

223 N. CENTER  
NAPERVILLE, IL 60540

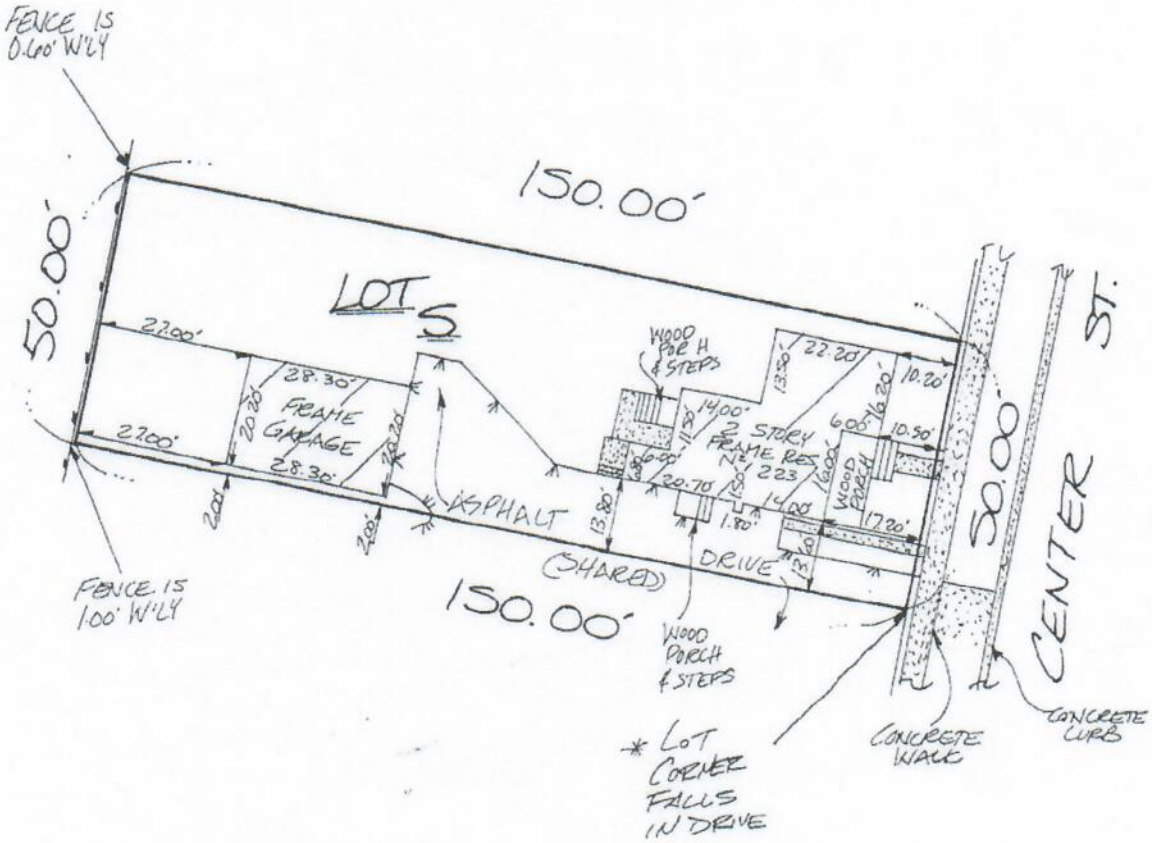
# ARS Surveying Service

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PH (630) 527-0637 FAX (630) 527-0622

## PLAT OF SURVEY

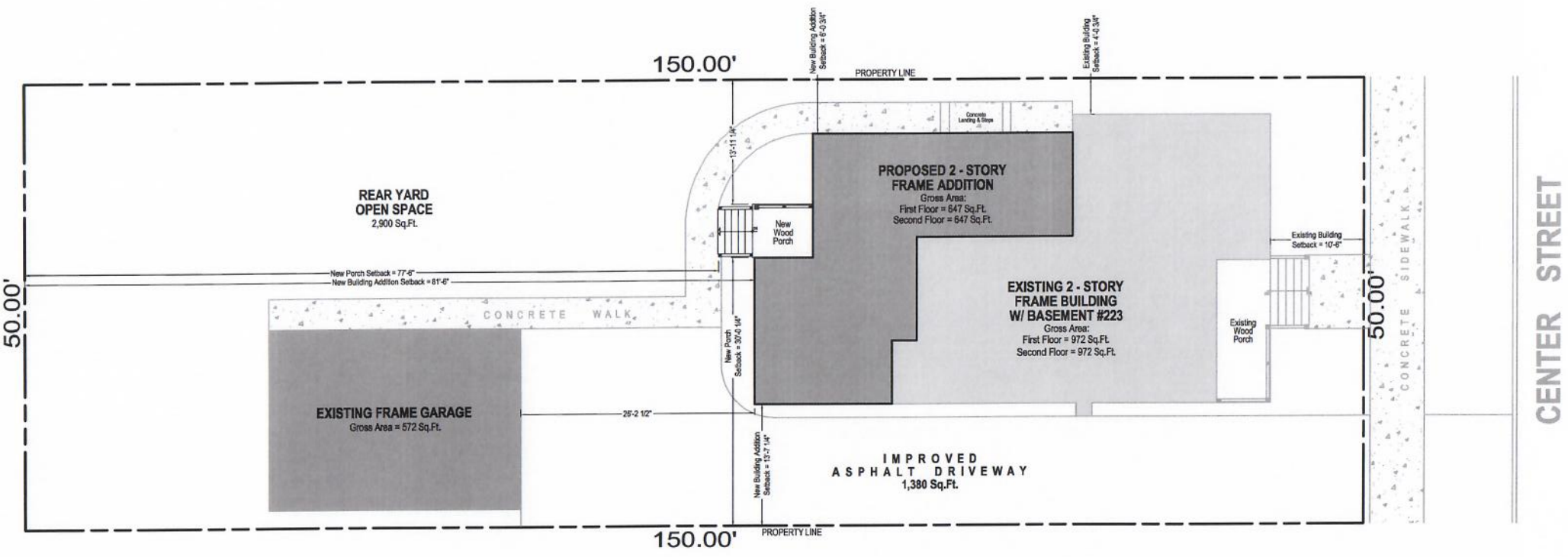


LOT 5 IN BLOCK 3 IN SLEIGHT'S 2<sup>ND</sup> ADDITION TO THE TOWN OF NAPERVILLE, BEING A SUBDIVISION OF PART OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF SECTION 18, TOWNSHIP 38 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 9, 1846 AS DOCUMENT 2477, IN DUPAGE COUNTY, ILLINOIS.



STAKES FOUND OR SET  
AT ALL LOT CORNERS



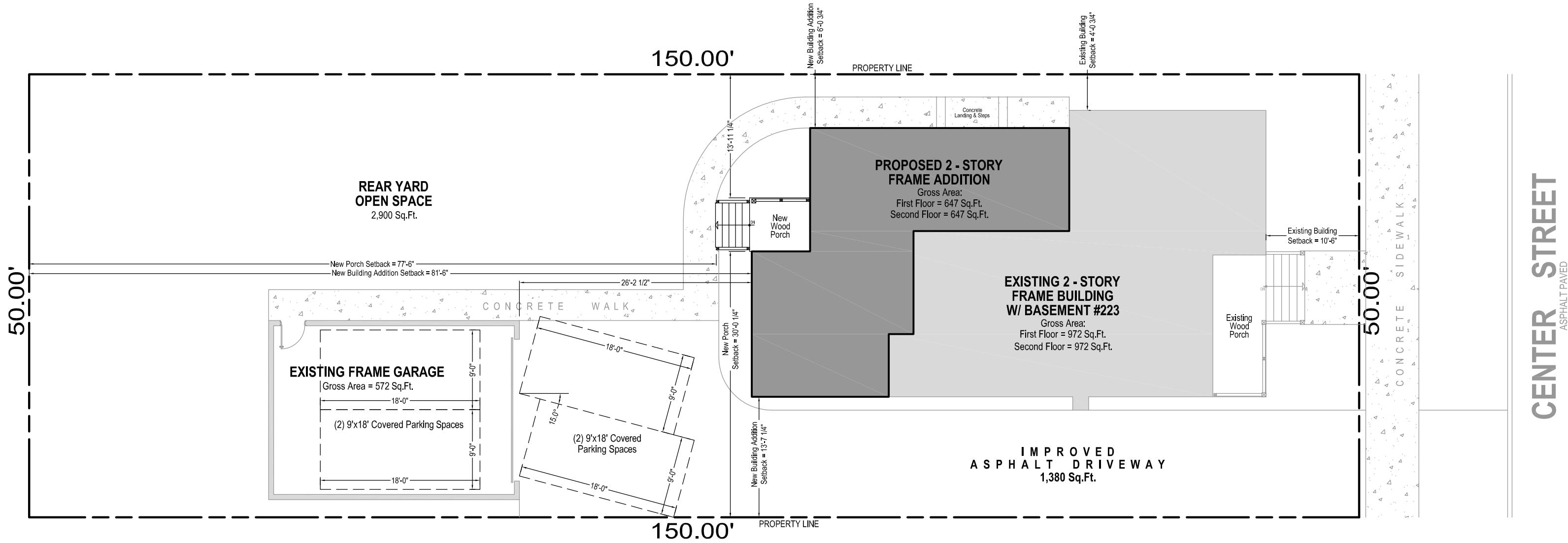


1 SITE PLAN

Lot Area = 7,500 Sq.Ft.

SCALE 3/16"=1'-0"





# 1 SITE PLAN

Lot Area = 7,500 Sq.Ft.

SCALE 3/16"=1'-0"





Photo C.15 - I-Form vernacular style residence - 154 Center Street



Photo C.16 - I-Form vernacular style residence - 214 N. Ellsworth Street



Illustration C.8 - Example of a Vernacular style residence

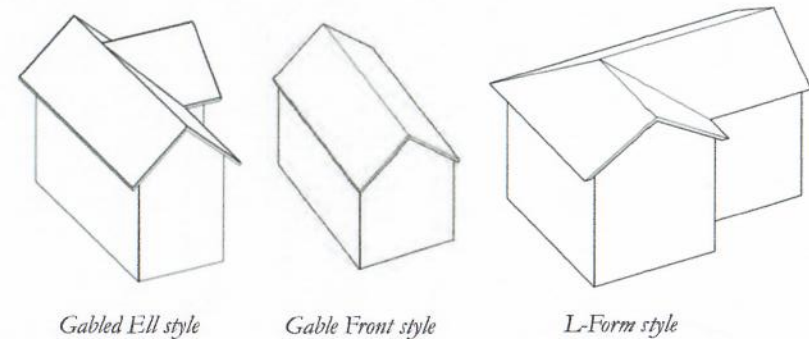


Illustration C.9 - Vernacular sub-styles

## C.6 VERNACULAR

Vernacular houses (commonly referred to as “farmhouse” in Naperville) are typically simple in plan and had little stylistic ornamentation. They were mostly built in the late 19th century and early 20th century. There are five sub-styles, which include: the Gable Front, the Gabled Ell, the L-Form, the I-House, and the Upright/Wing styles.

### Typical attributes

- *Stories:* One and one-half to two, typical.
  - *Building Form:* Rectangular or “L”
1. *Windows:* Double hung, single pane glazing
  2. *Doors:* Typically four or six panel door
  3. *Ornamentation:* Less decorative, simple brackets or none
  4. *Siding:* Wood shingles; wood clapboard siding; brick masonry
  5. *Roof:* Gabled roof; sometimes with attic window in the gable
  6. *Porch:* On front of residence or wrapping corner typical

223 N. CENTER ST.





# 1 PROPOSED EAST ELEVATION

SCALE 3/16"=1'-0"

**HEIGHT, BUILDING OR STRUCTURE:** Height of a building or structure is the vertical distance measured from a datum point established by the average of the two (2) grades along each side lot line where the front yard line meets the side lot lines to the highest point of the roof surface or parapet, in case of a flat roof; to the deck roofline of a mansard roof; and to the mean level of the underside of the rafters between the eaves and the ridge of a gable, hip or gambrel roof. When determining front yard line, variances shall not be considered.

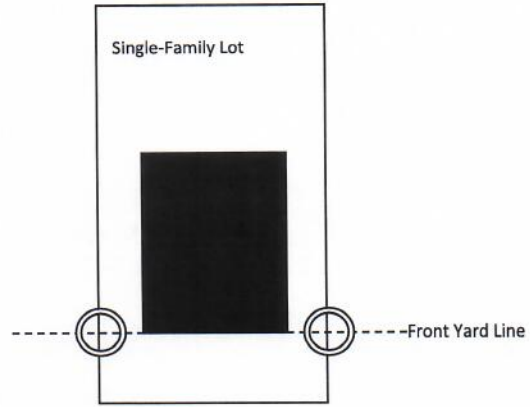
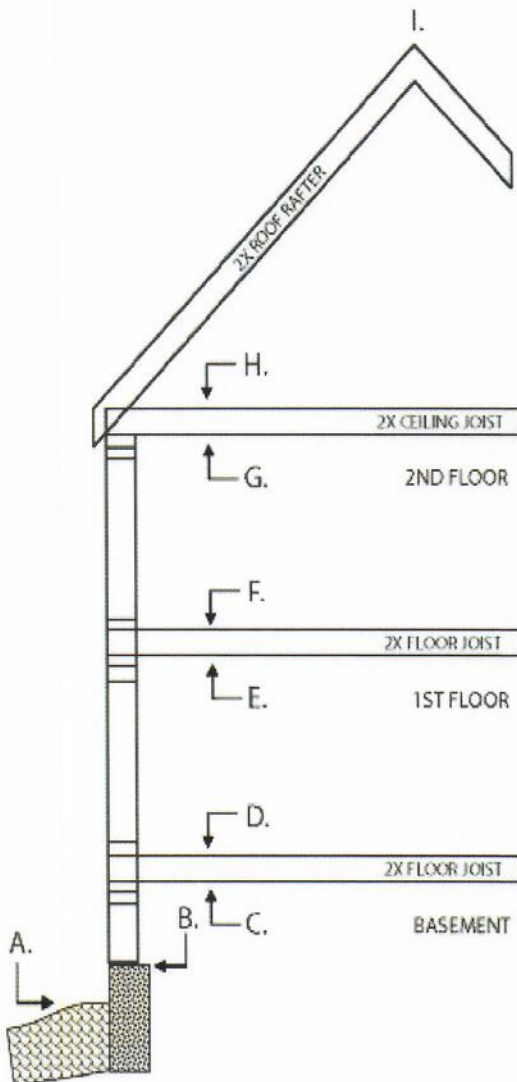


Figure 1: Establishing a datum point

Note: This table is required to be placed on all architectural plans submitted for permit review for new single-family residences.



Point	Description	Result
A	Datum Point (average elevation of both property lines at front setback)	+/-0.00
	Elevation #1 (used above front setbacks)	+(0'-3")
	Elevation #2 (used above at front setbacks)	-(0'-3")
Segment	Description	Result
GI	Height of Roof (bottom of ceiling joist or top of plat to tallest peak)	4'-11"
AG	Mean Height (.5 * GI)	2'-5.5"
AC	Datum Point to Basement Ceiling	3'-0"
AD	Datum Point to 1st Story Finished Floor	4'-0"
AB	Height of Foundation	0'-0"
BC	Height of Knee Wall above Foundation	3'-0"
DF	Height of 1st Story (bottom of floor joist to bottom of ceiling joist)	9'-0"
FH	Height of 2nd Story (bottom of floor joist to bottom of ceiling joist)	9'-0"
AI	Peak Height	25'-11"
Column	Description	Result
1	Footprint of Principle Structure	1,619
2	Footprint of Detached Garage (footprint - 480 sf)(if applicable)	572
3	Total Lot Square Footage	7,500
4	Building Coverage = (column 1 + column 2)/column 3	0.292
5	Gross Square Footage of Basement (Finished)	---
6	Gross Square Footage of Basement (Unfinished)	885
7	Gross Square Footage of 1st Floor (not including enclosed porches or garages)	1,619
8	Gross Square Footage of Garage (attached)	0
9	Gross Square Footage of Enclosed Porches	0
10	Gross Square Footage of 2nd Floor	1,619
11	Gross Square Footage of any 1/2 Story	0







**NEW ROOF SYSTEM**

EXISTING CONSTRUCTION	PROPOSED CONSTRUCTION
2"x2" ROOF RAFTERS	2"x4" ROOF RAFTERS
1" WOOD STRIPS	1x4 PLYWOOD SHEATHING
VELT PAPER	FELT PAPER
ASPH/FL SHINGLES	ASPH/FL SHINGLES

**NEW ROOF SYSTEM (Beyond)**

EXISTING CONSTRUCTION	PROPOSED CONSTRUCTION
2"x2" ROOF RAFTERS	2"x4" ROOF RAFTERS
1" WOOD STRIPS	1x4 PLYWOOD SHEATHING
FELT PAPER	FELT PAPER
ASPH/FL SHINGLES	ASPH/FL SHINGLES
REVEAL = 14" S&F	REVEAL = 14" S&F

**RAISED FRAME WALL**

EXISTING CONSTRUCTION	PROPOSED CONSTRUCTION
2"x4" WALL STUDS	2"x4" WALL STUDS
1" WOOD STRIPS	PLYWOOD SHEATHING
8" SMOOTH FRESH ALUMINUM SIDING	8" SMOOTH FRESH ALUMINUM SIDING
REVEAL = 18" S&F	REVEAL = 18" S&F

**RAISED FRAME WALL (Beyond)**

EXISTING CONSTRUCTION	PROPOSED CONSTRUCTION
2"x4" WALL STUDS	2"x4" WALL STUDS
1" WOOD STRIPS	PLYWOOD SHEATHING
8" SMOOTH FRESH ALUMINUM SIDING	8" SMOOTH FRESH ALUMINUM SIDING
REVEAL = 18" S&F	REVEAL = 18" S&F

## 2 PROPOSED SOUTH ELEVATION

SCALE 3/16"=1'-0"

▽ BSMT. C.L. EL. -4'-0"





### 3 PROPOSED WEST ELEVATION

SCALE 3/16"=1'-0"

▽ BSMT. CLG., EL. -4'-0"



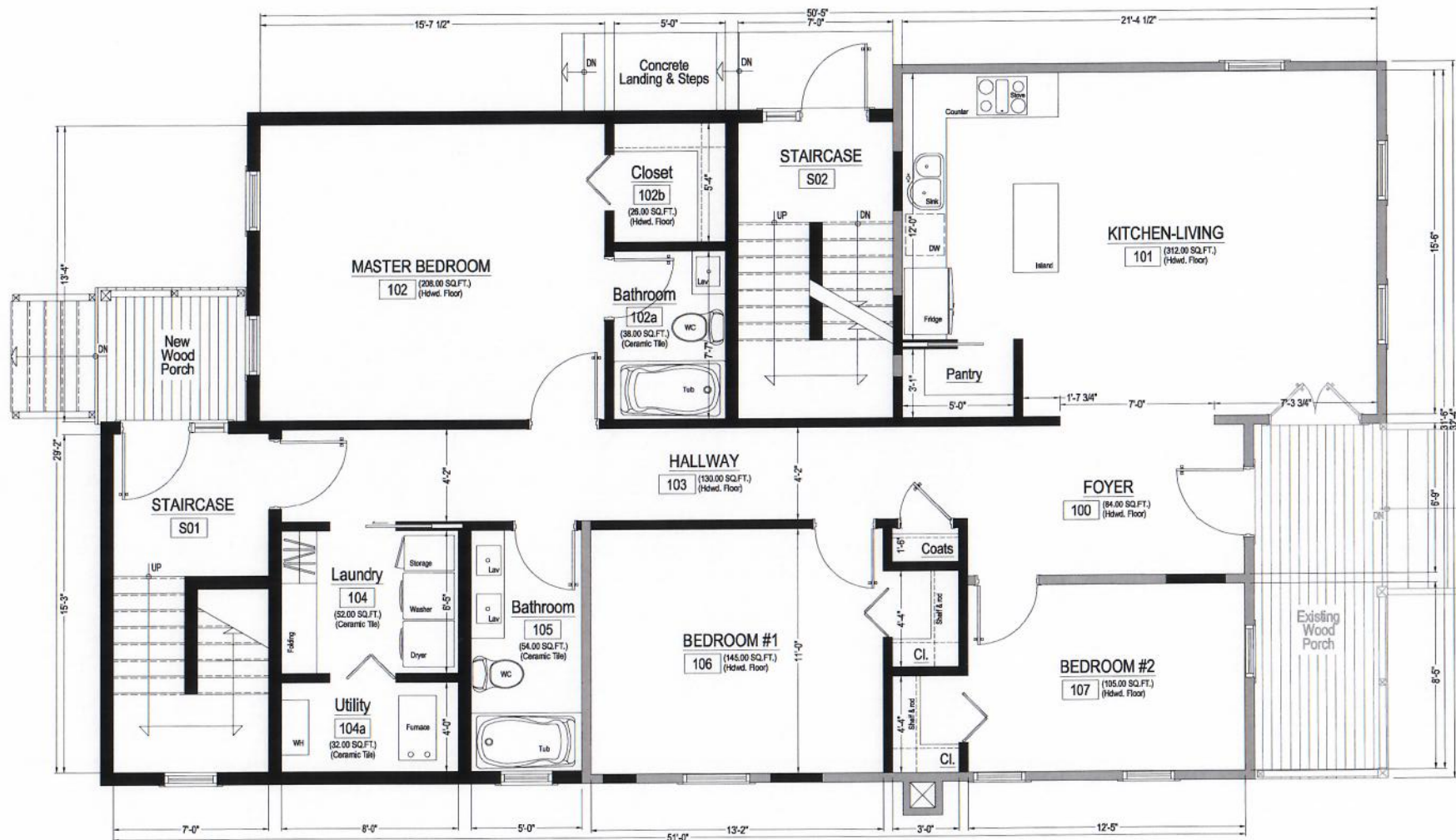
NEW ROOF SYSTEM	
EXISTING CONSTRUCTION	PROPOSED CONSTRUCTION
2x4 ROOF RAFTERS	2x4 ROOF RAFTERS
1/2" WOOD STRIPS	1x2 PLYWOOD SHEATHING
FELT PAPER	FELT PAPER W/ICE SHED/LAVALAS
ASPHALT SHINGLES	ASPHALT SHINGLES
REGAL - 300 S/P/L	REGAL - 300 S/P/L

RAISED FRAME WALL	
EXISTING CONSTRUCTION	PROPOSED CONSTRUCTION
2x4 WALL STUDS	2x4 WALL STUDS
1/2" WOOD STRIPS	PLYWOOD SHEATHING
8" SMOOTH FINISH ALUMINUM	8" SMOOTH FINISH ALUMINUM
SINGLE PAINTED	SINGLE PAINTED
REGAL - 300 S/P/L	REGAL - 300 S/P/L



4 PROPOSED NORTH ELEVATION  
SCALE 3/16"=1'-0"

- ▽ ROOF RIDGE, EL. +25'-11"
- NEW ROOF SYSTEM (BEYOND)
- ▽ MEAN LEVEL, EL. +23'-4"
- NEW ROOF SYSTEM
- ▽ 2nd FLOOR C.L.G., EL. +21'
- NEW FRAME WALL WITH PAINTED ALUMINUM SIDING
- NEW FRAME WALL WITH PAINTED ALUMINUM SIDING (BEYOND)
- ▽ 2nd FLOOR, EL. +13'-0"
- ▽ 1st FL. C.L.G., EL. +12'-6"
- EXISTING PORCH'S ROOF
- NEW DOOR
- NEW WOOD PORCH
- ▽ 1st FLOOR, EL. +4'-0"
- ▽ BSMT. C.L.G., EL. +3'-0"
- ▽ GRADE, EL. ±0'-0"
- ▽ BSMT. C.L.G., EL. -4'-0"

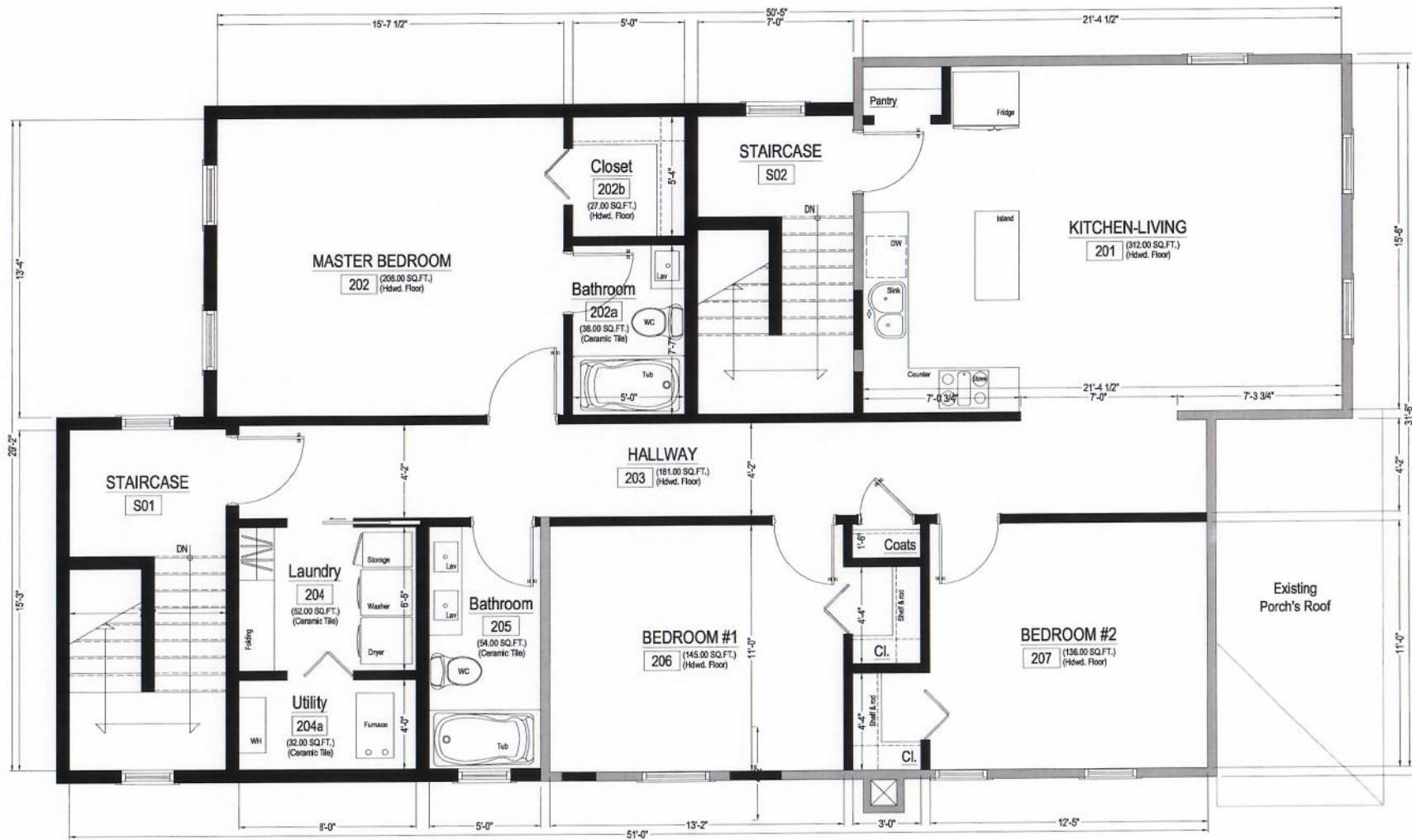


**1 PROPOSED FIRST FLOOR PLAN**

Gross Area = 1,619 Sq.Ft.

SCALE 3/16"=1'-0"





**2 PROPOSED SECOND FLOOR PLAN**  
 Gross Area = 1,619 Sq.Ft.

SCALE 3/16"=1'-0"

