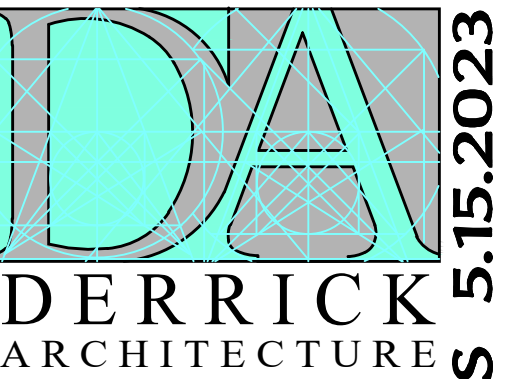


Franklin Flats

818 E Franklin and 25 N Huffman, Naperville IL 60540

Lakewest Custom Homes



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REVIEW COMMENTS 5.15.2023

city of naperville ammendments

- ALL BATHS SHALL BE PROVIDED WITH WOOD BLOCKING INSTALLED WITHIN WALL FRAMING TO SUPPORT GRAB BARS AS NEEDED. THE WOOD BLOCKING WHEN MEASURED TO THE CENTER SHALL BE LOCATED BETWEEN 33" AND 36" ABOVE FINISHED FLOOR. THE WOOD BLOCKING SHALL BE LOCATED IN ALL WALLS ADJACENT TO A TOILET, SHOWER, STALL, OR BATH TUB PER 2018 IRC R302 NAPERVILLE AMMENDMENT
- ALL ACCESSIBLE FIRST FLOOR DOORWAYS SHALL PROVIDE A MIN CLEAR OPENING OF 32 INCHES WITH THE DOOR OPEN NINETY DEGREES MEASURED BETWEEN THE FACE OF THE DOOR AND THE OPPOSITE STOP.
- ALL WALL SWITCHES CONTROLLING LIGHT FIXTURES AND FANS SHALL BE LOCATED AT A HEIGHT NOT TO EXCEED 48" ABOVE FINISHED FLOOR. HEIGHT SHALL BE DETERMINED BY MEASURING FROM THE FINISHED FLOOR TO THE CENTER OF THE SWITCH.
- ALL RECEPTACLES SHALL BE LOCATED AT A HEIGHT NOT LESS THAN 15" ABOVE THE FINISHED FLOOR. HEIGHT SHALL BE DETERMINED BY MEASURING FROM THE FINISHED FLOOR TO THE CENTER OF THE RECEPTACLE WHEN THE RECEPTACLE PLACEMENT IS PROHIBITED BY THE HEIGHT OF A WINDOW OR DESIGN.
- ARC-FAULT INTERRUPTER PROTECTION (AFCI) SHALL BE REQUIRED IN ALL BEDROOMS.
- ON ALL NEW RESIDENTIAL CONSTRUCTION, A MINIMUM OF 10 % FREE PANEL SPACE SHALL BE MAINTAINED FOR FUTURE EXPANSION.

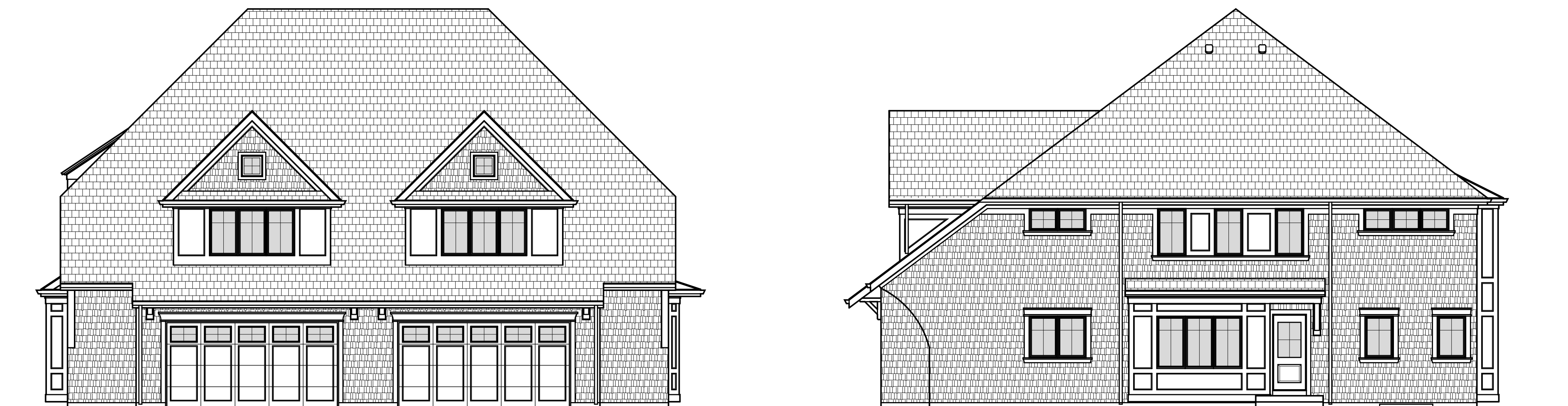
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITES
30	15/3 SECOND GUST	A	SEVERE	42"	MODERATE TO HEAVY

WINTER DESIGN TEMP	ICE BARRIER UNDERLAYER REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
-4° F	YES	REFER TO LOCAL ORDINANCES	635	48.1° F

drawing index

- T101 Cover Sheet
- C101 Site Plan
- G001 General notes
- G002 General notes
- A100 Foundation Plan - 25 N Huffman
- A101 Foundation Plan - 818 E Franklin
- A102 First Floor Plan - 25 N Huffman
- A103 First Floor Plan - 818 E Franklin
- A104 Second Floor Plan - 25 N Huffman
- A105 Second Floor Plan - 818 E Franklin
- A106 Roof Plan - 25 N Huffman
- A107 Roof Plan - 818 E Franklin
- A201 Exterior Elevations - 25 N Huffman
- A202 Exterior Elevations - 25 N Huffman
- A203 Exterior Elevations - 818 E Franklin
- A204 Exterior Elevations - 818 E Franklin
- A301 Wall Sections
- A302 Wall Sections
- A303 Wall Details
- E100 Basement Elec. Plan - 25 N Huffman
- E101 Basement Elec. Plan - 818 E Franklin
- E102 First Floor Elec. Plan - 25 N Huffman
- E103 First Floor Elec. Plan - 818 E Franklin
- E104 Second Floor Elec. Plan - 25 N Huffman
- E105 Second Floor Elec. Plan - 818 E Franklin
- P101 Plumbing Riser Diagrams
- S101 1st Fir braced wall plan- 25 N Huffman
- S102 1st Fir braced wall plan- 818 E Franklin
- S103 2nd Fir braced wall plan- 25 N Huffman
- S104 2nd Fir braced wall plan- 818 E Franklin



CODES REFERENCED

- 2018 INTERNATIONAL BUILDING CODE
- 2018 INTERNATIONAL FIRE CODE
- 2018 INTERNATIONAL PROPERTY MAINTENANCE CODE
- 2018 INTERNATIONAL ELECTRIC CODE
- 2018 INTERNATIONAL FUEL GAS CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL PLUMBING CODE
- 2017 NATIONAL ELECTRIC CODE
- CURRENT ILLINOIS STATE PLUMBING CODE
- ILLINOIS ACCESSIBILITY CODE, CURRENT EDITION
- CURRENT ILLINOIS ENERGY CONSERVATION CODE
- NAPERVILLE BUILDING CODE AMMENDS. TITLE V

design criteria

FLOOR	40 * LL	10 * DL	ALL AREAS EXCEPT SLEEPING
WALL	60 * PLF	OR ACTUAL LOAD	
CEILING	20 * LL	10 * DL	ROOF SLOPES OVER 3 IN 12
ROOF	30 * LL	10 * DL	
CATHEDRAL	30 * LL	15 * DL	ALL SLOPES
EXT. DECK	40 * LL	10 * DL	
BALCONY	60 * LL	10 * DL	EXTERIOR

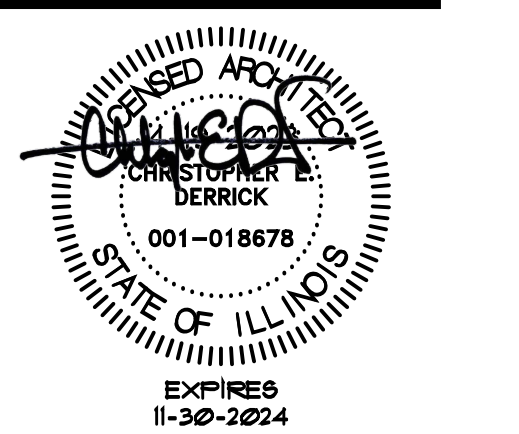
STRUCTURAL FRAMING LUMBER

FLOOR JOISTS, CEILING JOISTS, HEADERS, AND RAFTERS
IN-GRADE BASE VALUE (USE NO MULTIPLIERS AGAINST BASE VALUE)

GRADE * 2 SPECIES HEM-FIR DOMESTIC BASE F_b * 850

SPECIFY MANUFACTURER AND NAME OF SPECIFIC BEAM PRODUCT WITH THE CURRENT SIZE, F_b AND E VALUES PER MANUFACTURER

MANUFACTURER TRUS-JOIST PRODUCT MICRO LAM LVL
SIZE PER PLAN F_b * 2600 E = 19 x 10 * F_bL

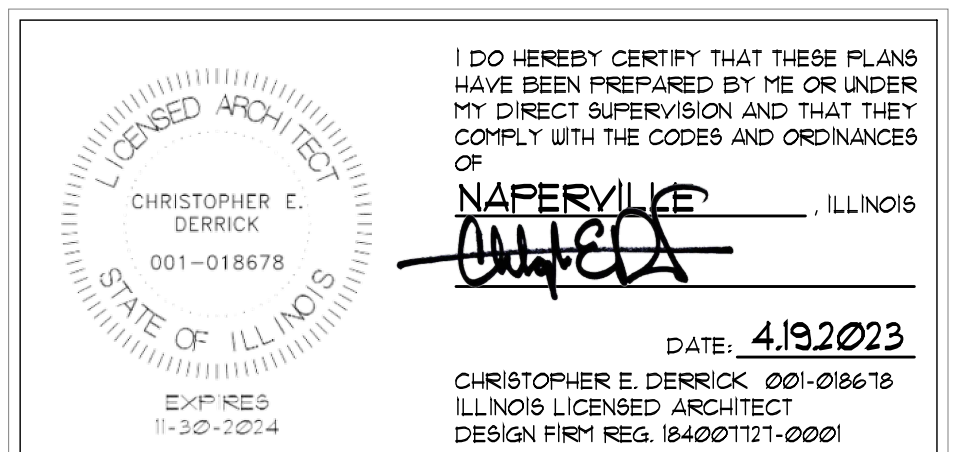


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PROJECT NO: 2210

SHEET TITLE:
Cover Sheet

SHEET NUMBER:
T101

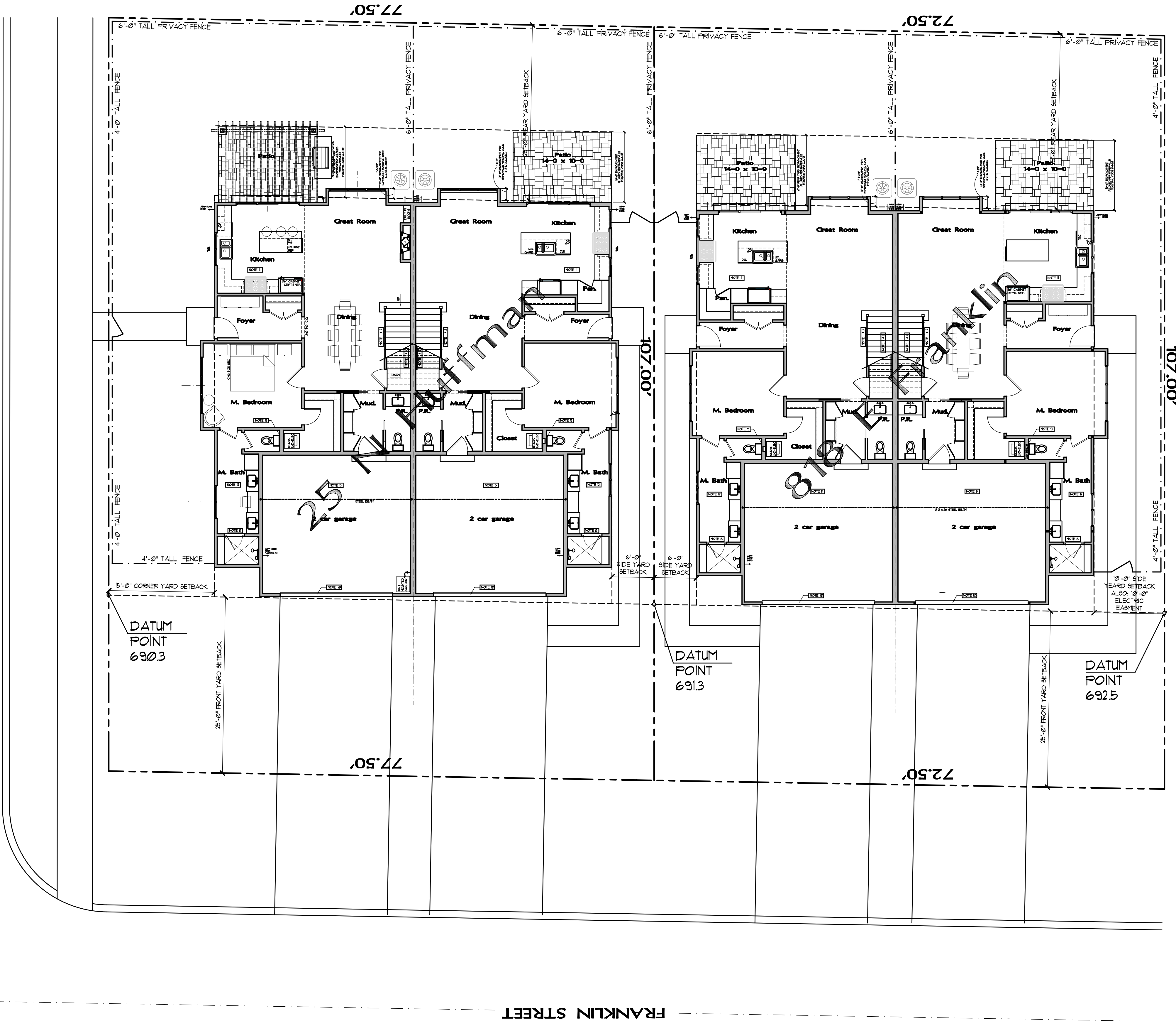


I DO HEREBY CERTIFY THAT THESE PLANS
HAVE BEEN PREPARED BY ME OR UNDER
MY DIRECT SUPERVISION AND THAT THEY
COMPLY WITH THE CODES AND ORDINANCES OF

NAPERVILLE, ILLINOIS
DATE: 4.19.2023
CHRISTOPHER E. DERRICK 001-018678
ILLINOIS LICENSED ARCHITECT
DESIGN FIRM REG. 184207171-0201

I will not allow release for FOIA requests

HUFFMAN STREET

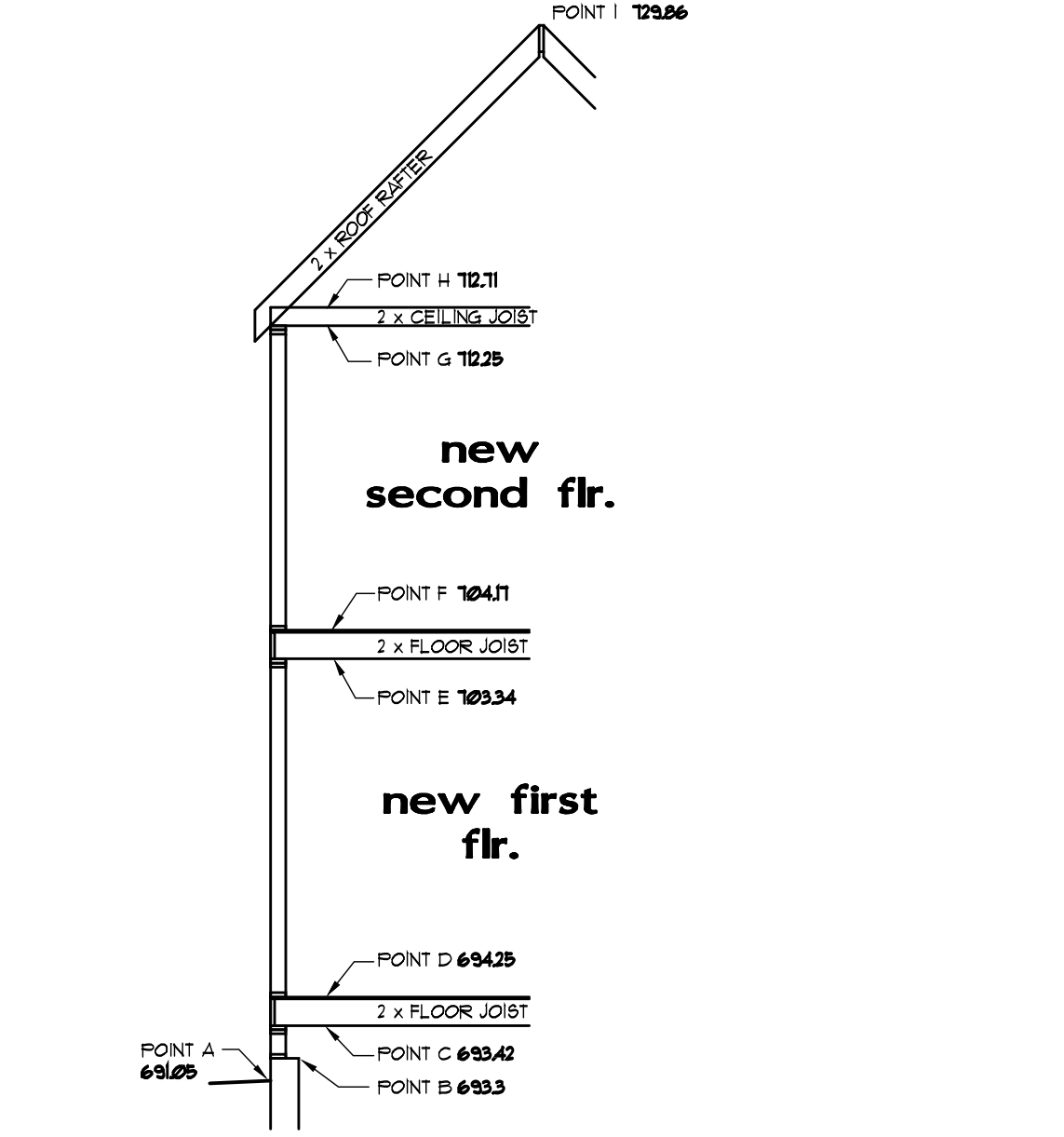


1 proposed site plan
T101 SCALE: 1/8" = 1'-0"

25 Huffman

LINE SEGMENT	DESCRIPTION	
POINT A	DATUM POINT (AVG. ELEV. OF BOTH PROP. LINES AT FRONT YARD SETBACK)	690.05
	ELEVATION #1 (USED ABOVE AT FRONT YARD SETBACKS)	690.3
	ELEVATION #2 (USED ABOVE AT FRONT YARD SETBACKS)	690.8
G-1	HGT. OF ROOF (BOTTOM OF CEILING JOIST OR TOP OF PLATE TO TALLEST PEAK)	11.61
AG + (0.5 X GI)	MEAN HEIGHT	30.0
AC	DATUM POINT TO BASEMENT CEILING	2.31
AD	DATUM POINT TO FIRST STORY FINISH FLOOR	3.00
AB	HEIGHT OF FOUNDATION	2.25
BC	HEIGHT OF KNEE WALL ABOVE FOUNDATION	0.25
DF	HEIGHT OF FIRST STORY (BY FLOOR JOISTS TO BY CEILING JOISTS)	9.92
FH	HEIGHT OF 2nd STORY (BY FLOOR JOISTS TO BY CEILING JOISTS)	8.54
AI	PEAK HEIGHT	38.81

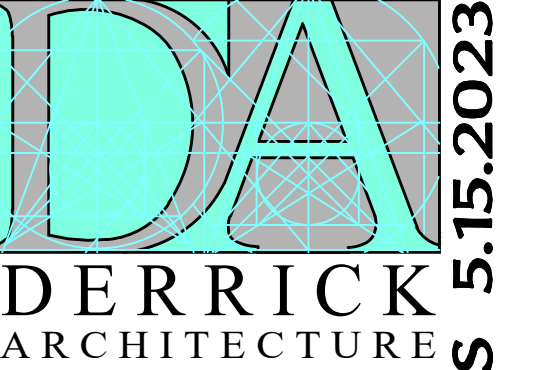
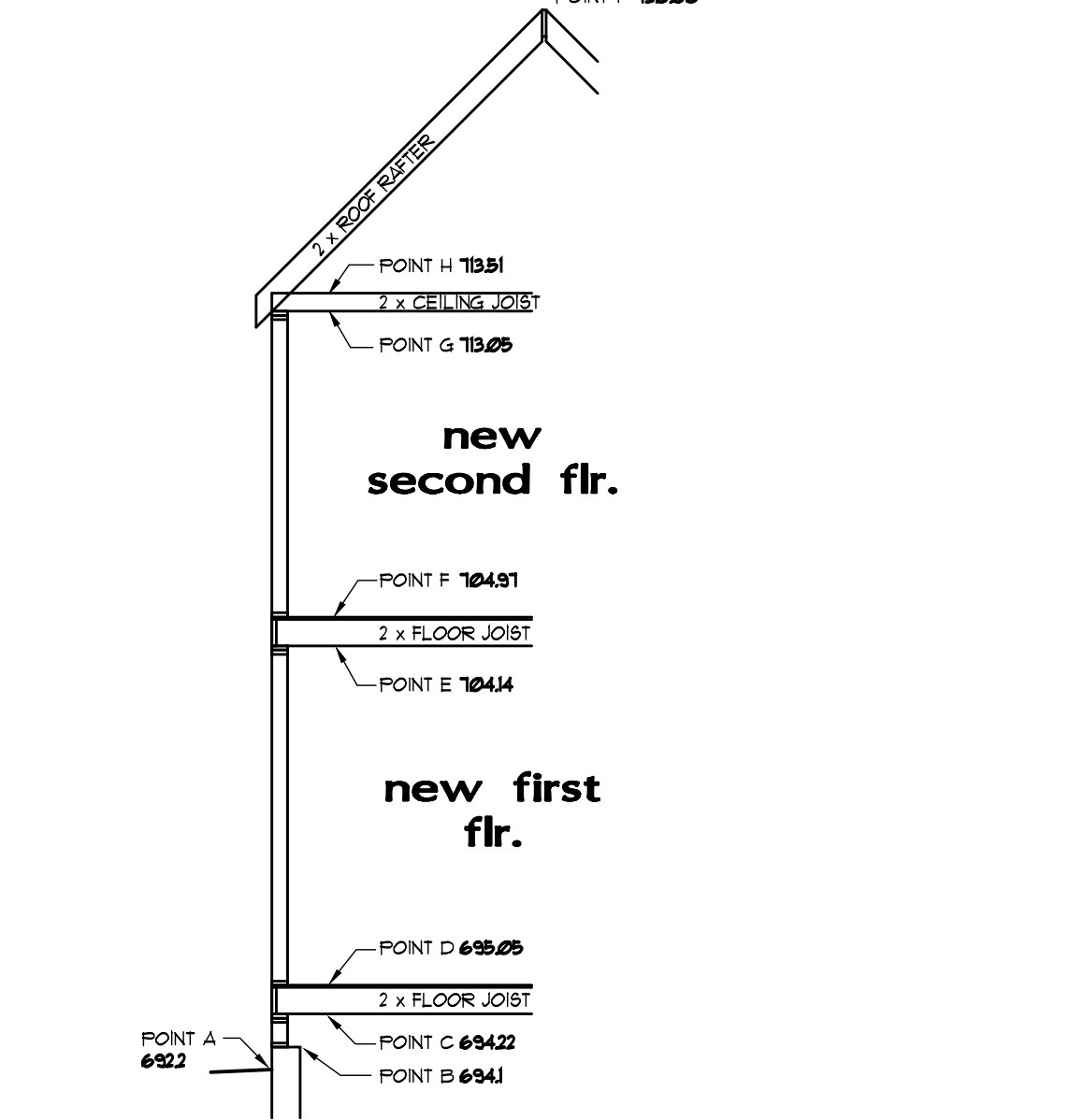
COLUMN	DESCRIPTION	
1	FOOTPRINT OF PRINCIPAL STRUCTURE	3179
2	FOOTPRINT OF DETACHED GARAGE (FOOTPRINT - 480 SF.)	N/A
3	TOTAL LOT SQUARE FOOTAGE	6293.33 SF
4	BUILDING COVERAGE (COL. 1 + COL. 2) / COL. 3	50.34%
5	GROSS SQUARE FOOTAGE OF 1st FLOOR	2383
6	GROSS SQUARE FOOTAGE OF 2nd FLOOR	1580
7	GROSS SQUARE FOOTAGE OF ANY 1/2 STORY	n/a
8	GROSS SQUARE FOOTAGE OF BASEMENT (FINISHED)	692
9	GROSS SQUARE FOOTAGE OF BASEMENT (UNFINISHED)	1598
10	GROSS SQUARE FOOTAGE OF GARAGE	860.1



818 Franklin

LINE SEGMENT	DESCRIPTION	
POINT A	DATUM POINT (AVG. ELEV. OF BOTH PROP. LINES AT FRONT YARD SETBACK)	692.5
	ELEVATION #1 (USED ABOVE AT FRONT YARD SETBACKS)	692.5
	ELEVATION #2 (USED ABOVE AT FRONT YARD SETBACKS)	692.8
G-1	HGT. OF ROOF (BOTTOM OF CEILING JOIST OR TOP OF PLATE TO TALLEST PEAK)	11.61
AG + (0.5 X GI)	MEAN HEIGHT	29.65
AC	DATUM POINT TO BASEMENT CEILING	2.02
AD	DATUM POINT TO FIRST STORY FINISH FLOOR	2.85
AB	HEIGHT OF FOUNDATION	1.50
BC	HEIGHT OF KNEE WALL ABOVE FOUNDATION	0.25
DF	HEIGHT OF FIRST STORY (BY FLOOR JOISTS TO BY CEILING JOISTS)	11.4
FH	HEIGHT OF 2nd STORY (BY FLOOR JOISTS TO BY CEILING JOISTS)	9.68
AI	PEAK HEIGHT	38.46

COLUMN	DESCRIPTION	
1	FOOTPRINT OF PRINCIPAL STRUCTURE	3179
2	FOOTPRINT OF DETACHED GARAGE (FOOTPRINT - 480 SF.)	N/A
3	TOTAL LOT SQUARE FOOTAGE	1764.33 SF
4	BUILDING COVERAGE (COL. 1 + COL. 2) / COL. 3	41%
5	GROSS SQUARE FOOTAGE OF 1st FLOOR	2318.3
6	GROSS SQUARE FOOTAGE OF 2nd FLOOR	1580
7	GROSS SQUARE FOOTAGE OF ANY 1/2 STORY	n/a
8	GROSS SQUARE FOOTAGE OF BASEMENT (FINISHED)	0
9	GROSS SQUARE FOOTAGE OF BASEMENT (UNFINISHED)	2090
10	GROSS SQUARE FOOTAGE OF GARAGE	860.1



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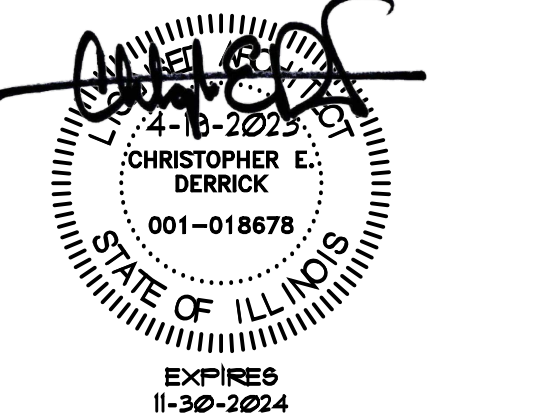
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REVISIONS	DATE
PRELIMINARY DESIGN	4/21/2022
PRELIMINARY DESIGN	5/6/2022
PRELIM DESIGN	6/12/2022
CLIENT REVISIONS	6/21/2022
UNIT RELEASE	8/22/2022
BID SETS	2/15/2023
PERMIT RELEASE	4/19/2023
REVIEW COMMENTS	5/15/2023

Franklin Flats
 818 E Franklin/25 N Huffman
 Naperville, IL 60540



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PROJECT NO: 2210

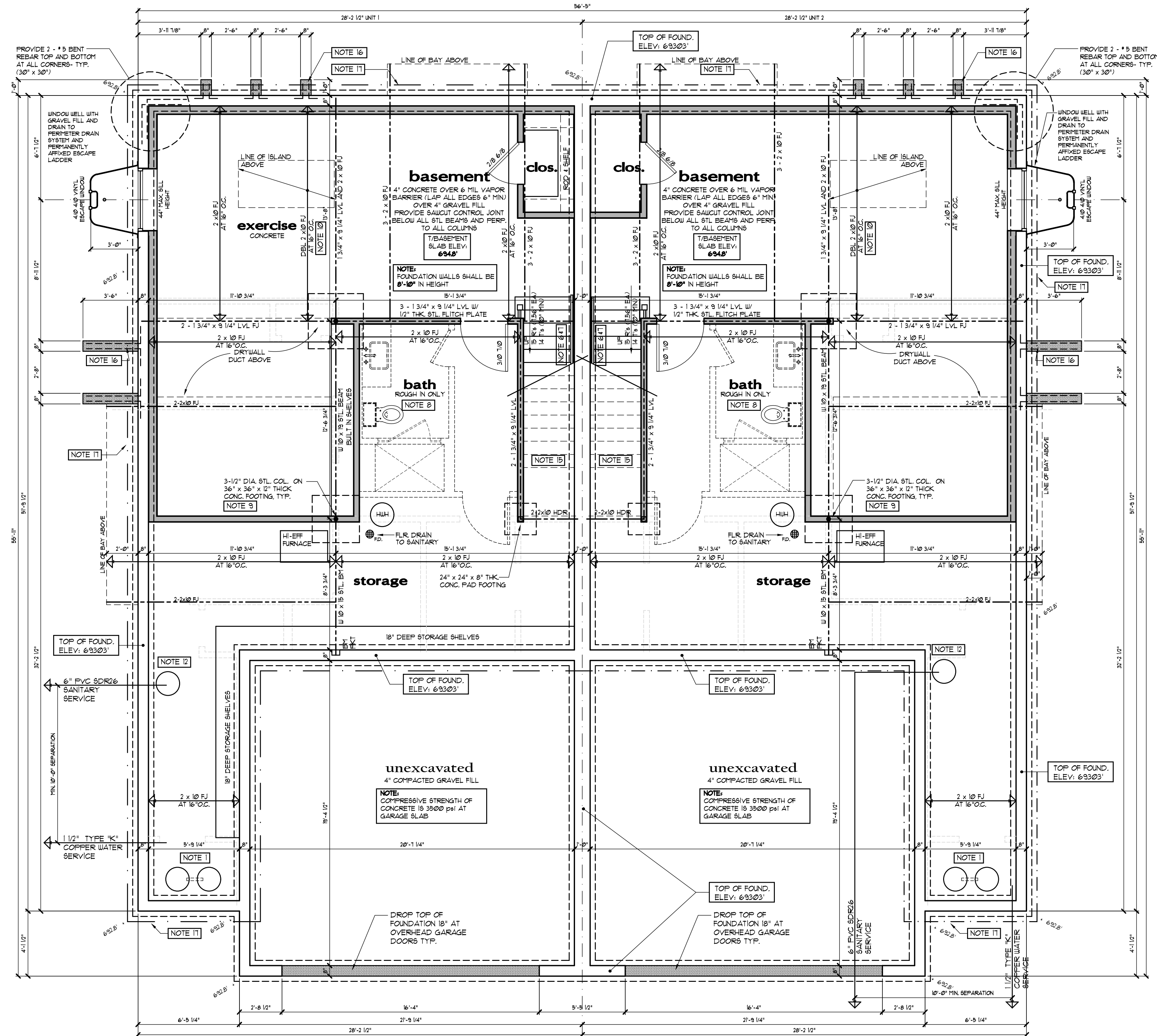
SHEET TITLE:
Proposed Site Plan

SHEET NUMBER:
C101

REVIEW COMMENTS 5.15.2023

TYPE OR LOCATION OF CONC. CONSTRUCTION	MIN. SPECIFIED CONC. STRENGTH
BASEMENT WALLS, FOUNDATIONS AND OTHER CONCRETE NOT EXPOSED TO THE WEATHER	2500 PSI
BASEMENT SLABS AND INTERIOR SLABS ON GRADE, EXCEPT GARAGE FLOOR SLABS	2500 PSI
BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE WORK EXPOSED TO THE WEATHER	3000 PSI
PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER, AND GARAGE FLOOR SLABS	3500 PSI

1. STRENGTH AT 28 DAYS PSI
2. TAKEN FROM 2006 IBC, TABLE R402.2



Unit 1

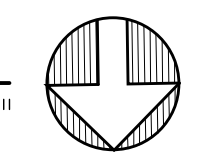
Unit 2

25 N Huffman
Foundation plan

NORTH

1
A100

SCALE: 1/4" = 1'-0"



floor joist schedule

JOIST & SPACING	MAXIMUM SPAN	
	NON-SLEEPING ROOMS	SLEEPING ROOMS
L / 360	40' LL - 10' DL	30' LL - 10' DL
2 x 8 AT 12" O.C.	13'-6"	14'-11"
2 x 8 AT 16" O.C.	12'-3"	13'-6"
2 x 10 AT 12" O.C.	17'-3"	19'-0"
2 x 10 AT 16" O.C.	15'-5"	17'-2"
2 x 10 AT 16" O.C.	15'-9"	17'-5"
DBL. EVERY OTHER JOIST		
2 x 12 AT 12" O.C.	20'-1"	23'-0"
2 x 12 AT 16" O.C.	17'-10"	19'-11"
2 x 12 AT 16" O.C.	19'-1"	21'-4"
DBL. EVERY OTHER JOIST		

PROVIDE DBL. FLOOR JOIST BELOW ALL PARALLEL PARTITIONS, UNLESS NOTED OTHERWISE ON PLANS. ALL FLOOR JOISTS SHALL BE 2" DOMESTIC HEM-FIR, CANADIAN SPRUCE PINE F1 OR BETTER. PROVIDE 1" x CROSS BRIDGING AT MAX. 8'-0" O.C.

concrete foundation walls

FOUNDATION WALLS ARE DESIGNED IN ACCORDANCE WITH 2010 ACI 332-10 RESIDENTIAL CODE REQUIREMENTS FOR STRUCTURAL CONCRETE

REVISIONS	DATE
PRELIMINARY DESIGN	4/21/2022
PRELIMINARY DESIGN	5/6/2022
PRELIM DESIGN	6/12/2022
CLIENT REVISIONS	6/21/2022
UNIT RELEASE	8/22/2022
BID SETS	2/15/2023
PERMIT RELEASE	4/19/2023
REVIEW COMMENTS	5/15/2023

NOTES:
1. PROVIDE FOUR CONTINUOUS HORIZONTAL BARS. A MINIMUM OF ONE HORIZONTAL BAR SHALL BE LOCATED WITHIN THE TOP 24 IN. AND A MINIMUM OF ONE IN THE BOTTOM 24 IN. THE REMAINING BARS SHALL BE SPACED OVER THE HEIGHT OF THE WALL AS EQUALLY AS PRACTICAL.
2. REINFORCING LAP LENGTH SHALL NOT BE LESS THAN 24 INCHES.
3. AT ALL CORNERS, HORIZONTAL REINFORCEMENT SHALL EXTEND AROUND THE CORNERS AND LAP REINFORCEMENT A MINIMUM OF 30 x BAR DIAMETER.

code requirements for residential concrete (ACI 332-10)

Table A6 - Vertical reinforcing bar spacing for conc. basement walls

MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT (FEET)	REINFORCING BAR	SPECIFIED MINIMUM WALL THICKNESS IN		
			15	20	25
5'-0"	0	NO. 4 # Jc	PLAN	PLAN	PLAN
		NO. 5 # Jc	PLAN	PLAN	PLAN
		NO. 6 # Jc	PLAN	PLAN	PLAN
6'-0"	0	NO. 4 # Jc	PLAN	PLAN	PLAN
		NO. 5 # Jc	PLAN	PLAN	PLAN
		NO. 6 # Jc	PLAN	PLAN	PLAN
7'-0"	0	NO. 4 # Jc	IS	PLAN	PLAN
		NO. 5 # Jc	PLAN	PLAN	PLAN
		NO. 6 # Jc	PLAN	PLAN	PLAN
8'-0"	0	NO. 4 # Jc	IS	PLAN	PLAN
		NO. 5 # Jc	PLAN	PLAN	PLAN
		NO. 6 # Jc	PLAN	PLAN	PLAN

ALL INFORMATION TAKEN FROM ACI 332-10

foundation notes

- NOTE 1: SUMP PUMPS MUST DISCHARGE A MINIMUM OF FIVE FEET (5'-0") FROM THE FOUNDATION WALLS. DISCHARGE MUST CONFORM TO THE APPROVED GRADING PLAN AND IN NO CASE SHALL BE EXTENDED CLOSER THAN THREE FEET (3'-0") FROM THE REAR OR SIDE PROPERTY LINE.
- NOTE 2: PROVIDE CONTROL JOINTS UNDER ALL STEEL BEAMS AND RADIATING AT 30 DEGREES FROM STEEL COLUMNS AND ALL FOUNDATION OFFSETS.
- NOTE 3: ALL HVAC SUPPLY AND RETURN DUCTS SHALL BE LOCATED IN FIELD. HVAC CONTRACTOR SHALL PROVIDE HI/LOW SUPPLY AND RETURN DUCTS.
- NOTE 4: PROVIDE UNMANIZED LUMBER FOR ALL POSTS OR SILL PLATES RESTING ON CONCRETE FOUNDATION OR CONCRETE FLOOR.
- NOTE 5: PROVIDE 2" x SOLID BLOCKING OR POSTING DOWN TO STEEL OR CONCRETE FOUNDATION WALLS AT ALL POINT LOADS.
- NOTE 6: HANDRAIL HEIGHT AT STAIRS SHALL BE MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING AND SHALL BE NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES.
- NOTE 7: HANDRAILS AT STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. ALL HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN THE NEEL. POSTS OR SAFETY TERMINAL. HANDRAILS ADJACENT TO WALLS SHALL HAVE A SPACE OF NOT LESS THAN 1/2 INCH BETWEEN THE WALL AND THE HANDRAIL, PER 2012 IRC R313.6.
- NOTE 8: PROVIDE ROUGH IN FOR FUTURE BATH.
- NOTE 9: ALL STEEL COLUMNS SHALL BE 3 1/2" O.D. x 0.331 STEEL COLUMN (F_y=36K) UNLESS NOTED OTHERWISE ON PLANS-SEE FOOTING SCHEDULE FOR SIZE OF FOOTING.
- NOTE 10: PROVIDE DOUBLE FLOOR JOISTS UNDER KITCHEN ISLAND.
- NOTE 11: PROVIDE 1" x CROSS BRIDGING AT MAX. 8'-0" O.C.
- NOTE 12: EJECTOR PIT-CONNECT TO FLOOR DRAIN AND OVERHEAD SEWER LOCATION AS REQUIRED BY SITE - TOP EDGE SHALL BE A MIN. 2" ABOVE FIN FLOOR.
- NOTE 13: TEMP. GLASS SHOWER ENCLOSURE.
- NOTE 14: PROVIDE PASSIVE RADON SYSTEM WITH ELECTRIC FOR FUTURE ABATEMENT. LOCATION T.B.D. IN FIELD. SEE DETAIL 3 SHEET A303.
- NOTE 15: PROVIDE 5/8" GYP BOARD AT UNDERSIDE OF STAIRS.
- NOTE 16: 8" THICK CONCRETE WING WALL WITH 2-#5 BENT BAR.
- NOTE 17: 4" DIA. PERIMETER DRAIN TILE IN 2" CLEAN GRAVEL FILL.

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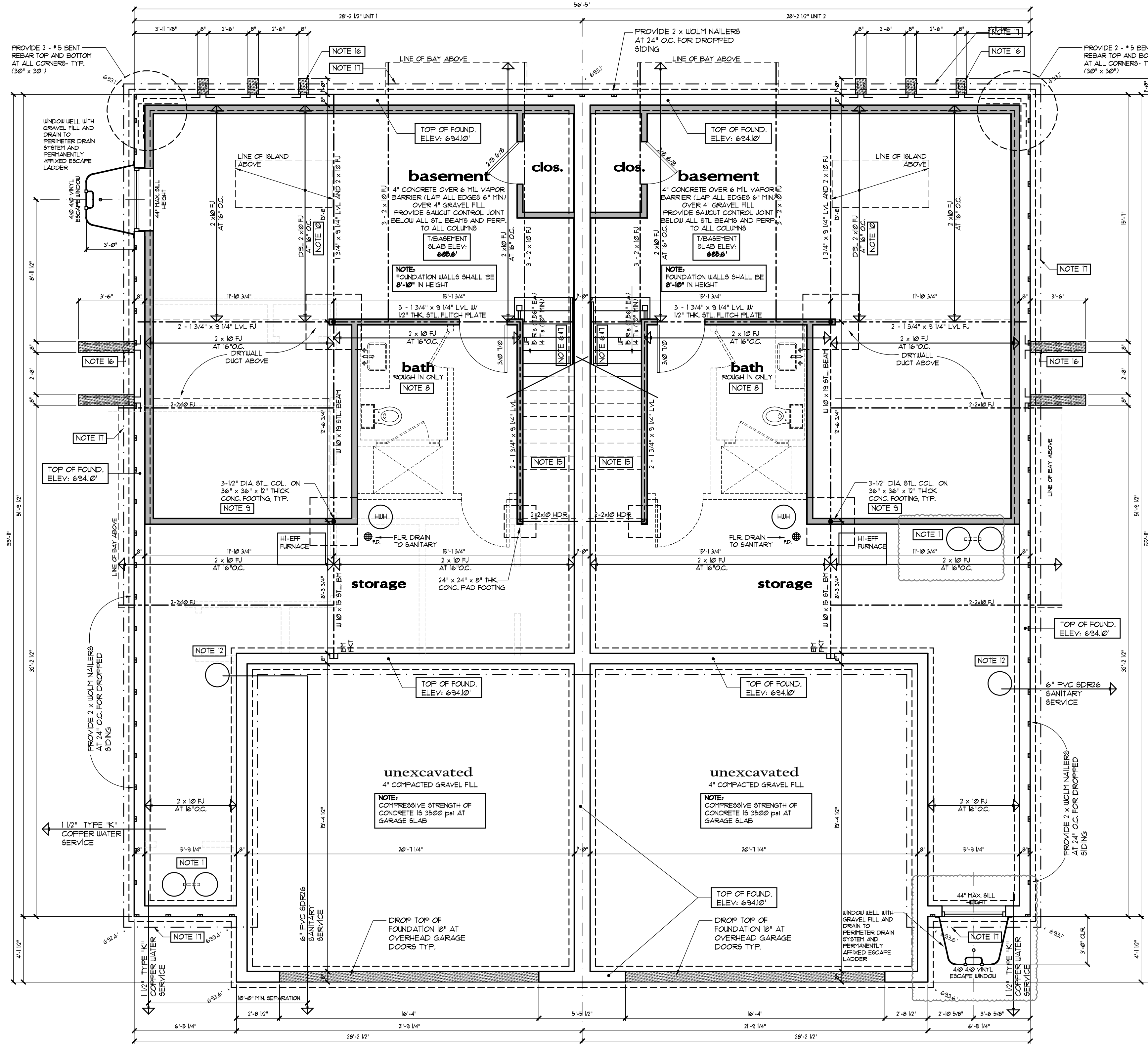
DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
**Foundation Plan
25 N Huffman**

SHEET NUMBER:
A100

TYPE OR LOCATION OF CONC. CONSTRUCTION	MIN. SPECIFIED CONC. STRENGTH
BASEMENT WALLS, FOUNDATIONS AND OTHER CONCRETE NOT EXPOSED TO THE WEATHER	3500 PSI
BASEMENT SLABS AND INTERIOR SLABS ON GRADE, EXCEPT GARAGE FLOOR SLABS	3000 PSI
BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE WORK EXPOSED TO THE WEATHER	3500 PSI
PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER, AND GARAGE FLOOR SLABS	3500 PSI

1. STRENGTH AT 28 DAYS PSI
2. TAKEN FROM 2006 I.R.C. TABLE R402.2



Unit 3

Unit 4

818 E Franklin
Foundation plan

NORTH

1
A101

SCALE: 1/4" = 1'-0"

floor joist schedule

JOIST SPACING	MAXIMUM SPAN	
	NON-SLEEPING ROOFS	SLEEPING ROOFS
L / 360	40' LL - 10' DL	30' LL - 10' DL
2 x 8 @ 12" O.C.	13'-6"	14'-11"
2 x 8 @ 16" O.C.	12'-3"	13'-6"
2 x 10 @ 12" O.C.	17'-3"	19'-0"
2 x 10 @ 16" O.C.	15'-5"	17'-2"
2 x 10 @ 16" O.C.	15'-9"	17'-5"
DBL. EVERY OTHER JOIST		
2 x 12 @ 12" O.C.	20'-1"	23'-0"
2 x 12 @ 16" O.C.	17'-10"	19'-11"
2 x 12 @ 16" O.C.	19'-1"	21'-4"
DBL. EVERY OTHER JOIST		

PROVIDE DBL. FLOOR JOIST BELOW ALL PARALLEL PARTITIONS, UNLESS NOTED OTHERWISE ON PLANS. ALL FLOOR JOISTS SHALL BE 2" DOMESTIC HEM-FIR, CANADIAN SPRUCE PINE FIR 2" OR BETTER. PROVIDE 1 x CROSS BRIDGING AT MAX. 8'-0" O.C.

concrete foundation walls

FOUNDATION WALLS ARE DESIGNED IN ACCORDANCE WITH 2010 ACI 332-10 RESIDENTIAL CODE REQUIREMENTS FOR STRUCTURAL CONCRETE

REVISIONS	DATE
PRELIMINARY DESIGN	4/2/2022
PRELIMINARY DESIGN	5/6/2022
PRELIM DESIGN	6/12/2022
CLIENT REVISIONS	6/21/2022
UNIT RELEASE	8/22/2022
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REVIEW COMMENTS	5/15/2023

- PROVIDE FOUR CONTINUOUS HORIZONTAL BARS. A MINIMUM OF ONE HORIZONTAL BAR SHALL BE LOCATED WITHIN THE TOP 24 IN. AND A MINIMUM OF ONE IN THE BOTTOM 24 IN. THE REMAINING BARS SHALL BE SPACED OVER THE HEIGHT OF THE WALL AS EQUALLY AS PRACTICAL.
- REINFORCING LAP LENGTH SHALL NOT BE LESS THAN 24 INCHES.
- AT ALL CORNERS, HORIZONTAL REINFORCEMENT SHALL EXTEND AROUND THE CORNERS AND LAP REINFORCEMENT A MINIMUM OF 30 x BAR DIAMETER.

code requirements for residential concrete (ACI 332-10)

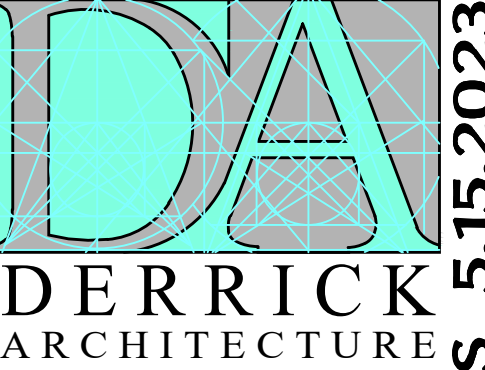
Table A6 - Vertical reinforcing bar spacing for conc. basement walls

MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT (FEET)	REINFORCING BAR	SPECIFIED MINIMUM WALL THICKNESS IN		
			15	20	25
5'-0"	5'-0"	NO. 4 # J.R.	PLAN	PLAN	PLAN
		NO. 5 # J.R.	PLAN	PLAN	PLAN
		NO. 6 # J.R.	PLAN	PLAN	PLAN
6'-0"	6'-0"	NO. 4 # J.R.	PLAN	PLAN	PLAN
		NO. 5 # J.R.	PLAN	PLAN	PLAN
		NO. 6 # J.R.	PLAN	PLAN	PLAN
7'-0"	7'-0"	NO. 4 # J.R.	IS	PLAN	PLAN
		NO. 5 # J.R.	PLAN	PLAN	PLAN
		NO. 6 # J.R.	PLAN	PLAN	PLAN
8'-0"	8'-0"	NO. 4 # J.R.	IS	PLAN	PLAN
		NO. 5 # J.R.	PLAN	PLAN	PLAN
		NO. 6 # J.R.	PLAN	PLAN	PLAN

ALL INFORMATION TAKEN FROM ACI 332-10

foundation notes

- SUMP PUMPS MUST DISCHARGE A MINIMUM OF FIVE FEET (5'-0") FROM THE FOUNDATION WALLS. DISCHARGE MUST CONFORM TO THE APPROVED GRADING PLAN AND IN NO CASE SHALL BE EXTENDED CLOSER THAN THREE FEET (3'-0") FROM THE REAR OR SIDE PROPERTY LINE.
- PROVIDE CONTROL JOINTS UNDER ALL STEEL BEAMS AND RADIATING AT 30 DEGREES FROM STEEL COLUMNS AND ALL FOUNDATION OFFSETS.
- ALL HVAC SUPPLY AND RETURN DUCTS SHALL BE LOCATED IN FIELD. HVAC CONTRACTOR SHALL PROVIDE HI/LO SUPPLY AND RETURN DUCTS.
- PROVIDE WOLMANIZED LUMBER FOR ALL POSTS OR SILL PLATES RESTING ON CONCRETE FOUNDATION OR CONCRETE FLOOR.
- PROVIDE 2 x SOLID BLOCKING OR POSTING DOWN TO STEEL OR CONCRETE FOUNDATION WALLS AT ALL POINT LOADS.
- HANDRAIL HEIGHT AT STAIRS SHALL BE MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING AND SHALL BE NOT MORE THAN 34 INCHES AND NOT MORE THAN 38 INCHES.
- HANDRAILS AT STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. ALL HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN THE NEEL, POSTS OR SAFETY TERMINAL. HANDRAILS ADJACENT TO WALLS SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCH BETWEEN THE WALL AND THE HANDRAIL, PER 2012 IRC R313.6.
- PROVIDE ROUGH IN FOR FUTURE BATH.
- ALL STEEL COLUMNS SHALL BE 3 1/2" O.D. x 0.331 STEEL COLUMN (F_y=36K) UNLESS NOTED OTHERWISE ON PLANS-SEE FOOTING SCHEDULE FOR SIZE OF FOOTING.
- PROVIDE DOUBLE FLOOR JOISTS UNDER KITCHEN ISLAND.
- PROVIDE 1 x CROSS BRIDGING AT MAX. 8'-0" O.C.
- ELECTOR PIT- CONNECT TO FLOOR DRAIN AND OVERHEAD SEWER LOCATION AS REQUIRED BY SITE - TOP EDGE SHALL BE A MIN. 2" ABOVE FIN FLOOR.
- TEMP. GLASS SHOWER ENCLOSURE.
- PROVIDE PASSIVE RADON SYSTEM WITH ELECTRIC FOR FUTURE ABATEMENT. LOCATION T.B.D. IN FIELD. SEE DETAIL 3 SHEET A303.
- PROVIDE 5/8" GYP BOARD AT UNDERSIDE OF STAIRS.
- 8" THICK CONCRETE WING WALL WITH 2-# BENT BAR.
- 4" DIA. PERIMETER DRAIN TILE IN 2" CLEAN GRAVEL FILL.



DERRICK ARCHITECTURE

506 SOUTH GABLES BLVD
WHEATON, ILLINOIS 60187

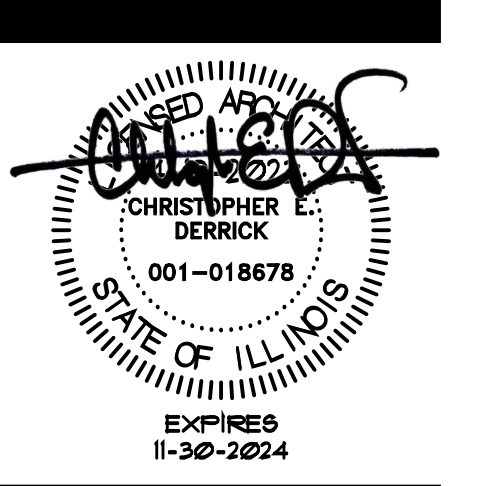
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REVISIONS	DATE
PRELIMINARY DESIGN	4/2/2022
PRELIMINARY DESIGN	5/6/2022
PRELIM DESIGN	6/12/2022
CLIENT REVISIONS	6/21/2022
UNIT RELEASE	8/22/2022
BID SETS	2/19/2023
PERMIT RELEASE	4/19/2023
REVIEW COMMENTS	5/15/2023

Franklin Flats
818 E Franklin/25 N Huffman
Naperville, IL 60540



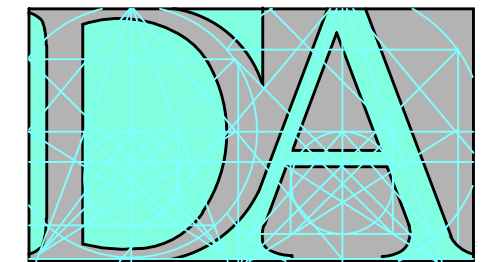
DRAWN BY: CED

DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
Foundation Plan
818 E Franklin

SHEET NUMBER:
A101

REVIEW COMMENTS 5.15.2023



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506 SOUTH GABLES BLVD
WHEATON, ILLINOIS 60187

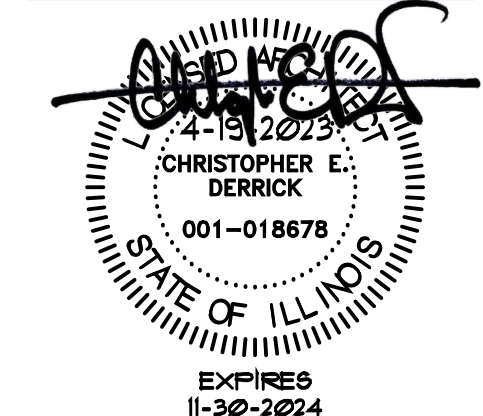
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BOULEVARD, WHEATON, ILLINOIS 60187

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REVISIONS	DATE
PRELIMINARY DESIGN	4/27/2022
PRELIMINARY DESIGN	5/6/2022
PRELIM DESIGN	6/12/2022
CLIENT REVISIONS	6/21/2022
UNIT RELEASE	8/22/2022
BID SETS	2/9/2023
PERMIT RELEASE	4/9/2023
REVIEW COMMENTS	5/15/2023

Franklin Flats
818 E Franklin/25 N Huffman
Naperville, IL 60540



DRAWN BY: CED

DATE: 05/15/23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
**First Floor Plan
25 N Huffman**

SHEET NUMBER:
A102

REVIEW COMMENTS 5.15.2023

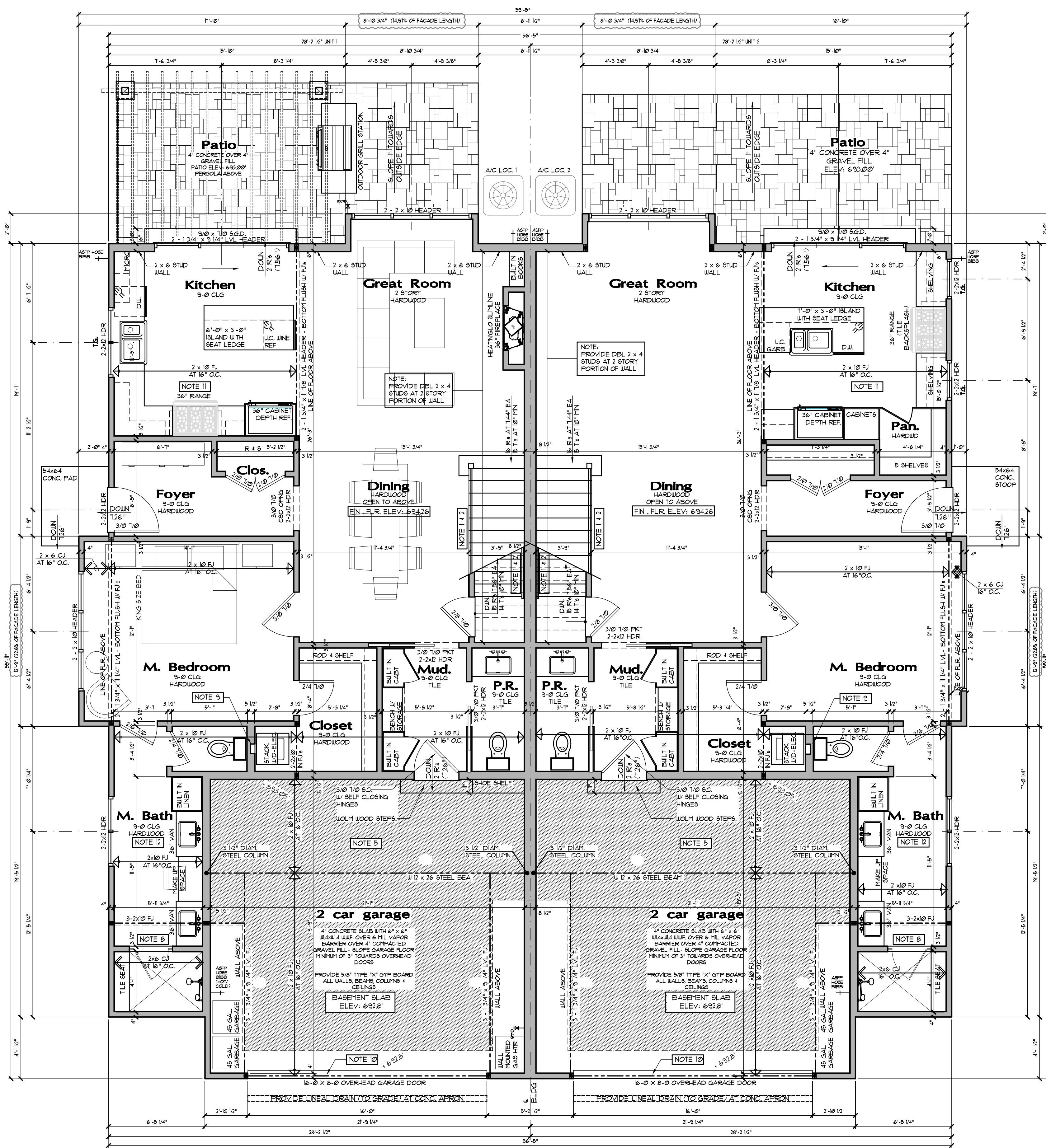
floor plan notes

- NOTE 1** HANDRAILS AT STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. ALL HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN THE NEEL POSTS OR SAFETY TERMINAL. HANDRAILS ADJACENT TO WALLS SHALL HAVE A SPACE OF NOT LESS THAN 1/2" INCH BETWEEN THE WALL AND THE HANDRAIL. PER 2018 IRC R312.6.
- NOTE 2** HANDRAIL HEIGHT AT STAIRS SHALL BE MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING AND SHALL BE NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES.
- NOTE 3** ALL BALUSTERS SHALL BE SPACED SO AS TO NOT ALLOW THE PASSAGE OF AN OBJECT 4" OR GREATER IN DIAMETER.
- NOTE 4** 36" HIGH GUARDRAIL
- NOTE 5** PROVIDE 12" SORBIT BELOW 2ND FLOOR IN GARAGE - PROVIDE R-38 INSULATION AND HEAT RINS INTO PLUMBING SPACE (SHADED AREA)
- NOTE 6** ALL ATTIC ACCESS SPACES WITH A MINIMUM OF 30 INCH VERTICAL HIGH AND AN AREA OF 30 SQUARE FEET SHALL HAVE AN ATTIC ACCESS HATCH. THE HATCH FRAMED OPENING SHALL NOT BE LESS THAN 22 INCHES BY 30 INCHES AND SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION PER 2018 IRC R807.1.
- NOTE 7** ACCESS HATCHES AND DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES SUCH AS ATTICS AND CRAWL SPACES SHALL BE WEATHER STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES PER 2018 IECC R402.4
- NOTE 8** TEMPERED GLASS SHOWER DOOR AND ENCLOSURE ON TILED LEDGE
- NOTE 9** GREY BOX
- NOTE 10** 1" RECESS IN CONCRETE AT OVERHEAD DOORS (TYPICAL ELEV. 692.11' FOR 25 N HUFFMAN 692.5' FOR 818 FRANKLIN)
- NOTE 11** EXHAUST HOOD SYSTEM CAPABLE OF EXHAUSTING IN EXCESS OF 400 CUBIC FEET PER MINUTE SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. MAKEUP AIR SYSTEM SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM
- NOTE 12** BATHS SHALL BE PROVIDED WITH WOOD BLOCKING INSTALLED WITHIN WALL FRAMING TO SUPPORT GRAB BARS AS NEEDED. THE WOOD BLOCKING WHEN MEASURED TO THE CENTER SHALL BE LOCATED BETWEEN 33" AND 36" ABOVE FINISHED FLOOR. THE WOOD BLOCKING SHALL BE LOCATED IN ALL WALLS ADJACENT TO A TOILET, SHOWER STALL, OR BATH TUB.
- NOTE 13** INDICATE AN ACCESSIBLE AND APPROVED GAS SHUT OFF VALVE WITHIN 6'-0" OF THE APPLIANCE IT SERVES
- NOTE 14** PROVIDE 2" X 6" BLOCKING IN JOIST SPACES ABOVE DOUBLE BILL PLATE FOR FIRE STOPPING
- NOTE 15** PROVIDE DOUBLE FLOOR JOISTS BELOW PARALLEL WALLS ABOVE
- NOTE 16** PROVIDE DOUBLE FLOOR JOISTS UNDER ALL TUBS ABOVE

floor joist schedule

JOIST & SPACING	MAXIMUM SPAN	
	NON-SLEEPING ROOFS	SLEEPING ROOFS
L / 360	40' LL - 10' DL	30' LL - 10' DL
2 x 8 AT 12" O.C.	13'-6"	14'-11"
2 x 8 AT 16" O.C.	12'-5"	13'-6"
2 x 10 AT 12" O.C.	17'-3"	19'-0"
2 x 10 AT 16" O.C.	15'-5"	17'-2"
2 x 10 AT 16" O.C. - DBL. EVERY OTHER JOIST	15'-5"	17'-5"
2 x 12 AT 12" O.C.	20'-1"	23'-0"
2 x 12 AT 16" O.C.	17'-10"	19'-11"
2 x 12 AT 16" O.C. - DBL. EVERY OTHER JOIST	19'-1"	21'-4"

PROVIDE DBL. FLOOR JOIST BELOW ALL PARALLEL PARTITIONS, UNLESS NOTED OTHERWISE ON PLANS.
ALL FLOOR JOISTS SHALL BE 10 DOMESTIC HEM-FIR, CANADIAN SPRUCE PINE FIR #1 OR BETTER
PROVIDE 1" CROSS BRIDGING AT MAX. 8'-0" O.C.



Unit 1

Unit 2

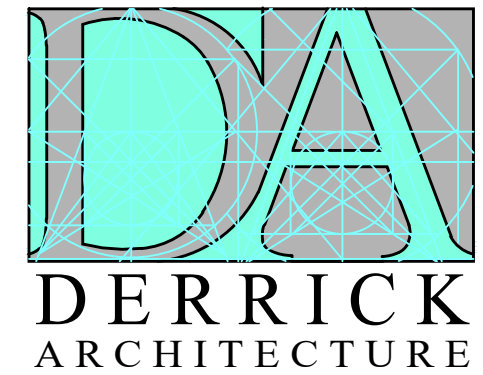
25 N Huffman
First Floor plan

NORTH

1
A102

SCALE: 1/4" = 1'-0"





DERRICK ARCHITECTURE

506 SOUTH GABLES BLVD WHEATON, ILLINOIS 60187

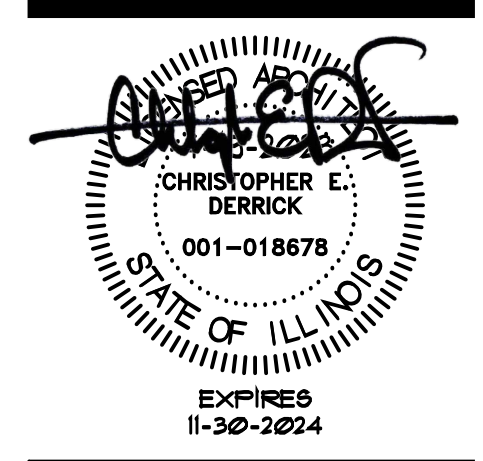
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Table with 2 columns: REVISIONS, DATE. Includes entries for PRELIMINARY DESIGN, PRELIM DESIGN, CLIENT REVISIONS, UNIT RELEASE, BID SETS, PERMIT RELEASE, and REVIEW COMMENTS.

Franklin Flats 818 E Franklin/25 N Huffman Naperville, IL 60540



DRAWN BY: CED DATE: 05/15/23 SCALE: AS NOTED PROJECT NO: 2210

SHEET TITLE: First Floor Plan 818 E Franklin

SHEET NUMBER: A103

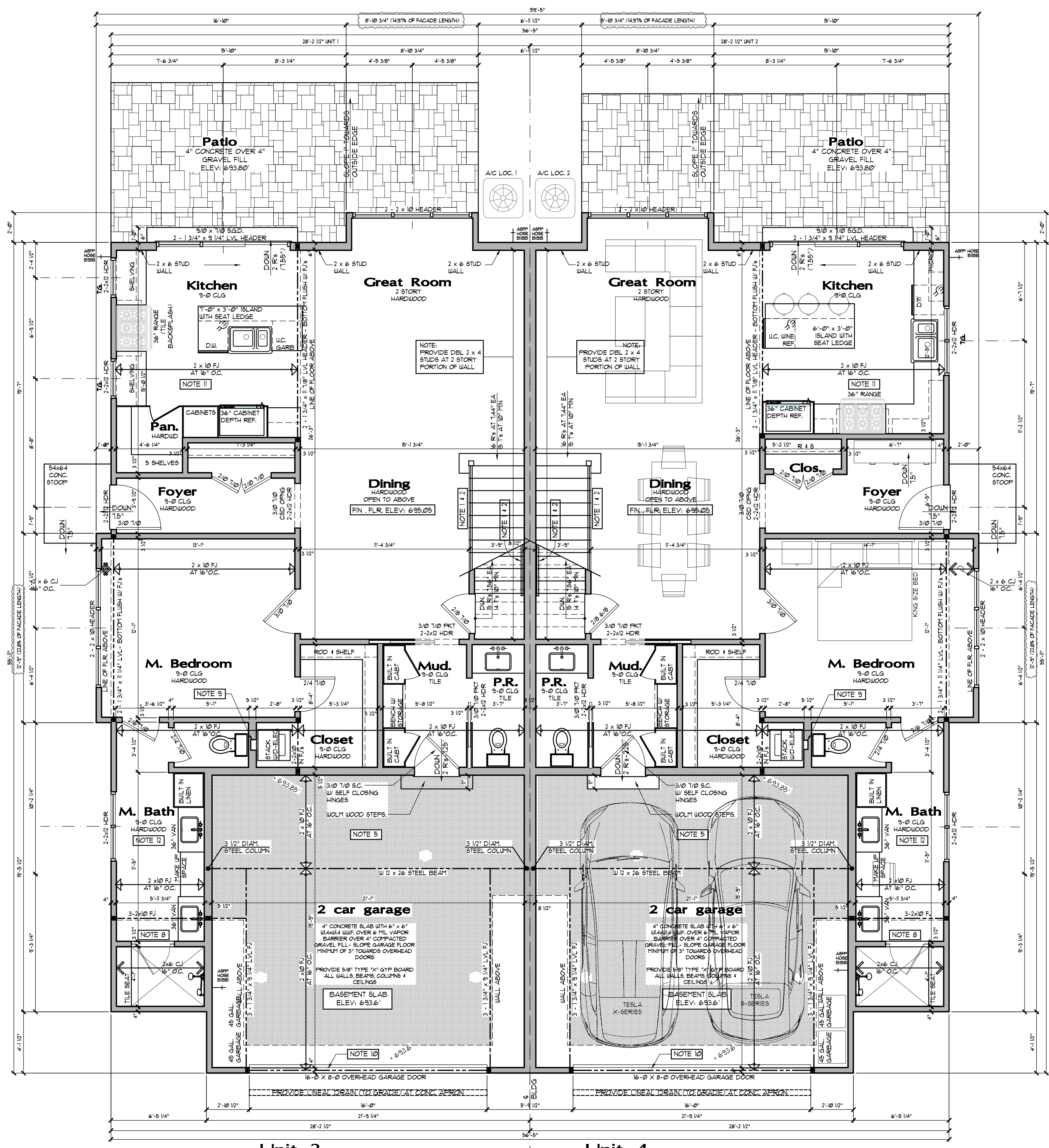
floor plan notes

- NOTE 1 HANDRAILS AT STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT... NOTE 2 HANDRAIL HEIGHT AT STAIRS SHALL BE MEASURED VERTICALLY FROM THE SLOPED PLANE... NOTE 3 ALL BALUSTERS SHALL BE SPACED SO AS TO NOT ALLOW THE PASSAGE OF AN OBJECT 4" OR GREATER IN DIAMETER... NOTE 4 36" HIGH GUARDRAIL... NOTE 5 PROVIDE 1" SORBIT BELOW 2ND FLOOR IN GARAGE... NOTE 6 ALL ATTIC ACCESS SPACES WITH A MINIMUM OF 30 INCH VERTICAL HIGH AND AN AREA OF 30 SQUARE FEET SHALL HAVE AN ATTIC ACCESS HATCH... NOTE 7 ACCESS HATCHES AND DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES... NOTE 8 TEMPERED GLASS SHOWER DOOR AND ENCLOSURE ON TILED LEDGE... NOTE 9 GREY BOX... NOTE 10 1" RECESS IN CONCRETE AT OVERHEAD DOORS... NOTE 11 EXHAUST HOOD SYSTEM CAPABLE OF EXHAUSTING IN EXCESS OF 400 CUBIC FEET PER MINUTE... NOTE 12 BATHS SHALL BE PROVIDED WITH WOOD BLOCKING... NOTE 13 INDICATE AN ACCESSIBLE AND APPROVED GAS SHUT OFF VALVE... NOTE 14 PROVIDE 2" X SOLID BLOCKING IN JOIST SPACES ABOVE DOUBLE BILL PLATE FOR FIRE STOPPING... NOTE 15 PROVIDE DOUBLE FLOOR JOISTS BELOW PARALLEL WALLS ABOVE... NOTE 16 PROVIDE DOUBLE FLOOR JOISTS UNDER ALL TUBS ABOVE...

floor joist schedule

Table with 3 columns: JOIST & SPACING, MAXIMUM SPAN NON-BEARING ROOFS, MAXIMUM SPAN SLEEPING ROOFS. Lists joist types like 2x8 @ 12" O.C., 2x10 @ 16" O.C., etc.

PROVIDE DBL. FLOOR JOIST BELOW ALL PARALLEL PARTITIONS, UNLESS NOTED OTHERWISE ON PLANS. ALL FLOOR JOISTS SHALL BE #2 DOMESTIC HEM-FIR, CANADIAN SPRUCE PINE FIR #1 OR BETTER. PROVIDE 1" X CROSS BRIDGING AT MAX. 8'-0" O.C.



Unit 3

Unit 4

818 E Franklin First Floor plan



1 A103

SCALE: 1/4" = 1'-0"

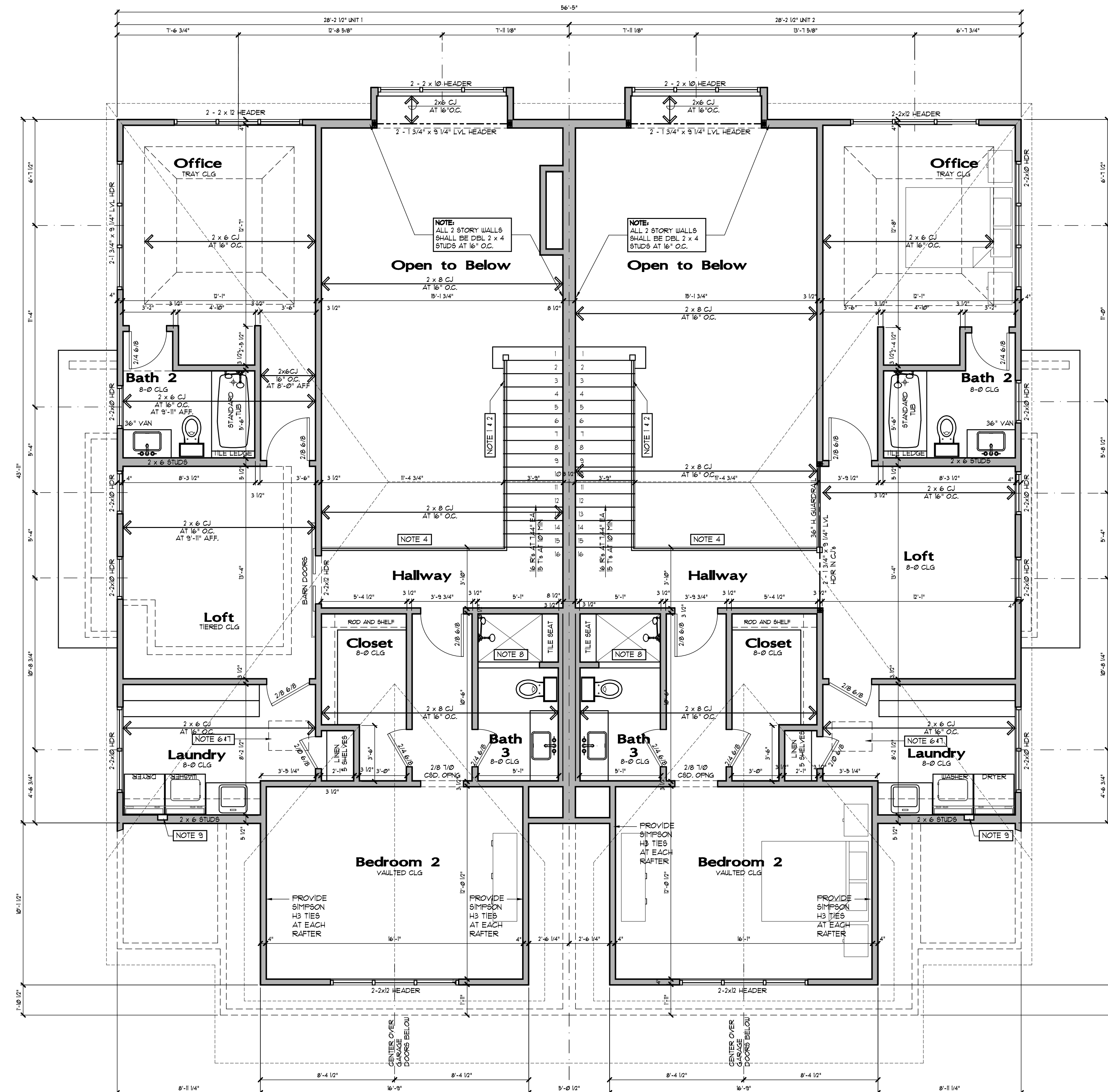
REVIEW COMMENTS 5.15.2023

ceiling joist schedule

JOIST SIZE	JOIST SPACING	MAX. SPAN
2 x 4	AT 16" O.C.	8'-11"
2 x 6	AT 16" O.C.	12'-10"
2 x 8	AT 16" O.C.	16'-3"
2 x 8	AT 12" O.C.	18'-9"
2 x 10	AT 16" O.C.	19'-10"
2 x 10	AT 12" O.C.	22'-11"
2 x 12	AT 16" O.C.	22'-8"
2 x 12	AT 12" O.C.	26'-3"

CEILING JOISTS SHALL BE #2 HEM - FIR, #2 CANADIAN SPRUCE PINE FIR OR BETTER. ALL JOISTS SHALL BE MINIMUM SIZE AND SPACING PER SCHEDULE ABOVE UNLESS OTHERWISE NOTED OTHERWISE ON PLANS.

- floor plan notes**
- NOTE 1 HANDRAILS AT STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. ALL HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN THE NEAREST POST OR SAFETY TERMINAL. HANDRAILS ADJACENT TO WALLS SHALL HAVE A SPACING OF NOT LESS THAN 1/2 INCH BETWEEN THE WALL AND THE HANDRAIL, PER 2009 IRC R313.6
 - NOTE 2 HANDRAIL HEIGHT AT STAIRS SHALL BE MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING AND SHALL BE NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES.
 - NOTE 3 ALL BALUSTERS SHALL BE SPACED SO AS TO NOT ALLOW THE PASSAGE OF AN OBJECT 4" OR GREATER IN DIAMETER
 - NOTE 4 36" HIGH GUARDRAIL
 - NOTE 5 PROVIDE 1" SOFFIT BELOW 2ND FLOOR IN GARAGE - PROVIDE R-38 INSULATION AND HEAT RUNS INTO FLETHY SPACE (SHADED AREA)
 - NOTE 6 ALL ATTIC ACCESS SPACES WITH A MINIMUM OF 30 INCH VERTICAL HIGH AND AN AREA OF 30 SQUARE FEET SHALL HAVE AN ATTIC ACCESS HATCH. THE ROUGH FRAMED OPENING SHALL NOT BE LESS THAN 22 INCHES BY 30 INCHES AND SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION PER 2009 IRC R307.1
 - NOTE 7 ACCESS HATCHES AND DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES SUCH AS ATTICS AND CRAWL SPACES SHALL BE LEATHER STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES PER 2009 IECC R402.4
 - NOTE 8 TEMPERED GLASS SHOWER DOOR AND ENCLOSURE ON TILED LEDGE
 - NOTE 9 GREY BOX
 - NOTE 10 1" RECESSED IN CONCRETE AT OVERHEAD DOORS (TYPICAL ELEV: 6'-0" FOR 25' HUFFMAN 6'-0" FOR 818 FRANKLIN)
 - NOTE 11 EXHAUST HOOD SYSTEM CAPABLE OF EXHAUSTING IN EXCESS OF 400 CUBIC FEET PER MINUTE SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. MAKEUP AIR SYSTEM SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM
 - NOTE 12 BATHS SHALL BE PROVIDED WITH WOOD BLOCKING INSTALLED WITHIN WALL FINISHING TO SUPPORT GRAB BARS AS NEEDED. THE WOOD BLOCKING SHALL BE MEASURED TO THE CENTER SHALL BE LOCATED BETWEEN 35" AND 34" ABOVE FINISHED FLOOR. THE WOOD BLOCKING SHALL BE LOCATED IN ALL WALLS ADJACENT TO A TOILET, SHOWER STALL, OR BATH TUB.
 - NOTE 13 INDICATE AN ACCESSIBLE AND APPROVED GAS SHUT OFF VALVE WITHIN 6'-0" OF THE APPLIANCE IT SERVES
 - NOTE 14 PROVIDE 2" X SOLID BLOCKING IN JOIST SPACES ABOVE DOUBLE SILL PLATE FOR FIRE STOPPING
 - NOTE 15 PROVIDE DOUBLE FLOOR JOISTS BELOW PARALLEL WALLS ABOVE
 - NOTE 16 PROVIDE DOUBLE FLOOR JOISTS UNDER ALL TUBS ABOVE



UNIT 1 light / vent calculation

ROOM	AREA	LT. REQUIRED	PROVIDED VNT
KITCHEN/ GREAT ROOM/ DINING	57.9	45.8	27.8
MASTER BEDROOM	86	12.4	6.1
MASTER BATH	71.9	9.8	4.3
TUO ROOM	46.4	3.1	1.8
POUNDER ROOM	78.3	2.3	1.2
OFFICE	15.0	12.0	6.0
BEDROOM 2	87	14.6	7.3
BATH 2	57.0	4.2	2.1
BATH 3	57.1	4.2	2.1
LAUNDRY	90.7	7.2	3.6
LOFT	99.0	17.1	6.4

NOTE 1: IN ROOMS NOT MEETING REQUIRED GLAZING AREAS, ARTIFICIAL LIGHTING SHALL BE PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL PER 2009 IRC R309

NOTE 2: IN ROOMS NOT MEETING MINIMUM OPENABLE VENTILATION AREA SHALL BE VENTILATED WITH AN APPROVED MECHANICAL VENTILATION SYSTEM CAPABLE OF PRODUCING 0.35 AIR CHANGES PER HOUR IN THE ROOM OR A WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM CAPABLE OF SUPPLYING OUTDOOR VENTILATION AIR

NOTE 3: VENTILATION PROVIDED - VENT TO EXTERIOR

UNIT 2 light / vent calculation

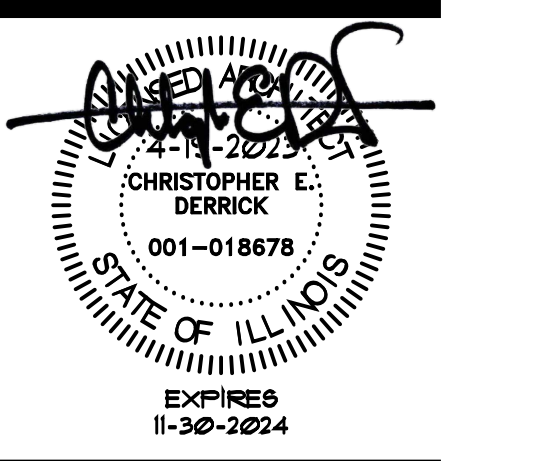
ROOM	AREA	LT. REQUIRED	PROVIDED VNT
KITCHEN/ GREAT ROOM/ DINING	57.9	45.8	27.8
MASTER BEDROOM	86	12.4	6.1
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BEDROOM 2	87	14.6	7.3
BATH 2	57.0	4.2	2.1
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NOTE 1: IN ROOMS NOT MEETING REQUIRED GLAZING AREAS, ARTIFICIAL LIGHTING SHALL BE PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL PER 2009 IRC R309

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NOTE 3: VENTILATION PROVIDED - VENT TO EXTERIOR

Franklin Flats
 818 E Franklin/25 N Huffman
 Naperville, IL 60540



DRAWN BY: CED
 DATE: 05 / 15 / 23
 SCALE: AS NOTED
 PROJECT NO: 2210

SHEET TITLE:
Second Floor Plan
25 N Huffman
 SHEET NUMBER:
A104

ceiling joist schedule

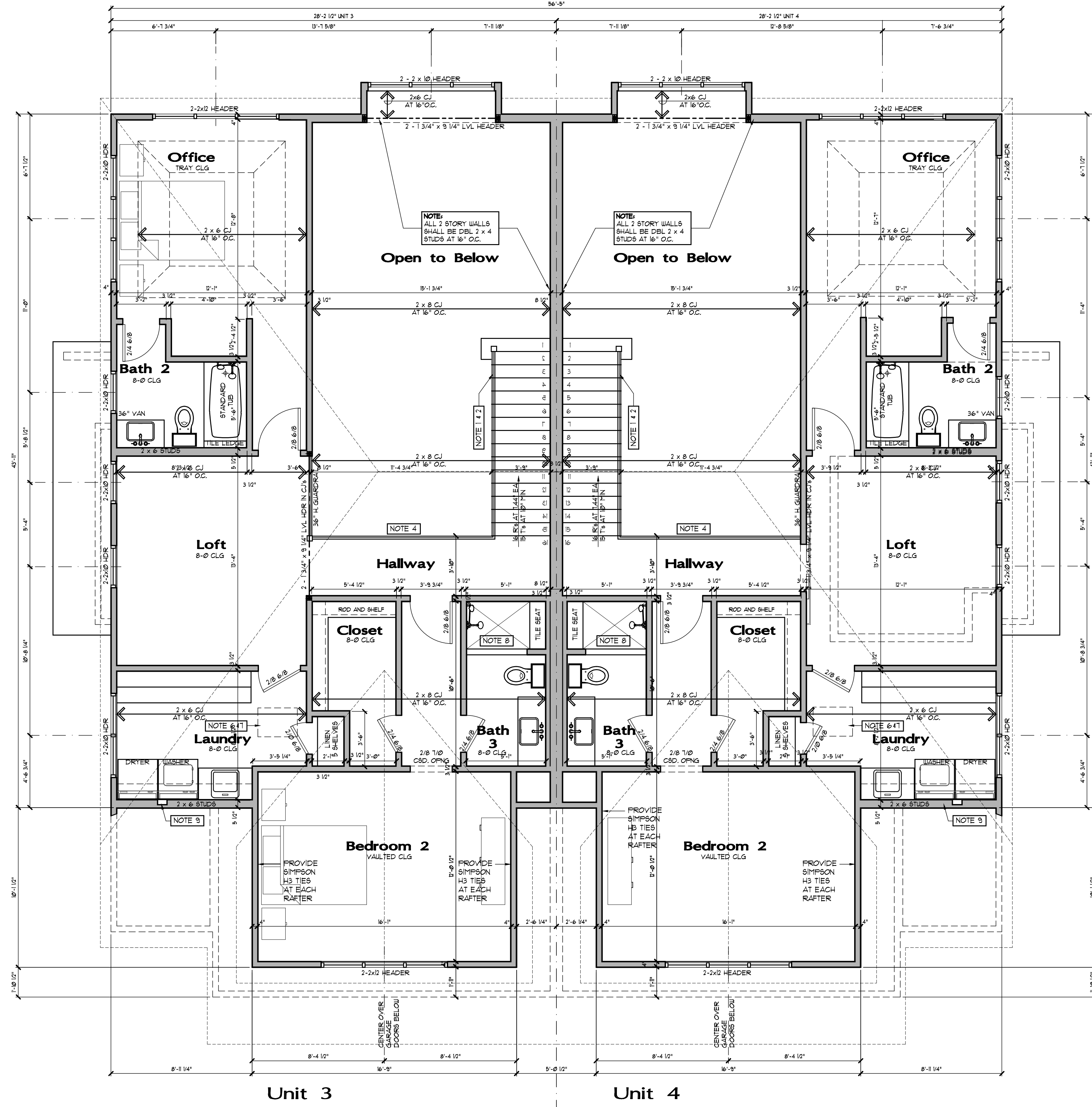
JOIST SIZE	JOIST SPACING	MAX. SPAN
2 x 4	AT 16" O.C.	8'-1"
2 x 6	AT 16" O.C.	12'-10"
2 x 8	AT 16" O.C.	16'-3"
2 x 8	AT 12" O.C.	18'-9"
2 x 10	AT 16" O.C.	19'-10"
2 x 10	AT 12" O.C.	22'-11"
2 x 12	AT 16" O.C.	22'-8"
2 x 12	AT 12" O.C.	26'-3"

CEILING JOISTS SHALL BE #2 HEM - FIR, #2 CANADIAN SPRUCE PINE FIR OR BETTER. ALL JOISTS SHALL BE MINIMUM SIZE AND SPACING PER SCHEDULE ABOVE UNLESS OTHERWISE NOTED OTHERWISE ON PLANS.

- floor plan notes**
- NOTE 1** HANDRAILS AT STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. ALL HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN THE NEAREST PROFF OR SAFETY TERMINAL. HANDRAILS ADJACENT TO WALLS SHALL HAVE A LEADGE OF NOT LESS THAN 1 1/2 INCH BETWEEN THE WALL AND THE HANDRAIL, PER 2009 IRC R313.6
 - NOTE 2** HANDRAIL HEIGHT AT STAIRS SHALL BE MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING AND SHALL BE NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES.
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 - NOTE 4** 36" HIGH GUARDRAIL
 - NOTE 5** PROVIDE 1" SOFFIT BELOW 2ND FLOOR IN GARAGE - PROVIDE R-38 INSULATION AND HEAT RUNS INTO FLEEM" SPACE (SHADED AREA)
 - NOTE 6** ALL ATTIC ACCESS SPACES WITH A MINIMUM OF 30 INCH VERTICAL HIGH AND AN AREA OF 30 SQUARE FEET SHALL HAVE AN ATTIC ACCESS HATCH. THE ROUGH FRAMED OPENING SHALL NOT BE LESS THAN 22 INCHES BY 30 INCHES AND SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION PER 2009 IRC R802.1
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 - NOTE 8** TEMPERED GLASS SHOWER DOOR AND ENCLOSURE ON TILED LEDGE
 - NOTE 9** GREY BOX
 - NOTE 10** 1" RECESSED IN CONCRETE AT OVERHEAD DOORS (T/C/ONG ELEV: 6'0.7" FOR 75 HUFFMAN 6'0.5" FOR 818 FRANKLIN)
 - NOTE 11** EXHAUST HOOD SYSTEM CAPABLE OF EXHAUSTING IN EXCESS OF 400 CUBIC FEET PER MINUTE SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. MAKEUP AIR SYSTEM SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM
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 - NOTE 13** INDICATE AN ACCESSIBLE AND APPROVED GAS SHUT OFF VALVE WITHIN 6'-0" OF THE APPLIANCE IT SERVES
 - NOTE 14** PROVIDE 2" X SOLID BLOCKING IN JOIST SPACES ABOVE DOUBLE SILL PLATE FOR FIRE STOPPING
 - NOTE 15** PROVIDE DOUBLE FLOOR JOISTS BELOW PARALLEL WALLS ABOVE
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REVISIONS

REVISIONS	DATE
PRELIMINARY DESIGN	4/27/2022
PRELIMINARY DESIGN	5/6/2022
PRELIM DESIGN	6/12/2022
CLIENT REVISIONS	6/21/2022
UNIT RELEASE	8/22/2022
BID SETS	2/15/2023
PERMIT RELEASE	4/19/2023
REVIEW COMMENTS	5/15/2023



UNIT 3 light / vent calculation

ROOM	AREA	REQUIRED LT.	REQUIRED VNT.	PROVIDED LT.	PROVIDED VNT.
KITCHEN/ GREAT ROOM/ DINING	572.9	25.8	22.8	136.6	67.9
MASTER BEDROOM	168	7.4	6.1	39.3	26.2
MASTER BATH	219	9.8	4.3	20.8	20.8
TUB ROOM	46.4	3.1	1.8	NOTE 1	NOTE 2
POULDER ROOM	28.9	2.3	1.2	NOTE 1	NOTE 3
OFFICE	150	12.0	6.0	51.9	23.5
BEDROOM 2	187	14.6	7.3	39.3	23.5
BATH 2	57.2	4.2	2.1	11.1	11.1
TUB ROOM	46.4	3.1	1.8	NOTE 1	NOTE 3
LAUNDRY	90.2	7.2	3.6	11.1	11.1
LOFT	99.0	12.1	6.4	23.5	23.5

NOTE 1 IN ROOMS NOT MEETING REQUIRED GLAZING AREAS, ARTIFICIAL LIGHTING SHALL BE PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL PER 2009 IRC R303

NOTE 2 IN ROOMS NOT MEETING MINIMUM OPENABLE VENTILATION AREA SHALL BE VENTILATED WITH AN APPROVED MECHANICAL VENTILATION SYSTEM CAPABLE OF PRODUCING 0.35 AIR CHANGES PER HOUR IN THE ROOM OR A WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM CAPABLE OF SUPPLYING OUTDOOR VENTILATION AIR.

NOTE 3 VENTILATION PROVIDED - VENT TO EXTERIOR

UNIT 4 light / vent calculation

ROOM	AREA	REQUIRED LT.	REQUIRED VNT.	PROVIDED LT.	PROVIDED VNT.
KITCHEN/ GREAT ROOM/ DINING	572.9	25.8	22.8	136.6	67.9
MASTER BEDROOM	168	7.4	6.1	39.3	26.2
MASTER BATH	219	9.8	4.3	20.8	20.8
TUB ROOM	46.4	3.1	1.8	NOTE 1	NOTE 2
POULDER ROOM	28.9	2.3	1.2	NOTE 1	NOTE 3
OFFICE	150	12.0	6.0	51.9	23.5
BEDROOM 2	187	14.6	7.3	39.3	23.5
BATH 2	57.2	4.2	2.1	11.1	11.1
TUB ROOM	46.4	3.1	1.8	NOTE 1	NOTE 3
LAUNDRY	90.2	7.2	3.6	11.1	11.1
LOFT	99.0	12.1	6.4	23.5	23.5

NOTE 1 IN ROOMS NOT MEETING REQUIRED GLAZING AREAS, ARTIFICIAL LIGHTING SHALL BE PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL PER 2009 IRC R303

NOTE 2 IN ROOMS NOT MEETING MINIMUM OPENABLE VENTILATION AREA SHALL BE VENTILATED WITH AN APPROVED MECHANICAL VENTILATION SYSTEM CAPABLE OF PRODUCING 0.35 AIR CHANGES PER HOUR IN THE ROOM OR A WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM CAPABLE OF SUPPLYING OUTDOOR VENTILATION AIR.

NOTE 3 VENTILATION PROVIDED - VENT TO EXTERIOR

Franklin Flats
818 E Franklin/25 N Huffman
Naperville, IL 60540



DRAWN BY: CED
DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
Second Floor Plan
818 E Franklin
SHEET NUMBER:
A105

REVISIONS	DATE
PRELIMINARY DESIGN	4/21/2022
PRELIMINARY DESIGN	5/6/2022
PRELIM DESIGN	6/12/2022
CLIENT REVISIONS	6/21/2022
UNIT RELEASE	8/22/2022
BID SETS	2/15/2023
PERMIT RELEASE	4/19/2023
REVIEW COMMENTS	5/15/2023

roof rafter schedule

RAFTER SIZE	RAFTER SPACING	MAX SPAN NON-VAULTED
2 x 12	16' O.C.	21'-1"
2 x 12	12' O.C.	24'-4"
2 x 10	16' O.C.	18'-2"
2 x 10	12' O.C.	21'-0"
2 x 8	16' O.C.	14'-11"

DESIGN CRITERIA: L/180 DEFLECTION
LOADS: 30 PSF LIVE AND 10 PSF DEAD
CEILING JOISTS SHALL BE #2 HEM-FIR OR BETTER
(BENDING STRESS Fb=1200 PSI). ALL JOISTS SHALL BE
MINIMUM SIZE AND SPACING PER SCHEDULE ABOVE UNLESS
OTHERWISE NOTED OTHERWISE ON PLANS.
SPANS TAKEN FROM 2009 SPAN TABLES BY THE 2009
INTERNATIONAL RESIDENTIAL CODE TABLE R202.5.1(3)

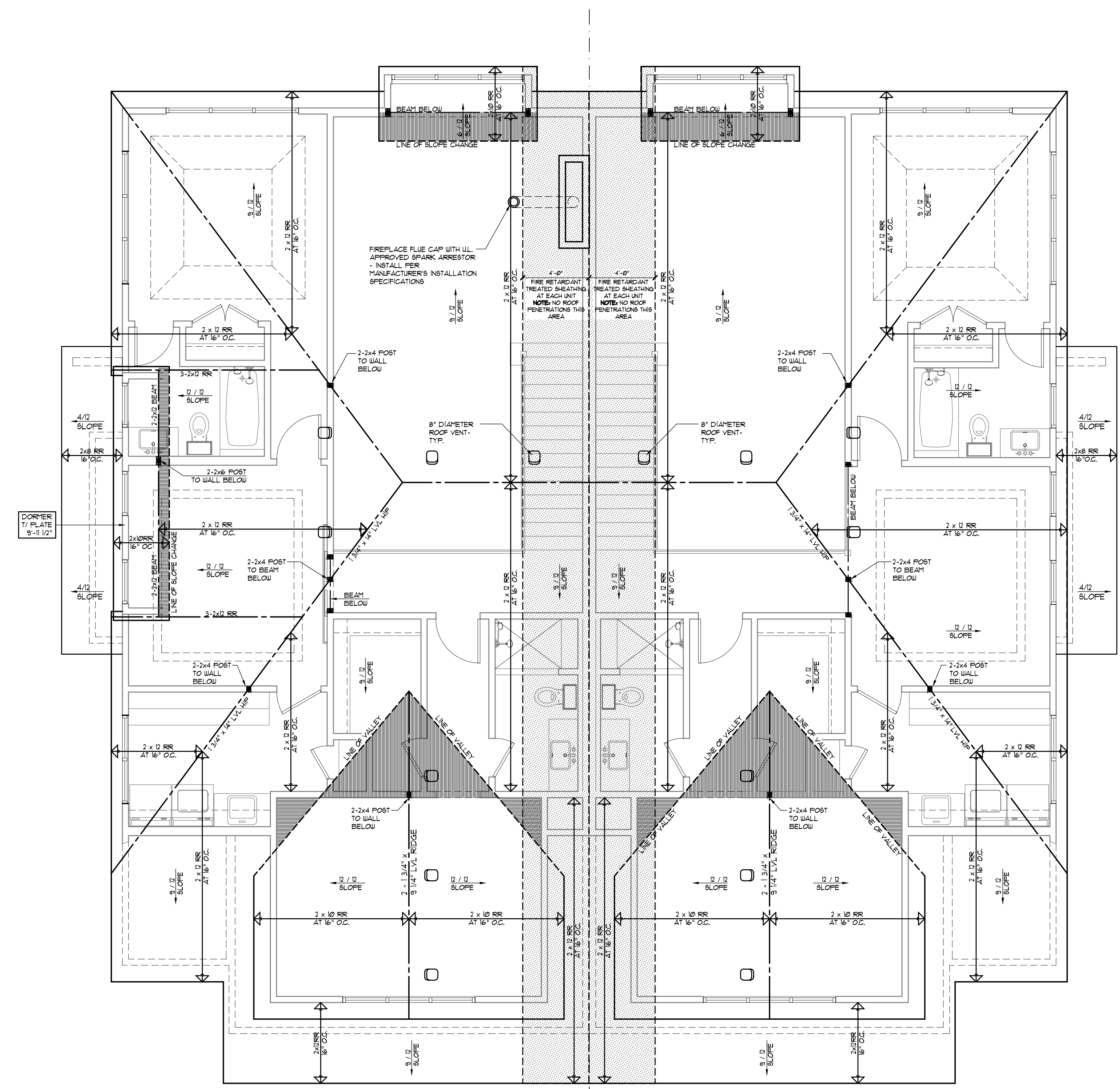
- general roof notes**
- NOTES:**
- FIRE STOPPING AND DRAFT STOPPING AT ALL SOFFITED AND ENCLOSED SPACES WILL BE INSTALLED WITH APPROVED SOLID BLOCKING, PLYWOOD, DRYWALL, OR 2009 IRC AND/OR UL APPROVED FIRE STOPPING.
 - ALL EXPOSED INSULATION TYPICAL AT THE RIM JOISTS AND AT UNFINISHED BASEMENT WALLS, TO HAVE A FLAME SPREAD RATING OF 25 OR LESS.
 - PROVIDE SIMPSON H3 TIES AT EACH ROOF RAFTER FOR CONNECTIONS OF RAFTER TO WALL PLATE AT THE FOLLOWING CONDITIONS:
 - CEILING JOISTS ARE NOT PRESENT
 - CEILING JOISTS ARE NOT PARALLEL TO ROOF RAFTERS
 - CEILING JOISTS ARE NOT CONNECTED TO ROOF RAFTERS AT WALL PLATE
 - PROVIDE ICE AND WATER SHIELD AT ALL EAVES, VALLEYS AND PANS AND ALL ROOFS WITH A SLOPE 4/12 OR LESS. ICE AND WATER SHIELDS SHALL EXTEND FROM THE EDGE OF THE EAVE TO A POINT 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. TYPICAL AT ALL EAVES.
- 2 x 4 POST DOWN TO WALL OR BEAM BELOW

■ HATCHED AREAS DENOTE OVERFRAMING - TYP.

attic ventilation calculation (Unit B)

1505 SQUARE FEET x 1 / 300 = 5.01 SF. VENTILATION REQUIRED

(6) 8" DIAMETER ROOF VENTS	2.80 SF.
(36) 1/2" x 12" SOFFIT VENTS @ 36" O.C.	6.33 SF.
VENTILATION PROVIDED *	9.13 SF.



Unit 1

Unit 2

25 N Huffman
Roof plan



1
A106

SCALE: 1/4" = 1'-0"

Franklin Flats
818 E Franklin/25 N Huffman
Naperville, IL 60540



DRAWN BY: CED

DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
**Roof Plan
25 N Huffman**

SHEET NUMBER:
A106

roof rafter schedule

RAFTER SIZE	RAFTER SPACING	MAX SPAN NON-VAULTED
2 x 12	16" O.C.	21'-1"
2 x 12	12" O.C.	24'-4"
2 x 10	16" O.C.	18'-2"
2 x 10	12" O.C.	21'-0"
2 x 8	16" O.C.	14'-11"

DESIGN CRITERIA: L/180 DEFLECTION
LOADS: 30 PSF LIVE AND 10 PSF DEAD
CEILING JOISTS SHALL BE #2 HEM-FIR OR BETTER (BENDING STRESS Fb=1200 PSI). ALL JOISTS SHALL BE MINIMUM SIZE AND SPACING PER SCHEDULE ABOVE UNLESS OTHERWISE NOTED OTHERWISE ON PLANS.
SPANS TAKEN FROM 2009 SPAN TABLES BY THE 2009 INTERNATIONAL RESIDENTIAL CODE TABLE R202.5.13)

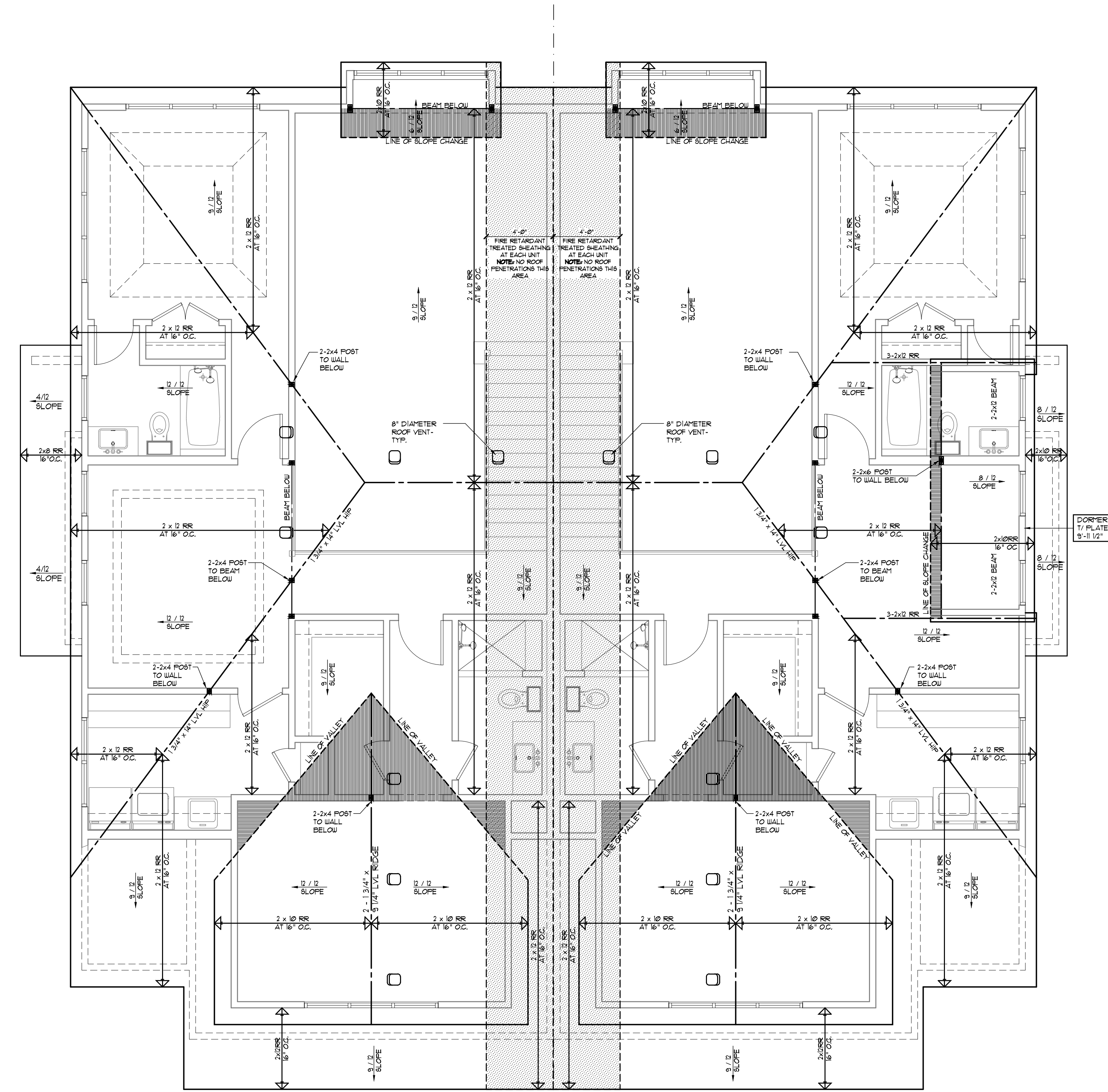
- general roof notes**
- NOTES:**
- FIRE STOPPING AND DRAFT STOPPING AT ALL SOFFITS AND ENCLOSED SPACES WILL BE INSTALLED WITH APPROVED SOLID BLOCKING, PLYWOOD, CRYSWALL, OR 2009 IRC AND/OR UL APPROVED FIRE STOPPING.
 - ALL EXPOSED INSULATION TYPICAL AT THE RIM JOISTS AND AT UNFINISHED BASEMENT WALLS, TO HAVE A FLAME SPREAD RATING OF 25 OR LESS.
 - PROVIDE SIMPSON H3 TIES AT EACH ROOF RAFTER FOR CONNECTIONS OF RAFTER TO WALL PLATE AT THE FOLLOWING CONDITIONS:
 - CEILING JOISTS ARE NOT PRESENT
 - CEILING JOISTS ARE NOT PARALLEL TO ROOF RAFTERS
 - CEILING JOISTS ARE NOT CONNECTED TO ROOF RAFTERS AT WALL PLATE
 - PROVIDE ICE AND WATER SHIELD AT ALL EAVES, VALLEYS AND PANS AND ALL ROOFS WITH A SLOPE 4/12 OR LESS. ICE AND WATER SHIELDS SHALL EXTEND FROM THE EDGE OF THE EAVE TO A POINT 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. TYPICAL AT ALL EAVES.
- 2 x 2 x 4 POST DOWN TO WALL OR BEAM BELOW

HATCHED AREAS DENOTE OVERFRAMING - TYP.

attic ventilation calculation (Unit B)

1505 SQUARE FEET x 1 / 300 = 5.01 SF. VENTILATION REQUIRED

(8) 8" DIAMETER ROOF VENTS	2.80 SF.
(38) 12" x 12" SOFFIT VENTS @ 36" O.C.	6.33 SF.
VENTILATION PROVIDED *	9.13 SF.



Unit 3

Unit 4

818 E Franklin
Roof plan

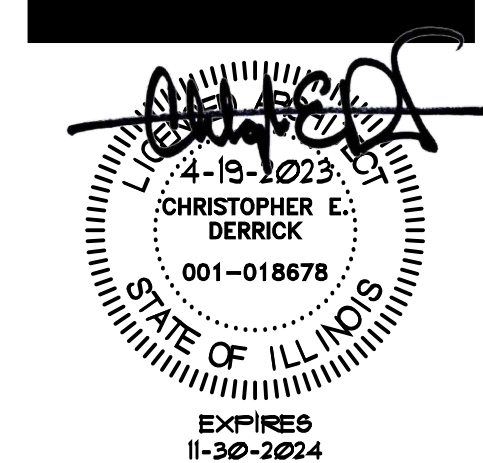
NORTH

1
A107

SCALE: 1/4" = 1'-0"

REVISIONS	DATE
PRELIMINARY DESIGN	4/21/2022
PRELIMINARY DESIGN	5/6/2022
PRELIM DESIGN	6/12/2022
CLIENT REVISIONS	6/21/2022
UNIT RELEASE	8/22/2022
BID SETS	2/15/2023
PERMIT RELEASE	4/19/2023
REVIEW COMMENTS	5/15/2023

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818 E Franklin/25 N Huffman
Naperville, IL 60540



DRAWN BY: CED

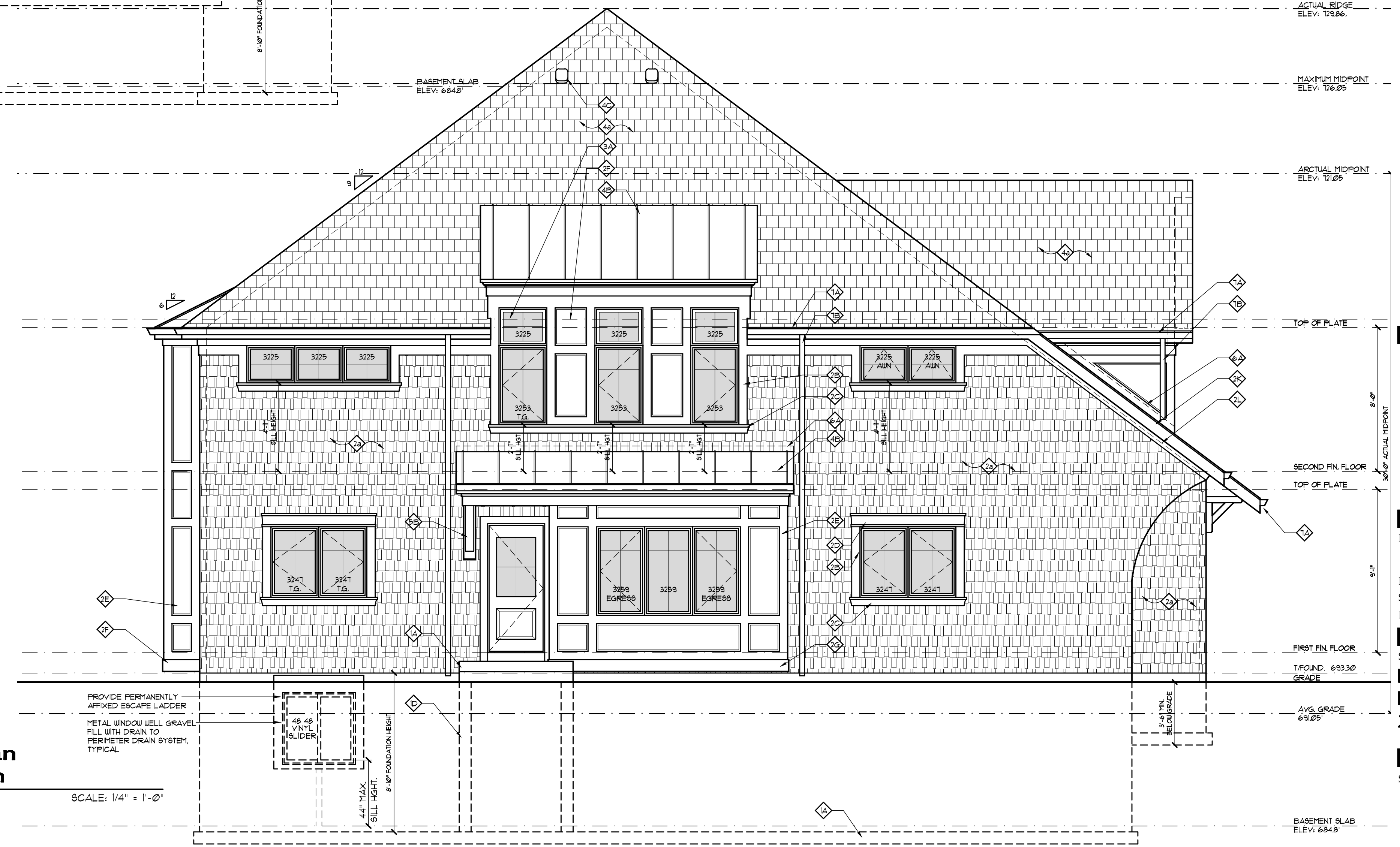
DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
Roof Plan
818 E Franklin

SHEET NUMBER:
A107



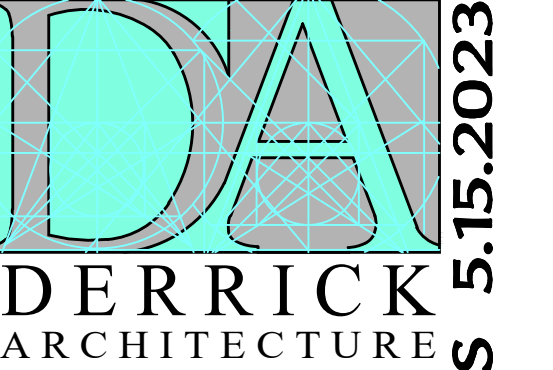
**25 N Huffman
North Elevation**
SCALE: 1/4" = 1'-0"



**25 N Huffman
East Elevation**
SCALE: 1/4" = 1'-0"

elevation key notes

- ◆ CONCRETE
- ◆ 8" THICK x 16" WIDE CONCRETE FOOTING, TYP
- ◆ CONCRETE STEPS
- ◆ CONCRETE PORCH
- ◆ 8" WIDE CONCRETE WING WALLS
- ◆ SIDING AND TRIM
- ◆ COMPOSITE SHAKE SIDING - MITRED CORNER DETAILS - SEE DETAIL X SHEET A300
- ◆ 3/4" x 4" WINDOW BURROUND
- ◆ 1 1/2" x 3" SILL OVER 5/4 SKIRT
- ◆ 3/8" x 6" HEAD DETAILS w/ 2" x CAP AND ALUM FLASING
- ◆ PANEL DETAIL
- ◆ HORIZONTAL COMPOSITE SIDING - SEE DETAIL X SHEET A300
- ◆ 3/4" x 8" BASE BOARD
- ◆ 1 x 4 OVER 4 1/2 x 8 FRIEZE
- ◆ HARDIE SHINGLES IN WAVE PATTERN
- ◆ 3/4" x 8" HEAD DETAIL WITH 2" x CAP AND ALUM FLASING
- ◆ 1 x 8 FASCIA
- ◆ 1 x 4 OVER 5/4 x 6 FRIEZE
- ◆ WINDOWS
- ◆ ALUMINUM CLAD WINDOWS BY PELLA
- ◆ 410 410 VINYL ESCAPE WINDOW
- ◆ ROOF SHINGLES
- ◆ ASPHALT SHINGLES OVER GRACES FULLY ADHERED ICE AND WATER SHIELD
- ◆ STANDING SEAM PAC-CLAD ROOF OVER GRACES ICE & WATER MEMBRANE
- ◆ 8" DIAM. ROOF VENT
- ◆ ARCHITECTURAL DETAILINGS
- ◆ VERTICAL WOOD PANEL DETAIL - SEE DETAIL X SHEET A300
- ◆ WOOD BRACKET - SEE DETAIL X SHEET A201
- ◆ FLASHING
- ◆ 26-GAUGE G.I. STEP FLASHING
- ◆ GUTTER
- ◆ 5" ALUMINUM GUTTER - "K" STYLE
- ◆ 3" x 4" OVERSIZED ALUMINUM DOWNSPOUT
- ◆ GARAGE DOORS
- ◆ 6'-0" WIDE x 8'-0" TALL GARAGE DOOR



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REVISIONS

REVISIONS	DATE
PRELIMINARY DESIGN	4/27/2022
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REVIEW COMMENTS	5/15/2023

Franklin Flats
818 E Franklin/25 N Huffman
Naperville, IL 60540



DRAWN BY: CED
DATE: 05/15/23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
**Exterior Elevations
25 N Huffman**

SHEET NUMBER:
A201

REVIEW COMMENTS 5.15.2023



25 N Huffman
South Elevation
 SCALE: 1/4" = 1'-0"



25 N Huffman
West Elevation
 SCALE: 1/4" = 1'-0"

elevation key notes

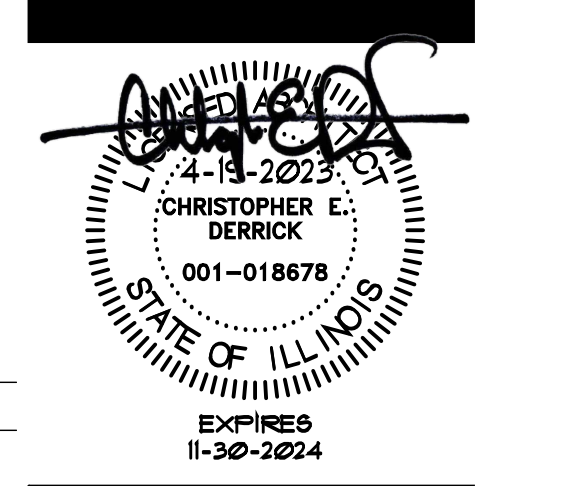
- 1. CONCRETE
- 2. 8" THICK x 16" WIDE CONCRETE FOOTING, TYP
- 3. CONCRETE STEPS
- 4. CONCRETE PORCH
- 5. 8" WIDE CONCRETE WING WALLS
- 6. SIDING AND TRIM
- 7. COMPOSITE SHAKE SIDING - MITRED CORNER DETAILS - SEE DETAIL X SHEET A300
- 8. 5/4 x 4 UNDOU BURROUND
- 9. 1 1/2 x 3" SILL OVER 5/4 SKIRT
- 10. 5/8 x 6" HEAD DETAILS w/ 2 x CAP AND ALUM FLASHING
- 11. PANEL DETAIL
- 12. HORIZONTAL COMPOSITE SIDING - SEE DETAIL X SHEET A300
- 13. 5/4 x 8 BASE BOARD
- 14. 1 x 4 OVER 4 1/2 x 8 FRIEZE
- 15. HARDIE SHINGLES IN WAVE PATTERN
- 16. 5/4 x 8 HEAD DETAIL WITH 2 x CAP AND ALUM FLASHING
- 17. 1 x 8 FASCIA
- 18. 1 x 4 OVER 5/4 x 6 FRIEZE
- 19. UNDOUS
- 20. ALUMINUM CLAD UNDOUS BY PELLA
- 21. 410 410 VINYL ESCAPE UNDOU
- 22. ROOF SHINGLES
- 23. ASPHALT SHINGLES OVER GRACES FULLY ADHERED ICE AND WATER SHIELD
- 24. STANDING SEAM PAC-CLAD ROOF OVER GRACE'S ICE & WATER MEMBRANE
- 25. 8" DIA. ROOF VENT
- 26. ARCHITECTURAL DETAILINGS
- 27. VERTICAL WOOD PANEL DETAIL - SEE DETAIL X SHEET A300
- 28. WOOD BRACKET - SEE DETAIL X SHEET A201
- 29. FLASHING
- 30. 26 GAUGE G.I. STEP FLASHING
- 31. GUTTER
- 32. 5" ALUMINUM GUTTER - "K" STYLE
- 33. 3" x 4" OVERSIZED ALUMINUM DOWNSPOUT
- 34. GARAGE DOORS
- 35. 8'-0" WIDE x 8'-0" TALL GARAGE DOOR

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REVISIONS	DATE
PRELIMINARY DESIGN	4/27/2022
PRELIMINARY DESIGN	5/6/2022
PRELIM DESIGN	6/12/2022
CLIENT REVISIONS	6/21/2022
UNIT RELEASE	8/22/2022
BID SETS	2/15/2023
PERMIT RELEASE	4/19/2023
REVIEW COMMENTS	5/15/2023

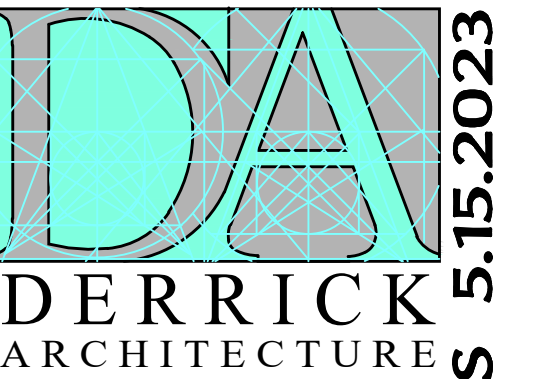
Franklin Flats
 818 E Franklin/25 N Huffman
 Naperville, IL 60540



DRAWN BY: CED
 DATE: 05 / 15 / 23
 SCALE: AS NOTED
 PROJECT NO: 2210

SHEET TITLE:
Exterior Elevations
25 N Huffman
 SHEET NUMBER:
A202

REVIEW COMMENTS 5.15.2023



5.15.2023

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REVISIONS

REVISIONS	DATE
PRELIMINARY DESIGN	4/12/2022
PRELIMINARY DESIGN	5/6/2022
PRELIM DESIGN	6/12/2022
CLIENT REVISIONS	6/21/2022
UNIT RELEASE	8/22/2022
BID SETS	2/15/2023
PERMIT RELEASE	4/19/2023
REVIEW COMMENTS	5/15/2023

REVIEW COMMENTS



818 E Franklin
North Elevation

2
A203 SCALE: 1/4" = 1'-0"

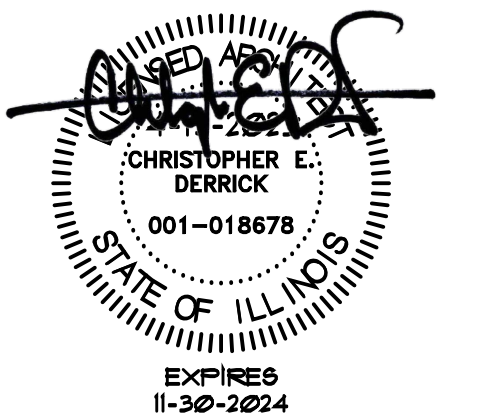


818 E Franklin
East Elevation

1
A203 SCALE: 1/4" = 1'-0"

- elevation key notes**
- 1 CONCRETE
 - 2 8" THICK x 16" WIDE CONCRETE FOOTING, TYP
 - 3 CONCRETE STEPS
 - 4 CONCRETE PORCH
 - 5 8" WIDE CONCRETE WING WALLS
 - 6 SIDING AND TRIM
 - 7 COMPOSITE SHAKE SIDING - MITRED CORNER DETAILS - SEE DETAIL X SHEET A300
 - 8 3/4" x 4 UNDOU BURROUND
 - 9 1 1/2" x 3" SILL OVER 5/4 SKIRT
 - 10 3/8" x 6" HEAD DETAILS w/ 2" x CAP AND ALUM FLASHING
 - 11 PANEL DETAIL
 - 12 HORIZONTAL COMPOSITE SIDING - SEE DETAIL X SHEET A300
 - 13 5/4" x 8 BASE BOARD
 - 14 1 x 4 OVER 4 1/2 x 8 FRIEZE
 - 15 HARDIE SHINGLES IN WAVE PATTERN
 - 16 5/4" x 8 HEAD DETAIL WITH 2" x CAP AND ALUM FLASHING
 - 17 1 x 8 FASCIA
 - 18 1 x 4 OVER 5/4 x 6 FRIEZE
 - 19 UNDOUS
 - 20 ALUMINUM CLAD UNDOUS BY PELLA
 - 21 4/10 VINYL ESCAPE UNDOU
 - 22 ROOF SHINGLES
 - 23 ASPHALT SHINGLES OVER GRACES FULLY ADHERED ICE AND WATER SHIELD
 - 24 STANDING SEAM PAC-CLAD ROOF OVER GRACE'S ICE & WATER MEMBRANE
 - 25 8" DIA. ROOF VENT
 - 26 ARCHITECTURAL DETAILINGS
 - 27 VERTICAL WOOD PANEL DETAIL - SEE DETAIL X SHEET A300
 - 28 WOOD BRACKET - SEE DETAIL X SHEET A201
 - 29 FLASHING
 - 30 26-GAUGE G.I. STEP FLASHING
 - 31 GUTTER
 - 32 5" ALUMINUM GUTTER - "K" STYLE
 - 33 3" x 4" OVERSIZED ALUMINUM DOWNSPOUT
 - 34 GARAGE DOORS
 - 35 8'-0" WIDE x 8'-0" TALL GARAGE DOOR

Franklin Flats
818 E Franklin/25 N Huffman
Naperville, IL 60540



DRAWN BY: CED

DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
Exterior Elevations
818 E Franklin

SHEET NUMBER:
A203



**818 E Franklin
South Elevation**
SCALE: 1/4" = 1'-0"



**818 E Franklin
West Elevation**
SCALE: 1/4" = 1'-0"

elevation key notes

1. CONCRETE
2. 8" THICK x 16" WIDE CONCRETE FOOTING, TYP
3. CONCRETE STEPS
4. CONCRETE PORCH
5. 8" WIDE CONCRETE WING WALLS
6. SIDING AND TRIM
7. COMPOSITE SHAKE SIDING - MITRED CORNER DETAILS - SEE DETAIL X SHEET A300
8. 5/4 x 4 UNDOU BURROUND
9. 1 1/2 x 3" SILL OVER 5/4 SKIRT
10. 5/8 x 6 HEAD DETAILS w/ 2 x CAP AND ALUM FLASHING
11. PANEL DETAIL
12. HORIZONTAL COMPOSITE SIDING - SEE DETAIL X SHEET A300
13. 5/4 x 8 BASE BOARD
14. 1 x 4 OVER 4 1/2 x 8 FRIEZE
15. HARDIE SHINGLES IN WAVE PATTERN
16. 5/4 x 8 HEAD DETAIL WITH 2 x CAP AND ALUM FLASHING
17. 1 x 8 FASCIA
18. 1 x 4 OVER 5/4 x 6 FRIEZE
19. UNDOUS
20. ALUMINUM CLAD UNDOUS BY PELLA
21. 410 410 VINYL ESCAPE UNDOU
22. ROOF SHINGLES
23. ASPHALT SHINGLES OVER GRACE'S FULLY ADHERED ICE AND WATER SHIELD
24. STANDING SEAM PAC-CLAD ROOF OVER GRACE'S ICE & WATER MEMBRANE
25. 8" DIAM. ROOF VENT
26. ARCHITECTURAL DETAILS
27. VERTICAL WOOD PANEL DETAIL - SEE DETAIL X SHEET A300
28. WOOD BRACKET - SEE DETAIL X SHEET A201
29. FLASHING
30. 26 GAUGE G.I. STEP FLASHING
31. GUTTER
32. 5" ALUMINUM GUTTER - "K" STYLE
33. 3" x 4" OVERSIZED ALUMINUM DOWNSPOUT
34. GARAGE DOORS
35. 8'-0" WIDE x 8'-0" TALL GARAGE DOOR

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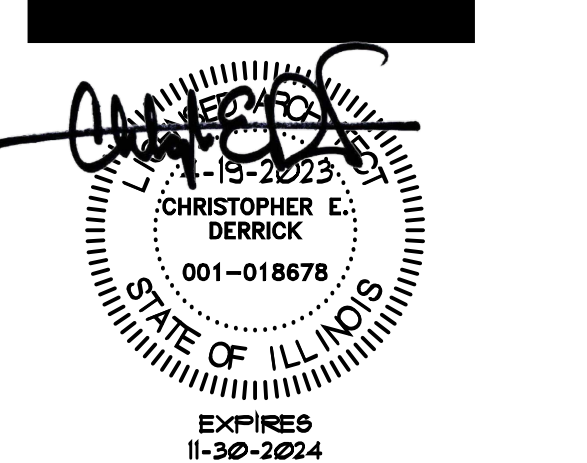
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REVISIONS	DATE
PRELIMINARY DESIGN	4/21/2022
PRELIMINARY DESIGN	5/6/2022
PRELIM DESIGN	6/12/2022
CLIENT REVISIONS	6/21/2022
UNIT RELEASE	8/22/2022
BID SETS	2/15/2023
PERMIT RELEASE	4/19/2023
REVIEW COMMENTS	5/15/2023

Franklin Flats
818 E Franklin/25 N Huffman
Naperville, IL 60540



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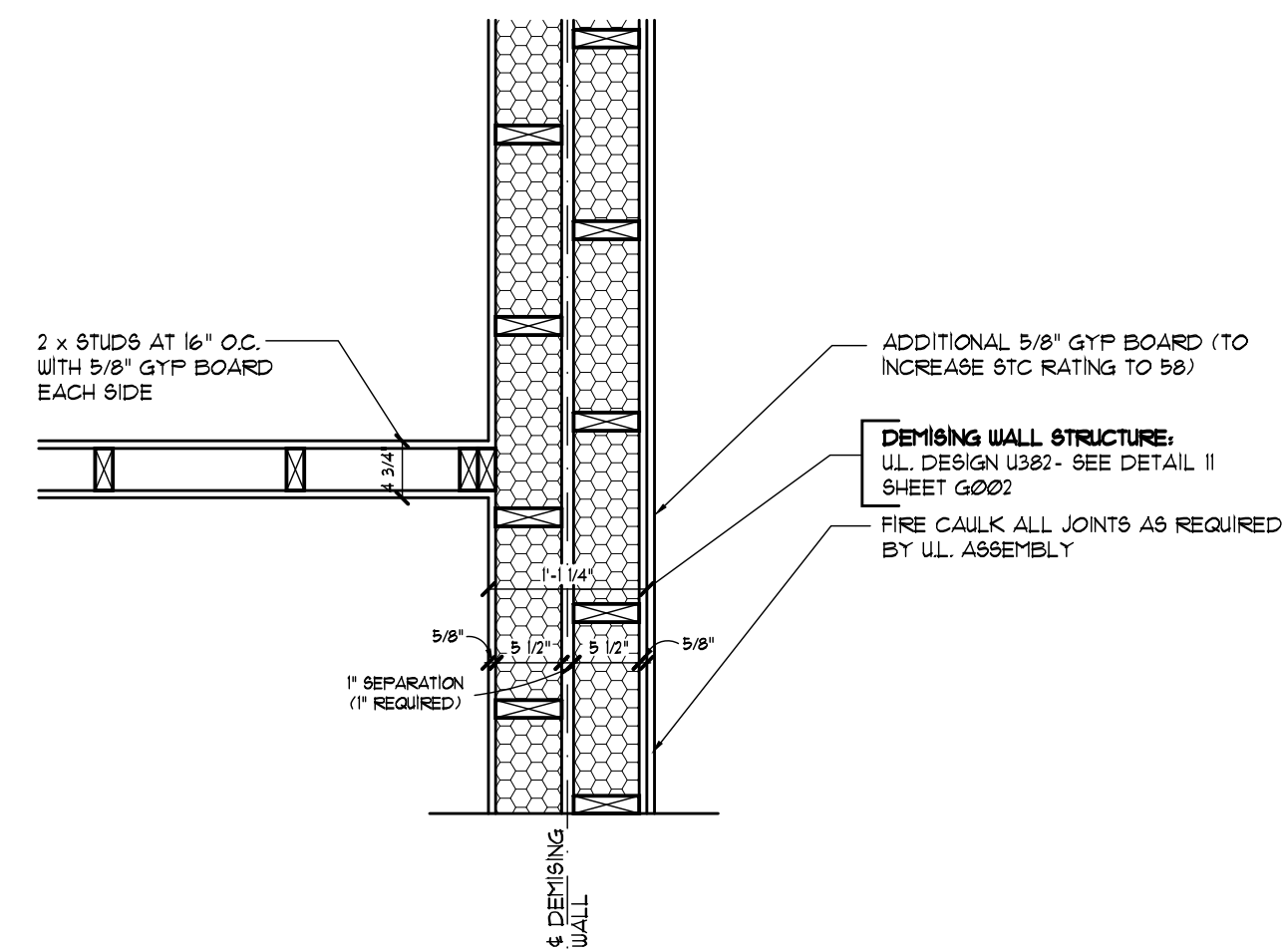
DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
**Exterior Elevations
818 E Franklin**

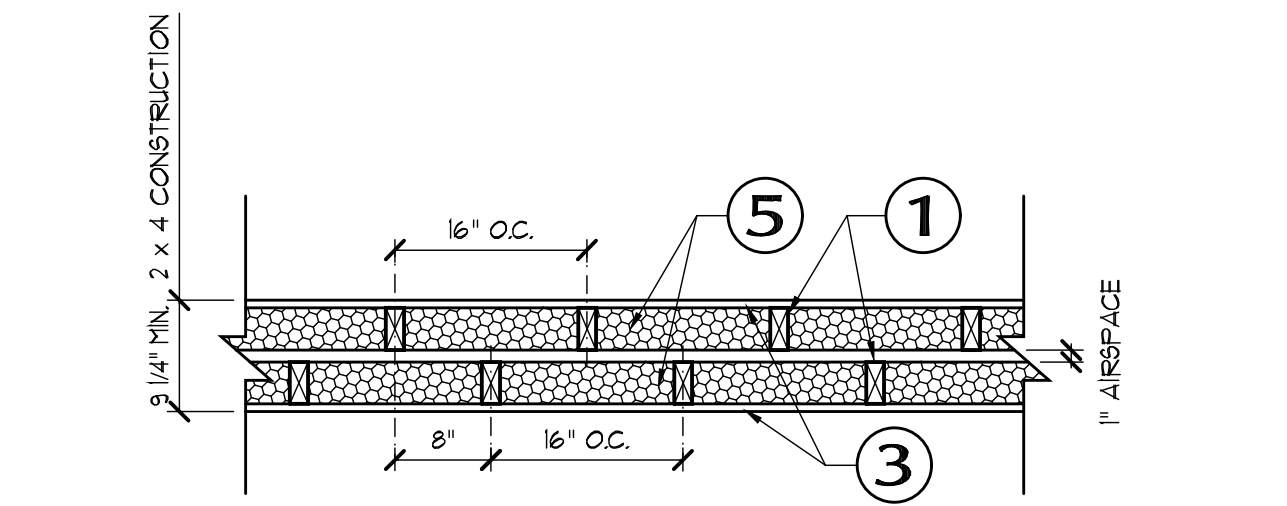
SHEET NUMBER:
A204

REVIEW COMMENTS 5.15.2023

REVISIONS	DATE
PRELIMINARY DESIGN	4/27/2022
PRELIMINARY DESIGN	5/6/2022
PRELIM DESIGN	6/12/2022
CLIENT REVISIONS	6/21/2022
UNIT RELEASE	8/22/2022
BID SETS	2/15/2023
PERMIT RELEASE	4/19/2023
REVIEW COMMENTS	5/15/2023



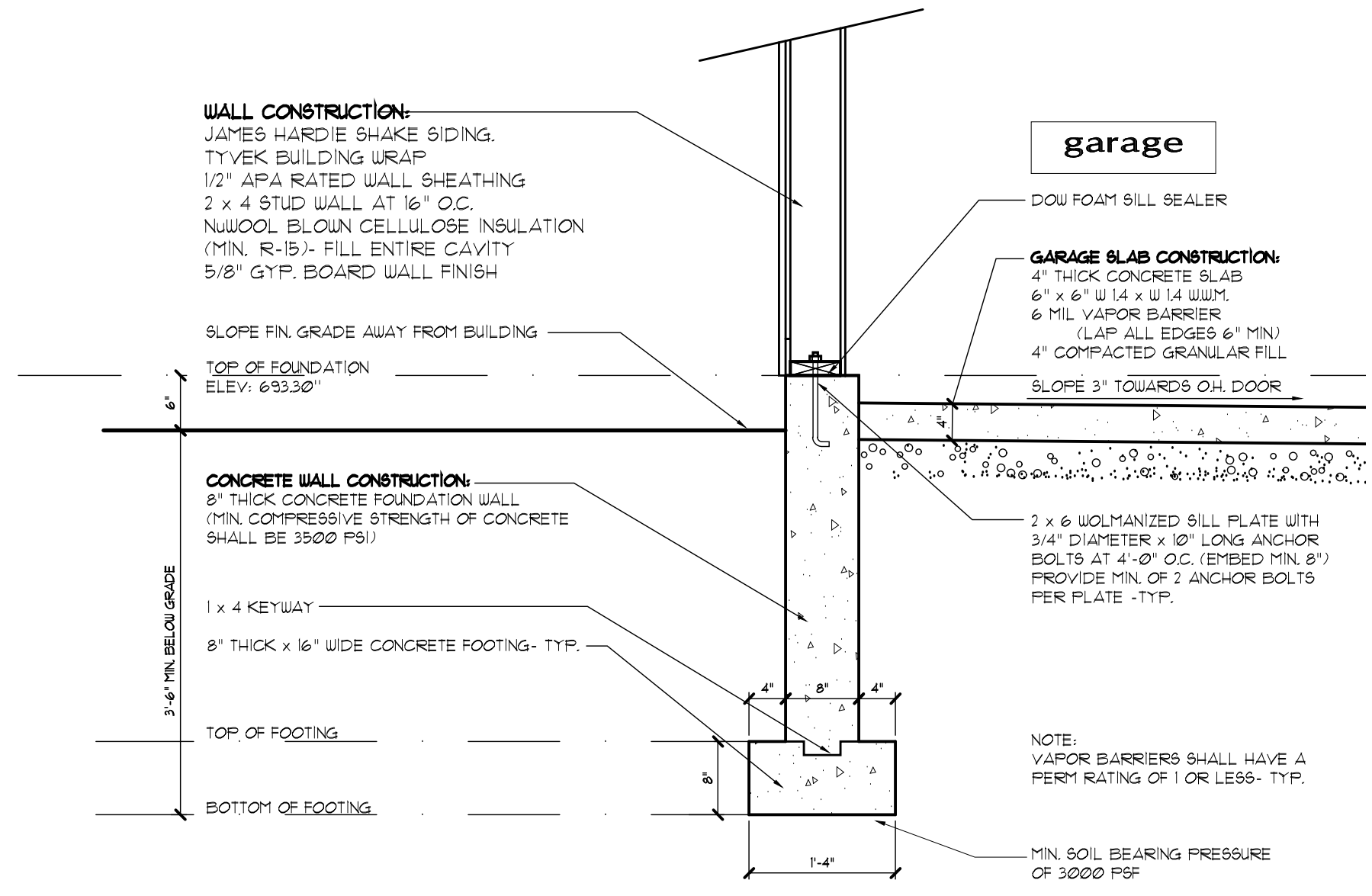
Demising Wall plan detail @ intermediate wall
 SCALE: 3/4" = 1'-0"



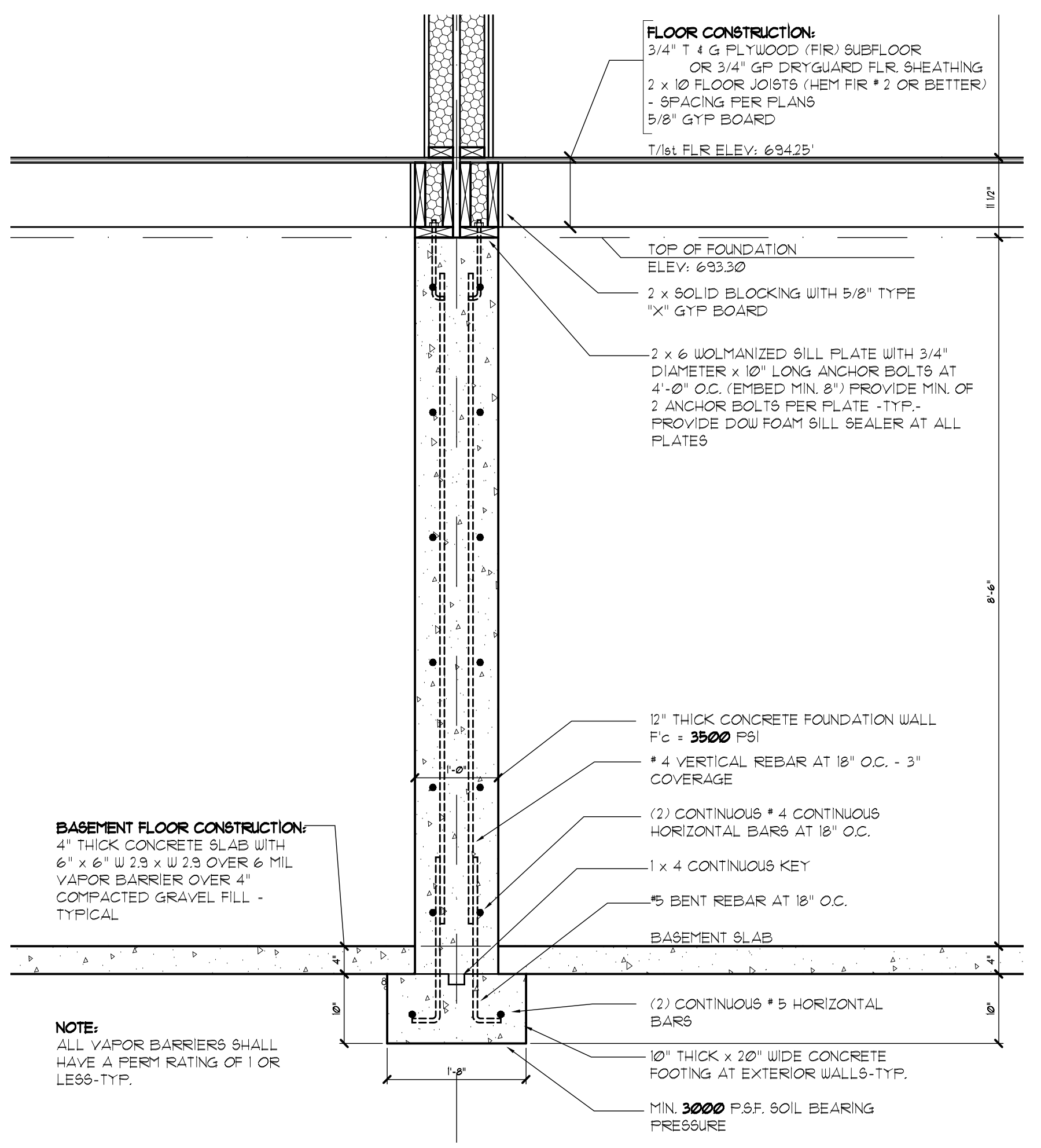
U.L. DESIGN No. U382 2 HOUR RATING stc rating: 53

- WOOD STUDS** - DOUBLE ROW OF NOMINAL 2 BY 4 INCH STUDS, SPACED 16 INCH ON CENTER, AND CROSS-BRACED AT MID-HEIGHT. OPPOSITE ROWS SPACED 1 INCH APART, STAGGERED 8 INCHES ON CENTER AND JOINED AT THE TOP AND BOTTOM WITH BEARING PLATES.
 - BEARING PLATES** - (NOT SHOWN) - NOMINAL 2 x 4 INCH, TWO LAYERS ON TOP AND ONE LAYER ON BOTTOM FOR EACH ROW OF STUDS.
 - WALLBOARD, GYPSUM** - ONE LAYER OF 4 FEET WIDE, 5/8 INCH THICK GYPSUM WALLBOARD APPLIED VERTICALLY AND NAILED TO STUDS AND BEARING PLATES 1 INCH ON CENTER WITH 6d CEMENT COATED NAILS, 1 7/8" LONG, ØØØ15 INCH SHANK DIAMETER AND 1/4" DIAMETER HEAD. GYPSUM WALLBOARD JOINTS CENTERED OVER STUDS.
 - GEORGIA-PACIFIC GYPSUM LLC** - TYPE TG-C
 - UNITED STATES GYPSUM CO.** - TYPE C
 - USG BORAL ZAWAWI DRYWALL LLC** - TYPE C
 - JOINTS AND SCREWHEADS** - (NOT SHOWN) - WALLBOARD JOINTS TAPED AND BOTH JOINTS AND NAILHEADS COVERED WITH JOINT COMPOUND.
 - FIBER SPRAYED** - GREEN COLORED SPRAY APPLIED CELLULOSE MATERIAL. THE FIBER IS APPLIED WITH WATER TO COMPLETELY FILL THE ENCLOSED 8 INCH CAVITY IN ACCORDANCE WITH THE APPLICATION INSTRUCTIONS SUPPLIED WITH THE PRODUCT. THE MINIMUM DRY DENSITY IS 4.58 LBS PER CUBIC FOOT.
 - NU-WOOL CO. INC. - WALLSEAL FIRE AND SOUND INSULATION
 - NU-WOOL CO. INC. - CELLULOSE INSULATION
 - MESH NETTING** - (NOT SHOWN) - ANY THIN, WOVEN OR NON-WOVEN FIBROUS NETTING MATERIAL ATTACHED WITH STAPLES TO THE OUTER DAGE OF ONE ROW OF STUDS TO FACILITATE THE INSTALLATION OF THE SPRAYED FIBER FROM THE OPPOSITE ROW.
- * INDICATES SUCH PRODUCTS SHALL BEAR THE U.L. CLASSIFICATION MARK FOR JURISDICTIONS EMPLOYING THE U.L. CERTIFICATION

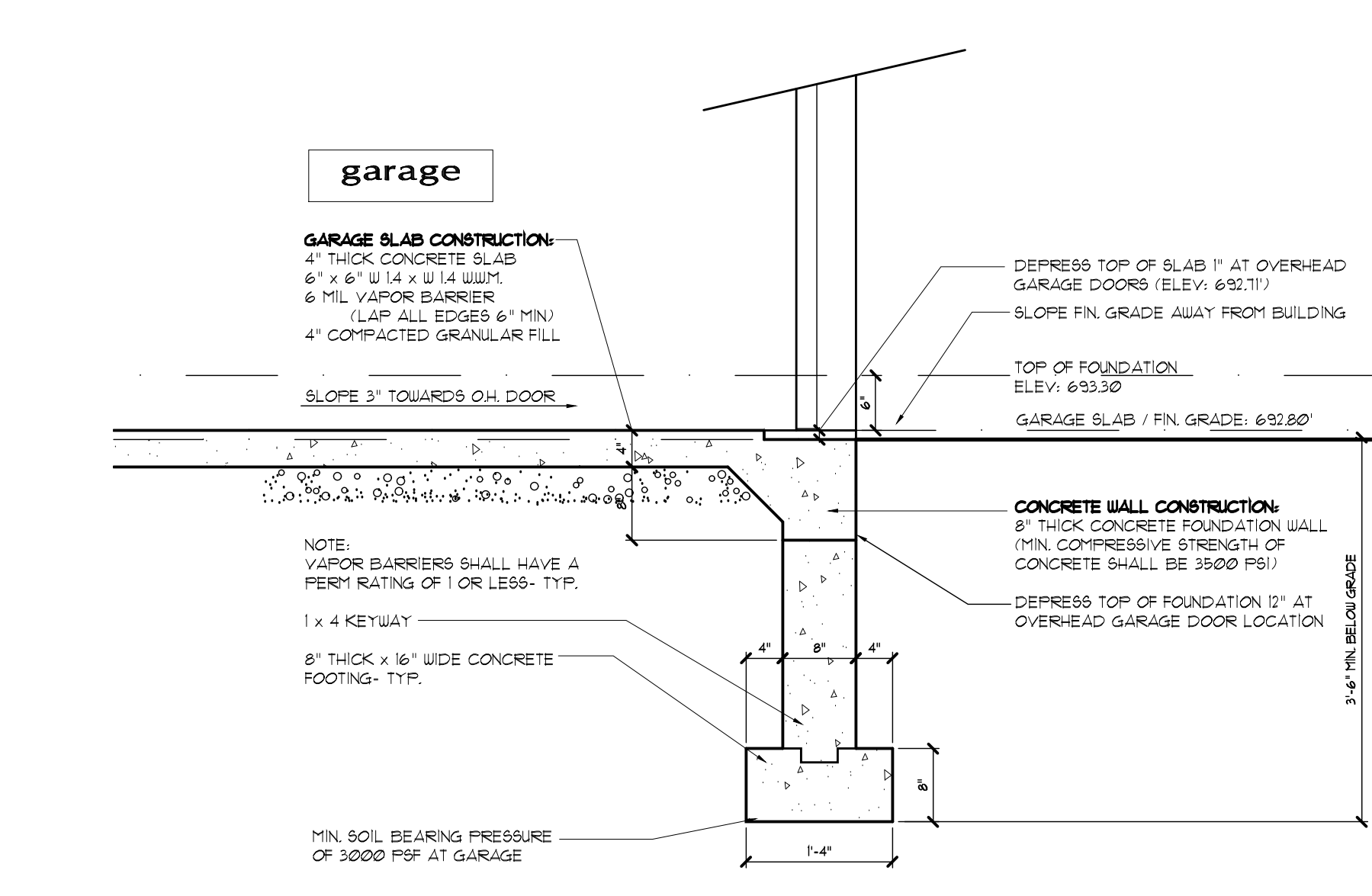
UL wall section U382 - demising wall
 NOT TO SCALE



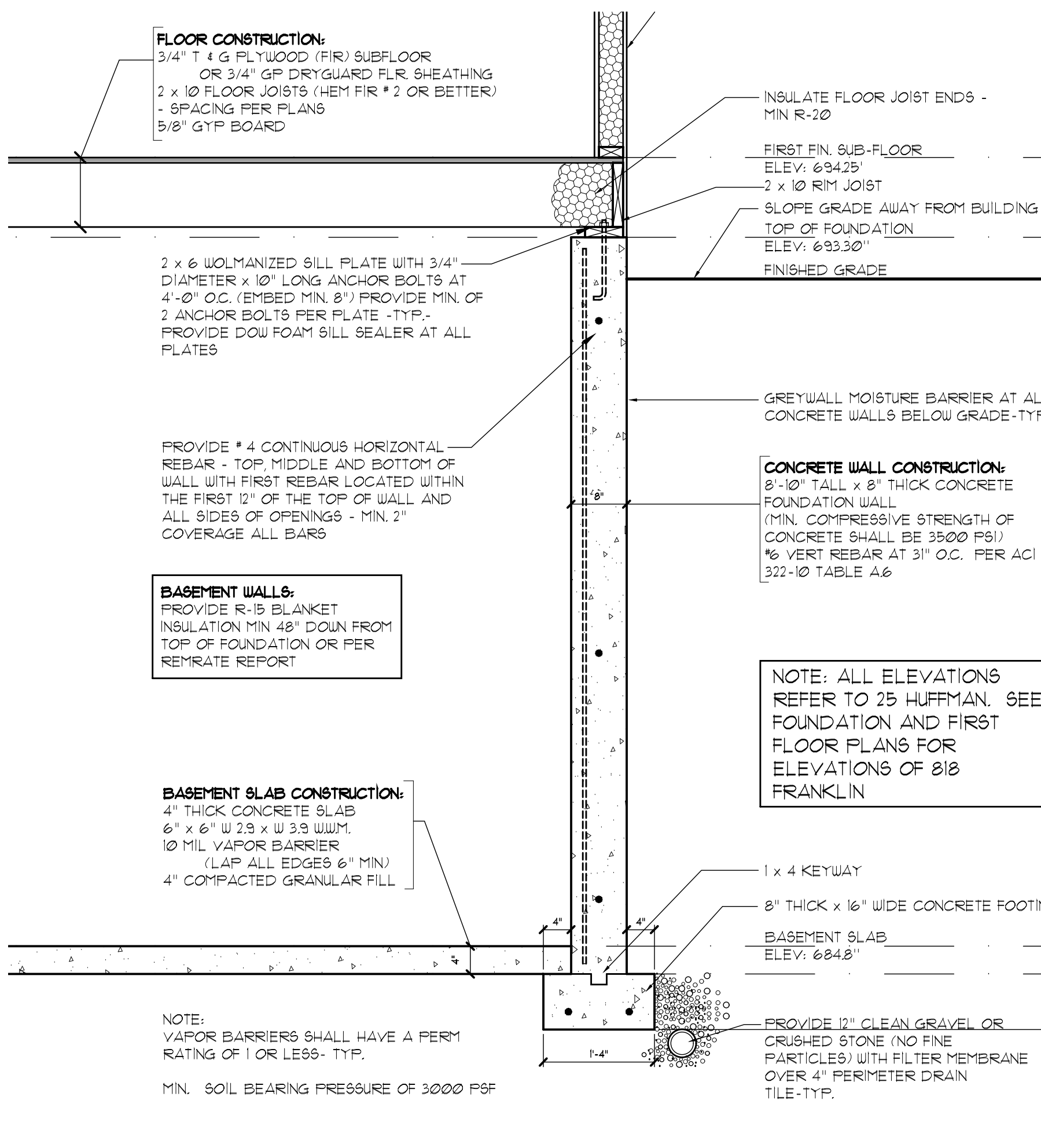
foundation detail at garage
 SCALE: 3/4" = 1'-0"



partial wall section - demising wall
 SCALE: 3/4" = 1'-0"



foundation detail at garage
 SCALE: 3/4" = 1'-0"



partial wall section - exterior wall
 SCALE: 3/4" = 1'-0"

Franklin Flats
 818 E Franklin/25 N Huffman
 Naperville, IL 60540



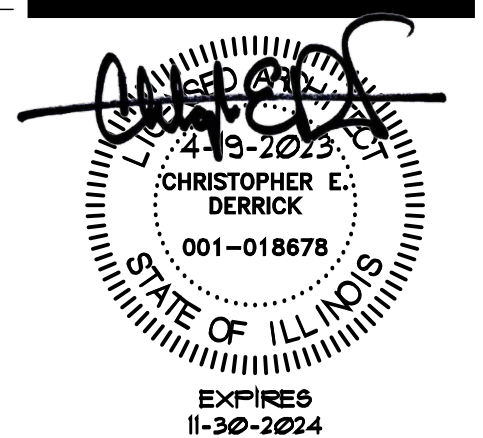
DRAWN BY: CED
 DATE: 05/15/23
 SCALE: AS NOTED
 PROJECT NO: 2210

Foundation Sections and Details

SHEET NUMBER:
A301

REVISIONS	DATE
PRELIMINARY DESIGN	4/21/2022
PRELIMINARY DESIGN	5/6/2022
PRELIM DESIGN	6/12/2022
CLIENT REVISIONS	6/21/2022
UNIT RELEASE	8/22/2022
BID SETS	2/15/2023
PERMIT RELEASE	4/19/2023
REVIEW COMMENTS	5/15/2023

Franklin Flats
818 E Franklin/25 N Huffman
Naperville, IL 60540



DRAWN BY: CED

DATE: 05/15/23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
Wall Sections and Details

SHEET NUMBER:
A302

minimum insulation values

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION	CEILING R-VALUE
5 AND MARINE 4	0.32	0.55	NR	R-49

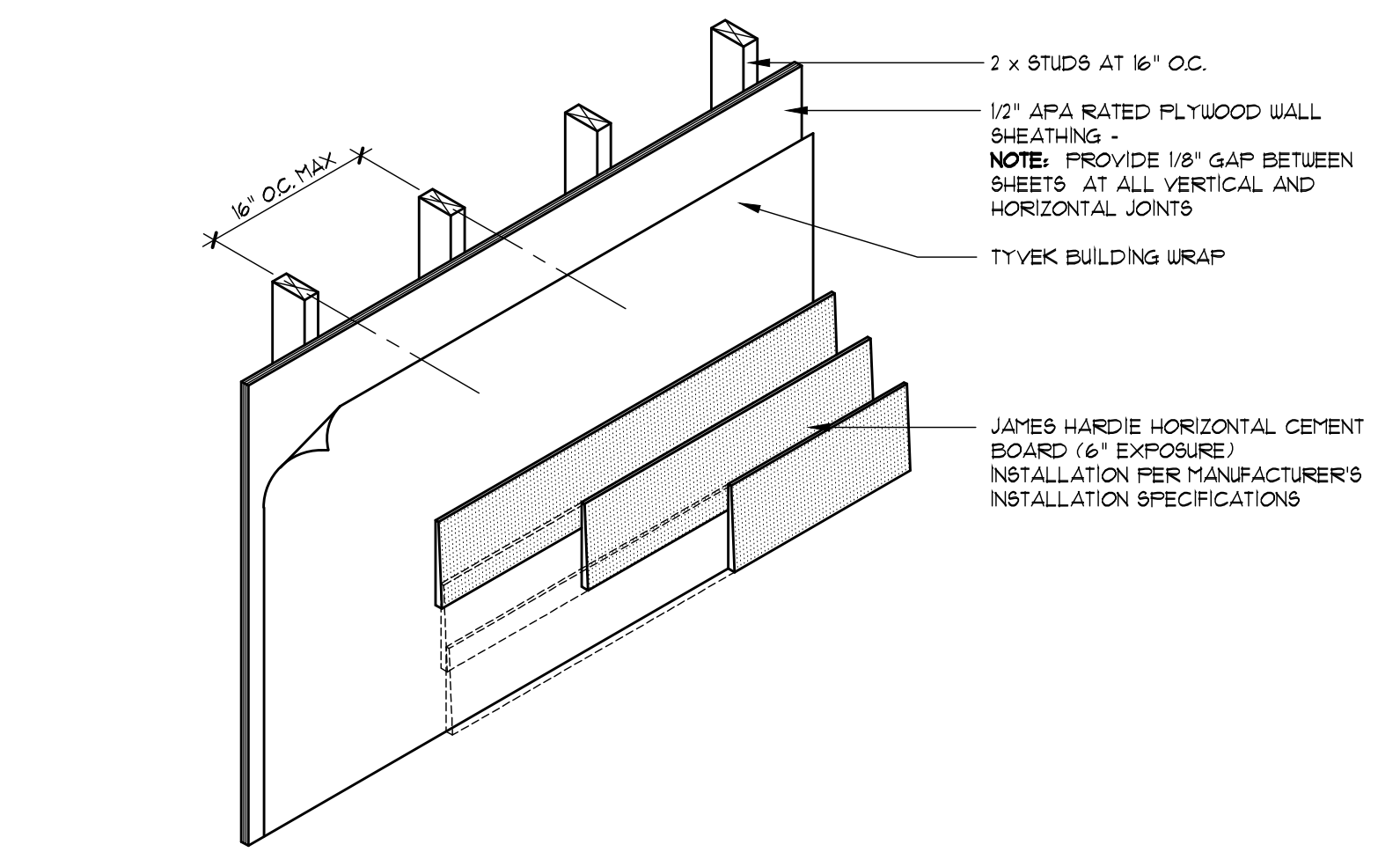
WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE 4 DEPTH	CRAWL SPACE WALL R-VALUE
R-20 OR 13 + 5	R-13/11	R-30	R-15/15	R-10 2 FEET	R-15/15

FROM TABLE 402.1 OF THE 2018 INTERNATIONAL ENERGY EFFICIENCY CODE

- R-values are minimums, U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table.
- The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration...
- "15/15" means R-15 continuous insulation on the interior or exterior of the home or R-15 cavity insulation at the interior of the basement wall. "13/11" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
- R-5 shall be added to the required slab edge R-values for heated slabs...
- There are no SHGC requirements in the Marine zone.
- Basement wall insulation not required in warm humid...
- Or insulation sufficient to fill the framing cavity, R-15 minimum.
- First value is cavity insulation, second is continuous insulation or insulated siding, so "13-5" means R-13 cavity insulation plus R-5 continuous insulation or insulated siding. If structural sheathing covers 40 percent or less of the exterior, continuous insulation R-value shall be permitted to be reduced by no more than R-3 in the locations where structural sheathing is used to maintain consistent total sheathing thickness.
- The second R-value applies when more than half the insulation is on the interior of the mass wall.

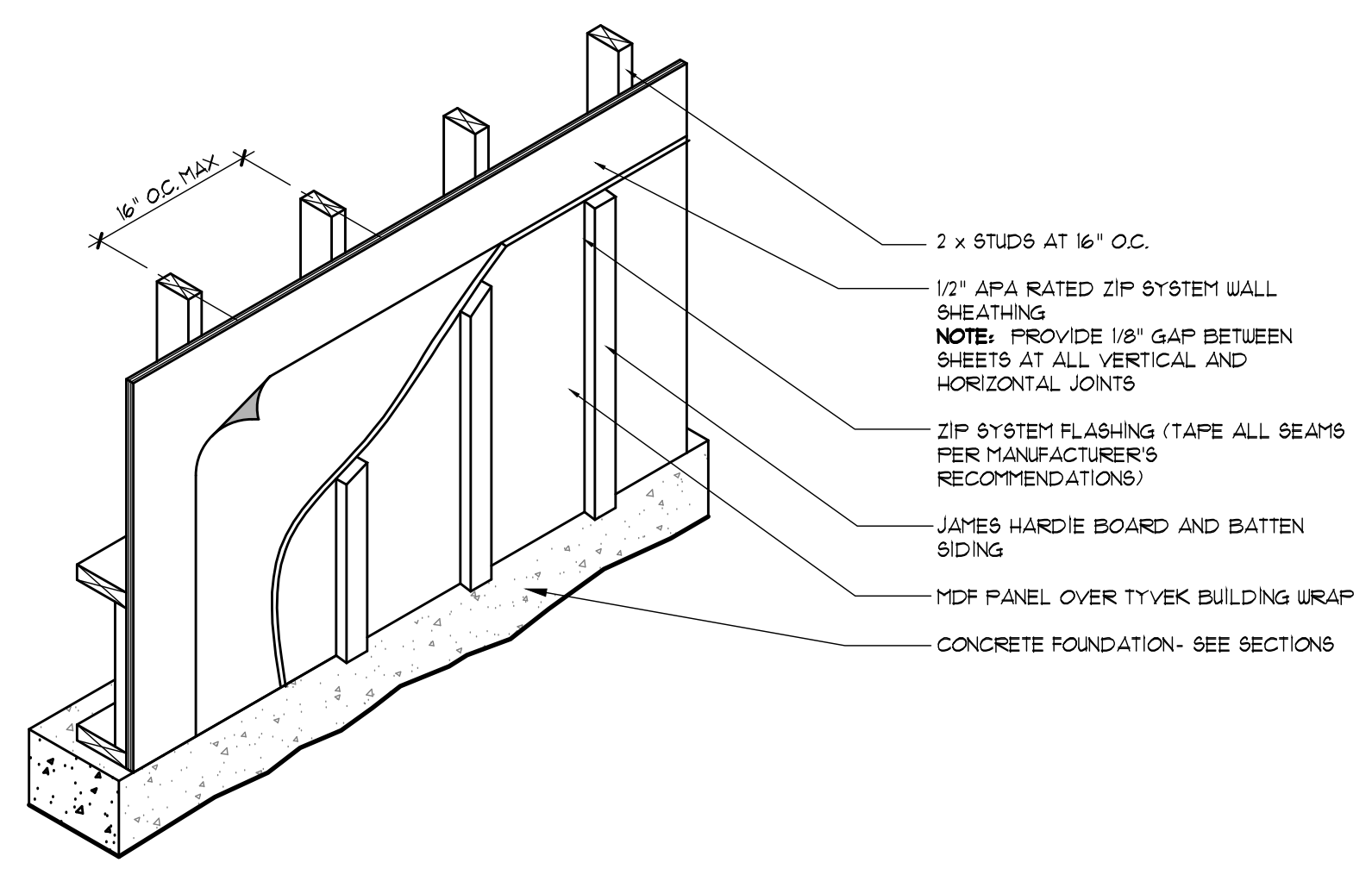
4 siding detail

SCALE: 3/4" = 1'-0"



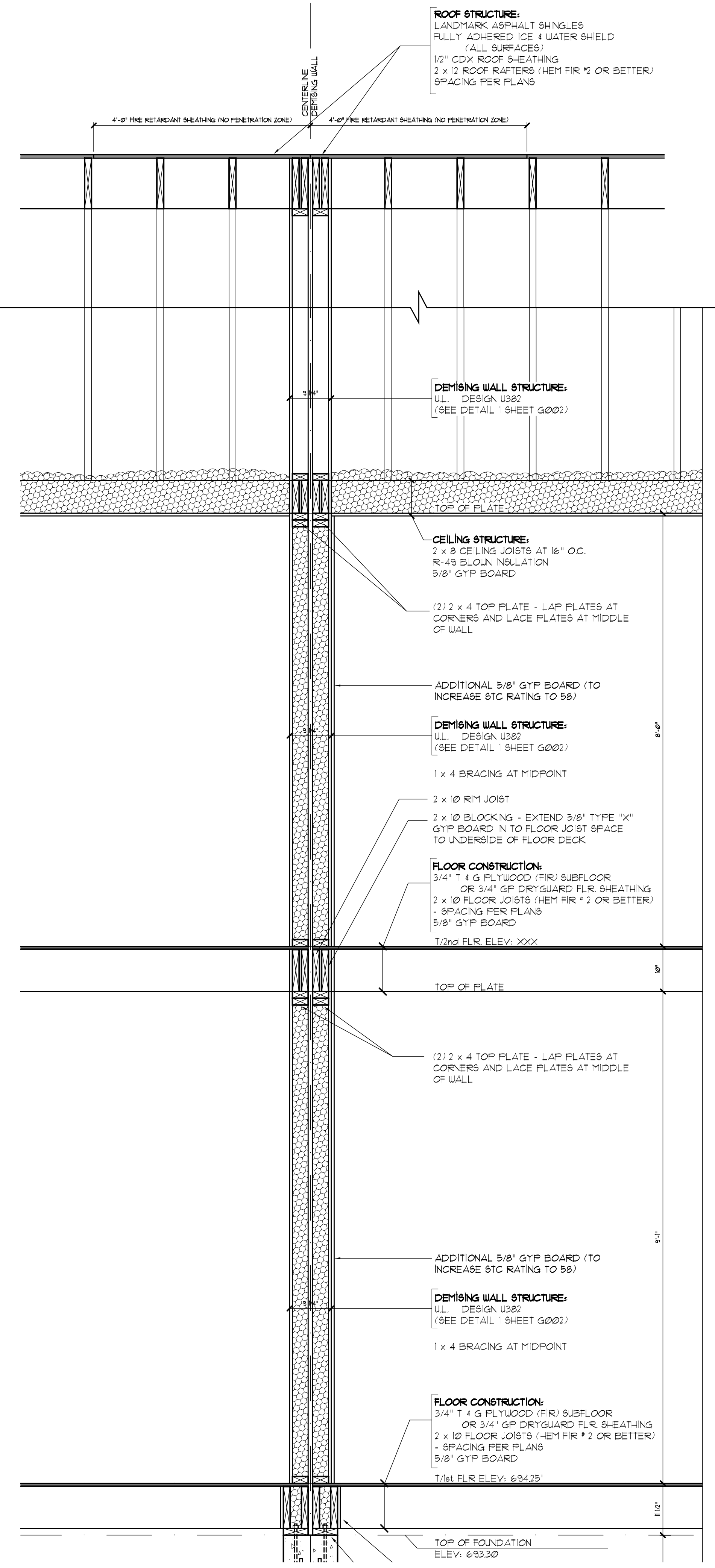
3 siding veneer detail

SCALE: 3/4" = 1'-0"



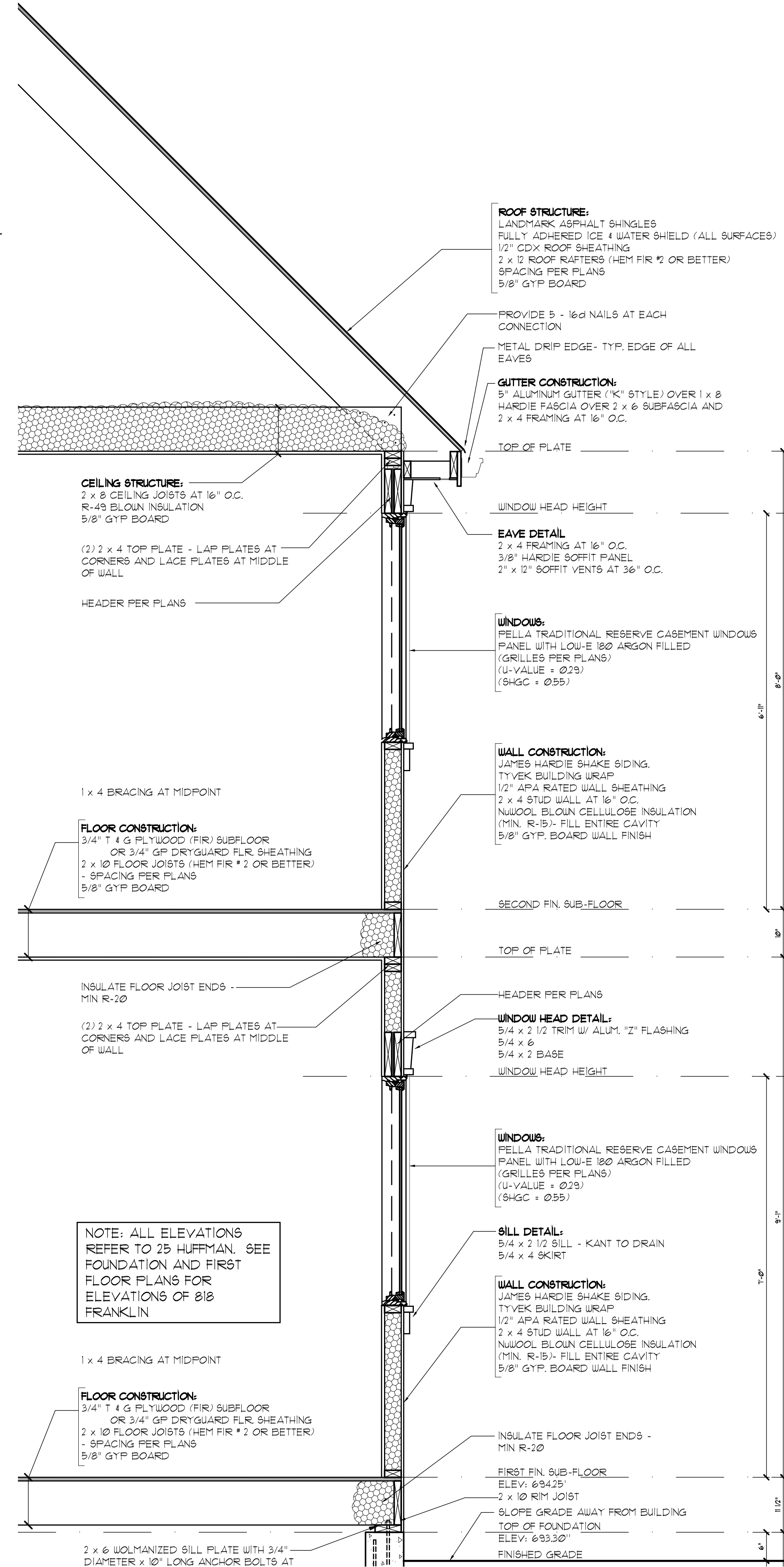
2 wall section- demising wall

SCALE: 3/4" = 1'-0"



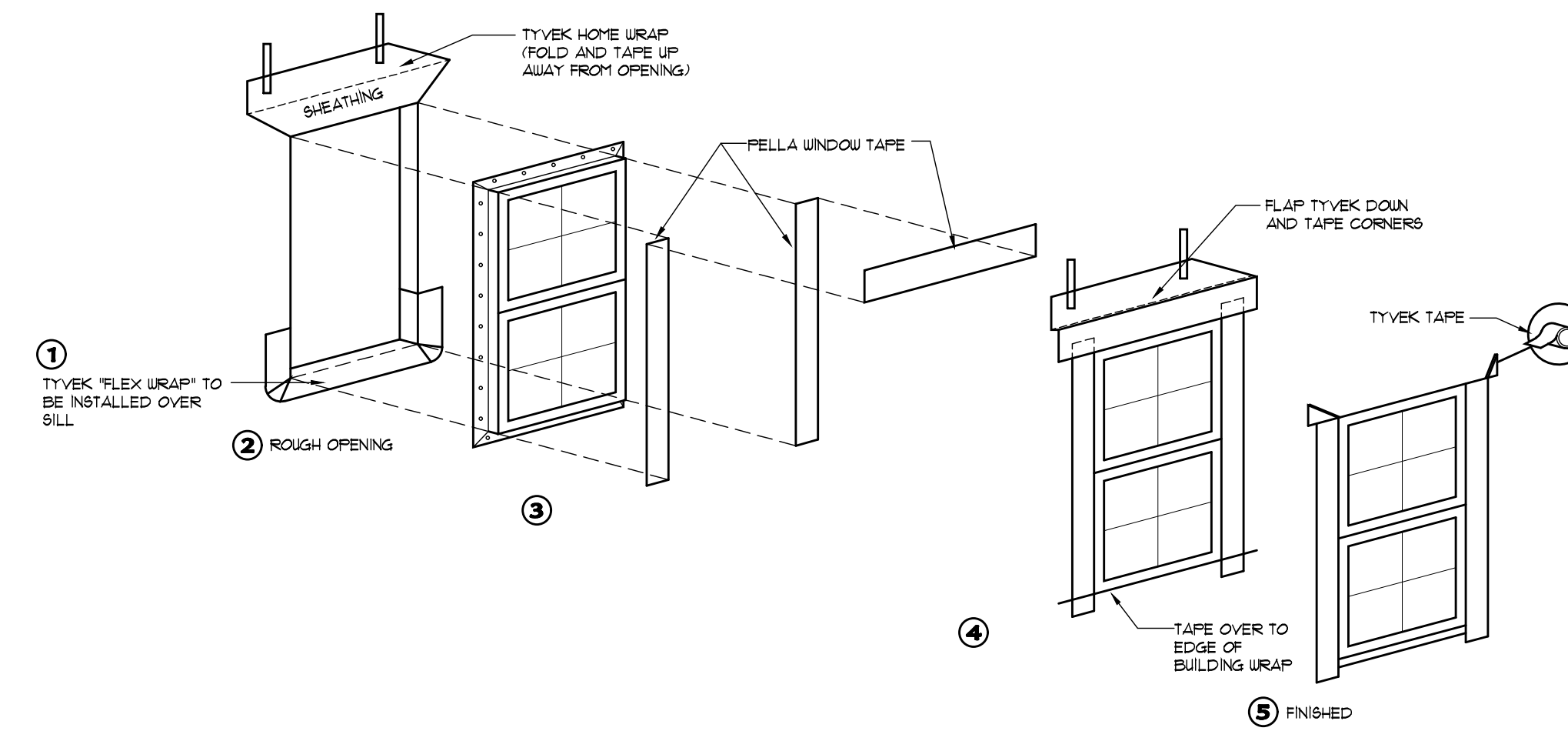
1 wall section- exterior wall

SCALE: 3/4" = 1'-0"

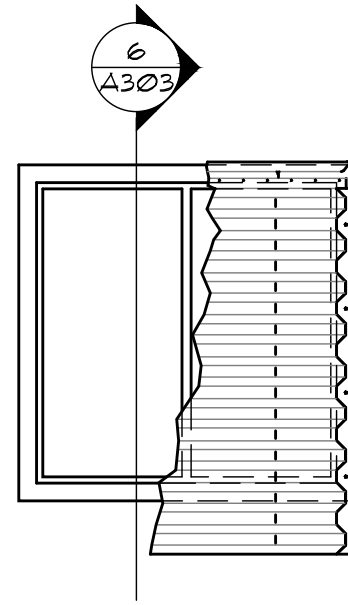


NOTE: ALL ELEVATIONS REFER TO 25 HUFFMAN. SEE FOUNDATION AND FIRST FLOOR PLANS FOR ELEVATIONS OF 818 FRANKLIN

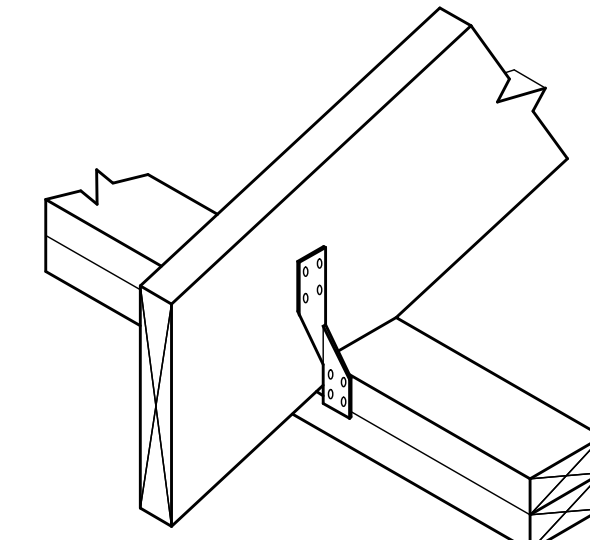
REVISIONS	DATE
PRELIMINARY DESIGN	4/21/2022
PRELIMINARY DESIGN	5/6/2022
PRELIM DESIGN	6/12/2022
CLIENT REVISIONS	6/21/2022
UNIT RELEASE	8/22/2022
BID SETS	2/15/2023
PERMIT RELEASE	4/19/2023
REVIEW COMMENTS	5/15/2023



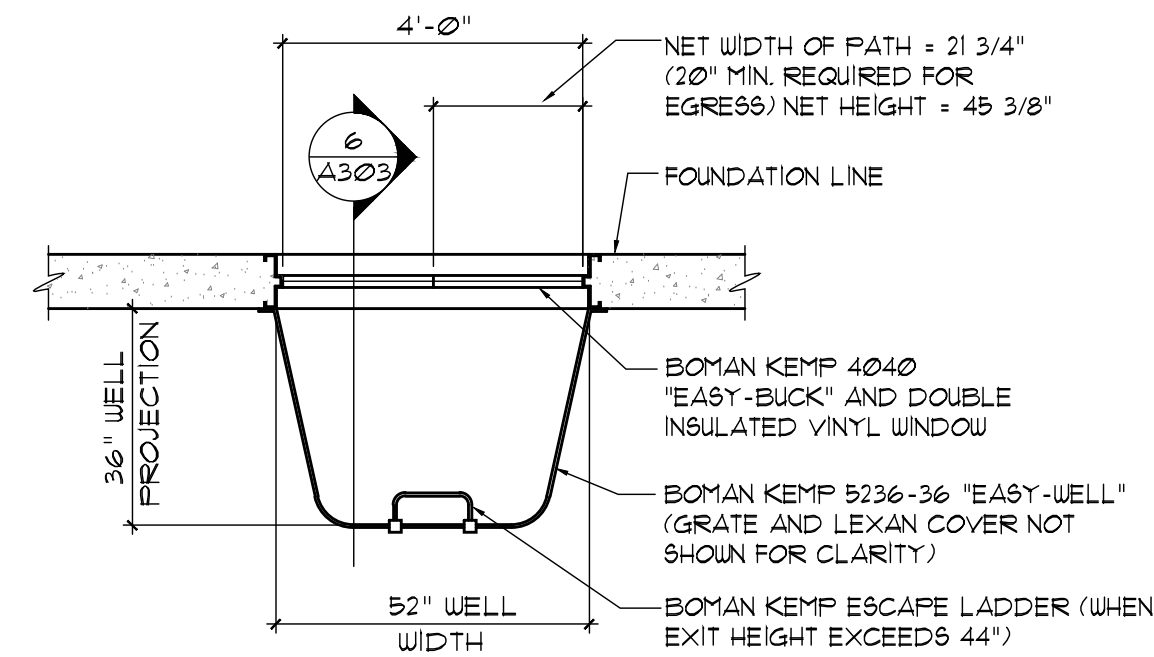
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A303 typical (tyvek) window wrap detail SCALE: N.T.S.



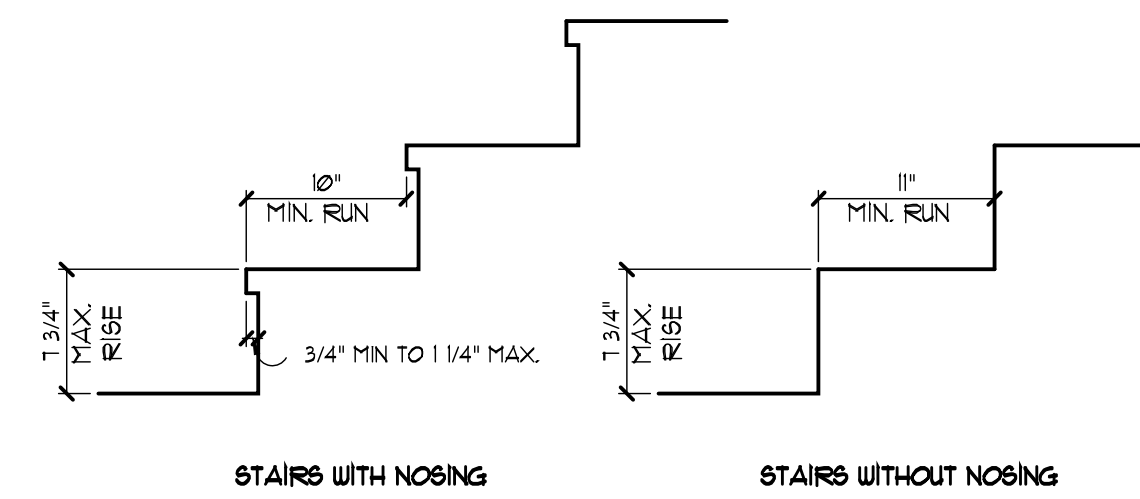
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A303 Escape Window Elev. SCALE: 3/8" = 1'-0"



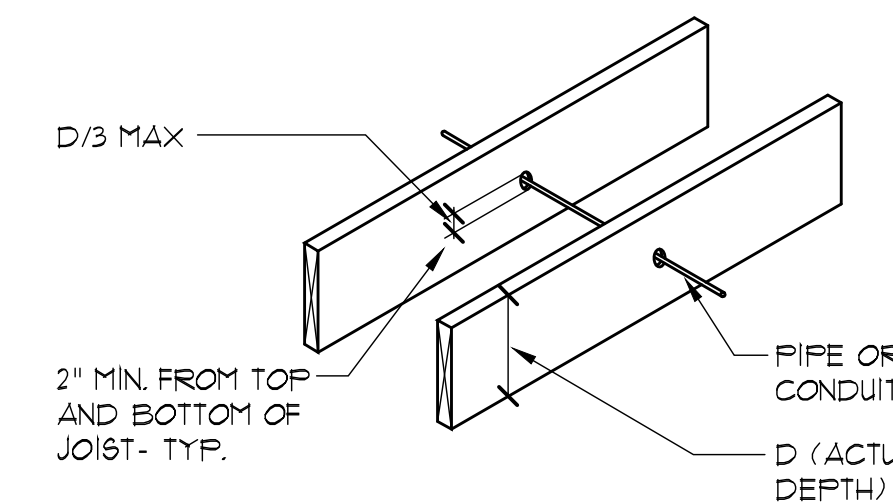
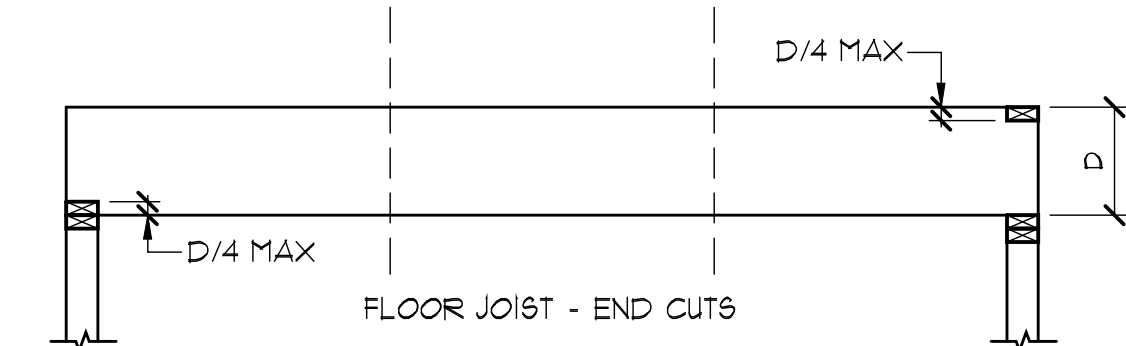
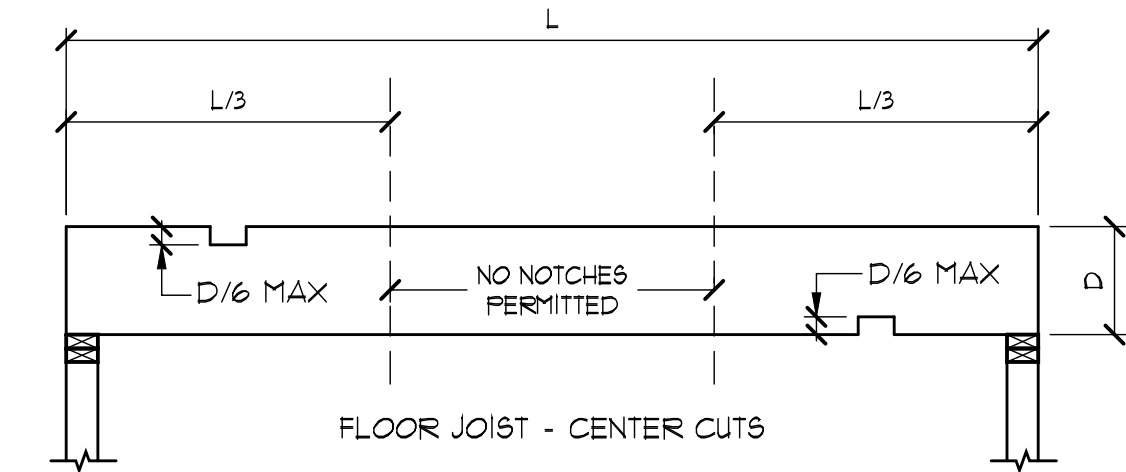
4
A303 simpson rafter tie detail SCALE: 1 1/2" = 1'-0"



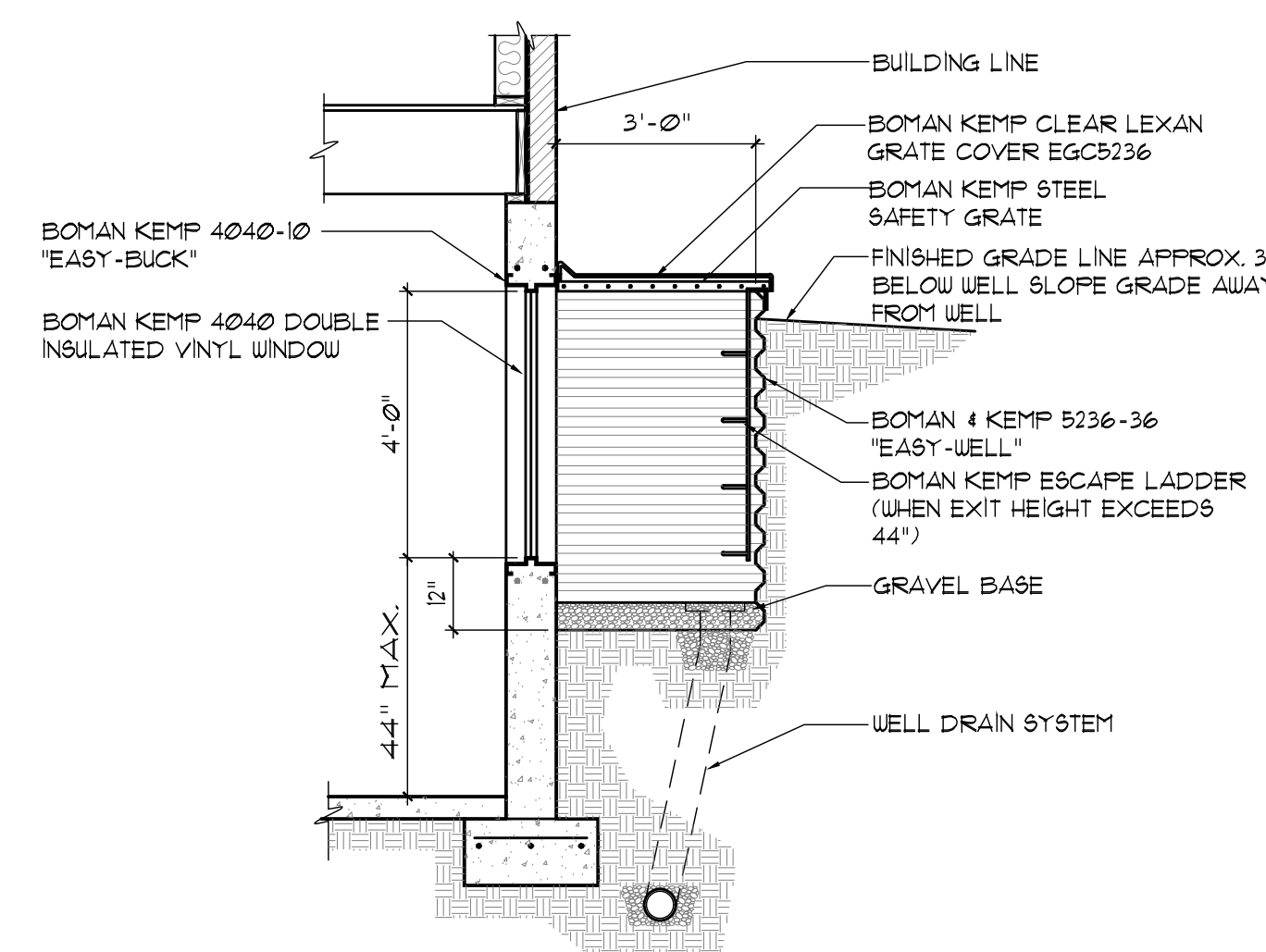
7
A303 Escape Window Plan SCALE: 3/8" = 1'-0"



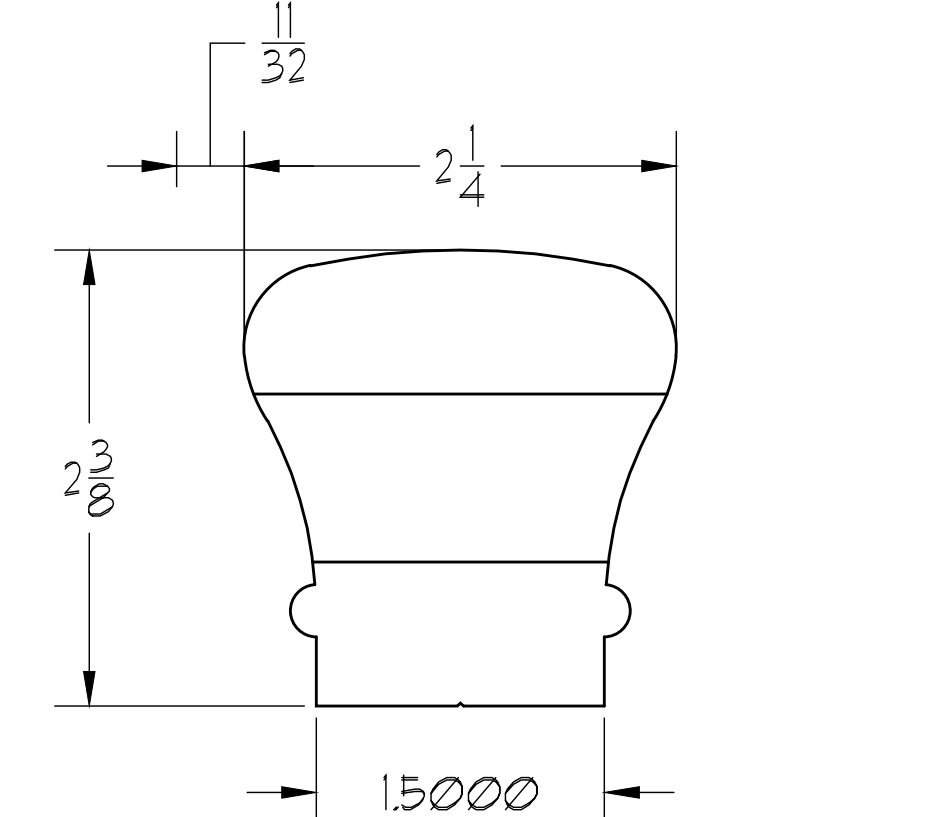
3
A303 nosing profiles NOT TO SCALE



1
A303 CUTTING, NOTCHING AND DRILLING ALLOWANCES (NOTCHES ALLOWED IN NOMINAL LUMBER ONLY; DOES NOT APPLY TO BEAMS)



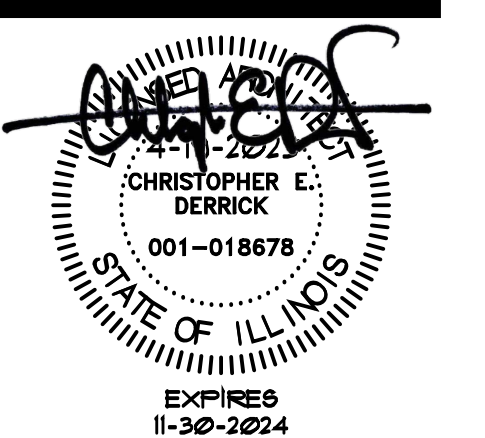
6
A303 Escape Window Section SCALE: 3/8" = 1'-0"



2
A303 handrail cross section SCALE: 1" = 1"

NOTE: ALL HANDRAILS SHALL BE OF EITHER TYPE 1 OR TYPE 2 OR PROVIDE EQUIVALENT GRASPABILITY PER 2018 IRC R315.6.5

Franklin Flats
818 E Franklin/25 N Huffman
Naperville, IL 60540



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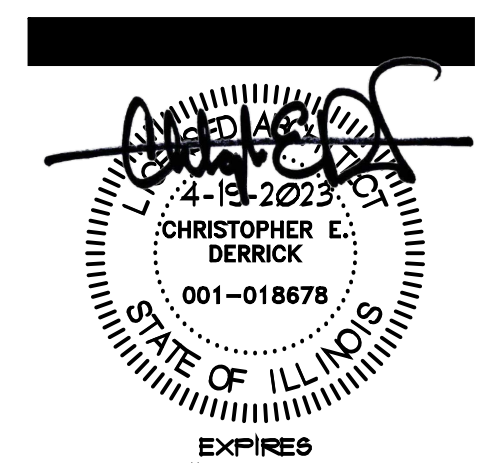
SHEET TITLE:
Details

SHEET NUMBER:

A303

REVISIONS	DATE
PRELIMINARY DESIGN	4/27/2022
PRELIMINARY DESIGN	5/6/2022
PRELIM DESIGN	6/12/2022
CLIENT REVISIONS	6/27/2022
UNIT RELEASE	8/22/2022
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PERMIT RELEASE	4/19/2023
REVIEW COMMENTS	5/15/2023

Franklin Flats
818 E Franklin/25 N Huffman
Naperville, IL 60540



DRAWN BY: CED
DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
**Basement
Electrical Plan
25 N Huffman**

SHEET NUMBER:
E100

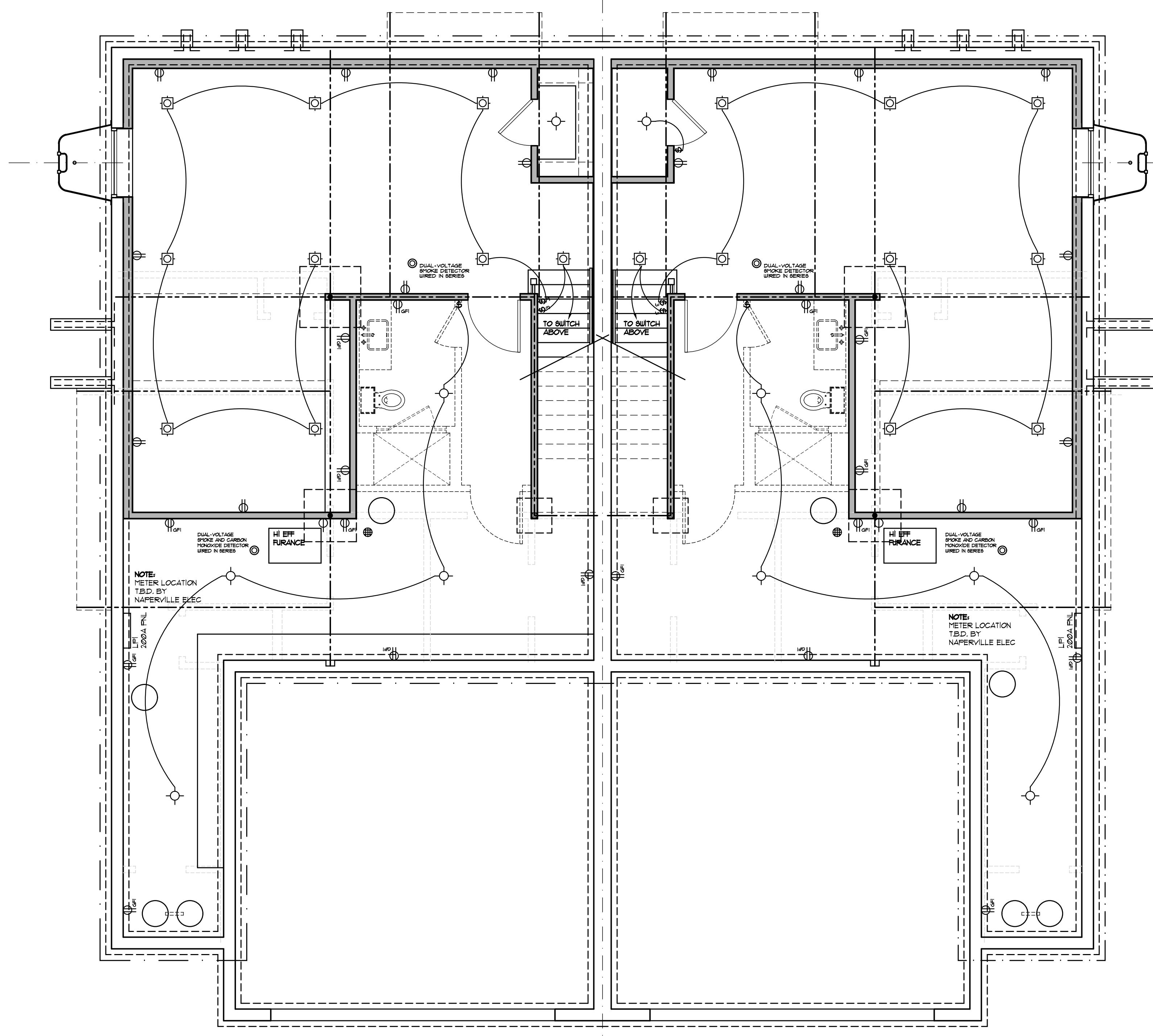
REVIEW COMMENTS 5.15.2023

electrical key

⊖	120 V. DUPLEX OUTLET	⊖	RECESSED LED
⊖	220 V. OUTLET	⊖	CEILING LED
⊖	DIMMER	⊖	FULL CHAN
⊖	SINGLE POLE SWITCH	⊖	WALL MOUNT LED
⊖	THREE WAY SWITCH	⊖	EXHAUST FAN
⊖	JAMB SWITCH	⊖	MOTOR
⊖	TV ANTENNA OUTLET	⊖	SMOKE DETECTOR
⊖	LED LIGHT	⊖	LOCATION BY OWNER
⊖	DUAL-VOLTAGE SMOKE DETECTOR WIRED IN SERIES	⊖	WATER PROOF GFCI
		⊖	RECESSED LED

electrical notes

- ALL ELECTRICAL INSTALLATION SHALL BE PER THE 2017 NATIONAL ELECTRIC CODE AND PER ANY LOCAL ORDINANCES.
- VERIFY ALL ELECTRIC FIXTURE LOCATION WITH OWNER AT THE TIME OF ROUGH ELECTRICAL.
- PROVIDE RECESSED INCANDESCENT LIGHT FIXTURE WITH SOLID LENS OR FLUORESCENTS IN ALL CLOSETS 2'-0" DEEP OR LESS. ALL RECESSED CAN FIXTURES SHALL HAVE LENS COVERS AND BE NO LESS THAN 6" HORIZONTALLY IN FRONT OF CLOSET SHELF OR STORAGE AREAS IN COMPLIANCE WITH 2017 NATIONAL ELECTRIC CODE SECT. 410-8
- ALL PHONE JACKS TO HAVE TWO LINES EACH
- ALL OUTLETS SHALL BE SELF-GROUNDING
- ALL BATH OUTLETS SHALL BE 20 AMP ON 20 AMP CIRCUITS WITH GROUND-FULT CIRCUIT-INTERRUPTER PROTECTION PER 2018 IRC E3802.1
- ALL CEILING LIGHTS AND FANS TO HAVE A BOX LISTED FOR THE SUPPORT OF CEILING FANS
- WHIRLPOOL TUBS TO BE ON SEPARATE GFCI BREAKER IN PANEL. BOND MOTOR ACCESS PANEL REQUIRED FOR MOTOR - INSTALL RECEPTACLES PER 2017 NEC CODE
- ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION (AFCI) SHALL BE PROVIDED AS REQUIRED IN SECTION 210.2 OF THE 2017 NEC. ALL 120 VOLT, SINGLE PHASE, 15 AND 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHEN BARS, BEDROOMS, LAUNDRY, FAMILY, LIVING, DINING, REC ROOMS/DENS, SUN ROOMS, FINISHED AREAS OF BASEMENTS, CLOSETS, HALLWAYS OR SIMILAR ROOMS/SPACES.
- DI DISCONNECT REQUIRED FOR MOTOR. 20 AMP DEVICE OR 20 AMP CIRCUIT FOR KITCHEN COUNTER AREAS.
- ELECTRIC METER SHALL PROVIDE A 600 AMP SERVICE - CITY TO PROVIDE REQUIRED METER LOCATION ON DETAILED GRADING PLAN
- SMOKE DETECTORS REQUIRED: SMOKE DETECTORS SHALL BE INSTALLED IN EACH BEDROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, IN ALL FURNACE ROOMS AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAIL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT-LEVELS, A SMOKE DETECTOR NEED BE INSTALLED ONLY ON THE UPPER LEVEL, PROVIDED THE LOWER LEVEL IS LESS THAN ONE (1) FULL STORY BELOW THE UPPER LEVEL, EXCEPT THAT IF THERE IS A DOOR BETWEEN LEVELS, THEN A DETECTOR IS REQUIRED ON EACH LEVEL. ALL DETECTORS SHALL BE CONNECTED TO A SOUNDING DEVICE OR OTHER DETECTORS TO PROVIDE WHEN ACTIVATED, AN ALARM WHICH WILL BE AUDIBLE IN ALL SLEEPING AREAS. ALL DETECTORS SHALL BE APPROVED AND LISTED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS WHEN ADDITIONS, REPAIRS OR SUBSTANTIAL ALTERATIONS REQUIRING A PERMIT OCCUR, OR WHEN ONE (1) OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN EXISTING DWELLINGS, THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE DETECTORS LOCATED AS REQUIRED FOR NEW DWELLINGS.
- CARBON MONOXIDE DETECTORS REQUIRED: A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED WITHIN FIFTEEN FEET (15') OF EVERY ROOM USED FOR SLEEPING PURPOSES. CO DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED WITH BATTERY BACKUP.
- POWER SOURCE FOR SMOKE AND CO DETECTORS: POWER SOURCE FOR REQUIRED DETECTORS TO BE ONE HUNDRED TEN (100) VOLT WITH BATTERY BACK UP
- ALL RECEPTACLES ON 20 AMP CIRCUITS SHALL BE 20 AMP RECEPTACLES.
- PROVIDE RECEPTACLE IN ATTIC SPACE FOR USE WITH THE RADON REDUCTION SYSTEM
- ALL LOW VOLTAGE WIRING SHALL BE INSTALLED IN AN APPROVED RACEWAY
- PROVIDE NEW GFCI RECEPTACLE WITHIN 25 FEET OF THE AIR CONDITIONING UNITS
- ALL OUTLETS ON THE FIRST FLOOR SHALL BE LOCATED AT A HEIGHT NOT LESS THAN 18" ABOVE THE FINISH FLOOR. MEASURE FROM FLOOR TO CENTER OF THE RECEPTACLE
- ALL SWITCHES ON THE FIRST FLOOR SHALL BE LOCATED AT A HEIGHT NOT TO EXCEED 48" ABOVE FINISH FLOOR. MEASURE FROM FLOOR TO CENTER OF THE SWITCH
- ALL SWITCHES IN BATHROOMS SHALL BE AT LEAST 5'-0" FROM THE INSIDE EDGE OF ANY TUB OR SHOWER UNLESS GFCI PROTECTED PER 2017 NEC 210-10 (b)
- ALL OUTLETS SHALL BE TAMPER-RESISTANT THROUGHOUT DWELLING BELOW 60" AFF. - INTERIOR AND EXTERIOR.
- ALL OUTLETS IN GARAGE AND BATH SHALL BE GFCI AND TAMPER RESISTANT
- ALL OUTDOOR OUTLETS SHALL BE WEATHER PROOF GFCI AND TAMPER-RESISTANT.



25 N Huffman
Basement Electrical plan
SCALE: 1/4" = 1'-0"
NORTH

1
E100

REVISIONS	DATE
PRELIMINARY DESIGN	4/27/2022
PRELIMINARY DESIGN	5/6/2022
PRELIM DESIGN	6/12/2022
CLIENT REVISIONS	6/27/2022
UNIT RELEASE	8/22/2022
BID SETS	2/19/2023
PERMIT RELEASE	4/19/2023
REVIEW COMMENTS	5/15/2023

Franklin Flats
818 E Franklin/25 N Huffman
Naperville, IL 60540



DRAWN BY: CED

DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
**Basement
Electrical Plan
818 E Franklin**

SHEET NUMBER:
E101

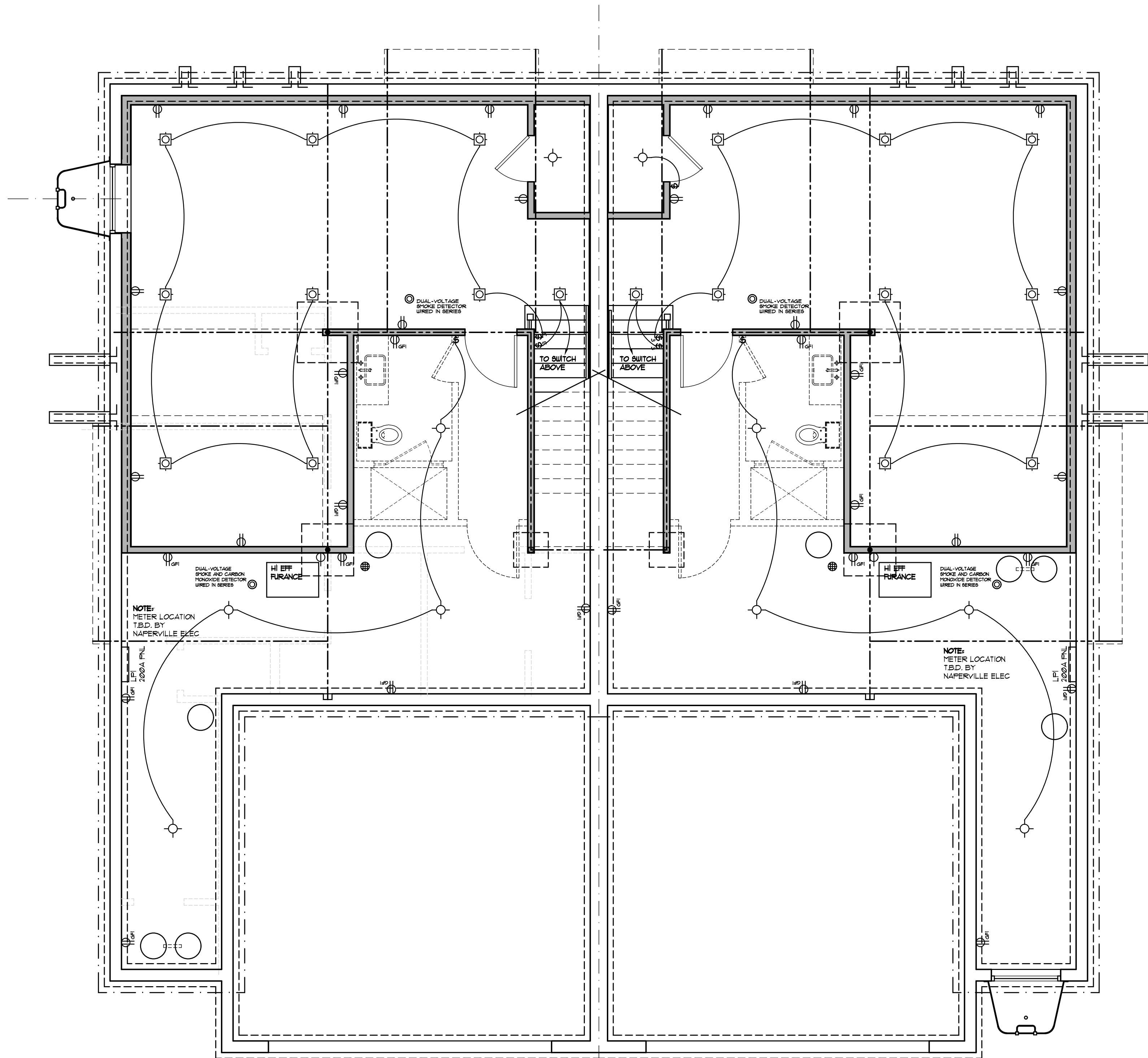
REVIEW COMMENTS 5.15.2023

electrical key

⊖	120 V. DUPLEX OUTLET	⊖	RECESSED LED
⊖	220 V. OUTLET	⊖	CEILING LED
⊖	DIMMER	⊖	FULL CHAN
⊖	SINGLE POLE SWITCH	⊖	WALL MOUNT LED
⊖	THREE WAY SWITCH	⊖	EXHAUST FAN
⊖	JAMB SWITCH	⊖	MOTOR
⊖	TV ANTENNA OUTLET	⊖	SMOKE DETECTOR
⊖	LED LIGHT	⊖	LOCATION BY OWNER
⊖	DUAL-VOLTAGE SMOKE DETECTOR WIRED IN SERIES	⊖	WATER PROOF GFI
		⊖	RECESSED LED

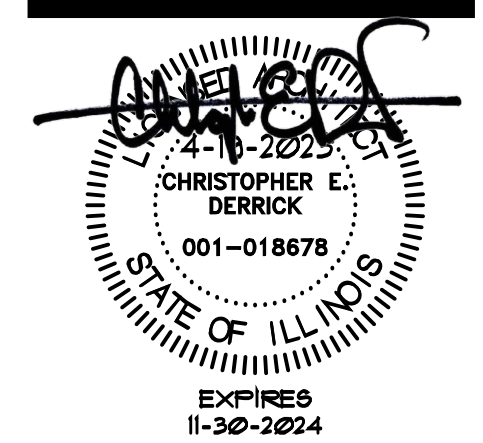
electrical notes

- ALL ELECTRICAL INSTALLATION SHALL BE PER THE 2017 NATIONAL ELECTRIC CODE AND PER ANY LOCAL ORDINANCES.
- VERIFY ALL ELECTRIC FIXTURE LOCATION WITH OWNER AT THE TIME OF ROUGH ELECTRICAL.
- PROVIDE RECESSED INCANDESCENT LIGHT FIXTURE WITH SOLID LENS OR FLUORESCENTS IN ALL CLOSETS 2'-0" DEEP OR LESS. ALL RECESSED CAN FIXTURES SHALL HAVE LENS COVERS AND BE NO LESS THAN 6" HORIZONTALLY IN FRONT OF CLOSET SHELF OR STORAGE AREAS IN COMPLIANCE WITH 2017 NATIONAL ELECTRIC CODE SECT. 410-8.
- ALL PHONE JACKS TO HAVE TWO LINES EACH.
- ALL OUTLETS SHALL BE SELF-GROUNDING.
- ALL BATH OUTLETS SHALL BE 20 AMP ON 20 AMP CIRCUITS WITH GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION PER 2018 IRC E3802J.
- ALL CEILING LIGHTS AND FANS TO HAVE A BOX LISTED FOR THE SUPPORT OF CEILING FANS.
- WHIRLPOOL TUBS TO BE ON SEPARATE GFCI BREAKER IN PANEL. BOND MOTOR ACCESS PANEL REQUIRED FOR MOTOR - INSTALL RECEPTACLES PER 2011 NEC CODE.
- ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION (AFCI) SHALL BE PROVIDED AS REQUIRED IN SECTION 210.12 OF THE 2017 NEC. ALL 120 VOLT, SINGLE PHASE, 15 AND 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DUELLING UNIT KITCHEN, BARS, BEDROOMS, LAUNDRY, FAMILY, LIVING, DINING, REC ROOMS/DENS, SUN ROOMS, FINISHED AREAS OF BASEMENTS, CLOSETS, HALLWAYS OR SIMILAR ROOMSPACES.
- DUI DISCONNECT REQUIRED FOR MOTOR. 20 AMP DEVICE OR 20 AMP CIRCUIT FOR KITCHEN COUNTER AREAS.
- ELECTRIC METER SHALL PROVIDE A 600 AMP SERVICE - CITY TO PROVIDE REQUIRED METER LOCATION ON DETAILED GRADING PLAN.
- SMOKE DETECTORS REQUIRED: SMOKE DETECTORS SHALL BE INSTALLED IN EACH BEDROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, IN ALL FURNACE ROOMS AND ON EACH ADDITIONAL STORY OF THE DUELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAIL SPACES AND UNINHABITABLE ATTICS. IN DUELLINGS OR DUELLING UNITS WITH SPLIT-LEVELS, A SMOKE DETECTOR NEED BE INSTALLED ONLY ON THE UPPER LEVEL, PROVIDED THE LOWER LEVEL IS LESS THAN ONE (1) FULL STORY BELOW THE UPPER LEVEL, EXCEPT THAT IF THERE IS A DOOR BETWEEN LEVELS, THEN A DETECTOR IS REQUIRED ON EACH LEVEL. ALL DETECTORS SHALL BE CONNECTED TO A SOUNDING DEVICE OR OTHER DETECTORS TO PROVIDE WHEN ACTIVATED, AN ALARM WHICH WILL BE AUDIBLE IN ALL SLEEPING AREAS. ALL DETECTORS SHALL BE APPROVED AND LISTED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS WHEN ADDITIONS, REPAIRS OR SUBSTANTIAL ALTERATIONS REQUIRING A PERMIT OCCUR, OR WHEN ONE (1) OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN EXISTING DUELLINGS, THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE DETECTORS LOCATED AS REQUIRED FOR NEW DUELLINGS.
- CARBON MONOXIDE DETECTORS REQUIRED: A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED WITHIN FIFTEEN FEET (15') OF EVERY ROOM USED FOR SLEEPING PURPOSES. CO DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED WITH BATTERY BACKUP.
- POWER SOURCE FOR SMOKE AND CO DETECTORS: POWER SOURCE FOR REQUIRED DETECTORS TO BE ONE HUNDRED TEN (100) VOLT WITH BATTERY BACK UP.
- ALL RECEPTACLES ON 20 AMP CIRCUITS SHALL BE 20 AMP RECEPTACLES.
- PROVIDE RECEPTACLE IN ATTIC SPACE FOR USE WITH THE RADON REDUCTION SYSTEM.
- ALL LOW VOLTAGE WIRING SHALL BE INSTALLED IN AN APPROVED RACEWAY.
- PROVIDE NEW GFCI RECEPTACLE WITHIN 25 FEET OF THE AIR CONDITIONING UNITS.
- ALL OUTLETS ON THE FIRST FLOOR SHALL BE LOCATED AT A HEIGHT NOT LESS THAN 5" ABOVE THE FINISH FLOOR. MEASURE FROM FLOOR TO THE CENTER OF THE RECEPTACLE.
- ALL SWITCHES ON THE FIRST FLOOR SHALL BE LOCATED AT A HEIGHT NOT TO EXCEED 48" ABOVE FINISH FLOOR. MEASURE FROM FLOOR TO CENTER OF THE SWITCH.
- ALL SWITCHES IN BATHROOMS SHALL BE AT LEAST 5'-0" FROM THE INSIDE EDGE OF ANY TUB OR SHOWER UNLESS GFCI PROTECTED PER 2011 NEC 210-10 (b).
- ALL OUTLETS SHALL BE TAMPER-RESISTANT THROUGHOUT DUELLING BELOW 60' AFF. - INTERIOR AND EXTERIOR.
- ALL OUTLETS IN GARAGE AND BATH SHALL BE GFCI AND TAMPER RESISTANT.
- ALL OUTDOOR OUTLETS SHALL BE WEATHER PROOF GFCI AND TAMPER-RESISTANT.



REVISIONS	DATE
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PRELIMINARY DESIGN	5/6/2022
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REVIEW COMMENTS	5/15/2023

Franklin Flats
818 E Franklin/25 N Huffman
Naperville, IL 60540



DRAWN BY: CED

DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
**First Floor
Electrical Plan
25 N Huffman**

SHEET NUMBER:
E102

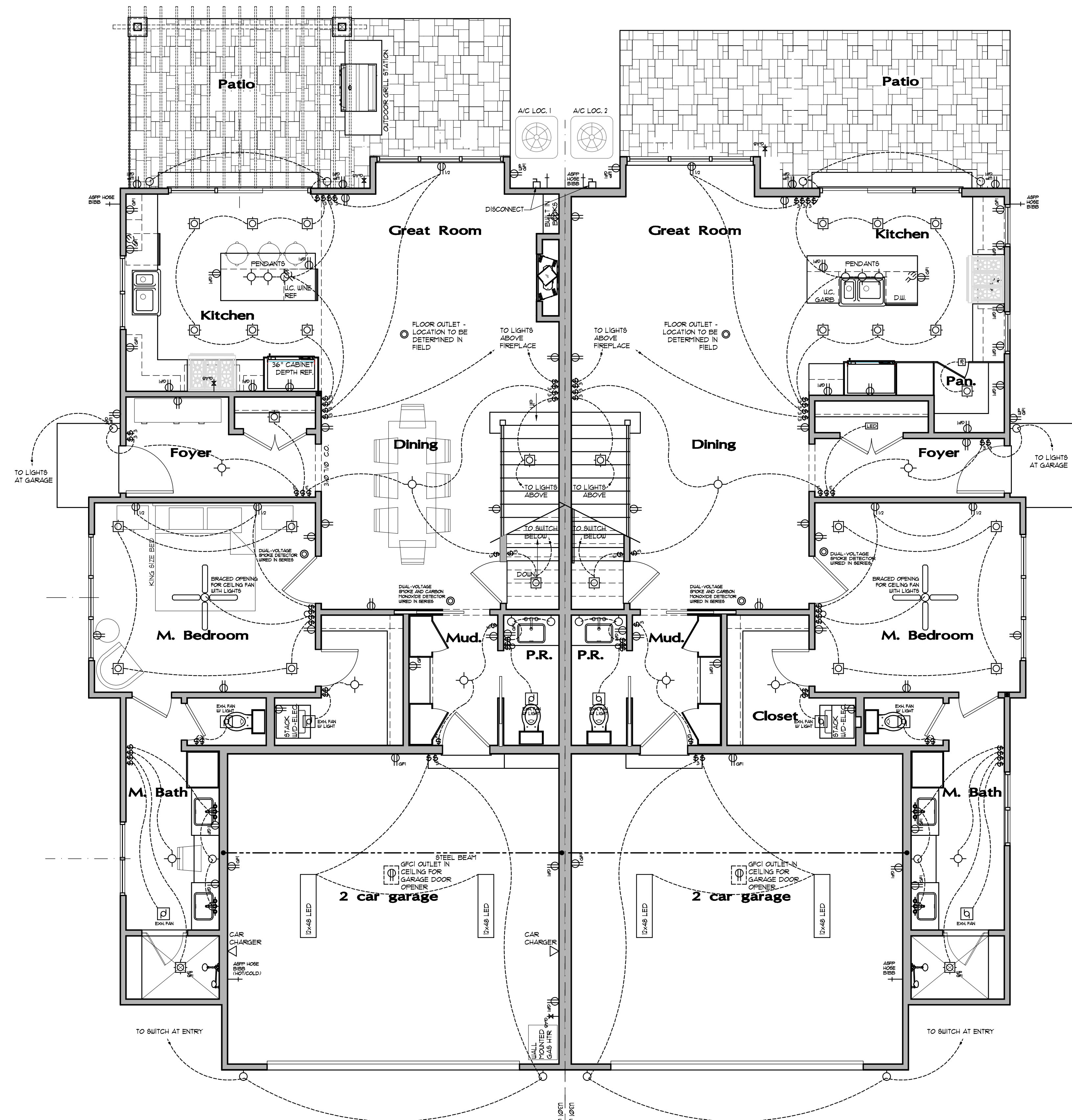
REVIEW COMMENTS 5.15.2023

electrical key

⊖	120 V. DUPLEX OUTLET	○	RECESSED LED
⊖	220 V. OUTLET	○	CEILING LED
⊖	DIMMER	○	FULL CHAN
⊖	SINGLE POLE SWITCH	○	WALL MOUNT LED
⊖	THREE WAY SWITCH	○	EXHAUST FAN
⊖	JAMBS SWITCH	○	MOTOR
⊖	TV ANTENNA OUTLET	○	SMOKE DETECTOR
⊖	JUNCTION BOX	○	LOCATION BY OWNER
⊖	LED LIGHT	○	WATER PROOF GFI
⊖	DUAL-VOLTAGE SMOKE DETECTOR WIRED IN SERIES	○	RECESSED LED

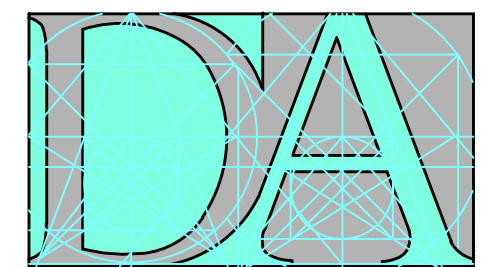
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- ALL PHONE JACKS TO HAVE TWO LINES EACH
- ALL OUTLETS SHALL BE SELF-GROUNDING
- ALL BATH OUTLETS SHALL BE 20 AMP ON 20 AMP CIRCUITS WITH GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION PER 2018 IRC E3802.1
- ALL CEILING LIGHTS AND FANS TO HAVE A BOX LISTED FOR THE SUPPORT OF CEILING FANS
- WHIRLPOOL TUBS TO BE ON SEPARATE GFCI BREAKER IN PANEL. BOND MOTOR ACCESS PANEL REQUIRED FOR MOTOR - INSTALL RECEPTACLES PER 2017 NEC CODE
- ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION (AFCI) SHALL BE PROVIDED AS REQUIRED IN SECTION 210.2 OF THE 2017 NEC. ALL 120 VOLT, SINGLE PHASE, 15 AND 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHEN, BARS, BEDROOMS, LAUNDRY, FAMILY, LIVING, DINING, REC ROOMS/DENS, SUN ROOMS, FINISHED AREAS OF BASEMENTS, CLOSETS, HALLWAYS OR SIMILAR ROOMSPACES.
- DUI DISCONNECT REQUIRED FOR MOTOR. 20 AMP DEVICE OR 20 AMP CIRCUIT FOR KITCHEN COUNTER AREAS.
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- PROVIDE RECEPTACLE IN ATTIC SPACE FOR USE WITH THE RADON REDUCTION SYSTEM.
- ALL LOW VOLTAGE WIRING SHALL BE INSTALLED IN AN APPROVED RACEWAY
- PROVIDE NEW GFCI RECEPTACLE WITHIN 25 FEET OF THE AIR CONDITIONING UNITS.
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- ALL SWITCHES ON THE FIRST FLOOR SHALL BE LOCATED AT A HEIGHT NOT TO EXCEED 48" ABOVE FINISH FLOOR. MEASURE FROM FLOOR TO CENTER OF THE SWITCH
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- ALL OUTDOOR OUTLETS SHALL BE WEATHER PROOF GFCI AND TAMPER-RESISTANT.



25 N Huffman
First Floor Electrical plan
NORTH
SCALE: 1/4" = 1'-0"

1
E102



DERRICK ARCHITECTURE

506 SOUTH GABLES BLVD
WHEATON, ILLINOIS 60187

P: 847/606.6460
F: 630/517.8578
DERRICKARCHITECTURE.COM
info@derrickarchitecture.com

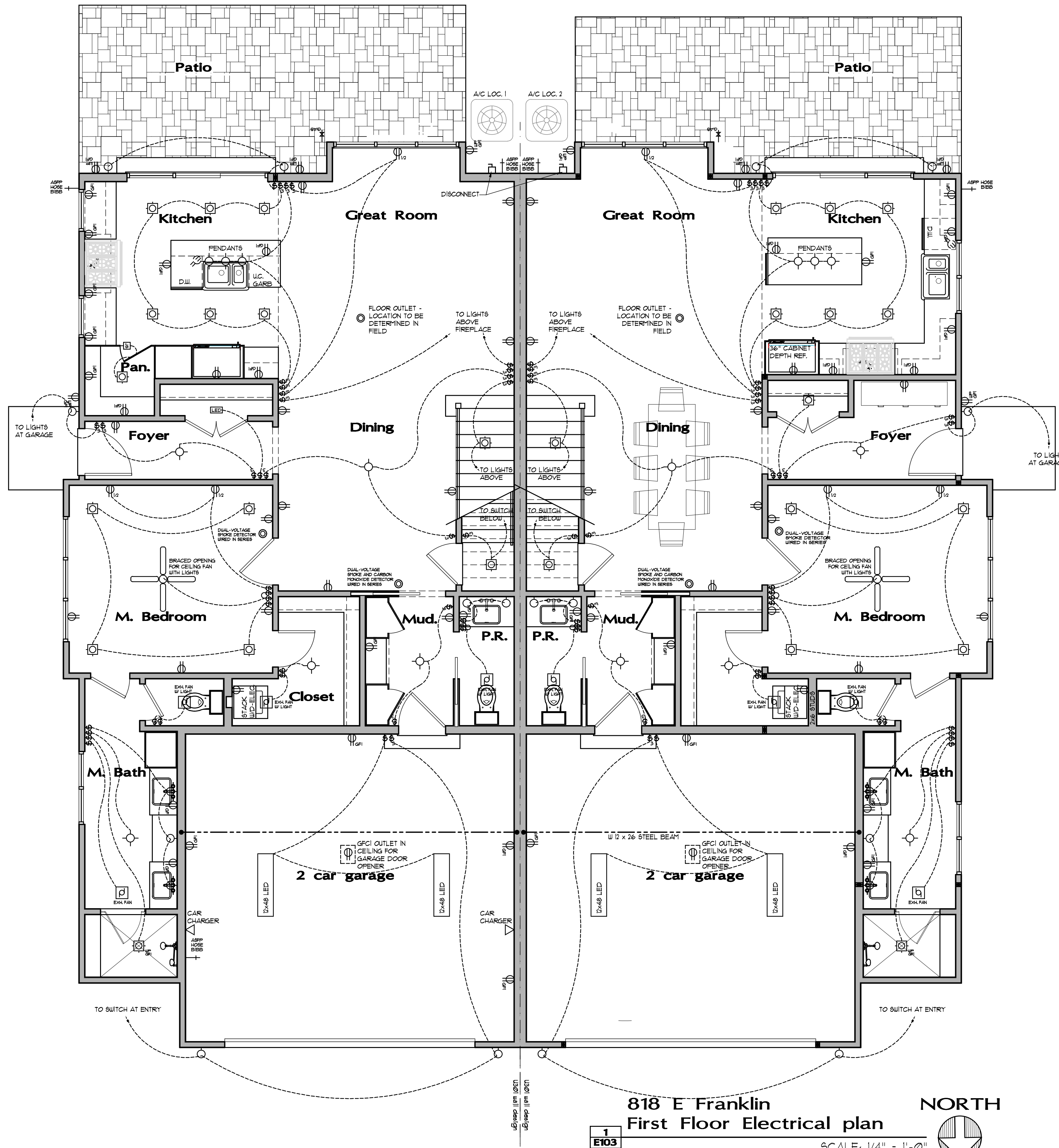
REVIEW COMMENTS 5.15.2023

electrical key

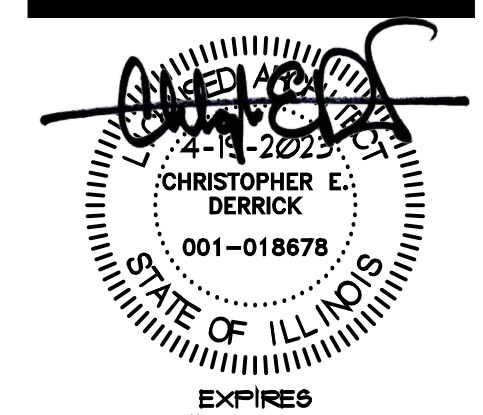
- ⊖ 120 V. DUPLEX OUTLET
- ⊖ 220 V. OUTLET
- ⊖ DIMMER
- ⊖ SINGLE POLE SWITCH
- ⊖ THREE WAY SWITCH
- ⊖ JAMB SWITCH
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- ⊖ FULL CHAN
- ⊖ WALL MOUNT LED
- ⊖ EXHAUST FAN
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- ⊖ SMOKE DETECTOR
- ⊖ LOCATION BY OWNER
- ⊖ WATER PROOF GFI
- ⊖ RECESSED LED

electrical notes

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Franklin Flats
818 E Franklin/25 N Huffman
Naperville, IL 60540



DRAWN BY: CED
DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

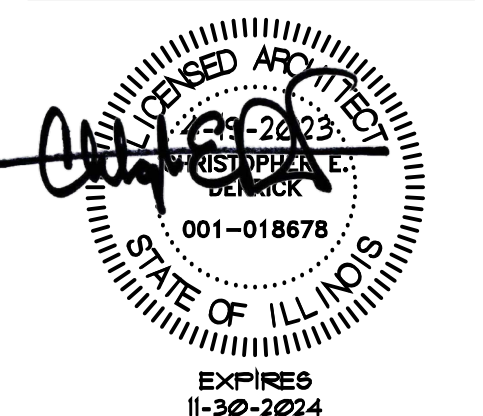
SHEET TITLE:
**First Floor
Electrical Plan
818 E Franklin**

SHEET NUMBER:
E103

818 E Franklin
First Floor Electrical plan
SCALE: 1/4" = 1'-0"
NORTH

REVISIONS	DATE
PRELIMINARY DESIGN	4/27/2022
PRELIMINARY DESIGN	5/6/2022
PRELIM DESIGN	6/12/2022
CLIENT REVISIONS	6/27/2022
UNIT RELEASE	8/22/2022
BID SETS	2/15/2023
PERMIT RELEASE	4/19/2023
REVIEW COMMENTS	5/15/2023

Franklin Flats
818 E Franklin/25 N Huffman
Naperville, IL 60540



DRAWN BY: CED

DATE: 05/15/23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
**Second Floor
Electrical Plan
25 N Huffman**

SHEET NUMBER:
E104

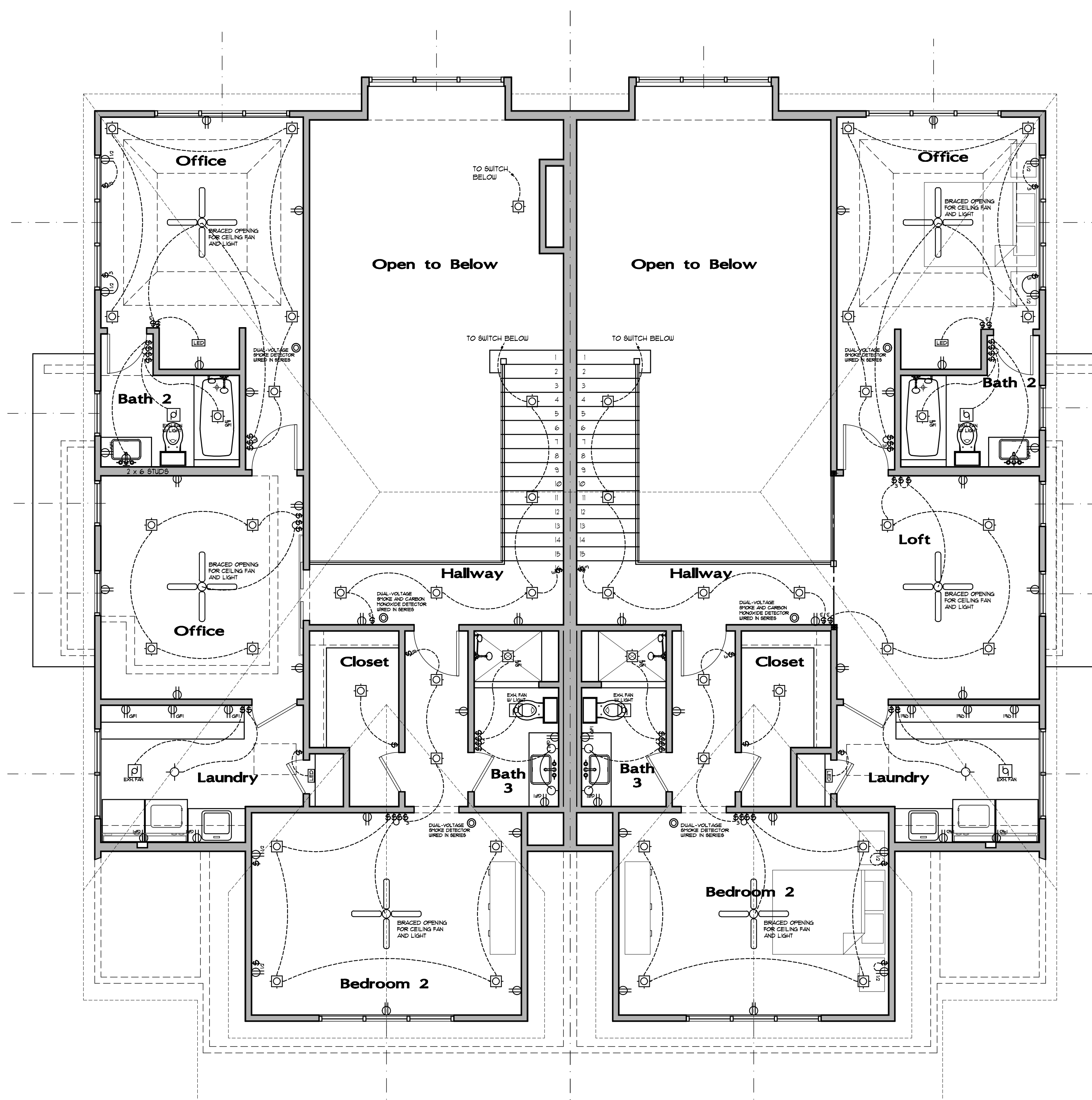
REVIEW COMMENTS 5.15.2023

electrical key

⊖ 120 V. DUPLEX OUTLET	⊖ RECESSED LED
⊖ 220 V. OUTLET	⊖ CEILING LED
⊖ DIMMER	⊖ FULL CHAN
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25 N Huffman
Second Floor Electrical plan
SCALE: 1/4" = 1'-0"

1
E104

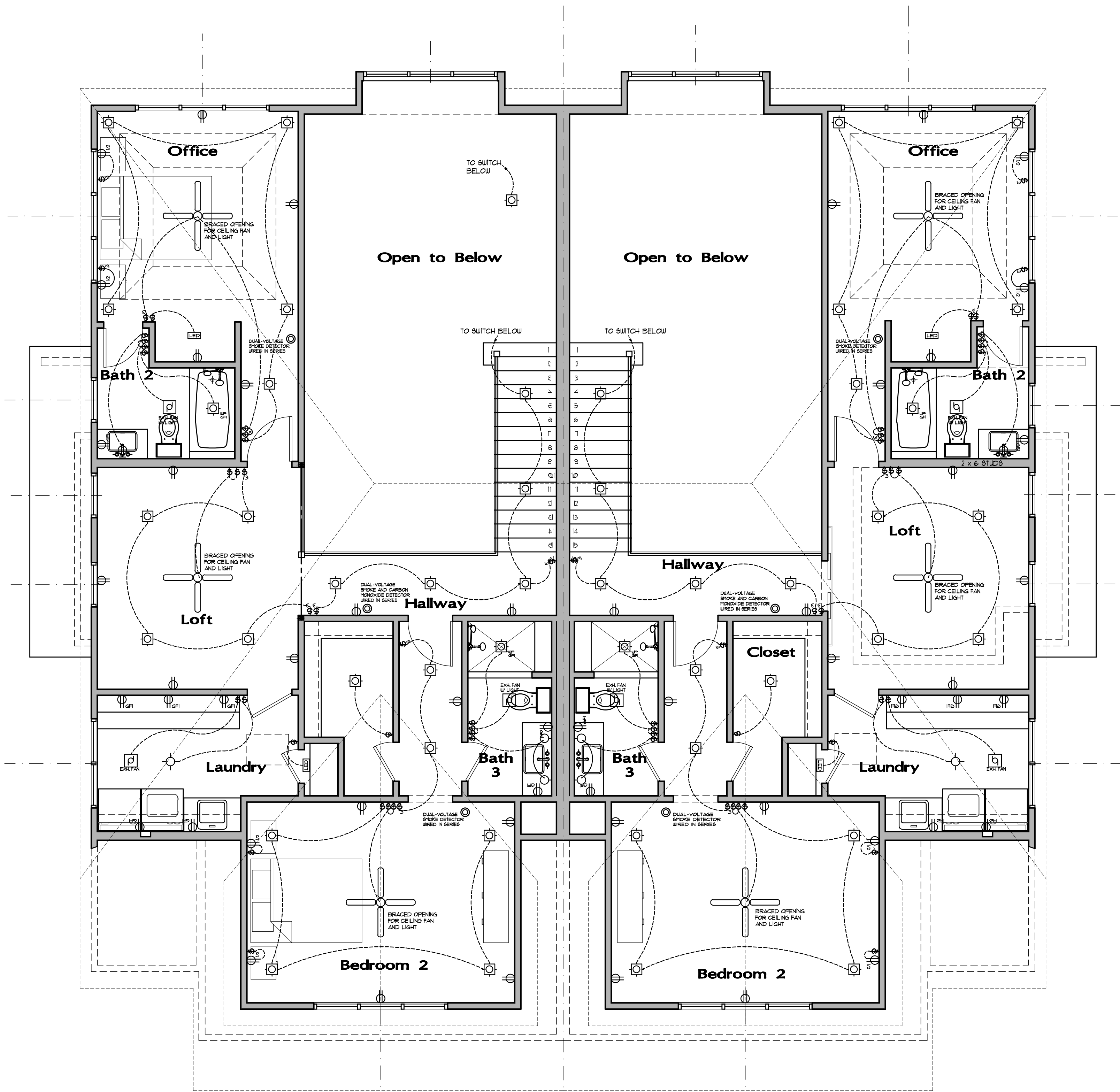


electrical key

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⊖	220 V. OUTLET	⊖	CEILING LED
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818 E Franklin
 Second Floor Electrical plan
 NORTH
 1
 E105
 SCALE: 1/4" = 1'-0"

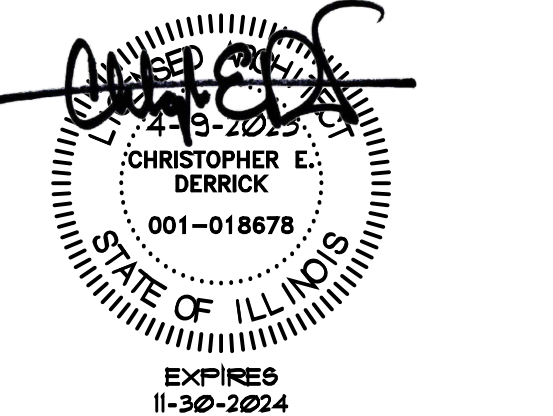
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 DERRICK ARCHITECTURE OF 506 SOUTH GABLES
 BOULEVARD, WHEATON, ILLINOIS 60187

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REVISIONS	DATE
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REVIEW COMMENTS	5/15/2023

Franklin Flats
 818 E Franklin/25 N Huffman
 Naperville, IL 60540



DRAWN BY: CED
 DATE: 05 / 15 / 23
 SCALE: AS NOTED
 PROJECT NO: 2210

SHEET TITLE:
**Second Floor
 Electrical Plan
 818 E Franklin**

SHEET NUMBER:
E105

braced wall panel construction method CS-WSP (Continuous sheathing – Wood Structural Panel) per R602.10.4

WOOD STRUCTURAL PANEL SHEATHING WITH A THICKNESS NOT LESS THAN 5/16 INCH FOR 16 INCH STUD SPACING AND NOT LESS THAN 3/8 INCH FOR 24 INCH STUD SPACING. WOOD STRUCTURAL PANELS SHALL BE INSTALLED IN ACCORDANCE WITH TABLE R602.10.4

PANEL CONSTRUCTION:
1/2" PLYWOOD WALL SHEATHING OVER 2 x 4 MIN. STUDS AT 16" O.C.

PANEL LOCATION:
A BRACED WALL PANEL SHALL BEGIN WITHIN 10'-0" FROM EACH END OF A BRACED WALL LINE AS DETERMINED IN SECTION R602.10.11. THE DISTANCE BETWEEN ADJACENT EDGES OF BRACED WALL PANEL ALONG A BRACED WALL LINE SHALL BE NO GREATER THAN 20'-0"

NAILING PATTERN:
6d COMMON NAILS AT 6" O.C. AT EDGE OF SHEATHING
6d COMMON NAILS AT 12" O.C. AT INTERMEDIATE SUPPORTS

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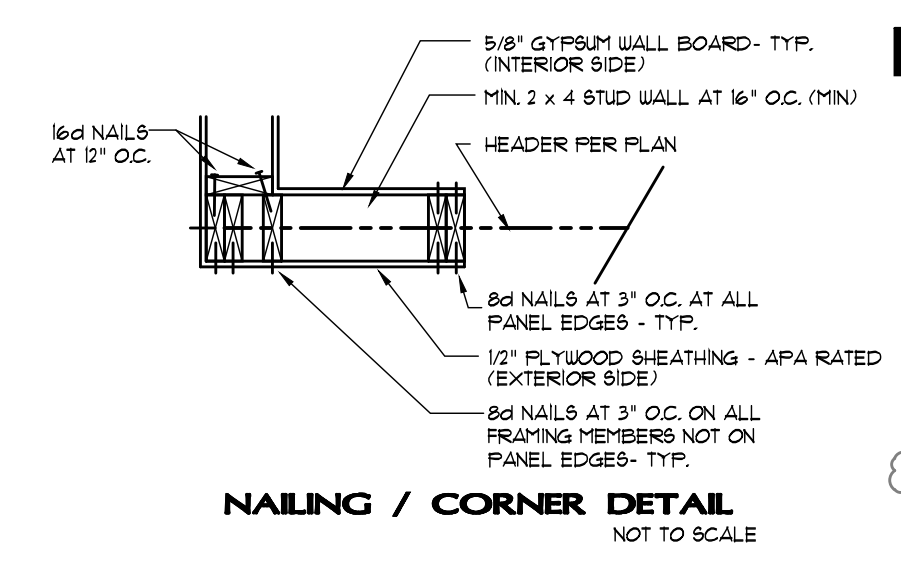
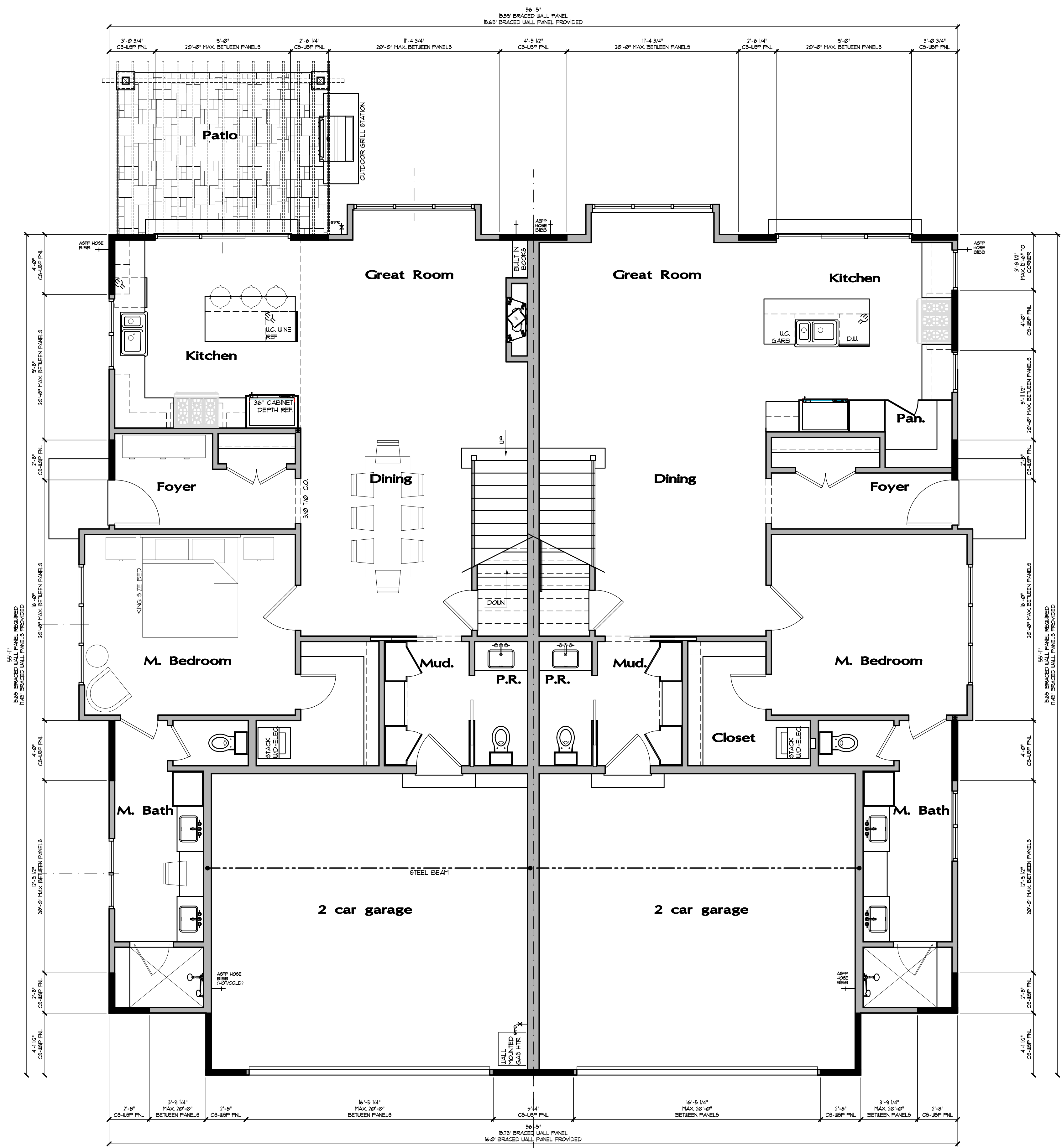
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REVIEW COMMENTS 5.15.2023



REVISIONS	DATE
PRELIMINARY DESIGN	4.27.2022
PRELIMINARY DESIGN	5.6.2022
PRELIM DESIGN	6.12.2022
CLIENT REVISIONS	6.27.2022
UNIT RELEASE	8.22.2022
BID SETS	2.15.2023
PERMIT RELEASE	4.19.2023
REVIEW COMMENTS	5.15.2023

Franklin Flats
818 E Franklin/25 N Huffman
Naperville, IL 60540



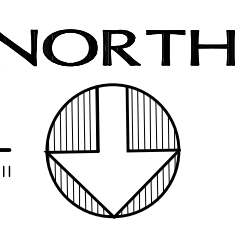
DRAWN BY: CED

DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
First Floor Braced Wall Plan 25 N Huffman

SHEET NUMBER:
S101

25 N Huffman
First Floor Braced Wall plan
SCALE: 1/4" = 1'-0"



1
S101

braced wall panel construction method CS-WSP (Continuous sheathing - Wood Structural Panel) per R602.10.4

WOOD STRUCTURAL PANEL SHEATHING WITH A THICKNESS NOT LESS THAN 5/16 INCH FOR 16 INCH STUD SPACING AND NOT LESS THAN 3/8 INCH FOR 24 INCH STUD SPACING. WOOD STRUCTURAL PANELS SHALL BE INSTALLED IN ACCORDANCE WITH TABLE R602.10.4

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NAILING PATTERN:
6d COMMON NAILS AT 6" O.C. AT EDGE OF SHEATHING
6d COMMON NAILS AT 12" O.C. AT INTERMEDIATE SUPPORTS

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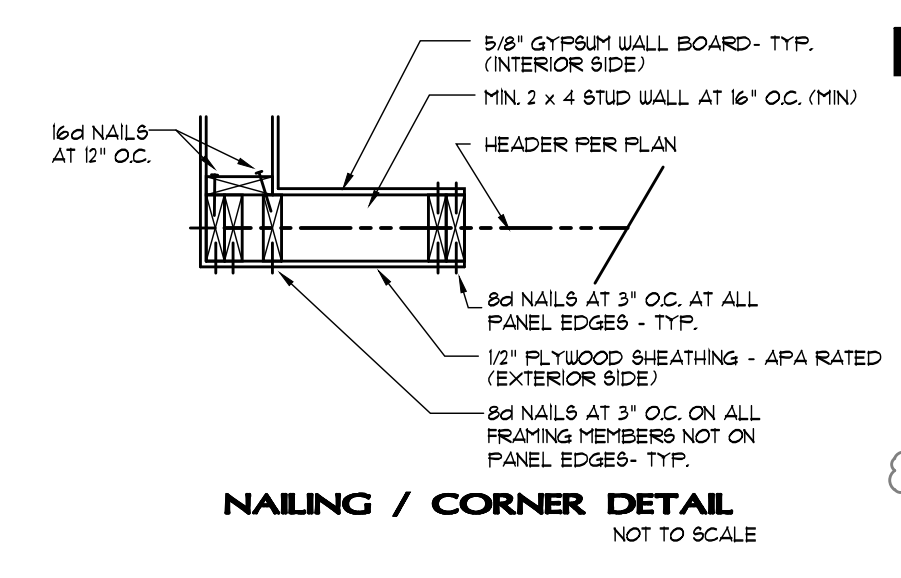
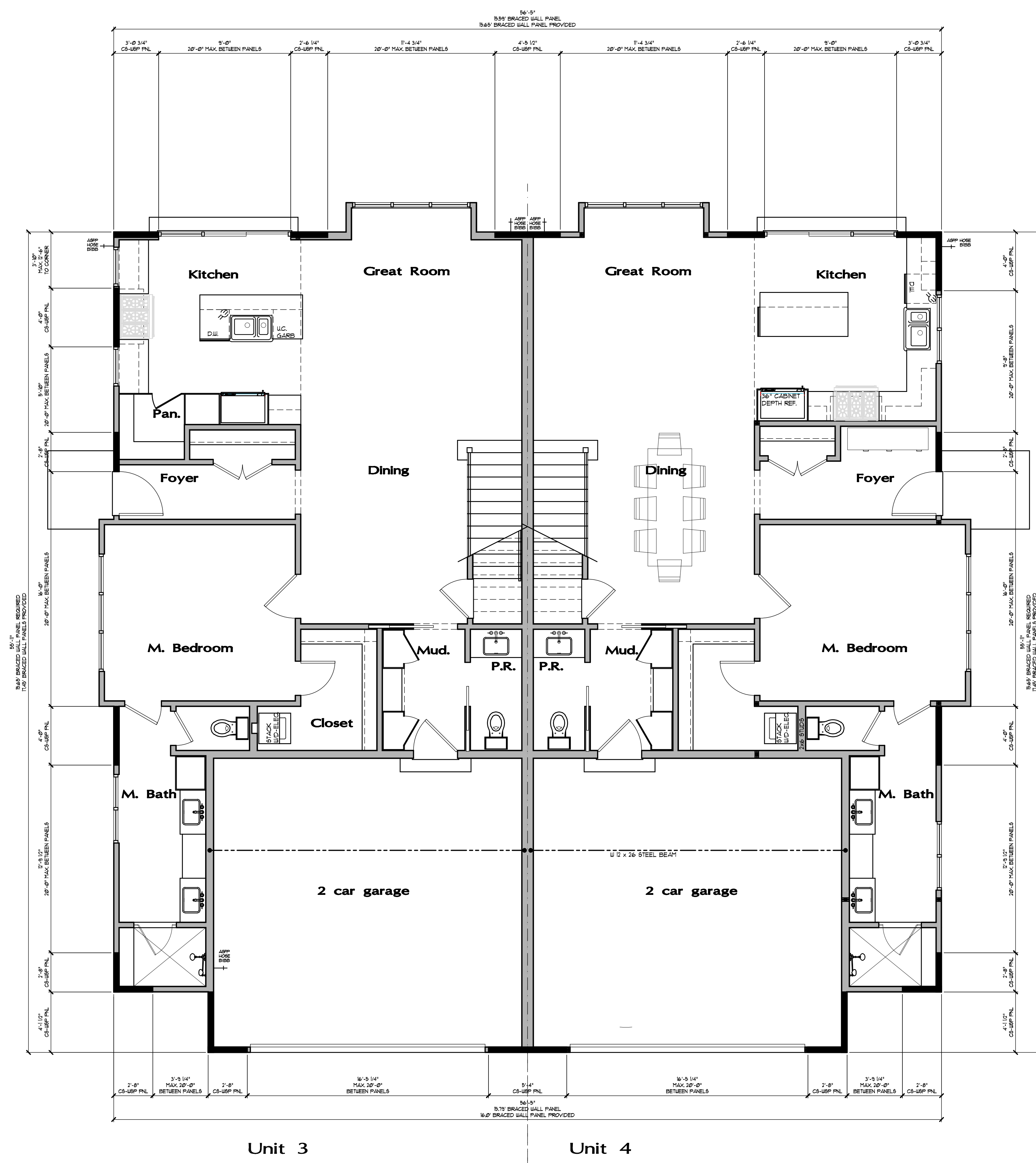
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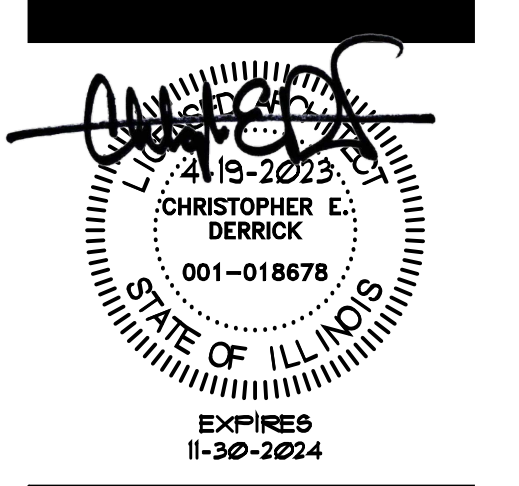
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REVIEW COMMENTS 5.15.2023



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PRELIM DESIGN	6.12.2022
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REVIEW COMMENTS	5.15.2023

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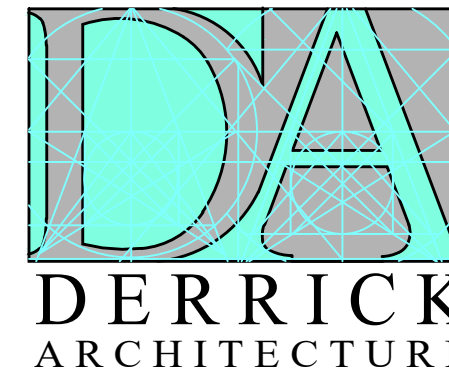


DRAWN BY: CED

DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
**First Floor Braced Wall Plan
818 E Franklin**

SHEET NUMBER:
S102



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REVISIONS	DATE
PRELIMINARY DESIGN	4/21/2022
PRELIMINARY DESIGN	5/6/2022
PRELIM DESIGN	6/12/2022
CLIENT REVISIONS	6/21/2022
UNIT RELEASE	8/22/2022
BID SETS	2/15/2023
PERMIT RELEASE	4/19/2023
REVIEW COMMENTS	5/15/2023

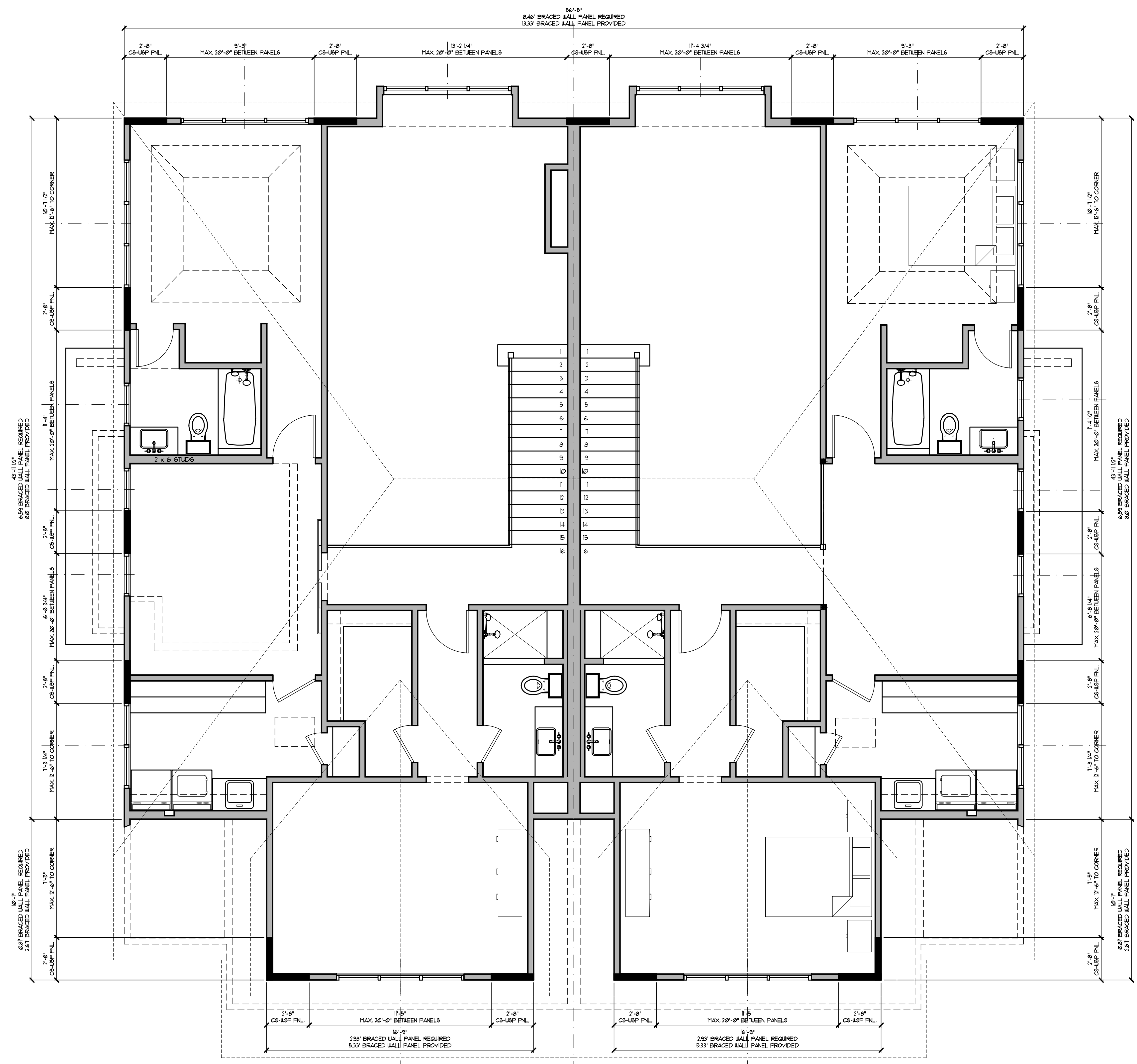
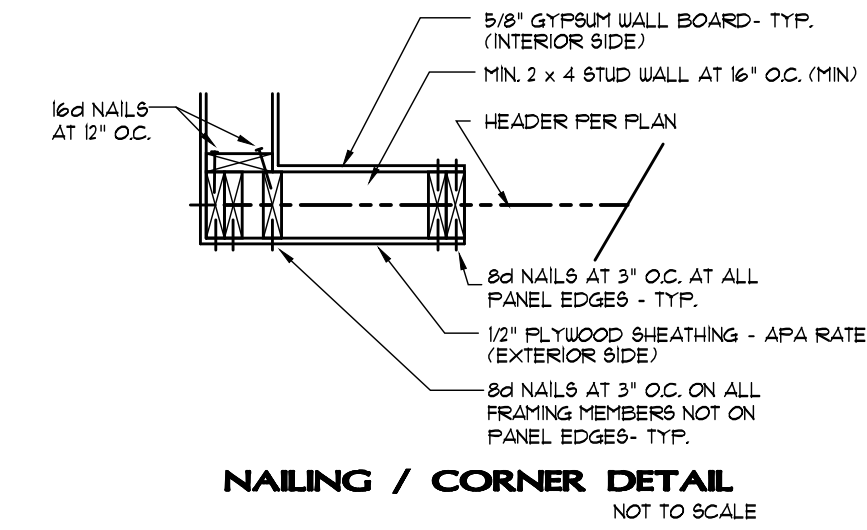
braced wall panel construction method CS-WSP (Continuous sheathing – Wood Structural Panel) per R602.10.4

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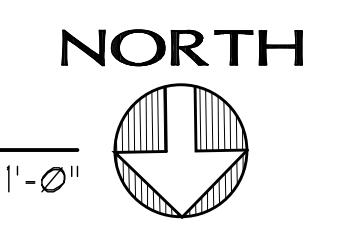
NAILING PATTERN:
 6d COMMON NAILS AT 6" O.C. AT EDGE OF SHEATHING
 6d COMMON NAILS AT 12" O.C. AT INTERMEDIATE SUPPORTS



Unit 1

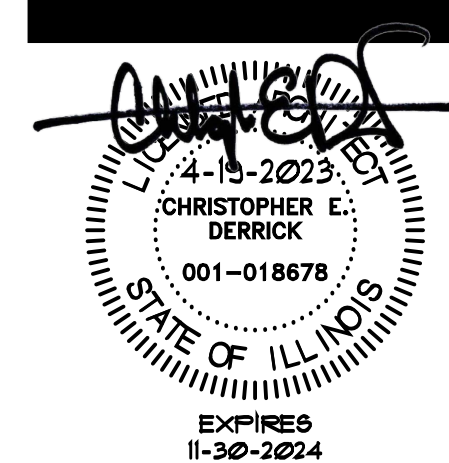
Unit 2

25 N Huffman
 Second Floor Braced
 Wall plan



SCALE: 1/4" = 1'-0"

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 Naperville, IL 60540



DRAWN BY: CED

DATE: 05 / 15 / 23
 SCALE: AS NOTED
 PROJECT NO: 2210

SHEET TITLE:
**Second Floor
 Braced Wall Plan
 25 N Huffman**

SHEET NUMBER:
S103

braced wall panel construction method CS-WSP (Continuous sheathing – Wood Structural Panel) per R602.10.4

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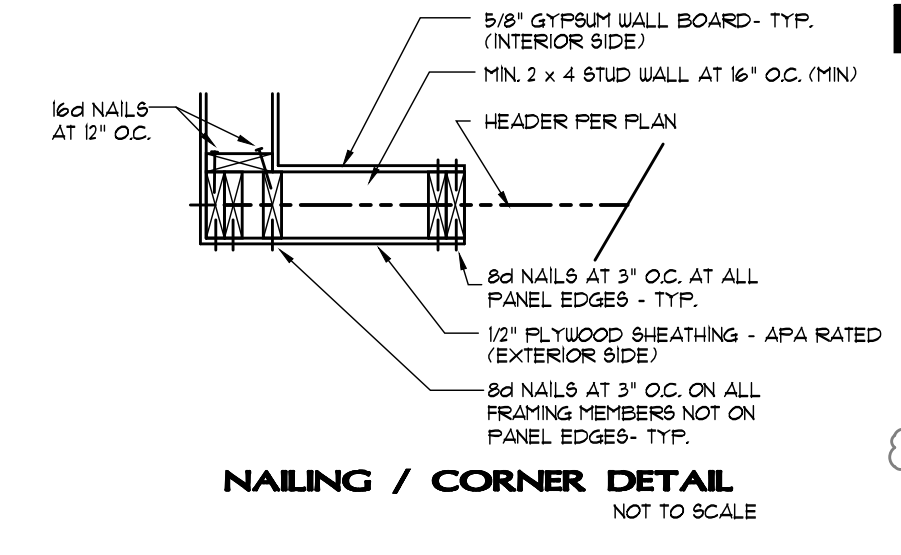
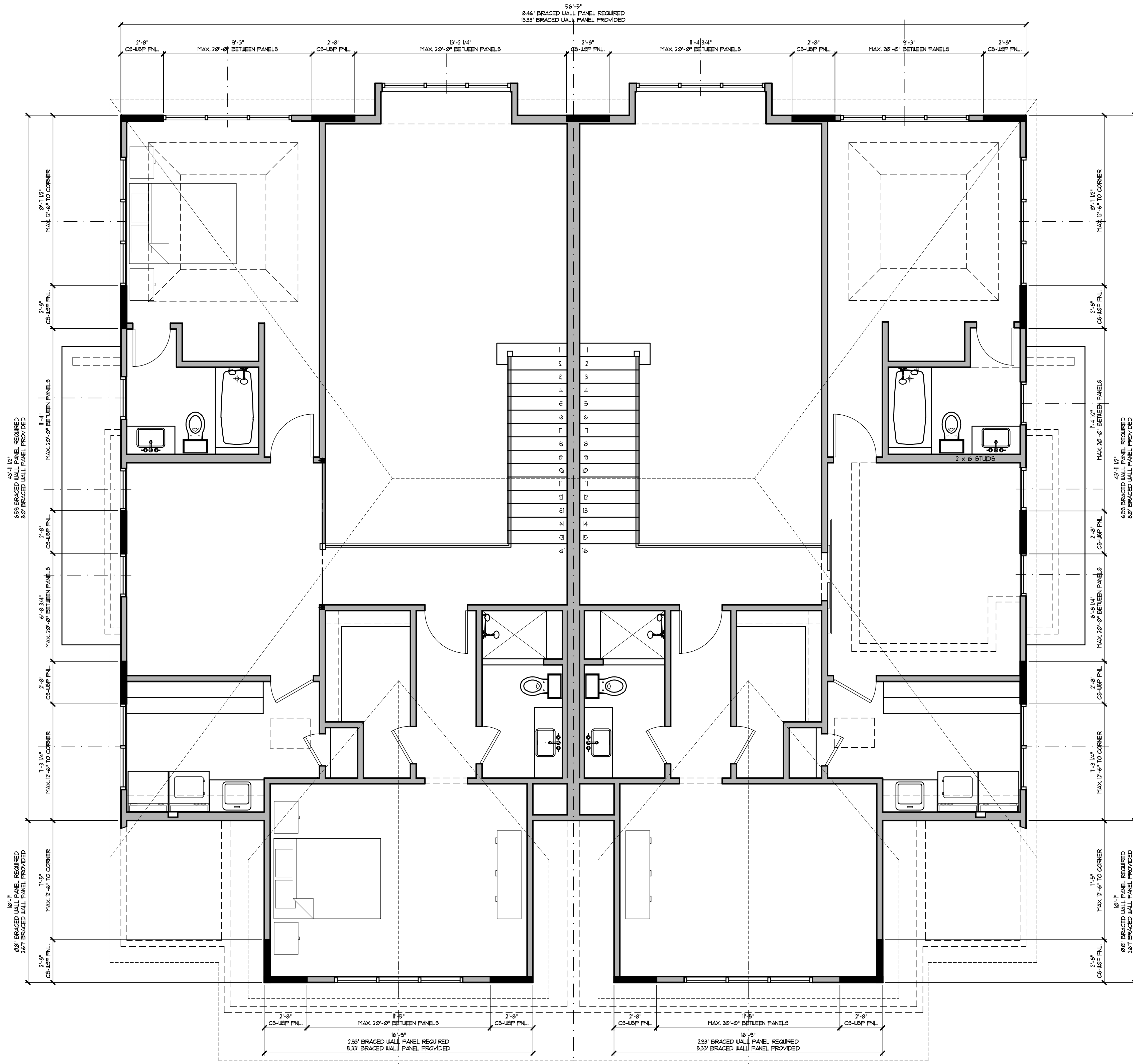
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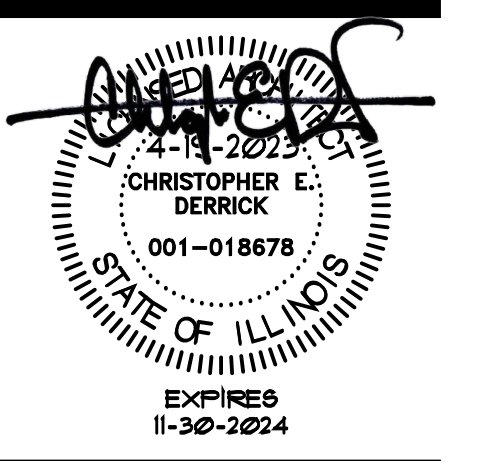
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REVIEW COMMENTS 5.15.2023



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REVIEW COMMENTS	5.15.2023

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Naperville, IL 60540



DRAWN BY: CED

DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
Second Floor Braced Wall Plan
818 E Franklin

SHEET NUMBER:
S104

Unit 3

Unit 4

818 E Franklin
Second Floor Braced
Wall plan
SCALE: 1/4" = 1'-0"

NORTH