	SHEET 1 OF 2	790.03



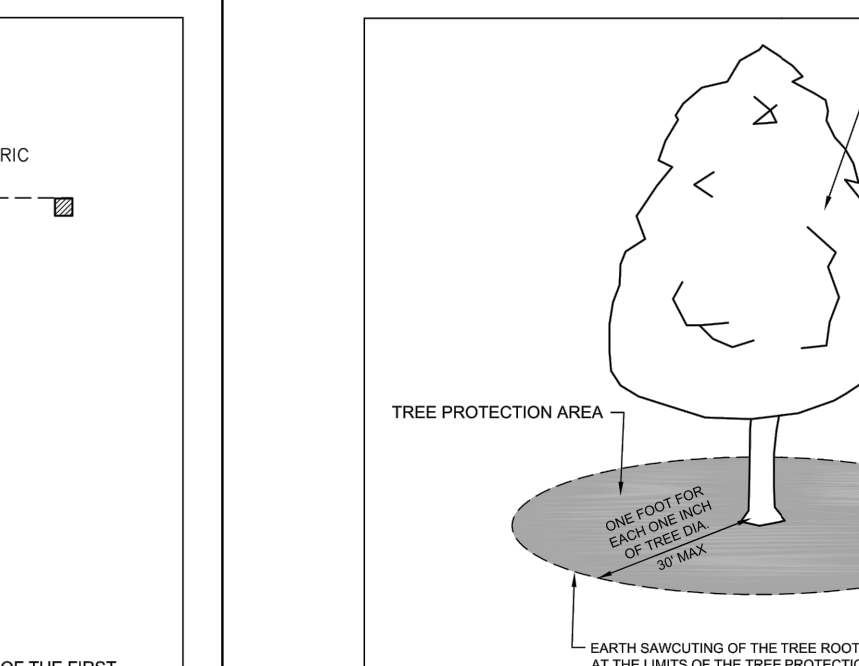
City of Naperville STANDARD DETAIL	TEMPORARY EROSION CONTROL MEASURE - SILT FENCE	LANDSCAPE 3
REVISED: 01/01/2013	SHEET 2 OF 2	790.03



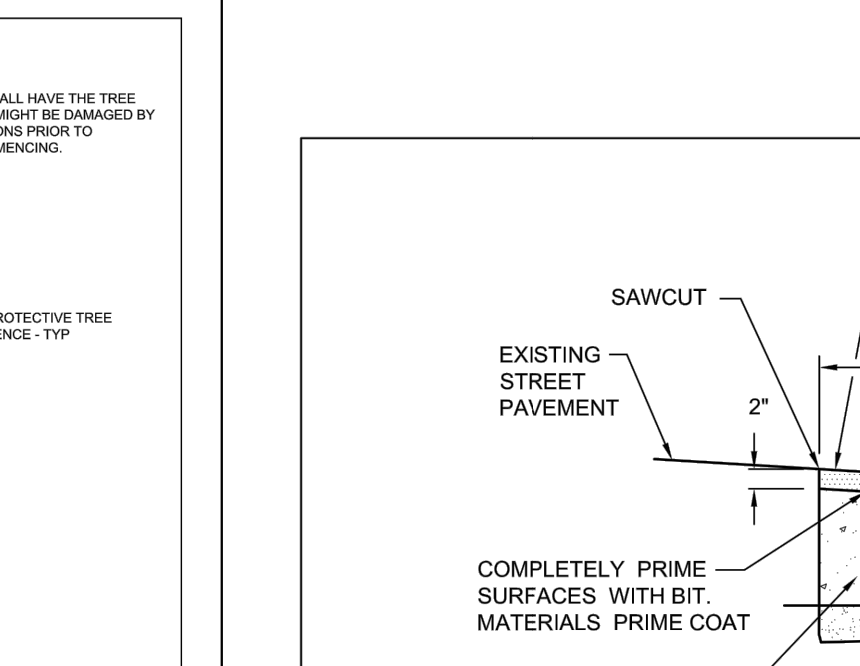
City of Naperville STANDARD DETAIL	TREE PROTECTION	LANDSCAPE 10
REVISED: 06/12/2016	SHEET 1 OF 1	790.10



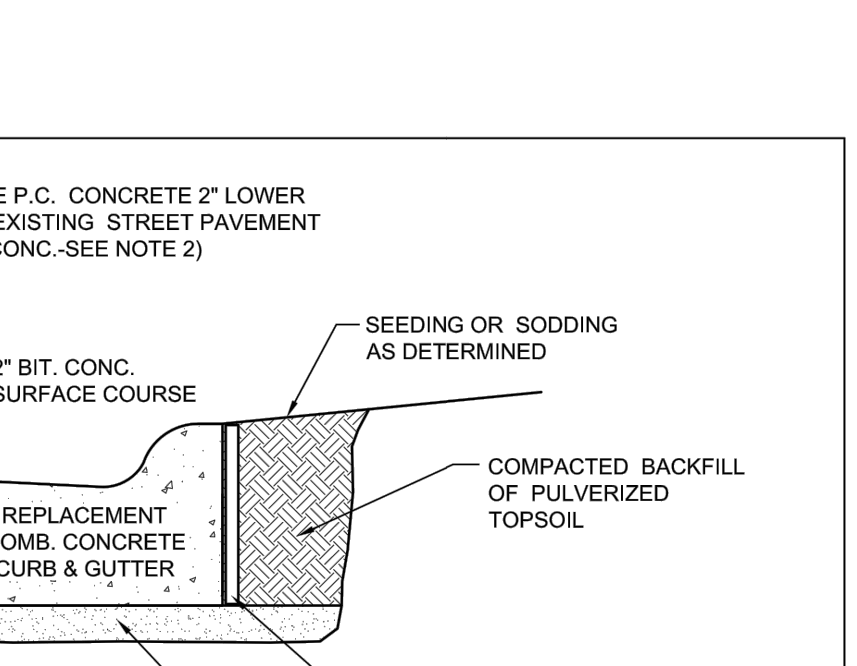
City of Naperville STANDARD DETAIL	CURB REPLACEMENT	PAVEMENT 24
REVISED: 05/15/2015	SHEET 1 OF 1	590.24



City of Naperville STANDARD DETAIL	CURB REPLACEMENT	PAVEMENT 24
REVISED: 05/15/2015	SHEET 1 OF 1	590.24



City of Naperville STANDARD DETAIL	CURB REPLACEMENT	PAVEMENT 24
REVISED: 05/15/2015	SHEET 1 OF 1	590.24



City of Naperville STANDARD DETAIL	CURB REPLACEMENT	PAVEMENT 24
REVISED: 05/15/2015	SHEET 1 OF 1	590.24