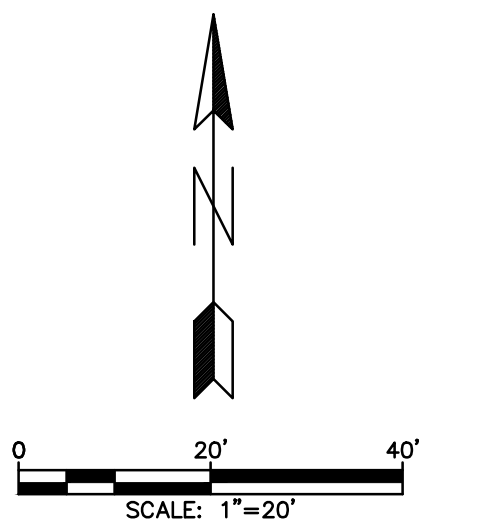


# SITE DEVELOPMENT PLAN LOT 2

LOT 2 IN KANNRY SUBDIVISION, BEING A PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 38 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 2, 1995 AS DOCUMENT NUMBER R1998-277533, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 08-28-200-022

COMMONLY KNOWN AS: 85201 COLLEGE ROAD, NAPERVILLE, ILLINOIS



## LOT 1

EXISTING IMPERVIOUS AREA	
BRICK DRIVEWAY	9,133 S.F.
ASPHALT DRIVEWAY	2,535 S.F.
BRICK WALK	690 S.F.
RESIDENCE	5,606 S.F.
WOOD DECK	911 S.F.
STONE PORCH	189 S.F.
BRICK PATIO	1,931 S.F.
POOL & SPA	1,005 S.F.
POOL HOUSE	657 S.F.
CONCRETE PAD	78 S.F.
SHED	67 S.F.
POOL EQUIPMENT PAD	36 S.F.
<b>TOTAL</b>	<b>22,838 S.F.</b>

EXISTING IMPERVIOUS AREA (TO BE REMOVED)	
BRICK WALK	22 S.F.
<b>TOTAL</b>	<b>22 S.F.</b>

PROPOSED IMPERVIOUS AREA	
<b>TOTAL</b>	<b>0 S.F.</b>

NET NEW IMPERVIOUS AREA FOR LOT 1 = 0 S.F.

## LOT 2

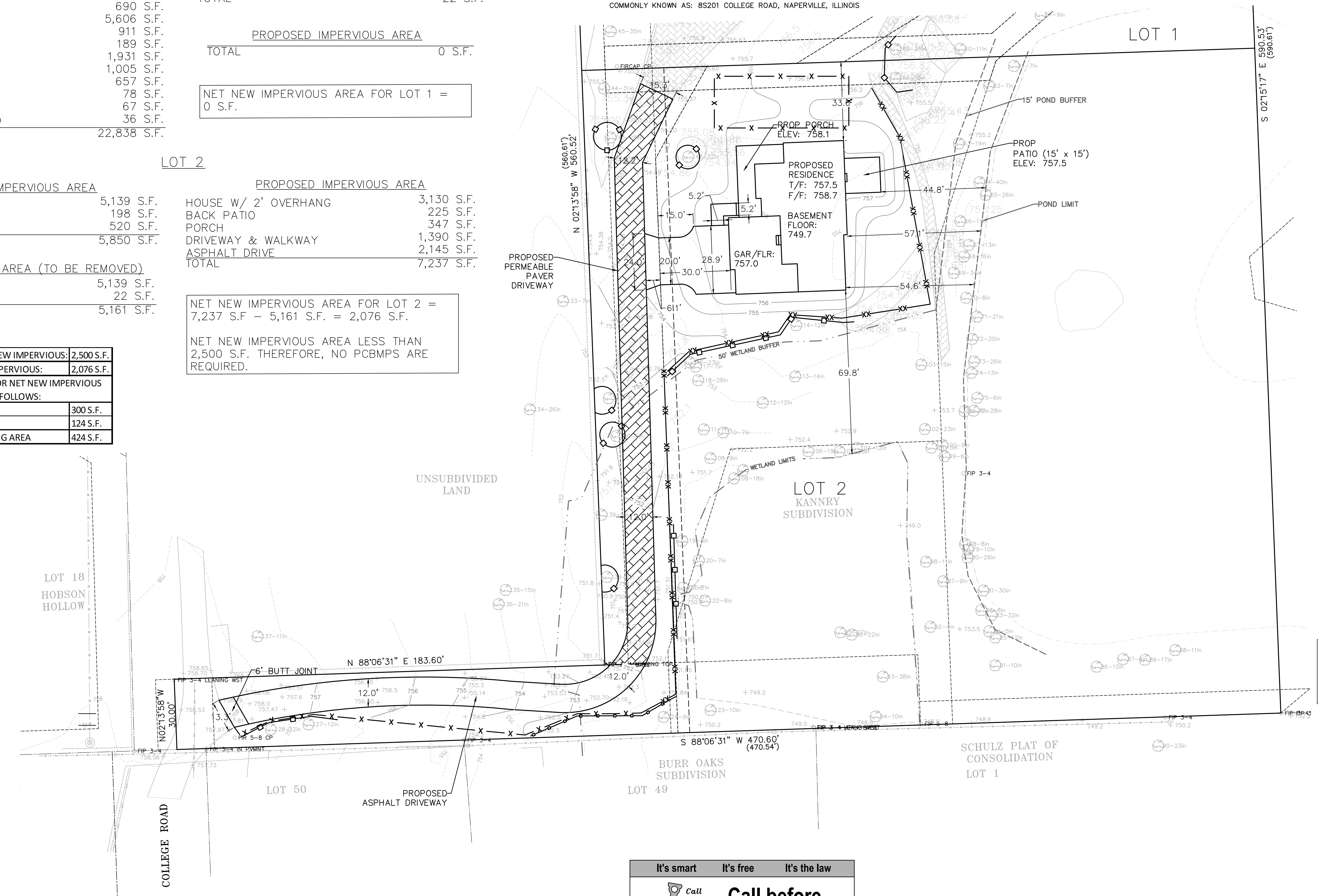
EXISTING IMPERVIOUS AREA	
ASPHALT DRIVEWAY	5,139 S.F.
BRICK DRIVEWAY	198 S.F.
BRICK WALK	520 S.F.
<b>TOTAL</b>	<b>5,850 S.F.</b>

PROPOSED IMPERVIOUS AREA	
HOUSE W/ 2' OVERHANG	3,130 S.F.
BACK PATIO	225 S.F.
PORCH	347 S.F.
DRIVEWAY & WALKWAY	1,390 S.F.
ASPHALT DRIVE	2,145 S.F.
<b>TOTAL</b>	<b>7,237 S.F.</b>

NET NEW IMPERVIOUS AREA FOR LOT 2 = 7,237 S.F. - 5,161 S.F. = 2,076 S.F.

NET NEW IMPERVIOUS AREA LESS THAN 2,500 S.F. THEREFORE, NO PCBMPs ARE REQUIRED.

<b>TOTAL ALLOWABLE NET NEW IMPERVIOUS:</b>	<b>2,500 S.F.</b>
<b>TOTAL NET NEW IMPERVIOUS:</b>	<b>2,076 S.F.</b>
FUTURE ALLOCATION FOR NET NEW IMPERVIOUS AREA AS FOLLOWS:	
LOT 1	300 S.F.
LOT 2	124 S.F.
<b>TOTAL REMAINING AREA</b>	<b>424 S.F.</b>



- ### LEGEND
- = EX. SANITARY LINE
  - = EX. STORM LINE
  - = EX. WATER LINE
  - = EX. UNDERGROUND CABLE (APPROXIMATE LOCATION)
  - = EX. UNDERGROUND ELECTRIC (APPROXIMATE LOCATION)
  - = EX. UNDERGROUND GAS (APPROXIMATE LOCATION)
  - = EX. UNDERGROUND TELEPHONE (APPROXIMATE LOCATION)
  - = EX. FENCE
  - = EX. OVERHEAD WIRE (APPROXIMATE LOCATION)
  - = EX. CONTOURS
  - = DOUBLE ROW SILT FENCE
  - = TREE PROTECTION FENCE
  - = PROPOSED CONTOURS
  - = WETLAND BOUNDARY AND BUFFER
  - = POND BOUNDARY AND BUFFER
  - = PROPOSED PERMEABLE PAVERS
  - = EX. SANITARY MANHOLE
  - = EX. STORM CATCH BASIN
  - = EX. STORM FLARED END SECTION
  - = EX. STORM INLET
  - = EX. STORM MANHOLE
  - = EX. VALVE VAULT
  - = EX. FIRE HYDRANT
  - = EX. SPOT ELEVATION
  - = EX. CONIFEROUS TREE W/TRUNK SIZE IN INCHES
  - = EX. DECIDUOUS TREE W/TRUNK SIZE IN INCHES

- ### ABBREVIATIONS
- |           |                          |
|-----------|--------------------------|
| ACU       | AIR CONDITIONER UNIT     |
| BC        | BACK OF CURB             |
| BM        | BENCHMARK                |
| CONC      | CONCRETE                 |
| CPP       | CORRUGATED PLASTIC PIPE  |
| DS        | DOWNSPOUT                |
| E         | EAST                     |
| EM        | ELECTRIC METER           |
| EP        | EDGE OF PAVEMENT         |
| FF        | FINISHED FLOOR           |
| GF        | GARAGE FLOOR             |
| GM        | GAS METER                |
| INV       | INVERT                   |
| N         | NORTH                    |
| PEDC      | CABLE PEDESTAL           |
| PEDE      | ELECTRIC PEDESTAL        |
| PEDT      | TELEPHONE PEDESTAL       |
| PVC       | POLYVINYL CHLORIDE PIPE  |
| R         | RADIUS                   |
| RCP       | REINFORCED CONCRETE PIPE |
| S         | SOUTH                    |
| TF        | TOP OF FOUNDATION        |
| TRANS     | TRANSFORMER              |
| T/        | TOP OF                   |
| VCP       | VITRIFIED CLAY PIPE      |
| W         | WEST                     |
| XXX.XX'   | MEASURED DIMENSION       |
| (XXX.XX') | RECORD DIMENSION         |

**TOPOGRAPHY NOTE:**  
TOPOGRAPHY LINE WORK SHOWN HEREON (INCLUDING TREES & CONTOURS) PER ELECTRONIC FILE RECEIVED FROM GASPAREC ELBERTS CONSULTING, LLC ON 06/18/2021.  
FOR CITY OF NAPERVILLE SURVEY MONUMENT, PLEASE SEE SHEET 11.

PREPARED FOR: DJK CUSTOM HOMES

DRAWN BY: AEC  
CHECKED BY: JPG  
APPROVED BY: JPG

**ENGINEERING RESOURCE ASSOCIATES**  
35701 WEST AVENUE, SUITE 150  
WARRENVILLE, ILLINOIS 60055  
PHONE (630) 393-3060  
FAX (630) 393-2152

10 S. RIVERSIDE PLAZA, SUITE 875  
CHICAGO, ILLINOIS 60606  
PHONE (312) 474-7841  
FAX (312) 474-6099

2416 GALEN DRIVE  
CHAMPAIGN, ILLINOIS 61821  
PHONE (217) 351-6268  
FAX (217) 355-1902

It's smart It's free It's the law

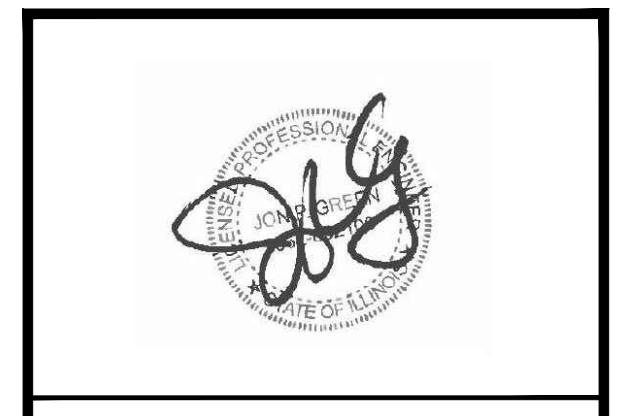
Call Before You Dig

**JULIE**  
ILLINOIS ONE-CALL SYSTEM

**Call before you dig**  
**800.892.0123**

REVISED DATE: DECEMBER 30, 2021  
REVISED DATE: NOVEMBER, 2, 2021  
REVISED DATE: AUGUST 20, 2021  
REVISED DATE: AUGUST 11, 2021  
SITE PLAN DATED: JULY 22, 2021

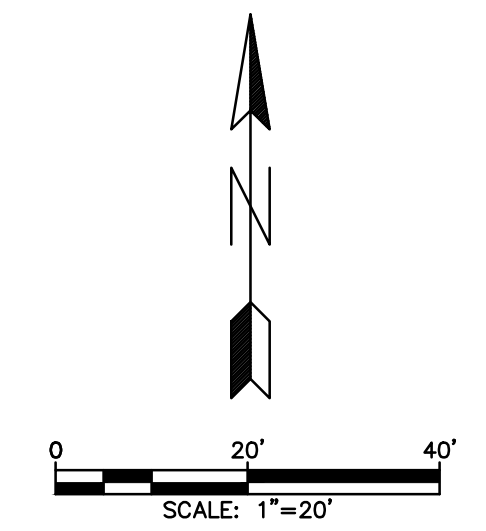
CITY OF NAPERVILLE PROJECT #21-10000101  
SHEET 1 OF 12  
PROFESSIONAL DESIGN FIRM NUMBER: 184.001186



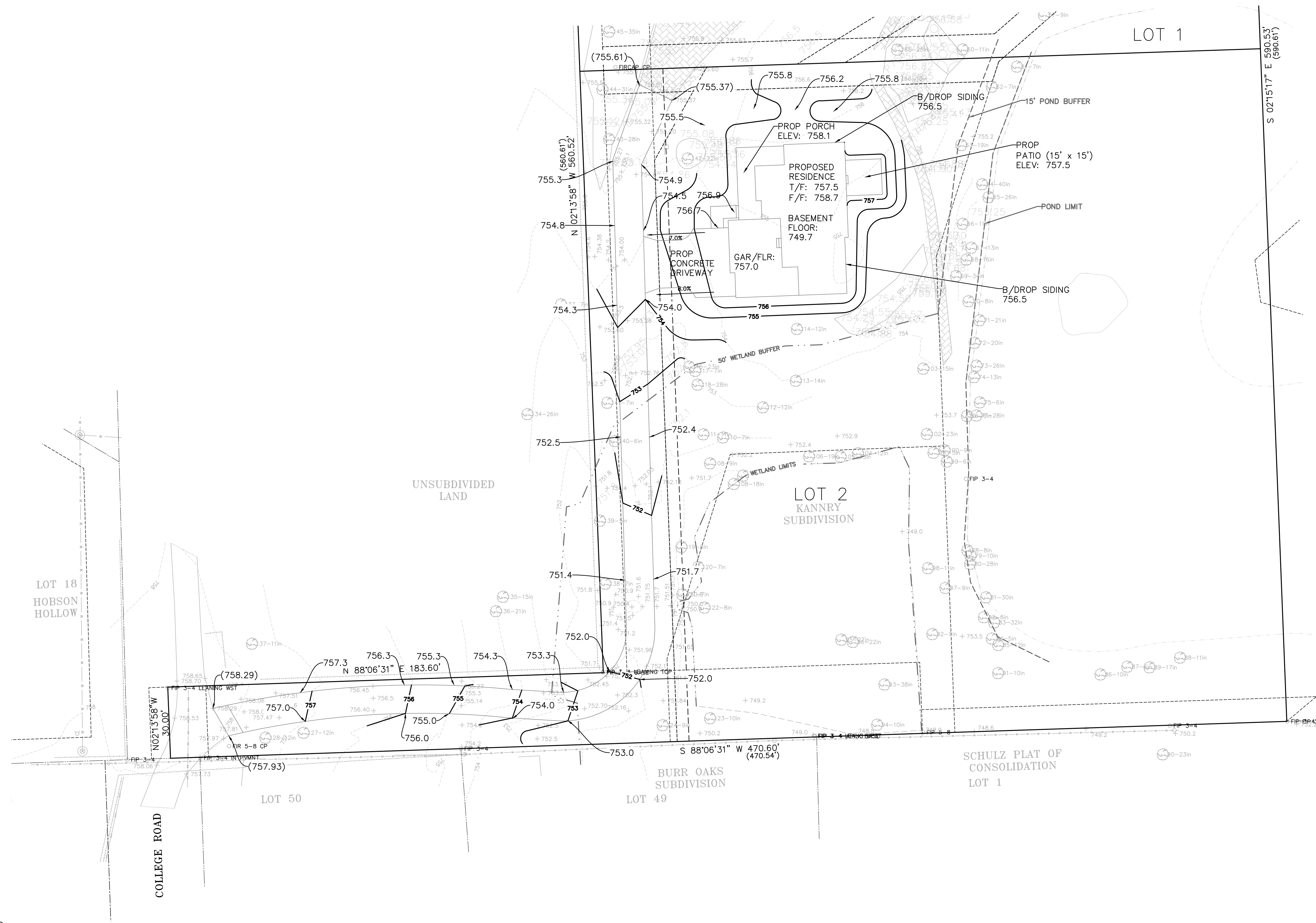
G:\PROJECTS\D\KustomHomes\W21154-00\_85201 Old College Rd., Naperville, Burke\CADD\W21154\_Site Engineering Plan.dwg Updated by: achalle 12/30/2021



# GRADING PLAN



- LEGEND**
- = PROPOSED CONTOURS
  - = WETLAND BOUNDARY AND BUFFER
  - = POND BOUNDARY AND BUFFER
  - = DROP SIDING AT 756.5



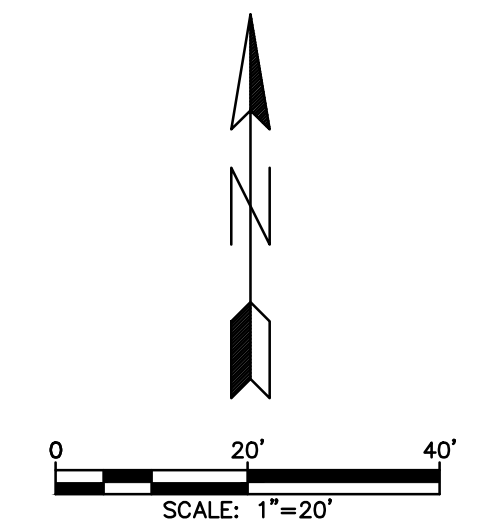
PREPARED FOR: DJK CUSTOM HOMES

<b>DRAWN BY:</b> AEC		<b>35701 WEST AVENUE, SUITE 150</b> WARRENVILLE, ILLINOIS 60555 PHONE (630) 393-3060 FAX (630) 393-2152	<b>10 S. RIVERSIDE PLAZA, SUITE 875</b> CHICAGO, ILLINOIS 60606 PHONE (312) 474-7841 FAX (312) 474-6099	<b>2416 GALEN DRIVE</b> CHAMPAIGN, ILLINOIS 61821 PHONE (217) 351-6268 FAX (217) 355-1902
<b>CHECKED BY:</b> JPG				
<b>APPROVED BY:</b> JPG				

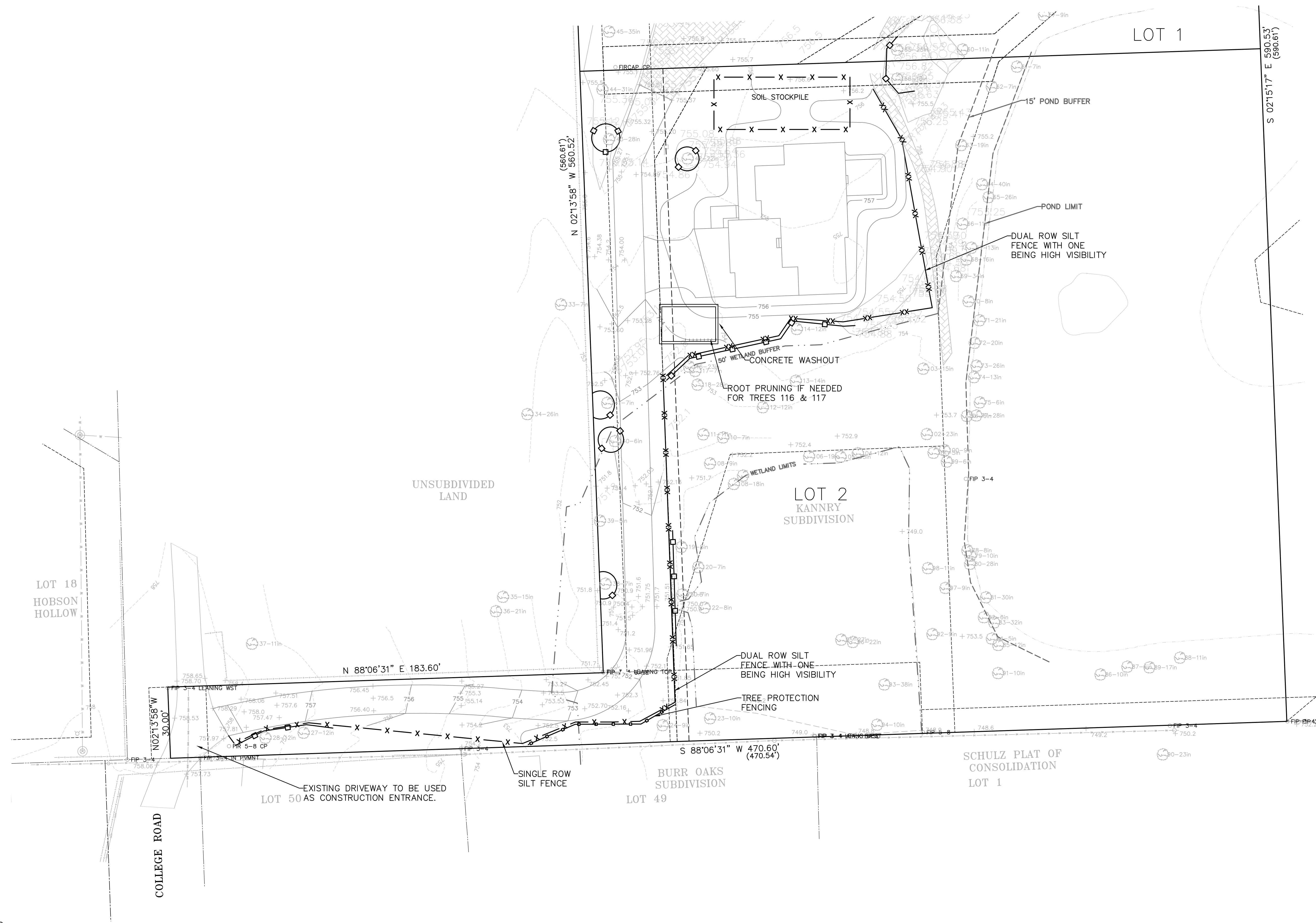
REVISED DATE: DECEMBER 30, 2021  
REVISED DATE: NOVEMBER 2, 2021  
SITE PLAN DATED: OCTOBER 15, 2021

SHEET 2 OF 12 PROFESSIONAL DESIGN FIRM NUMBER: 184.001186

# EROSION CONTROL PLAN



- LEGEND**
- X—X— = SINGLE ROW SILT FENCE
  - = DOUBLE ROW SILT FENCE
  - = TREE PROTECTION FENCE
  - - - - = WETLAND BOUNDARY AND BUFFER
  - - - - = POND BOUNDARY AND BUFFER



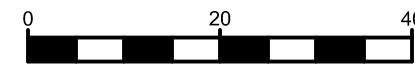
PREPARED FOR: DJK CUSTOM HOMES

<b>DRAWN BY:</b> AEC <b>CHECKED BY:</b> JPG <b>APPROVED BY:</b> JPG	 <b>ENGINEERING RESOURCE ASSOCIATES</b>	35701 WEST AVENUE, SUITE 150 WARRENVILLE, ILLINOIS 60555 PHONE (630) 393-3060 FAX (630) 393-2152	10 S. RIVERSIDE PLAZA, SUITE 875 CHICAGO, ILLINOIS 60606 PHONE (312) 474-7841 FAX (312) 474-6099	2416 GALEN DRIVE CHAMPAIGN, ILLINOIS 61821 PHONE (217) 351-6268 FAX (217) 355-1902
---	--	---	---	---

G:\PROJECTS\D\KustomHomes\W21154-00 85201 Old College Rd, Naperville, Burke CAD\W21154 Site Engineering Plan.dwg Updated by: echaile 12/30/2021



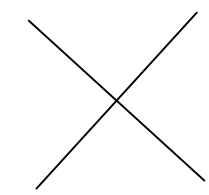
# EXISTING CONDITIONS AND DEMOLITION PLAN



## DEMOLITION LEGEND



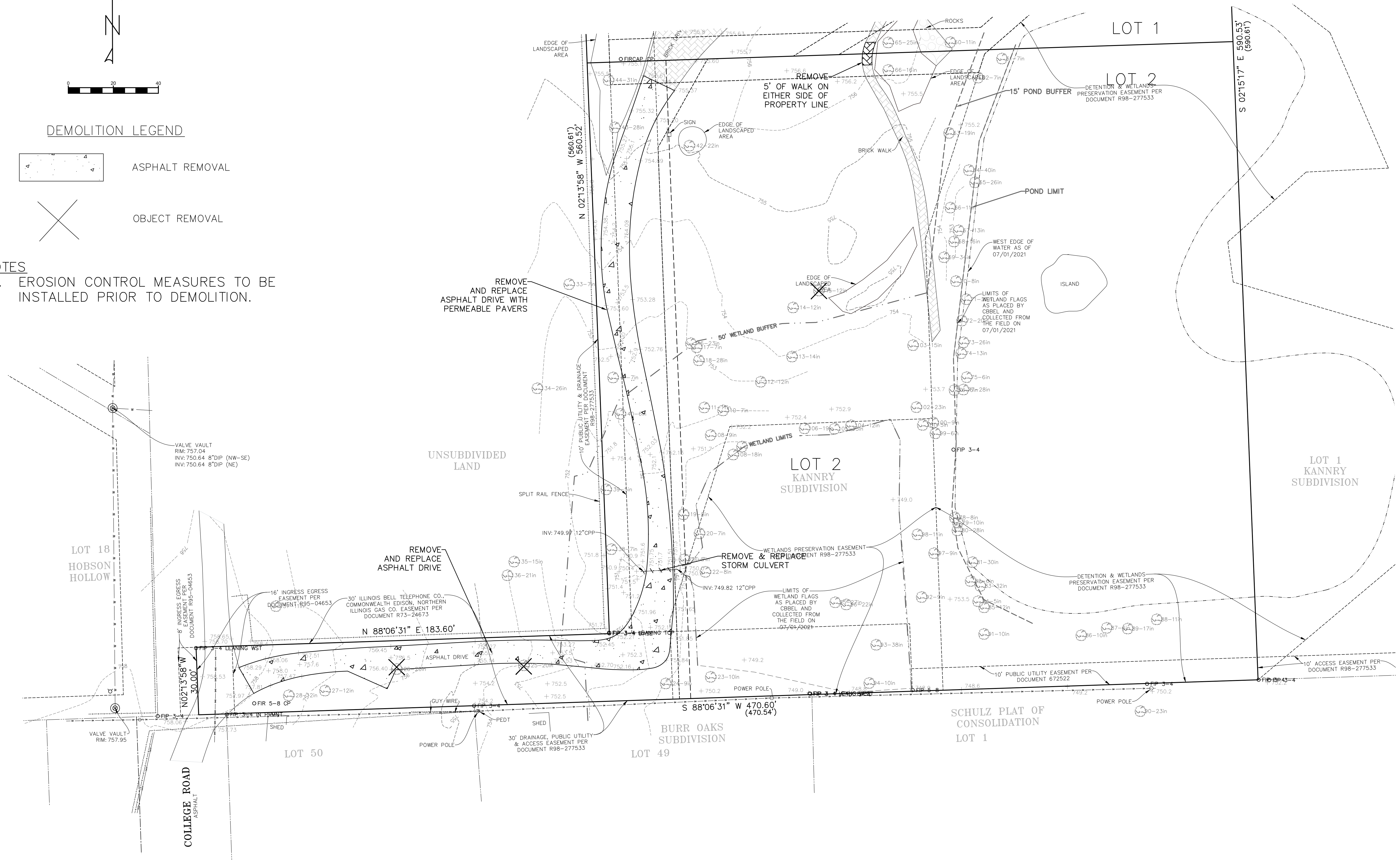
ASPHALT REMOVAL



OBJECT REMOVAL

## NOTES

1. EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO DEMOLITION.



PREPARED FOR: DJK CUSTOM HOMES

DRAWN BY: AEC  
 CHECKED BY: JPG  
 APPROVED BY: JPG



35701 WEST AVENUE, SUITE 150  
 WARRENVILLE, ILLINOIS 60055  
 PHONE (630) 393-3060  
 FAX (630) 393-2152

10 S. RIVERSIDE PLAZA, SUITE 875  
 CHICAGO, ILLINOIS 60606  
 PHONE (312) 474-7841  
 FAX (312) 474-6099

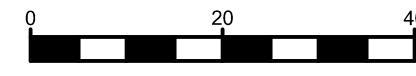
2416 GALEN DRIVE  
 CHAMPAIGN, ILLINOIS 61821  
 PHONE (217) 351-6268  
 FAX (217) 355-1902

PLAN REVISED: AUGUST 20, 2021  
 PLAN DATED: JULY 27, 2021

SHEET 4 OF 12 PROFESSIONAL DESIGN FIRM NUMBER: 184.001186



# UTILITY PLAN SHEET 1



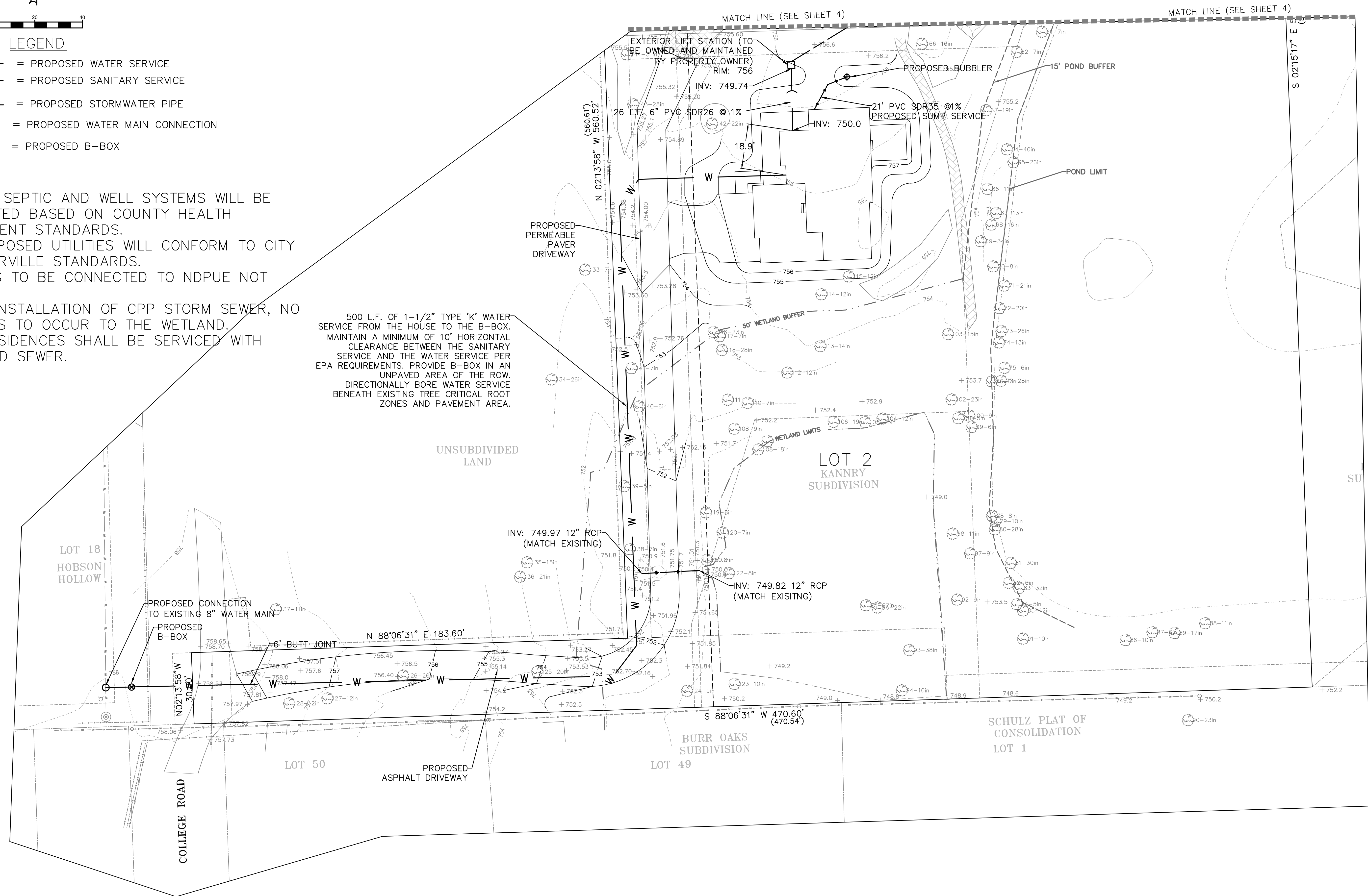
## LEGEND

- = PROPOSED WATER SERVICE
- = PROPOSED SANITARY SERVICE
- = PROPOSED STORMWATER PIPE
- = PROPOSED WATER MAIN CONNECTION
- = PROPOSED B-BOX

## NOTES

1. EXISTING SEPTIC AND WELL SYSTEMS WILL BE TERMINATED BASED ON COUNTY HEALTH DEPARTMENT STANDARDS.
2. ALL PROPOSED UTILITIES WILL CONFORM TO CITY OF NAPERVILLE STANDARDS.
3. HOUSE IS TO BE CONNECTED TO NDPUE NOT COMED.
4. DURING INSTALLATION OF CPP STORM SEWER, NO IMPACT IS TO OCCUR TO THE WETLAND.
5. BOTH RESIDENCES SHALL BE SERVICED WITH OVERHEAD SEWER.

500 L.F. OF 1-1/2" TYPE 'K' WATER SERVICE FROM THE HOUSE TO THE B-BOX. MAINTAIN A MINIMUM OF 10' HORIZONTAL CLEARANCE BETWEEN THE SANITARY SERVICE AND THE WATER SERVICE PER EPA REQUIREMENTS. PROVIDE B-BOX IN AN UNPAVED AREA OF THE ROW. DIRECTIONALLY BORE WATER SERVICE BENEATH EXISTING TREE CRITICAL ROOT ZONES AND PAVEMENT AREA.



PREPARED FOR: DJK CUSTOM HOMES

DRAWN BY: AEC  
 CHECKED BY: JPG  
 APPROVED BY: JPG



35701 WEST AVENUE, SUITE 150  
 WARRENVILLE, ILLINOIS 60555  
 PHONE (630) 393-3060  
 FAX (630) 393-2152

10 S. RIVERSIDE PLAZA, SUITE 875  
 CHICAGO, ILLINOIS 60606  
 PHONE (312) 474-7841  
 FAX (312) 474-6099

2416 GALEN DRIVE  
 CHAMPAIGN, ILLINOIS 61821  
 PHONE (217) 351-6268  
 FAX (217) 355-1902

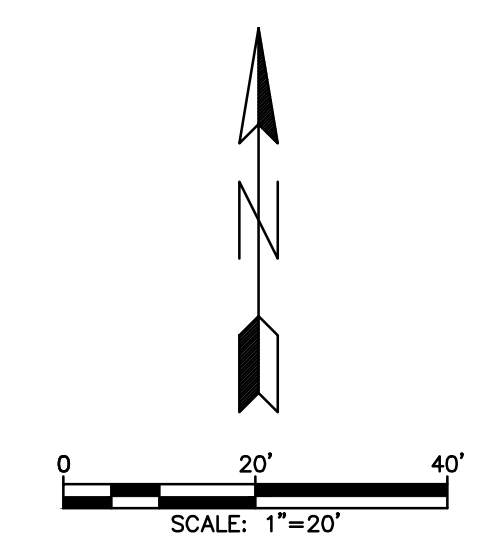
REVISED DATE: DECEMBER 30, 2021  
 PLAN DATED: AUGUST 19, 2021

SHEET 5 OF 12

PROFESSIONAL DESIGN FIRM NUMBER: 184.001186



# UTILITY PLAN SHEET 2

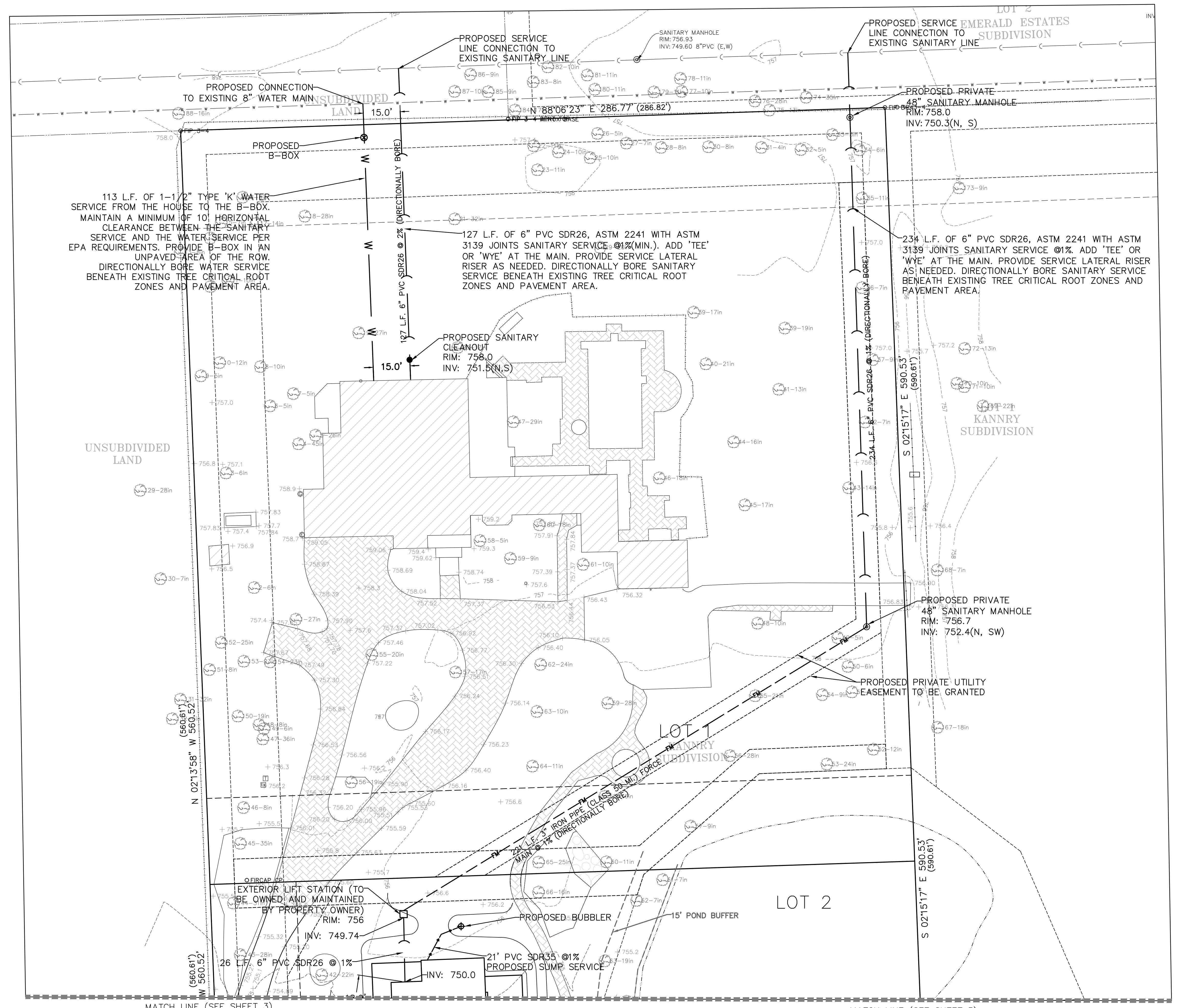


## LEGEND

- = PROPOSED SANITARY SERVICE
- = PROPOSED WATER SERVICE
- = PROPOSED SANITARY MANHOLE
- = PROPOSED SANITARY CLEANOUT
- = PROPOSED B-BOX

## NOTES

1. SANITARY EASEMENTS TO BE DEDICATED PRIOR TO SANITARY SERVICE INSTALLATION.
2. EXISTING SEPTIC AND WELL SYSTEMS WILL BE TERMINATED BASED ON COUNTY HEALTH DEPARTMENT STANDARDS.
3. ALL PROPOSED UTILITIES WILL CONFORM TO CITY OF NAPERVILLE STANDARDS.
4. BOTH RESIDENCES WILL BE SERVICED VIA OVERHEAD SEWERS
5. FORCEMAIN IS TO BE INSULATED ACCORDING TO THE CITY DETAIL ON SHEET 11
6. SANITARY CLEANOUTS AND MANHOLES ARE TO BE PLACED AFTER PIPES ARE DIRECTIONALLY BORED.



PREPARED FOR: DJK CUSTOM HOMES

<p><b>DRAWN BY:</b> AEC</p> <p><b>CHECKED BY:</b> JPG</p> <p><b>APPROVED BY:</b> JPG</p>	<p><b>ENGINEERING RESOURCE ASSOCIATES</b></p>	<p>35701 WEST AVENUE, SUITE 150 WARRENVILLE, ILLINOIS 60555 PHONE (630) 393-3060 FAX (630) 393-2152</p>	<p>10 S. RIVERSIDE PLAZA, SUITE 875 CHICAGO, ILLINOIS 60606 PHONE (312) 474-7841 FAX (312) 474-6099</p>	<p>2416 GALEN DRIVE CHAMPAIGN, ILLINOIS 61821 PHONE (217) 351-6268 FAX (217) 355-1902</p>
--	---	---	---	---

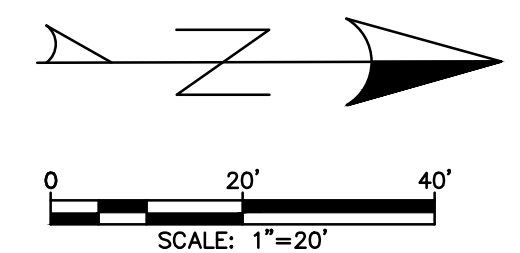
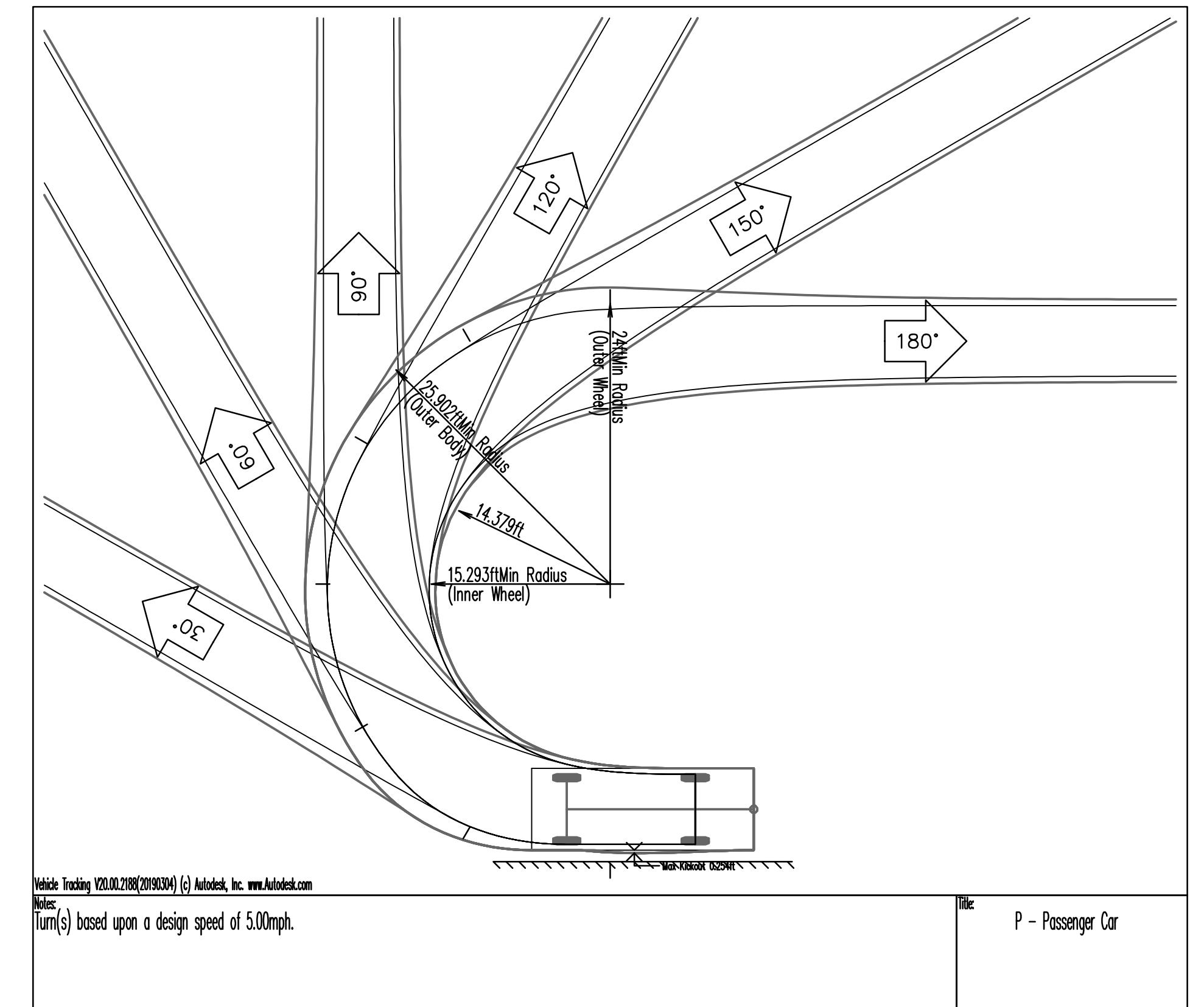
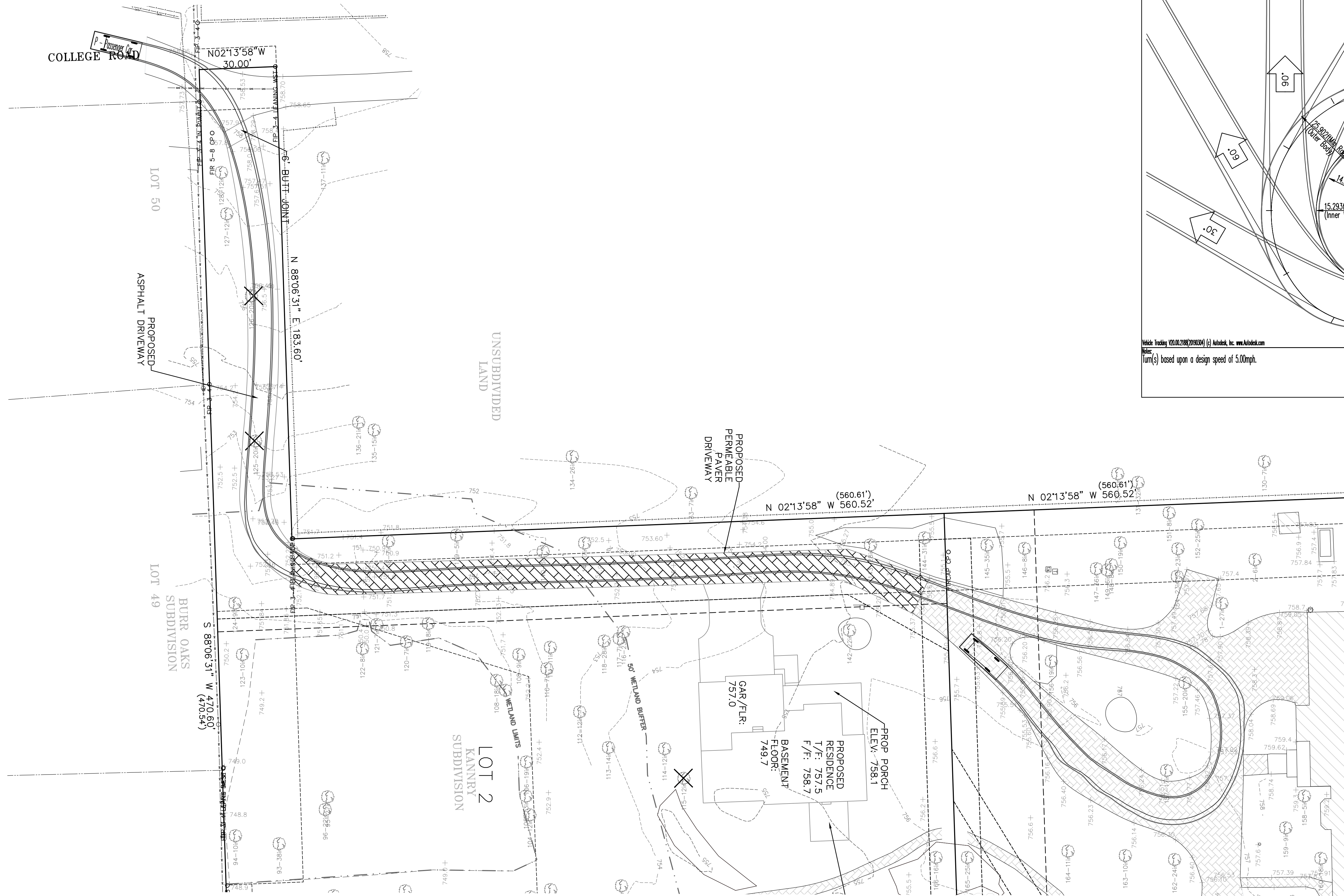
REVISED DATE: DECEMBER 30, 2021  
 REVISED DATE: NOVEMBER 2, 2021  
 PLAN DATED: AUGUST 19, 2021

SHEET 6 OF 12 PROFESSIONAL DESIGN FIRM NUMBER: 184.001186

G:\PROJECTS\D\KustomHomes\W21154-00 85201 Old College Rd., Naperville, Burke\CADD\W21154 Site Engineering Plan.dwg Updated by: achalle 12/30/2021



# TURN ANALYSIS



PREPARED FOR: DJK CUSTOM HOMES

DRAWN BY: AEC  
 CHECKED BY: JPG  
 APPROVED BY: JPG



35701 WEST AVENUE, SUITE 150  
 WARRENVILLE, ILLINOIS 60055  
 PHONE (630) 393-3060  
 FAX (630) 393-2152

10 S. RIVERSIDE PLAZA, SUITE 875  
 CHICAGO, ILLINOIS 60606  
 PHONE (312) 474-7841  
 FAX (312) 474-6099

2416 GALEN DRIVE  
 CHAMPAIGN, ILLINOIS 61821  
 PHONE (217) 351-6268  
 FAX (217) 355-1902

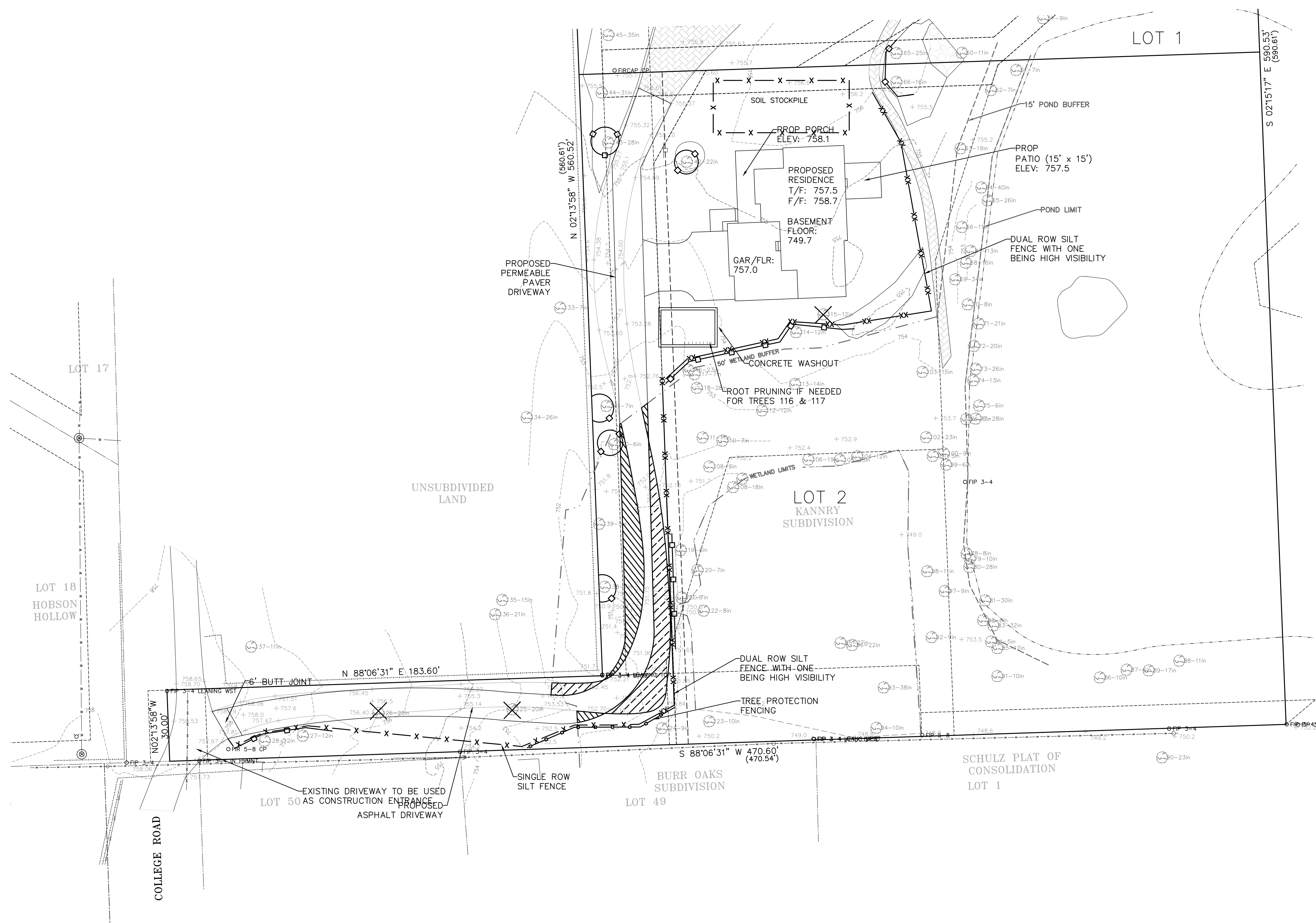
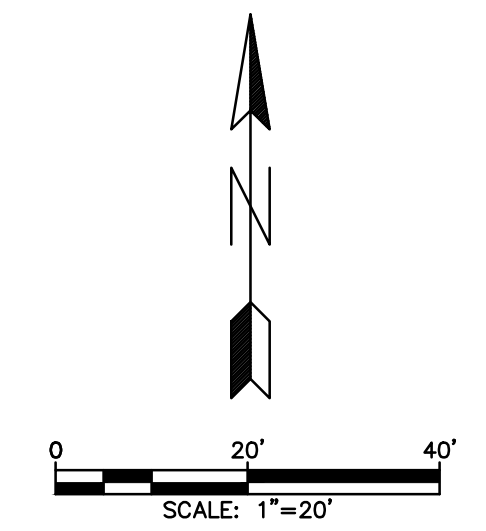
PLAN DATED: AUGUST 31, 2021

SHEET 7 OF 12


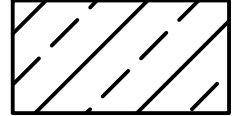
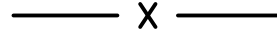
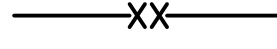
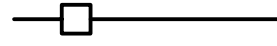
PROFESSIONAL DESIGN FIRM NUMBER: 184.001186



# WETLAND BUFFER IMPACT PLAN



## LEGEND

-  BUFFER IMPACT AREA – TURF TO DRIVEWAY (.015 ACRE)
-  BUFFER ENHANCEMENT AREA – DRIVEWAY TO TURF (.020 ACRE)
-  = SINGLE ROW SILT FENCE
-  = DOUBLE ROW SILT FENCE
-  = TREE PROTECTION FENCE

PREPARED FOR: DJK CUSTOM HOMES

<b>ENGINEERING</b> RESOURCE ASSOCIATES	35701 WEST AVENUE, SUITE 150 WARRENVILLE, ILLINOIS 60555 PHONE (630) 393-3060 FAX (630) 393-2152	10 S. RIVERSIDE PLAZA, SUITE 875 CHICAGO, ILLINOIS 60606 PHONE (312) 474-7841 FAX (312) 474-6099	2416 GALEN DRIVE CHAMPAIGN, ILLINOIS 61821 PHONE (217) 351-6268 FAX (217) 355-1902
	DRAWN BY: AEC CHECKED BY: JPG APPROVED BY: JPG		
	PLAN DATED: AUGUST 27, 2021		

PLAN DATED: AUGUST 27, 2021

SHEET 8 OF 12

PROFESSIONAL DESIGN FIRM NUMBER: 184.001186

G:\PROJECTS\D\KustomHomes\W21154-00\_85201\_Old College Rd., Naperville, Burke\CADD\W21154\_Site Engineering Plan.dwg Updated by: achalle 12/30/2021



**NOTES:**

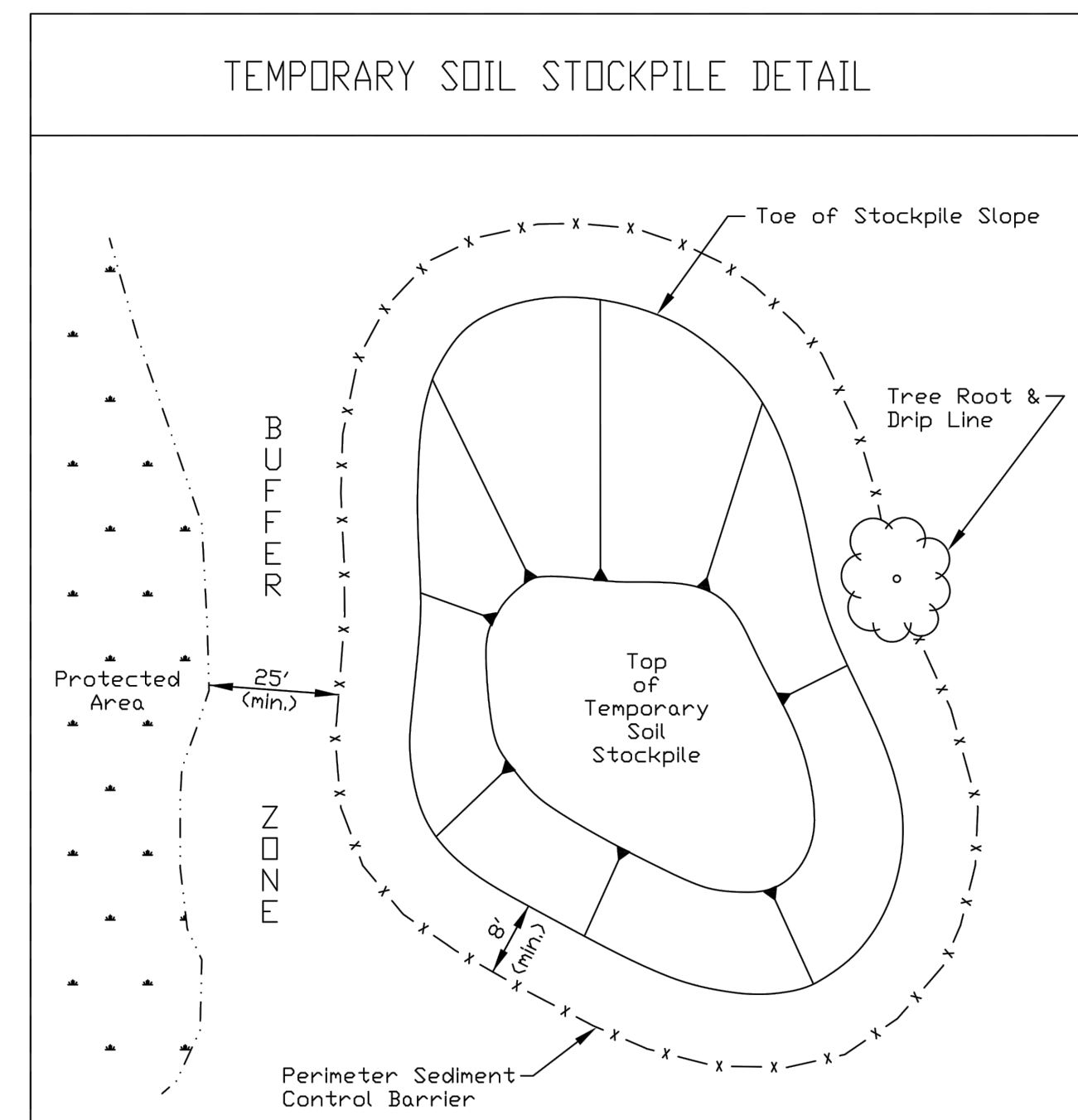
- ANY DEMOLITION SHALL BE REMOVED IN ACCORDANCE WITH THE CITY CODE OF NAPERVILLE RELATED TO STANDARDS FOR DEMOLITION AND CONSTRUCTION WORK IN THE CITY.
- THE SITE MUST BE KEPT SAFE AND CLEAN. ALL CONSTRUCTION DEBRIS AND DEMOLITION MATERIAL MUST BE REMOVED AND/OR PLACED IN THE APPROPRIATE CONTAINERS.
- DUST AND AIRBORNE PARTICLES SHALL BE CONTROLLED DURING DEMOLITION BY SPRAYING WATER ON STRUCTURES TO BE RAZED BY MEANS OF A WATER TRUCK AND SPRAYING EQUIPMENT.
- MULCH MAT CONSTRUCTION ENTRANCE SHALL EXTEND INTO LOT TO PROVIDE SUFFICIENT AREA TO WASH DOWN VEHICLES. MULCH MAT SHALL HAVE A MINIMUM DEPTH OF 10 INCHES.
- CONTRACTOR SHALL KEEP STREETS CLEAN.
- NO MATERIAL SHALL BE STORED WITHIN 10 FEET OF ANY LOT LINE.
- AT TIME OF BACKFILL, SWALES WILL BE CONSTRUCTED TO PROTECT NEIGHBORING PROPERTY OWNERS.
- THE PROPOSED PORTABLE TOILET SHALL NOT BE PLACED WITHIN 10 FEET OF ANY LOT LINE.
- MINIMUM HORIZONTAL SEPARATION OF 10.0 FEET SHALL BE MAINTAINED BETWEEN WATER AND SEWER SERVICES.
- EXISTENCE OF UTILITY STUBS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION OF PROPOSED SERVICES.
- WHEN PREPARING FOR CONSTRUCTION OF FOUNDATION, PUMPING OF STORMWATER OUT OF EXCAVATED AREAS MAY BE REQUIRED. DEWATERING DISCHARGE SHALL BE PUMPED TO THE FRONT TO EXISTING REGALIA DRIVE CURB AND GUTTER. DEWATERING SHALL INCLUDE FILTERING OF WATER BEFORE IT LEAVES SITE.
- CONSTRUCTION SCHEDULE:
  - SEDIMENT AND EROSION CONTROL AND TREE PROTECTION FACILITIES SHALL BE INSTALLED. - WINTER 2021
  - RESTORE DISTURBED AREAS, BACKFILL FOUNDATION & EXISTING SWALES. - WINTER 2021
  - CONSTRUCT PROPOSED FOUNDATION, PATIO, & DRIVEWAY. - WINTER 2021
  - PREPARE AND SUBMIT RECORD DRAWINGS. - FALL 2022
  - LANDSCAPING AND PLANT LAWN AND REMOVE TEMPORARY FENCING. - FALL 2022
- PARKING DATA: MAXIMUM CONTRACTOR VEHICLES: 8.
- WASH DOWN AREA FOR CONSTRUCTION VEHICLES SHALL BE LOCATED ON SITE SOUTH OF CONSTRUCTION ENTRANCE (WITH SILT FENCE PROTECTION FOR RUN OFF).
- EXISTING DRIVE TO BE USED AS CONSTRUCTION ENTRANCE.

**GRADING:**

- FINISHED SURFACES TO BE SMOOTH AND EVEN WITH NO ABRUPT OR AWKWARD CHANGES IN GRADE. PAVING AND SEED AREAS ARE TO MEET FLUSH AND SMOOTH.
- NEW PAVEMENT TO MATCH EXISTING PAVEMENT SMOOTH AND FLUSH.
- CONTRACTOR SHALL RESTORE (WITH TOPSOIL AND SOD) ALL AREAS DISTURBED AS A RESULT OF CONSTRUCTION ACTIVITY. TOPSOIL AND SOD RESTORATION OUTSIDE OF CONSTRUCTION LIMITS WILL BE AT CONTRACTOR'S EXPENSE.
- THE OWNER RESERVES THE RIGHT TO MAKE MINOR ADJUSTMENTS IN LINES AND GRADES AS THE WORK PROGRESSES WHENEVER SUCH CHANGES ARE CONSIDERED NECESSARY TO BETTER ACCOMPLISH THE INTENT OF THE DRAWINGS OR TO OBTAIN A CLOSER BALANCE BETWEEN CUT AND FILL.
- CONTRACTOR TO INSTALL EROSION CONTROL MEASURES AS REQUIRED TO ELIMINATE SEDIMENTATION INTO NON-CONSTRUCTION AREAS.
- SOD STAPLES ARE TO BE PLACED ON ALL SLOPES GRADED 3:1 OR GREATER.

**RESTORATION:**

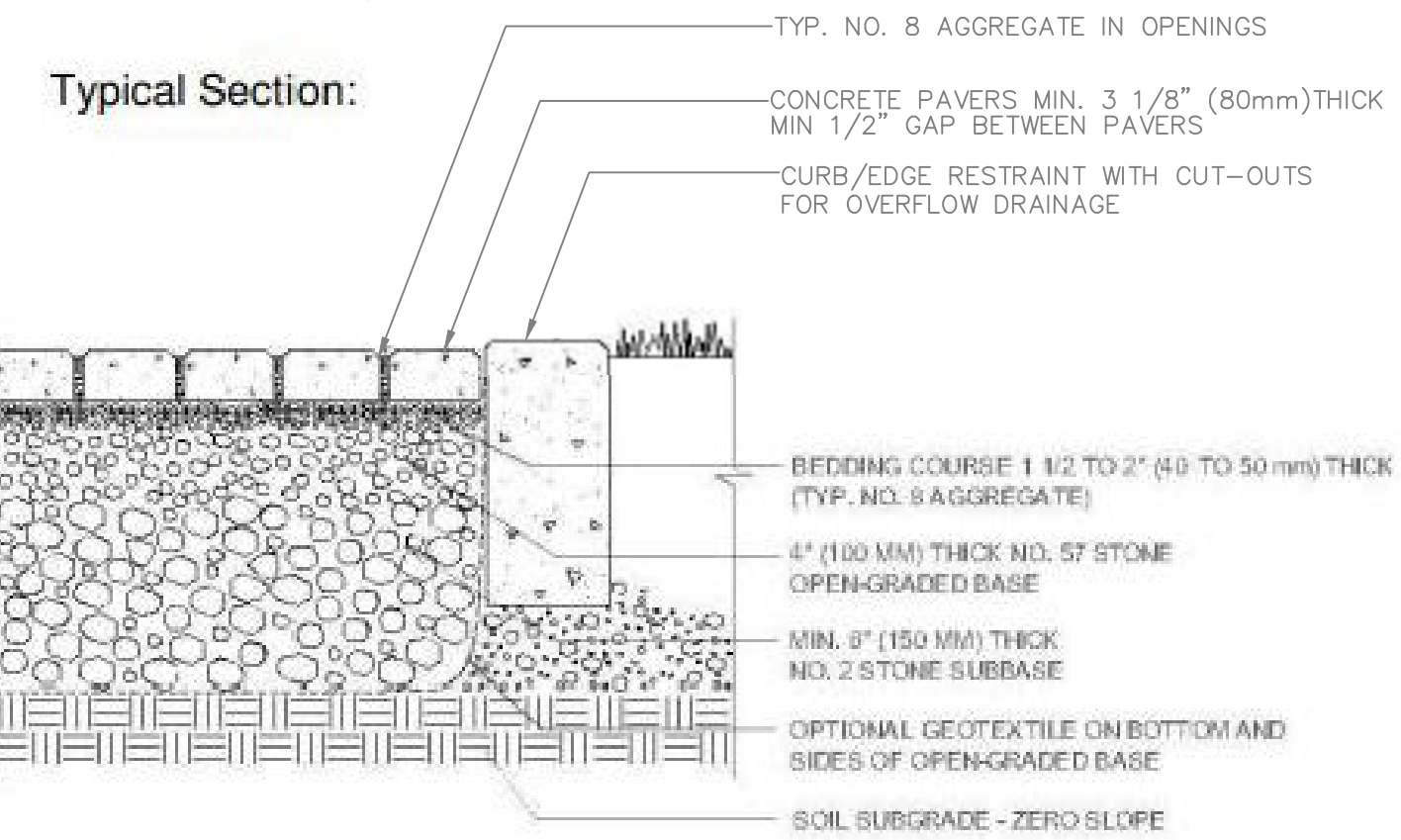
- RESTORATION SHALL INCLUDE TOPSOIL, SEEDING, SODDING, FERTILIZER, MULCH AND THE NECESSARY CARE TO OBTAIN AN ACCEPTABLE STAND OF GRASS.
- TOPSOIL SHALL BE STOCKPILED AND RESPREAD ON ALL DISTURBED AREAS AS PART OF EARTHWORK, SITE ACCESS AREAS, AND ANY OTHER AREAS DISTURBED BY CONSTRUCTION.
- SOD RESTORATION SHALL INCLUDE ANY AREAS DISTURBED BY CONTRACTOR OUTSIDE THE EARTHWORK AND GRADING AREAS SHOWN ON THE PLANS AND SHALL BE RESTORED BY CONTRACTOR AT HIS OWN EXPENSE.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL EQUIPMENT NECESSARY FOR ESTABLISHMENT OF SOD, INCLUDING WATERING EQUIPMENT, WATER, AND HOSES.
- DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) DAYS.



**NOTES:**

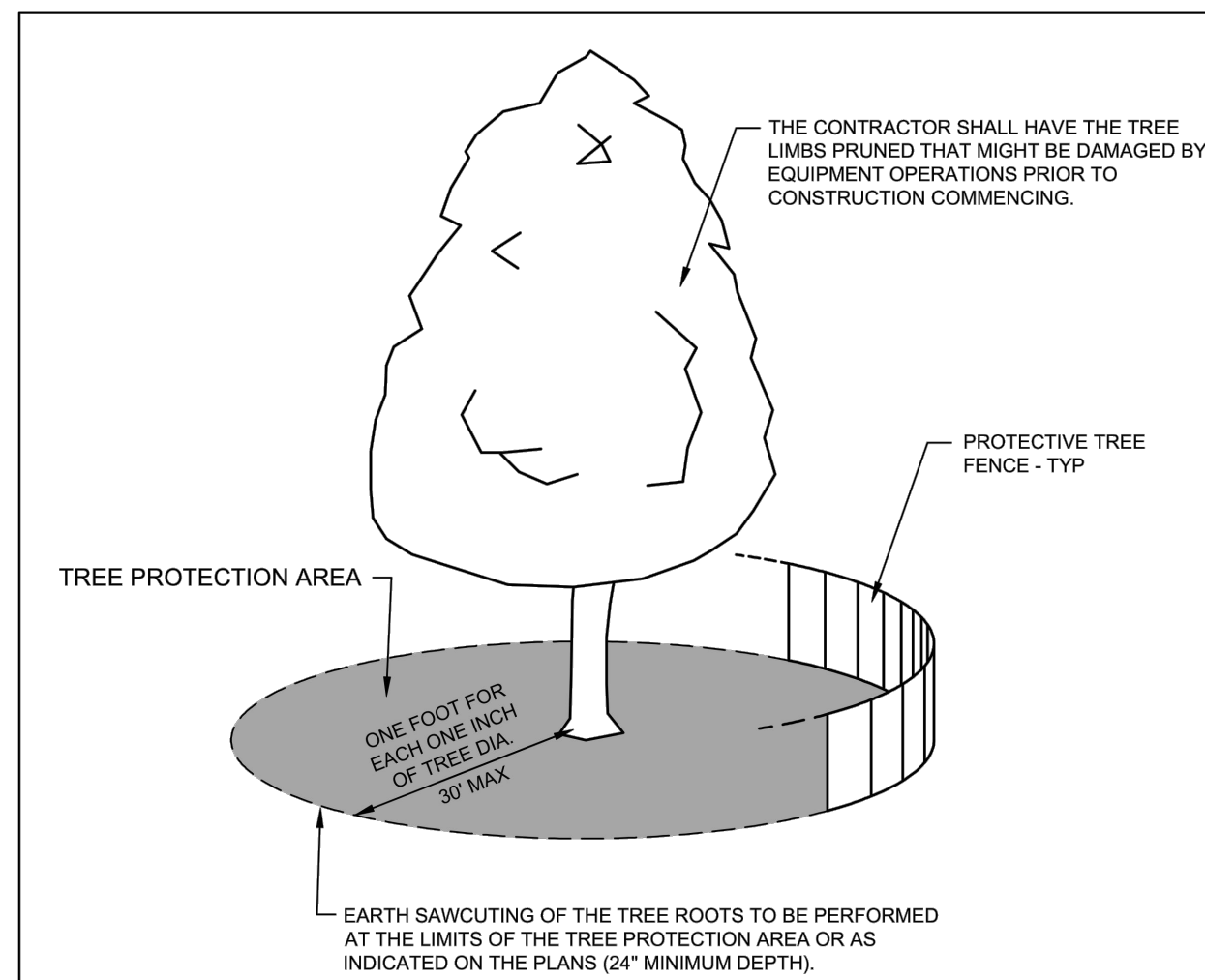
- Stockpile slopes should be based on an angle of repose of the soil material to avoid potential sloughing of the slope.
- Soil stockpile to be stabilized in accordance with practical standards.
- Do not locate stockpile within overland drainage flow path, designated floodways, drip line or over the root crown of adjacent trees.
- Provisions for sediment control practices may be required along haul roads and entrance/exit locations for access the soil stockpile that can create flow path for stormwater runoff.
- Installation of benches, terraces, or slope interrupters should be considered.
- Avoid building soil stockpiles on impervious surfaces.
- Linear sediment trap surrounding the stockpile base may be used to control sediment.

REFERENCE Project	DESIGNED Date	CHECKED Date	APPROVED Date
STANDARD DVG. NO. IUM-627	SHEET 1 OF 1		
DATE JANUARY 2017			



**Figure 3-13 Typical Permeable Paver Cross Section**  
(Interlocking Concrete Pavement Institute ICPI-68 Permeable pavers - full exfiltration)

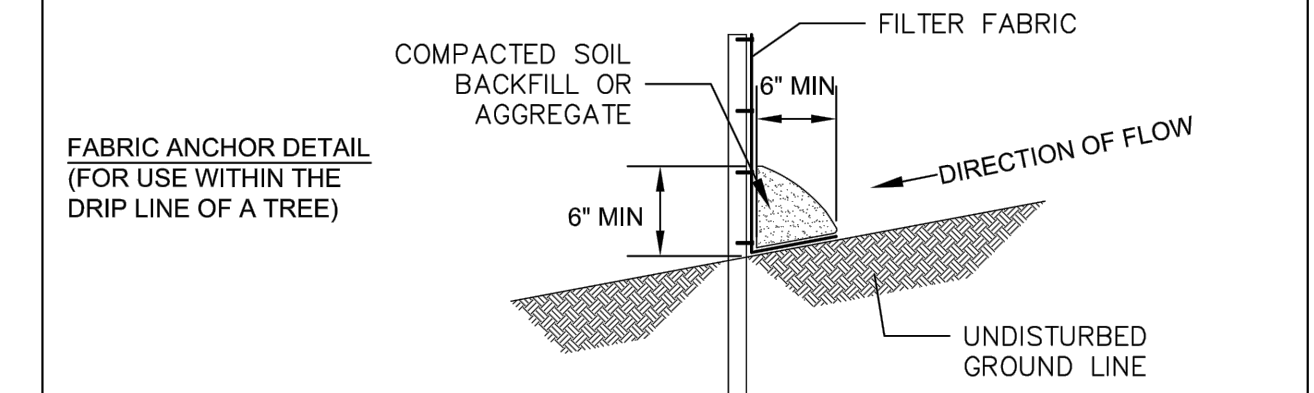
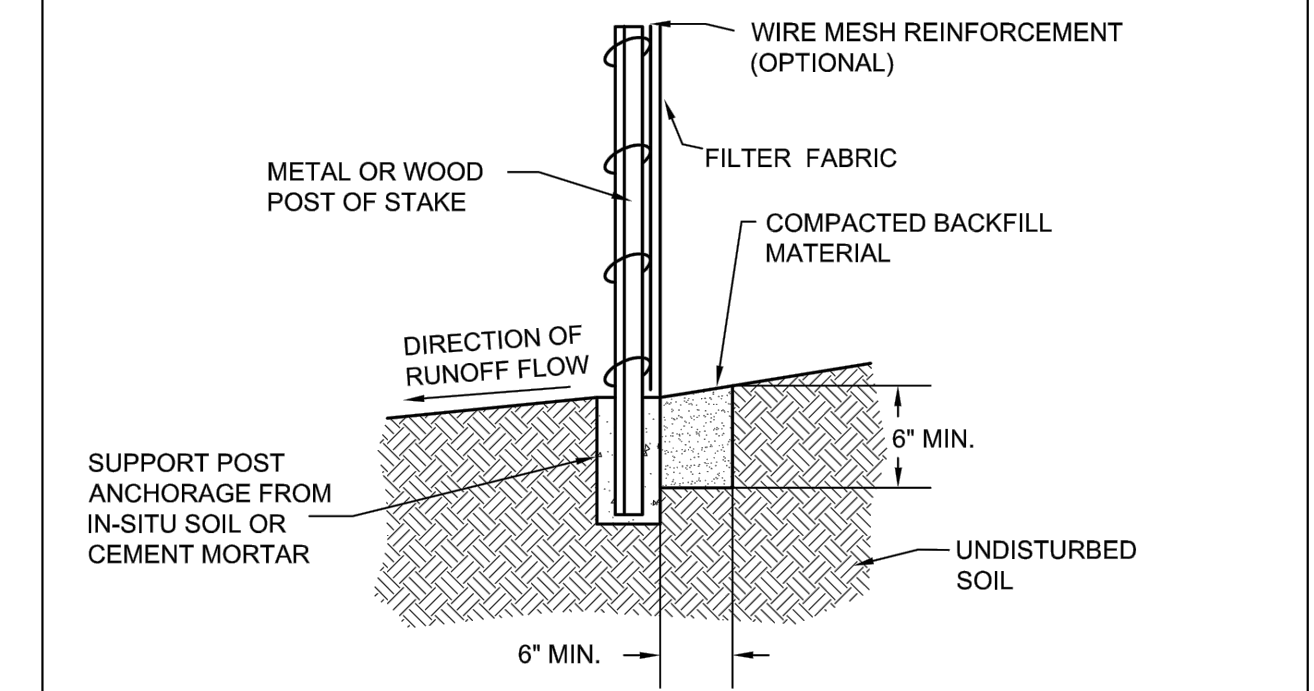
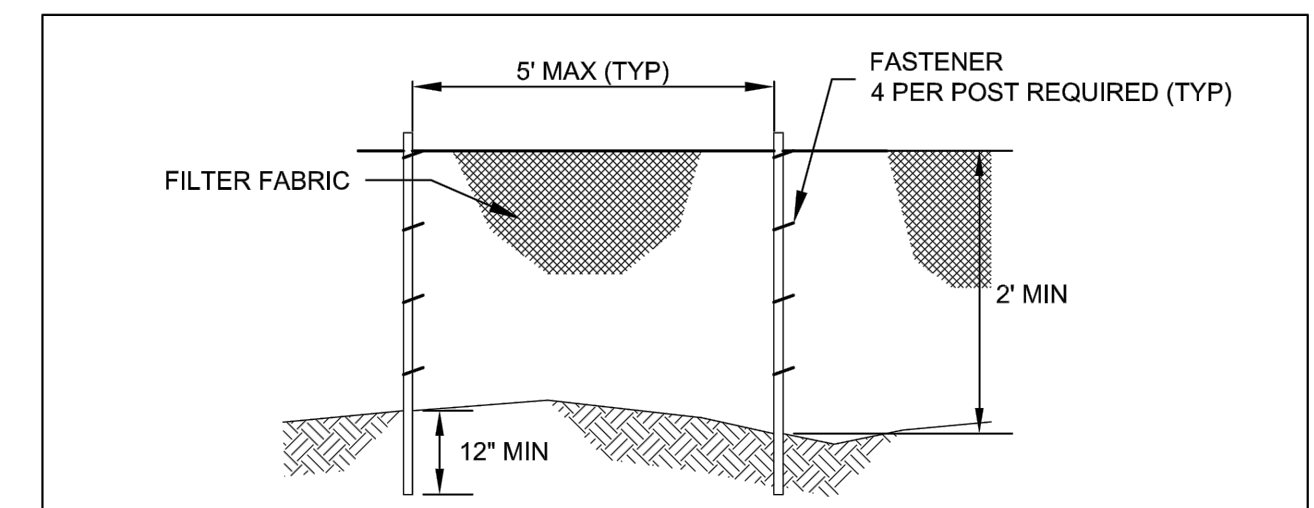
46  
Section 3.2.2.4



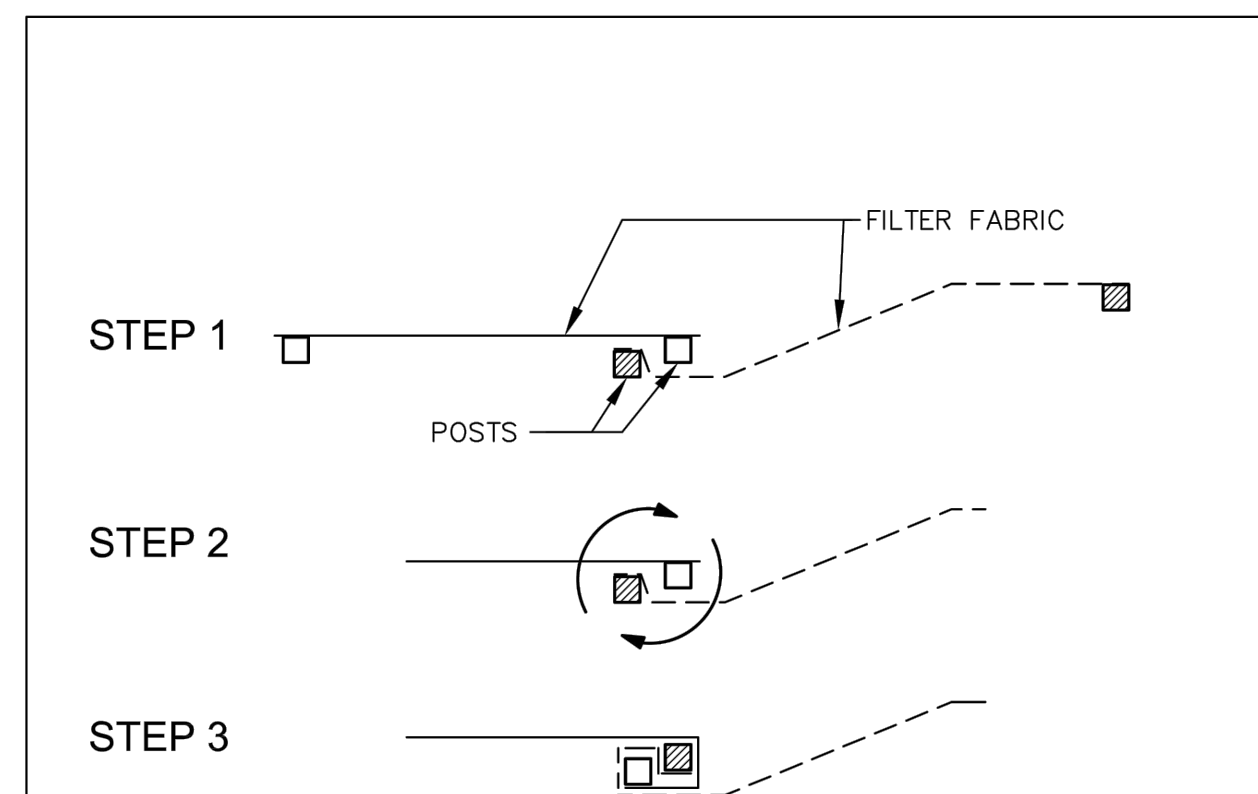
**NOTES:**

- A TREE PROTECTION AREA SHALL BE ESTABLISHED AROUND A TREE A DISTANCE OF ONE FOOT FOR EACH ONE INCH OF TREE DIAMETER, UP TO A MAXIMUM OF 30 FEET.
- PROTECTIVE TREE FENCE SHALL BE INSTALLED AT THE LIMITS OF THE TREE PROTECTION AREA. THE FENCE SHALL BE HIGH ENOUGH SO AS TO BE VISIBLE TO ALL CONSTRUCTION PERSONNEL.
- GRADE CHANGES, UTILITY TRENCHES, STORAGE OF CONSTRUCTION MATERIAL, DUMPING OF WASTE, OR OPERATION OR STORAGE OF ANY EQUIPMENT SHALL NOT BE ALLOWED WITHIN THE TREE PROTECTION AREA.
- AUGURING IS REQUIRED IF A UTILITY MUST BE INSTALLED WITHIN THE TREE PROTECTION AREA. AUGURED UTILITIES MUST BE A MINIMUM OF 24 INCHES BELOW GRADE.
- ALL TREES TO BE SAVED WHICH HAVE BEEN SUBJECTED TO CONSTRUCTION ACTIVITY WITHIN THE TREE PROTECTION AREA SHOULD BE SELECTIVELY THINNED 10% BY AN ARBORIST SKILLED AT THE SELECTIVE THINNING PROCEDURE. NONE OF THE TREES SHALL BE TOPPED, HEADED BACK, SKINNED (REMOVAL OF THE INTERIOR BRANCHES), OR CLIMBED WITH SPIKES. ALL DEAD WOOD SHOULD BE REMOVED TO AVOID HAZARD.
- IT IS RECOMMENDED THAT FOLLOWING CONSTRUCTION, TREES BE MAINTAINED IN THEIR NATIVE CONDITION. NO LAWN SHOULD BE PLACED AROUND THE TREES. IT IS RECOMMENDED THAT THE AREA BE MULCHED WITH 2 INCHES OF DECOMPOSED LEAVES AND 2 INCHES OF WOOD CHIPS OR BARK.

City of Naperville STANDARD DETAIL	TEMPORARY EROSION CONTROL MEASURE - SILT FENCE	LANDSCAPE 10
REVISOR: 08/01/2018	SHEET 1 OF 1	790.10



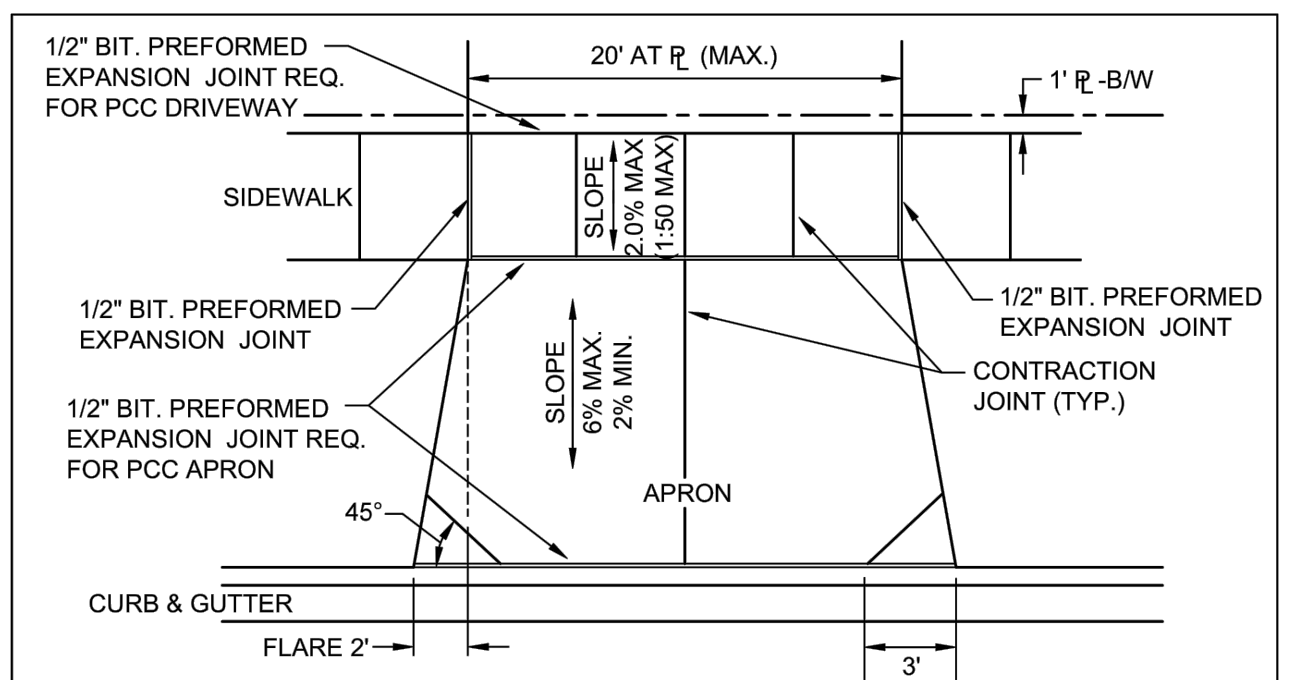
City of Naperville STANDARD DETAIL	TEMPORARY EROSION CONTROL MEASURE - SILT FENCE	LANDSCAPE 3
REVISOR: 01/01/2013	SHEET 1 OF 2	790.03



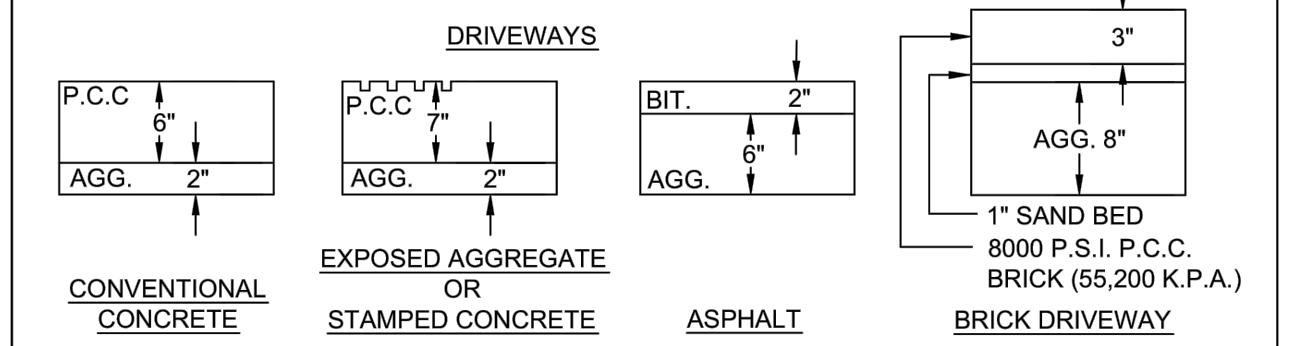
- STEPS FOR THE ATTACHMENT OF TWO SILT FENCES:**
- PLACE THE END POST OF THE SECOND FENCE INSIDE THE END POST OF THE FIRST FENCE.
  - ROTATE BOTH POSTS AT LEAST 180 DEGREES IN A CLOCKWISE DIRECTION TO CREATE A TIGHT SEAL WITH THE FABRIC MATERIAL.
  - DRIVE BOTH POSTS A MINIMUM OF 18 INCHES INTO THE GROUND AND BURY THE FLAP.

- NOTES:**
- TEMPORARY SILT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING WORK IN THE AREA TO BE PROTECTED. THEY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND REMOVED IN CONJUNCTION WITH THE FINAL GRADING AND SITE STABILIZATION.
  - FILTER FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 GEOTEXTILE TABLE 1 OR 2, CLASS I WITH EQUIVALENT OPENING SIZE OF AT LEAST 30 FOR NON-WOVEN OR 50 FOR WOVEN.
  - FENCE POSTS SHALL BE EITHER STANDARD STEEL POST OR WOOD POST WITH A MINIMUM CROSS-SECTIONAL AREA OF 3.0 SQ. IN.
  - DEPENDING UPON THE CONFIGURATION, ATTACH FABRIC AND WIRE MESH WITH HOG RINGS, STEEL POST WITH TIE WIRES, WOOD POST WITH NAILS.

City of Naperville STANDARD DETAIL	TEMPORARY EROSION CONTROL MEASURE - SILT FENCE	LANDSCAPE 3
REVISOR: 01/01/2013	SHEET 2 OF 2	790.03



- NOTES:**
- DRIVEWAYS SHALL NOT EXCEED 20' IN WIDTH MEASURED AT THE RIGHT-OF-WAY LINE.
  - DRIVEWAYS SHALL NOT ENCROACH OVER THE PROPERTY LINE EXTENSION IN THE PARKWAY.
  - DRIVEWAYS SHALL NOT BE CONSTRUCTED IN EASEMENTS.
  - ALL AGGREGATE SUB-BASE SHALL BE MECHANICALLY COMPACTED.
  - SIDEWALK SHALL CONTINUE THROUGH DRIVEWAYS.
  - SIDEWALK THICKNESS ACROSS DRIVEWAYS SHALL BE A MINIMUM OF 6" P.C.C. ON 2" AGGREGATE SUB-BASE.
  - EXPANSION JOINT MATERIAL MUST MATCH THE FULL DEPTH OF THE PAVEMENT.
  - SIDEWALK CONSTRUCTION SHALL FOLLOW APPLICABLE IDOT STANDARDS.
  - SIDEWALKS SHALL FOLLOW CURRENT ADA GUIDELINES.



City of Naperville STANDARD DETAIL	TYPICAL RESIDENTIAL DRIVEWAY DETAIL	PAVEMENT 8
REVISOR: 08/01/2018	SHEET 1 OF 2	590.06

PREPARED FOR: DJK CUSTOM HOMES

**ENGINEERING RESOURCE ASSOCIATES**

35701 WEST AVENUE, SUITE 150  
WARRENVILLE, ILLINOIS 60555  
PHONE (630) 393-3060  
FAX (630) 393-2152

10 S. RIVERSIDE PLAZA, SUITE 875  
CHICAGO, ILLINOIS 60606  
PHONE (312) 474-7841  
FAX (312) 474-6099

2416 GALEN DRIVE  
CHAMPAIGN, ILLINOIS 61821  
PHONE (217) 351-6268  
FAX (217) 355-1902

REVISED DATE: DECEMBER 30, 2021  
REVISED DATE: NOVEMBER 2, 2021  
PLAN DATED: AUGUST 19, 2021



Inside Manhole Diameter	48"	60"
Pipe Diameter	32"	>24"
Wall Thickness	5"	6"
Ecc. Cone Slope (L)	2'-48"	3'-0"
Manhole Depth	5'12"	>12'
E	8"	10"

ALL SANITARY MANHOLES SHALL BE TESTED FOR LEAKAGE BY VACUUM TESTING PER CITY STANDARDS. THE MANHOLE FRAME AND ADJUSTING RINGS SHALL BE IN PLACE WHEN TESTING. ANY LEAKS SHALL BE REPAIRED FROM EXTENSION OF MANHOLE - PATCHING INSIDE OF MANHOLE SHALL NOT BE ACCEPTABLE.

PREFORMED NON-HARDENING BITUMINOUS MASTIC MATERIAL, COARSE, CS-1026, OR APPROVED EQUAL BETWEEN BOTTOM RING AND STRUCTURE

EXTERNAL CHIMNEY SEAL (OPTIONAL)

PREFORMED ADJUSTING RINGS PER SECTION 302.1.3 OF THE STANDARD SPECIFICATIONS (12" MAX. ADJUSTMENT)

ECCENTRIC CONE SECTION

STEPS SHALL BE COPOLYMER POLYPROPYLENE REINFORCED WITH 1/2" INCH A815/615M-05A (OR LATEST EDITION) GRADE 60 STEEL REINFORCEMENT, MEETING OR EXCEEDING ASTM C478-05 AND OSHA STANDARDS.

CA-6 TRENCH BACKFILL REQUIRED AROUND MANHOLE IN PAVED AREAS AND UNDER SIDEWALKS, MANHOLE TO ROADWAY SUBGRADE ELEVATION NUMBER ROOT CONFORMING TO ASTM C923-02 OR LATEST REVISION (NON-H-H-SEAL OR APPROVED EQUAL)

POURED CONCRETE FILLET TO TOP OF PIPE 2% SLOPE (TYP.)

PROVIDE CONCRETE FILLET FOR ALL SANITARY MANHOLE INVERTS

PREFORMED REINFORCED CONCRETE MANHOLE BOTTOM WITH INTEGRAL SIDEWALL

6" CA11 AGGREGATE

City of Naperville  
**STANDARD DETAIL**  
SANITARY 1  
REVISOR: 08/01/2018  
SHEET 1 OF 1  
**390.01**

EAST JORDAN 1566Z CLEAN OUT, BLACK ASPHALTIC COATED W/ CLEAN OUT COVER 1566A OR APPROVED EQUAL

6" PVC PIPE  
6" CLAY PIPE  
BACKFILL  
6" PVC  
6" TEE

FLEXIBLE COUPLING SHALL BE A NON-SHEAR TYPE TRANSITION COUPLING AS MANUFACTURED BY FERNCO SERIES 1056RC OR APPROVED EQUAL.

CA11 PIPE BEDDING

1566A CLEANOUT/ MONUMENT BOX COVER

1566Z CLEAN OUT BOX FRAME

City of Naperville  
**STANDARD DETAIL**  
SANITARY 23  
EFFECTIVE: 11/15/2020  
SHEET 1 OF 1  
**390.23**

2" RAISED LETTERS  
SEAL TITE LID  
SEAL TITE CONCEALED PICK HOLE  
CAST FRAME  
CAST CLOSED LID

SECTION A-A  
SECTION D-D

NOTES:  
1) DUCTILE IRON SHALL BE GRADE 65-45-12 AND SHALL BE TESTED IN ACCORDANCE WITH FEDERAL SPECIFICATIONS.  
2) ALL FRAMES AND COVERS SHALL HAVE MACHINED HORIZONTAL AND VERTICAL BEARING SURFACES. PICK HOLES SHALL NOT CREATE OPENINGS IN THE COVER.  
3) THE MANHOLE COVERS SHALL HAVE 2" RAISED LETTERS AS SHOWN.  
4) ALTERNATIVE TO DUCTILE IRON LID, GREY IRON CL 35 LID MAY BE USED.  
5) CASTINGS ARE SHALL BE EAST JORDAN 1022-Z3; NEENAH R-1772 OR APPROVED EQUAL.  
6) WATERPROOF, BOLTDOWN FRAME AND COVER SHALL BE USED IN FLOOD PLAIN AREA, AND AS NOTED ON THE PLANS. NEENAH R-1916-F1, EAST JORDAN IRON WORKS 1022-Z1PT OR APPROVED EQUAL.  
7) LIDS AND FRAMES TO MEET ASSHTO M306 PROOF LOADING SPECIFICATIONS

City of Naperville  
**STANDARD DETAIL**  
SANITARY 6  
REVISOR: 01/01/2013  
SHEET 1 OF 1  
**390.06**

GRADE  
HEAD PLUG  
COVER  
COVER SHALL BE FLUSH WITH FINISHED GRADE OR AS SHOWN ON PLANS

MINIMUM  
CORPORATION STOP COUPLING  
1/8" BEND ELBOW (FLARE x COMP.)  
DIRECT CONNECT  
TAP SERVICE PIPING COPPER TUBE TYPE K 1" MIN. DIAMETER  
PLACE OVER UNDISTURBED GROUND  
ROUND WAY (COMP. x COMP.)  
CONCRETE BRICK

WATER MAIN SIZE	TAP SIZE	CONNECTION TYPE
6" OR SMALLER	1" OR SMALLER	DIRECT CONNECTION
6" OR SMALLER	1 1/4" OR LARGER	SADDLE CONNECTION
8" OR LARGER	1 1/4" OR SMALLER	DIRECT CONNECTION
8" OR LARGER	1 1/2" OR LARGER	SADDLE CONNECTION

NOTES:  
1. CORPORATION IS TO BE FLARING TYPE (FORD F-600 OR EQUAL BY MUELLER OR A.Y. MCDONALD), FOR SERVICE SIZE 1/2"; A.Y. MCDONALD 4701Q CORP STOP THREADED INLET TO COMPRESSION OUTLET OR EQUAL.  
2. 1/8" BEND ELBOW - FEMALE FLARE TO COMPRESSION: FORD L04, OR AN APPROVED EQUAL BY MUELLER, OR A.Y. MCDONALD (NOT AVAILABLE IN IN 1" SIZE SEE NOTE 1).  
3. B-BOX IS ARCH PATTERN AT ROUNDWAY WITH 1-1/4" UPPER SECTION, WITH 1-1/4" BRASS PENTAGON PLUG, SCREW ON B-BOX NOT APPROVED.  
4. CURB STOP IS WITH COMPRESSION COUPLING - FORD B44 CURB STOP, OR EQUAL BY MUELLER, OR A.Y. MCDONALD.  
5. B-BOX HAS 1/2" THREADED BRASS PENTAGON PLUG WITH THE WORD "WATER" IN RAISED LETTERS ON CAP. (1-1/4" PENT. PLUG FOR 1-1/4" B-BOXES).  
6. CORPORATION STOPS SHALL BE INSTALLED A MINIMUM OF 18" FROM PIPE JOINTS AND ENDS. MULTIPLE INSTALLATIONS SHOULD BE STAGGERED AROUND THE MAIN BY 22-1/2" AND SEPARATED FROM EACH OTHER BY 18".  
7. WATER SERVICE LINE SMALLER THAN 3" SHALL BE TYPE K COPPER. IF JOINTS ARE REQUIRED DUE TO LENGTH OF SERVICE, THEN ONLY COMPRESSION TYPE COUPLING SHALL BE PERMITTED. NO SOLDERED OR FLARED TYPE JOINTS ARE ALLOWED.  
8. SERVICE TAPS SHALL REQUIRE SADDLES IN ACCORDANCE WITH CHART BELOW. SADDLES SHALL BE STAINLESS STEEL DUAL BANDED, DUCTILE IRON OR BRASS SADDLE (FORD FS202, 202BS OR APPROVED EQUAL) REQ'D FOR TAPS.  
9. ALL WATERMAIN AND APPURTENANCES MUST COMPLY WITH SECTION 1417 (A)(1) OF THE SAFER DRINKING WATER ACT (SDWA). ALL PRODUCT USED FOR DISPENSING POTABLE WATER MUST MEET BOTH THE NSF 61 AND NSF 372 TEST OF STANDARDS VIA THIRD PARTY TESTING AND CERTIFICATIONS.

City of Naperville  
**STANDARD DETAIL**  
SERVICE TAP AND CONNECTION  
EFFECTIVE: 7/17/2020  
SHEET 1 OF 1  
**490.20**

1" MIN.  
1" MIN.  
PLAN

45° CURVE  
TRENCH WALL  
STOPPER CEMENTED OR STAKED IN PLACE  
UNDISTURBED EARTH - SHAPE TO PROVIDE UNIFORM BEARING FOR 1/4 OF BARREL CIRCUMFERENCE  
MAXIMUM SLOPE 1:1  
STANDARD TEE - BARREL SIZE TO BE CALLED FOR ON A PLAN, OR AS OTHERWISE SPECIFIED  
BEDDING CA-11

6" MIN.  
6" MIN.  
SECTION A-A

1. THE OPEN ENDS SHALL BE PROTECTED FROM DEBRIS AND GROUNDWATER ENTERING THE LATERAL WITH AN APPROVED PLUG.  
2. MAXIMUM SLOPE SHALL BE LESS THAN 1:1 WHEN IT IS NECESSARY TO SECURE BEDDING IN UNDISTURBED EARTH.  
3. WHEN A SERVICE CONNECTION IS TAPPED INTO PVC MAIN, THEN A SEWER SADDLE SHALL BE USED. GENECO TYPE "SEALTITE" OR APPROVED EQUAL. BANDS, NUTS AND BOLTS MUST BE 304 STAINLESS STEEL.  
4. SDR 26 PVC PIPE MEETING REQUIREMENTS OF ASTM D-2241-05 AND JOINTS CONFORMING TO ASTM D-3139-98(2005) OR LATEST EDITIONS.

City of Naperville  
**STANDARD DETAIL**  
RISE FOR SERVICE LATERAL  
REVISOR: 01/01/2013  
SHEET 1 OF 1  
**390.20**

WATER MAIN  
SEWER  
10' MIN.  
10' MIN.  
PERPENDICULAR CROSSING  
DIAGONAL CROSSING

FINISH GRADE  
10' MIN.  
10' MIN.  
EXISTING STORM SEWER LINE  
NEW WATER MAIN  
18" MIN.

NOTE:  
NEW STORM SEWER INSTALLATION SHALL BE GASKETED STRUCTURE TO STRUCTURE

City of Naperville  
**STANDARD DETAIL**  
WATER MAIN PROTECTION FROM EXISTING STORM SEWER PIPE  
REVISOR: 01/01/2013  
SHEET 1 OF 1  
**490.14**

EXCAVATED TRENCH WIDTH  
PAVEMENT SUBGRADE  
PIPE WIDTH  
FINAL BACKFILL CA-6 UNDER PAVED AREAS/SIDEWALKS EXCAVATED MATERIALS UNDER OTHER AREAS  
INITIAL BACKFILL CA-11  
HAUNCHING CA-11  
FOUNDATION  
BEDDING CA-11 1/4 OF THE OUTSIDE DIAMETER OF THE PIPE (4" MIN.)

NOTES:  
1. IN PAVED AREAS, ALL TRENCHES MUST BE COMPACTED IN CONFORMANCE WITH SECTION 550.07 OF THE IDOT STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.  
2. IF FOUNDATION IS UNSUITABLE TO BED PIPE, UNDERCUTS MAY BE REQUIRED AS DIRECTED BY THE ENGINEER.

City of Naperville  
**STANDARD DETAIL**  
TRENCH SECTION FOR PVC PIPE  
REVISOR: 01/01/2013  
SHEET 1 OF 1  
**390.10**

PREPARED FOR: DJK CUSTOM HOMES

DRAWN BY: AEC  
CHECKED BY: JPG  
APPROVED BY: JPG

**ENGINEERING RESOURCE ASSOCIATES**

35701 WEST AVENUE, SUITE 150  
WARRENVILLE, ILLINOIS 60555  
PHONE (630) 393-3060  
FAX (630) 393-2152

10 S. RIVERSIDE PLAZA, SUITE 875  
CHICAGO, ILLINOIS 60606  
PHONE (312) 474-7841  
FAX (312) 474-6099

2416 GALEN DRIVE  
CHAMPAIGN, ILLINOIS 61821  
PHONE (217) 351-6268  
FAX (217) 355-1902

G:\PROJECTS\DK\KoutomHomes\W21154-00\_85201\_Old College Rd., Naperville, Burke\CADD\W21154\_Site Engineering Plan.dwg Updated by: achaille 12/30/2021



85201 College Road Tree Inventory					
Tree #	Size (in.)	Scientific Name	Common Name	Condition	Rec.
1	27	Quercus macrocarpa	Burr Oak	Good	No action needed
2	6	Quercus velutina	Black Oak	Good	No action needed
3	6	Quercus velutina	Black Oak	Good	No action needed
4	45	Quercus macrocarpa	Burr Oak	Good	No action needed
5	26	Quercus macrocarpa	Burr Oak	Good	No action needed
6	5	Juniperus virginiana	Eastern Red Cedar	Good	No action needed
7	5	Juniperus virginiana	Eastern Red Cedar	Fair	No action needed
8	10	Crataegus crus-galli	Cockspur Hawthorne	Fair	No action needed
9	5	Thuja occidentalis	Arborvitae	Good	No action needed
10	12	Pinus strobus	White Pine	Good	No action needed
11	10	Pinus strobus	White Pine	Good	No action needed
12	7	Pinus strobus	White Pine	Good	No action needed
13	8	Malus ioensis	Crabapple	Fair	No action needed
14	8	Picea pungens	Norway Spruce	Poor	No action needed
15	7	Picea pungens	Norway Spruce	Fair	No action needed
16	6	Picea pungens	Norway Spruce	Fair	No action needed
17	14	Quercus macrocarpa	Burr Oak	Good	No action needed
18	28	Quercus alba	White Oak	Good	No action needed
19	27	Quercus macrocarpa	Burr Oak	Fair	No action needed
20	17	Crataegus crus-galli	Cockspur Hawthorne	Poor	No action needed
21	32	Populus deltoides	Eastern Cottonwood	Good	No action needed
22	11	Picea pungens	Norway Spruce	Poor	No action needed
23	11	Picea abies	Blue Spruce	Poor	No action needed
24	10	Pseudotsuga menziesii	Douglas Fir	Poor	No action needed
25	10	Pseudotsuga menziesii	Douglas Fir	Poor	No action needed
26	5	Quercus velutina	Black Oak	Fair	No action needed
27	7	Pseudotsuga menziesii	Douglas Fir	Good	No action needed
28	8	Pyrus callieriana	Callery Pear	Good	No action needed
29	20	Acer saccharinum	Silver Maple	Good	No action needed
30	8	Pyrus callieriana	Callery Pear	Good	No action needed
31	4	Quercus muhlenbergii	Chinquapin Oak	Poor	No action needed
32	5	Acer rubrum	Trident Maple	Fair	No action needed
33	5	Quercus velutina	Black Oak	Good	No action needed
34	6	Acer rubrum	Trident Maple	Good	No action needed
35	11	Acer saccharinum	Silver Maple	Good	No action needed
36	7	Quercus velutina	Black Oak	Good	No action needed
37	9	Quercus velutina	Black Oak	Good	No action needed
38	19	Acer saccharinum	Silver Maple	Good	No action needed
39	17	Picea pungens	Norway Spruce	Fair	No action needed
40	21	Gleditsia triacanthos	Honey Locust	Good	No action needed
41	13	Quercus bicolor	Swamp White Oak	Fair	No action needed
42	7	Quercus macrocarpa	Burr Oak	Good	No action needed
43	14	Picea pungens	Norway Spruce	Good	No action needed
44	16	Acer platanoides	Norway Maple	Good	No action needed

45	17	Picea pungens	Norway Spruce	Good	No action needed
46	18	Acer saccharinum	Silver Maple	Good	No action needed
47	29	Quercus velutina	Black Oak	Good	No action needed
48	1	Quercus velutina	Black Oak	Good	No action needed
49	5	Picea abies	Blue Spruce	Fair	No action needed
50	6	Picea pungens	Norway Spruce	Fair	No action needed
51	8	Quercus macrocarpa	Burr Oak	Poor	No action needed
52	12	Ulmus americana	American Elm	Fair	No action needed
53	24	Picea pungens	Norway Spruce	Good	No action needed
54	9	Pyrus callieriana	Callery Pear	Good	No action needed
55	21	Acer saccharum	Sugar Maple	Poor	No action needed
56	28	Picea pungens	Norway Spruce	Good	No action needed
57	9	Crataegus crus-galli	Cockspur Hawthorne	Fair	No action needed
58	16	Juniperus virginiana	Eastern Red Cedar	Poor	No action needed
59	28	Picea pungens	Norway Spruce	Good	No action needed
60	11	Crataegus crus-galli	Cockspur Hawthorne	Fair	No action needed
61	7	Alnus glutinosa	Black Alder	Fair	No action needed
62	7	Picea pungens	Norway Spruce	Good	No action needed
63	19	Picea pungens	Norway Spruce	Good	No action needed
64	40	Populus deltoides	Eastern Cottonwood	Good	No action needed
65	26	Populus deltoides	Eastern Cottonwood	Good	No action needed
66	11	Salix nigra	Black Willow	Good	No action needed
67	13	Salix babylonica	Weeping Willow	Fair	No action needed
68	16	Populus deltoides	Eastern Cottonwood	Good	No action needed
69	34	Populus deltoides	Eastern Cottonwood	Good	No action needed
70	9	Acer saccharinum	Silver Maple	Fair	No action needed
71	21	Populus deltoides	Eastern Cottonwood	Fair	No action needed
72	20	Populus deltoides	Eastern Cottonwood	Fair	No action needed
73	26	Populus deltoides	Eastern Cottonwood	Good	No action needed
74	13	Salix babylonica	Weeping Willow	Fair	No action needed
75	6	Salix babylonica	Weeping Willow	Fair	No action needed
76	6	Prunus serotina	Black Cherry	Fair	No action needed
77	28	Populus deltoides	Eastern Cottonwood	Fair	No action needed
78	8	Ulmus americana	American Elm	Fair	No action needed
79	10	Ulmus americana	American Elm	Poor	No action needed
80	28	Populus deltoides	Eastern Cottonwood	Good	No action needed
81	30	Populus deltoides	Eastern Cottonwood	Good	No action needed
82	6	Acer saccharinum	Silver Maple	Good	No action needed
83	32	Populus deltoides	Eastern Cottonwood	Good	No action needed
84	5	Celtis occidentalis	Hackberry	Fair	No action needed
85	12	Populus deltoides	Eastern Cottonwood	Good	No action needed
86	10	Acer negundo	Boxelder	Good	No action needed
87	6	Ulmus rubra	Slippery Elm	Good	No action needed
88	11	Morus alba	White Mulberry	Good	No action needed
89	17	Acer saccharinum	Silver Maple	Good	No action needed
90	23	Quercus alba	White Oak	Good	No action needed
91	10	Celtis occidentalis	Hackberry	Good	No action needed

92	9	Prunus serotina	Black Cherry	Good	No action needed
93	38	Populus deltoides	Eastern Cottonwood	Fair	No action needed
94	10	Acer negundo	Boxelder	Poor	No action needed
95	27	Populus deltoides	Eastern Cottonwood	Good	No action needed
96	22	Populus deltoides	Eastern Cottonwood	Fair	No action needed
97	9	Prunus serotina	Black Cherry	Fair	No action needed
98	11	Quercus rubra	Red Oak	Good	No action needed
99	6	Juniperus virginiana	Eastern Red Cedar	Poor	No action needed
100	9	Ulmus americana	American Elm	Fair	No action needed
101	5	Ulmus americana	American Elm	Fair	No action needed
102	23	Quercus rubra	Red Oak	Good	No action needed
103	15	Ginkgo biloba	Ginkgo	Good	No action needed
104	12	Acer negundo	Boxelder	Fair	No action needed
105	13	Acer negundo	Boxelder	Poor	No action needed
106	19	Acer negundo	Boxelder	Fair	No action needed
107	15	Acer saccharinum	Silver Maple	Good	No action needed
108	18	Acer saccharinum	Silver Maple	Good	No action needed
109	9	Picea pungens	Norway Spruce	Poor	No action needed
110	7	Picea pungens	Norway Spruce	Fair	No action needed
111	11	Picea pungens	Norway Spruce	Good	No action needed
112	12	Picea pungens	Norway Spruce	Fair	No action needed
113	14	Pseudotsuga menziesii	Douglas Fir	Good	No action needed
114	12	Picea abies	Blue Spruce	Good	No action needed
115	12	Picea abies	Blue Spruce	Good	Remove
116	23	Populus deltoides	Eastern Cottonwood	Good	Root Pruning if needed
117	7	Populus deltoides	Eastern Cottonwood	Good	Root Pruning if needed
118	28	Populus deltoides	Eastern Cottonwood	Good	No action needed
119	8	Quercus bicolor	Swamp White Oak	Good	No action needed
120	7	Quercus bicolor	Swamp White Oak	Good	No action needed
121	7	Quercus bicolor	Swamp White Oak	Good	No action needed
122	8	Ulmus americana	American Elm	Fair	No action needed
123	10	Crataegus crus-galli	Cockspur Hawthorne	Poor	No action needed
124	9	Carya cordifolia	Kingnut Hickory	Fair	No action needed
125	20	Carya ovata	Shagbark Hickory	Poor	Remove
126	20	Carya ovata	Shagbark Hickory	Poor	Remove
127	12	Crataegus crus-galli	Cockspur Hawthorne	Fair	No action needed
128	12	Crataegus crus-galli	Cockspur Hawthorne	Fair	No action needed
129	28	Quercus macrocarpa	Burr Oak	Good	No action needed
130	7	Pinus strobus	White Pine	Good	No action needed
131	32	Quercus macrocarpa	Burr Oak	Good	No action needed
132	6	Cercis canadensis	Eastern Redbud	Good	No action needed
133	7	Malus ioensis	Crabapple	Good	No action needed
134	26	Quercus macrocarpa	Burr Oak	Good	No action needed
135	15	Carya ovata	Shagbark Hickory	Good	No action needed
136	21	Carya ovata	Shagbark Hickory	Good	No action needed
137	11	Pinus strobus	White Pine	Poor	No action needed
138	7	Quercus bicolor	Swamp White Oak	Good	Protection fencing

139	5	Quercus macrocarpa	Burr Oak	Good	Protection fencing
140	6	Quercus bicolor	Swamp White Oak	Good	Protection fencing
141	6	Quercus bicolor	Swamp White Oak	Good	Protection fencing
142	22	Carya ovata	Shagbark Hickory	Good	Protection fencing
143	28	Quercus macrocarpa	Burr Oak	Good	Protection fencing
144	31	Quercus macrocarpa	Burr Oak	Good	No action needed
145	35	Quercus macrocarpa	Burr Oak	Good	No action needed
146	8	Pinus strobus	White Pine	Fair	No action needed
147	38	Quercus macrocarpa	Burr Oak	Good	No action needed
148	8	Ulmus americana	American Elm	Fair	No action needed
149	6	Ulmus americana	American Elm	Poor	No action needed
150	19	Quercus macrocarpa	Burr Oak	Good	No action needed
151	8	Morus alba	White Mulberry	Fair	No action needed
152	25	Quercus macrocarpa	Burr Oak	Good	No action needed
153	23	Quercus macrocarpa	Burr Oak	Good	No action needed
154	23	Quercus macrocarpa	Burr Oak	Good	No action needed
155	20	Carya ovata	Shagbark Hickory	Good	No action needed
156	19	Quercus alba	White Oak	Good	No action needed
157	17	Quercus bicolor	Swamp White Oak	Good	No action needed
158	5	Magnolia x soulangeana	Pink Saucer Magnolia	Good	No action needed
159	9	Crataegus crus-galli	Cockspur Hawthorne	Good	No action needed
160	18	Crataegus crus-galli	Cockspur Hawthorne	Good	No action needed
161	10	Pinus strobus	White Pine	Good	No action needed
162	24	Quercus macrocarpa	Burr Oak	Good	No action needed
163	10	Acer saccharinum	Silver Maple	Good	No action needed
164	11	Crataegus crus-galli	Cockspur Hawthorne	Good	No action needed
165	25	Quercus alba	White Oak	Good	No action needed
166	16	Carya ovata	Shagbark Hickory	Good	No action needed
167	18	Picea pungens	Norway Spruce	Fair	No action needed
168	7	Picea abies	Blue Spruce	Good	No action needed
169	22	Picea pungens	Norway Spruce	Fair	No action needed
170	10	Juniperus virginiana	Eastern Red Cedar	Good	No action needed
171	10	Juniperus virginiana	Eastern Red Cedar	Good	No action needed
172	13	Juniperus virginiana	Eastern Red Cedar	Good	No action needed
173	8	Morus alba	White Mulberry	Fair	No action needed
174	35	Acer saccharinum	Silver Maple	Good	No action needed
175	14	Acer saccharinum	Silver Maple	Good	No action needed
176	28	Acer saccharinum	Silver Maple	Good	No action needed
177	10	Pyrus callieriana	Callery Pear	Good	No action needed
178	11	Pyrus callieriana	Callery Pear	Good	No action needed
179	11	Pyrus callieriana	Callery Pear	Good	No action needed
180	11	Pyrus callieriana	Callery Pear	Good	No action needed
181	11	Pyrus callieriana	Callery Pear	Good	No action needed
182	10	Pyrus callieriana	Callery Pear	Fair	No action needed
183	8	Pyrus callieriana	Callery Pear	Poor	No action needed
184	17	Juglans nigra	Black Walnut	Good	No action needed
185	9	Pyrus callieriana	Callery Pear	Good	No action needed

186	9	Pyrus callieriana	Callery Pear	Fair	No action needed
187	10	Pyrus callieriana	Callery Pear	Good	No action needed
188	16	Morus alba	White Mulberry	Fair	No action needed

- Rating is based on tree health and structural integrity.
  - Adjacent private property trees requiring protective fencing will be protected using perimeter construction fencing instead of individual tree fencing.
  - Install Tree Protection Fence per Tree Protection Plan prior to any construction activity
  - Fence the public portion (parkways) of the entire Tree Protection Zones with a 6' chain-link fence to prevent wounds to the parkway tree(s) as well as soil compaction prior to any construction activity. Post the fence with a sign stating "Tree Protection Zone - Keep Out"
  - At no time shall any equipment, materials, supplies or fill soil be allowed in the Tree Protection Zones.
  - The entire Tree Protection Zone(s) should be mulched to improve the growing conditions for tree roots, and minimize the maintenance of the parkway lawn.
  - Tree Protection Zone is the designated area that encompasses and entire tree canopy.
- This tree preservation plan incorporates all reasonable steps necessary to minimize damage to trees on property and adjacent to the property.
- The Tree Preservation Plan was performed by Certified Arborist Bradley Earnest

9/14/2021  
Bradley Earnest Certified Arborist # IL-9808-A



## City of Naperville Survey Monument

City of Naperville  
Transportation, Engineering,  
and Development  
(TED) Business Group  
400 S. Eagle Street  
Naperville, IL 60540  
Phone: 630-305-7001

Station No.: 20 Date Established: 12/29/1994

Order of Accuracy: Horizontal 1st Vertical 4th Date Last Checked: 11/14/2005

Station Elevation: 751.23 (Ft) Naperville Field Checked: 10/09/2008

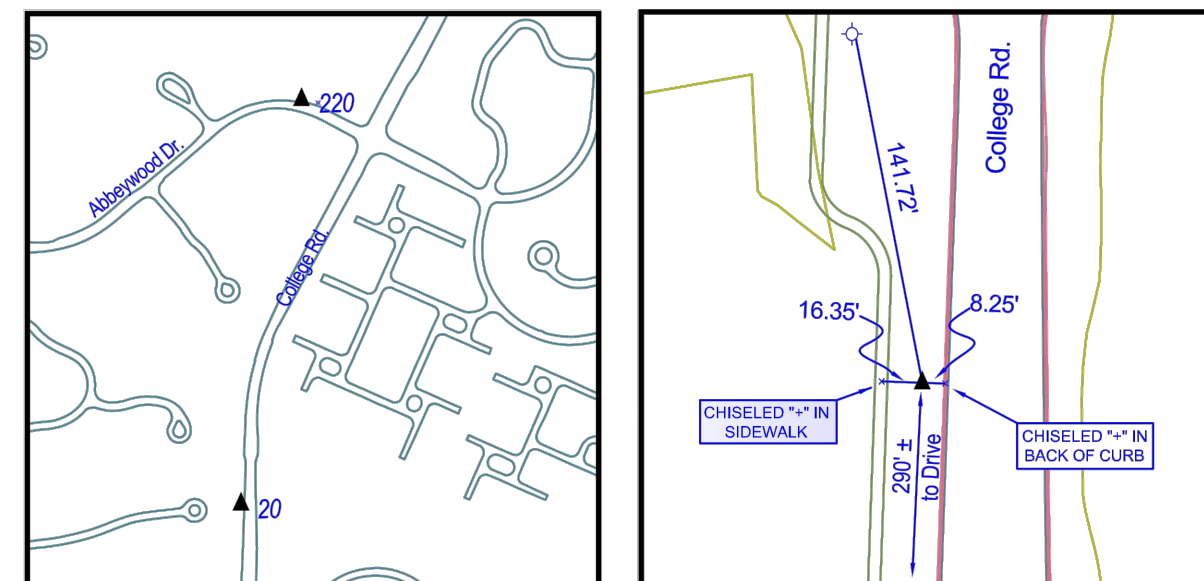
Note: Any and all parties utilizing the vertical elevation listed above should always check at least one other monument.

Horizontal Datum: NAD83 (2007) Illinois State Plane Transverse Mercator, East Zone

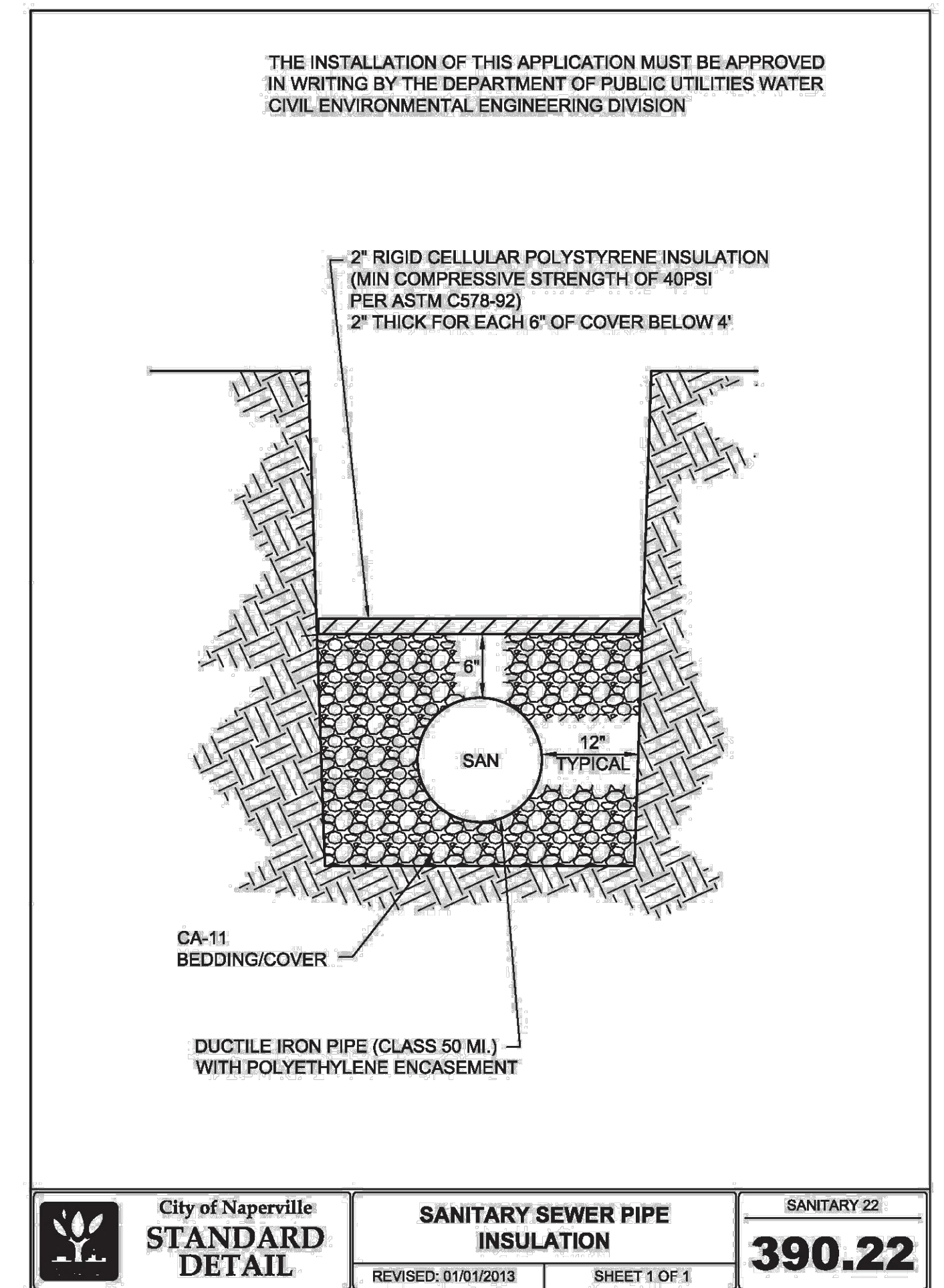
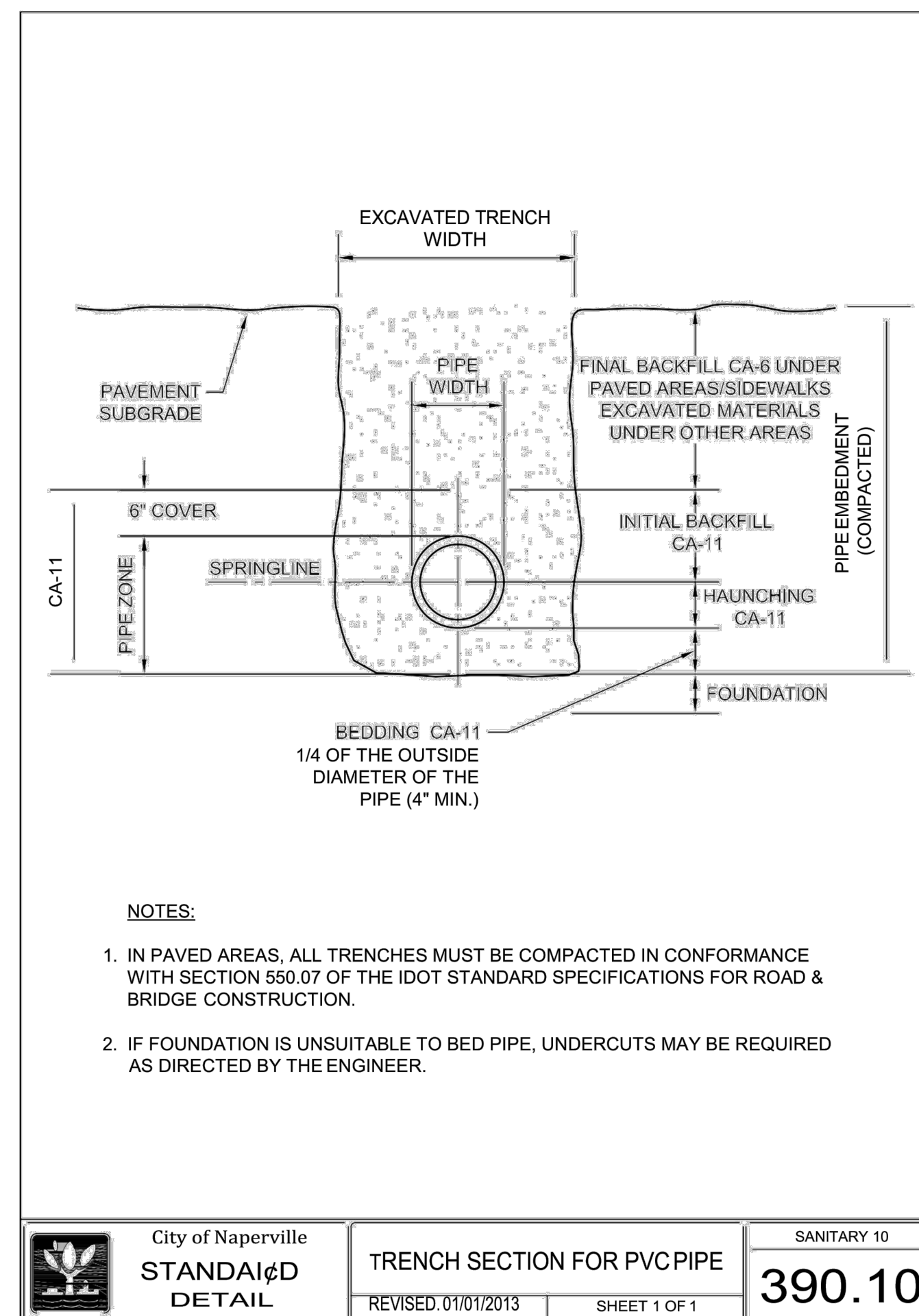
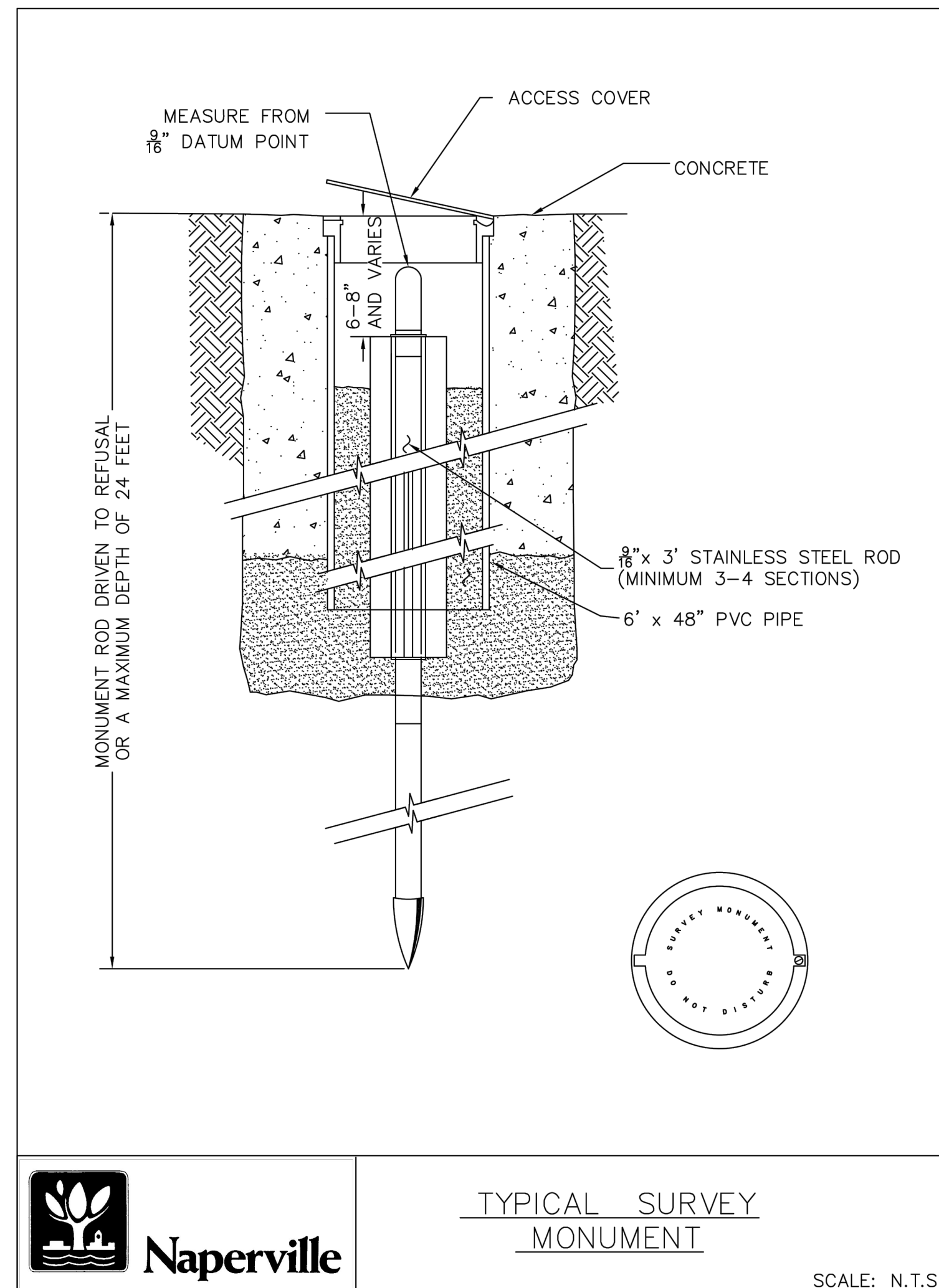
Vertical Datum: NAVD 1988 Adjustment

North: 1,858,519.26 (Ft) East: 1,048,472.31 (Ft) NOTE: The coordinates shown are Illinois State Plane grid not ground.

Description: Bernsten 3D Top Security Monument. Consisting of a 9/16" Dia. Stainless Steel Datum Point On Threaded 9/16" x 4" Long Rod Totaling (8") In Length With Greased Top Security Sleeve Enclosed In Sand and 6" PVC Pipe With BMAC 6 Aluminum Access Cover.



For further data information please consult the National Geodetic Survey: [www.ngs.noaa.gov](http://www.ngs.noaa.gov)



PREPARED FOR: DJK CUSTOM HOMES

DRAWN BY: AEC  
CHECKED BY: JPG  
APPROVED BY: JPG



35701 WEST AVENUE, SUITE 150  
WARRENVILLE, ILLINOIS 60555  
PHONE (630) 393-3060  
FAX (630) 393-2152

10 S. RIVERSIDE PLAZA, SUITE 875  
CHICAGO, ILLINOIS 60606  
PHONE (312) 474-7841  
FAX (312) 474-6099

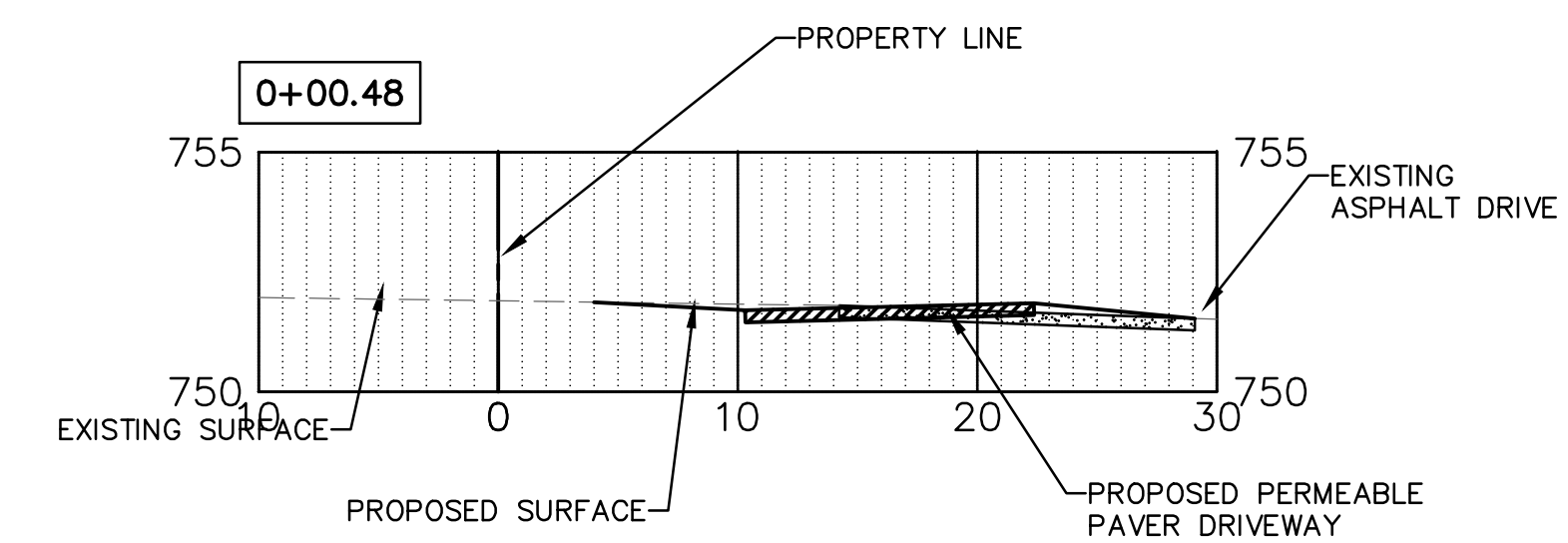
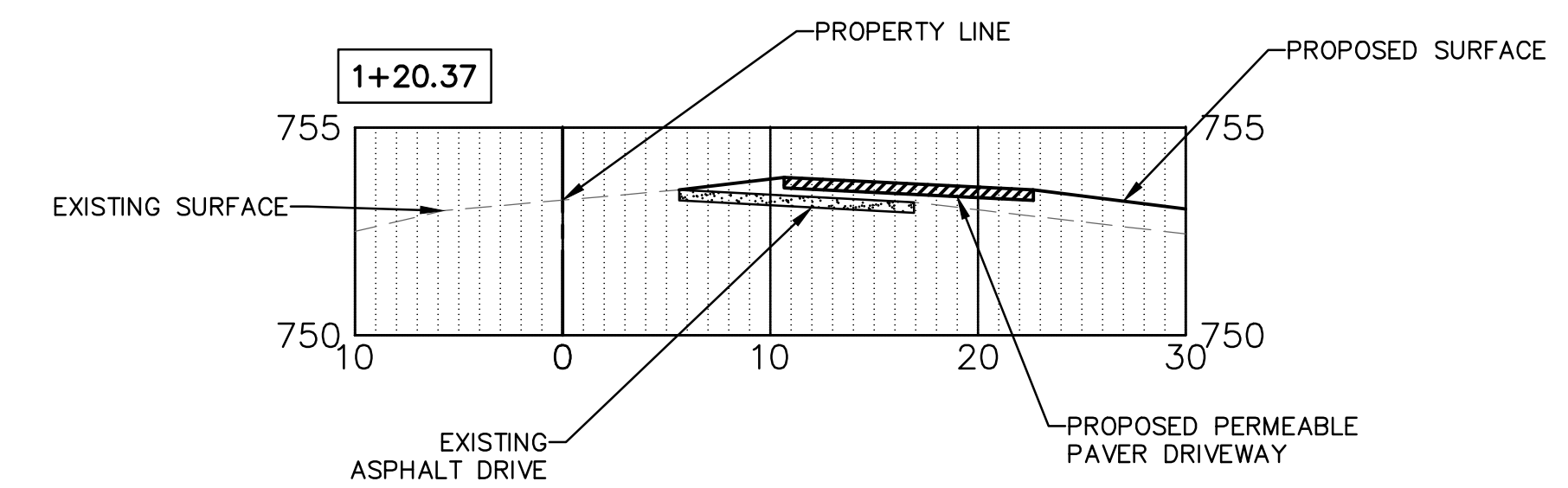
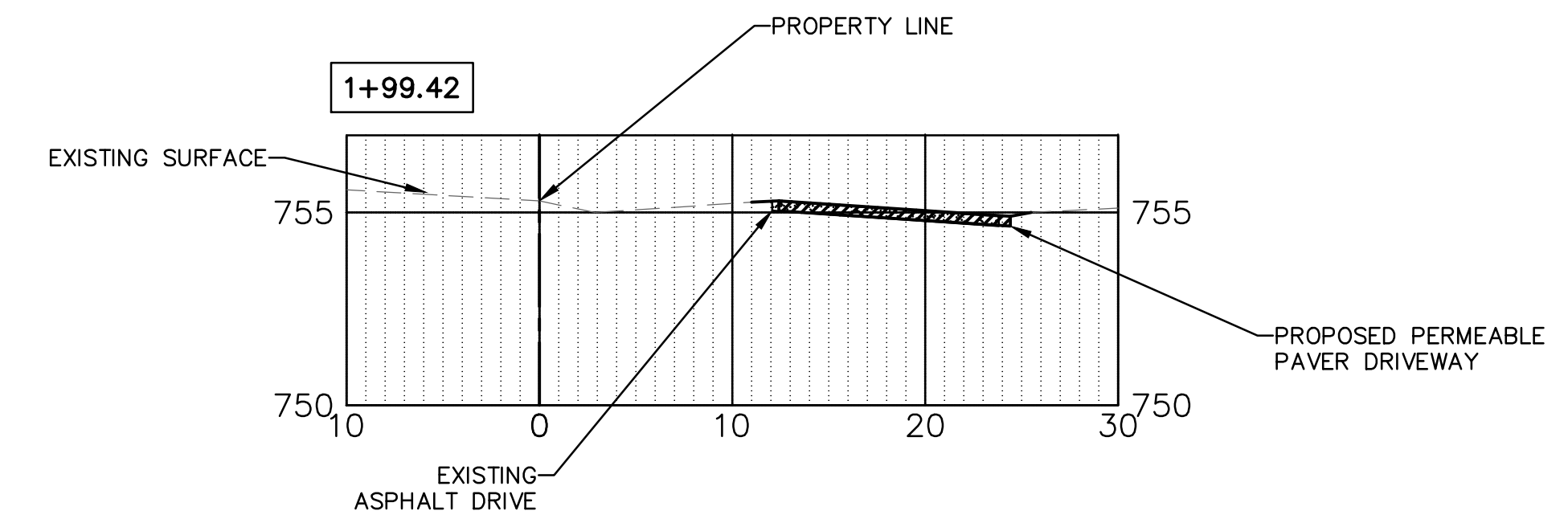
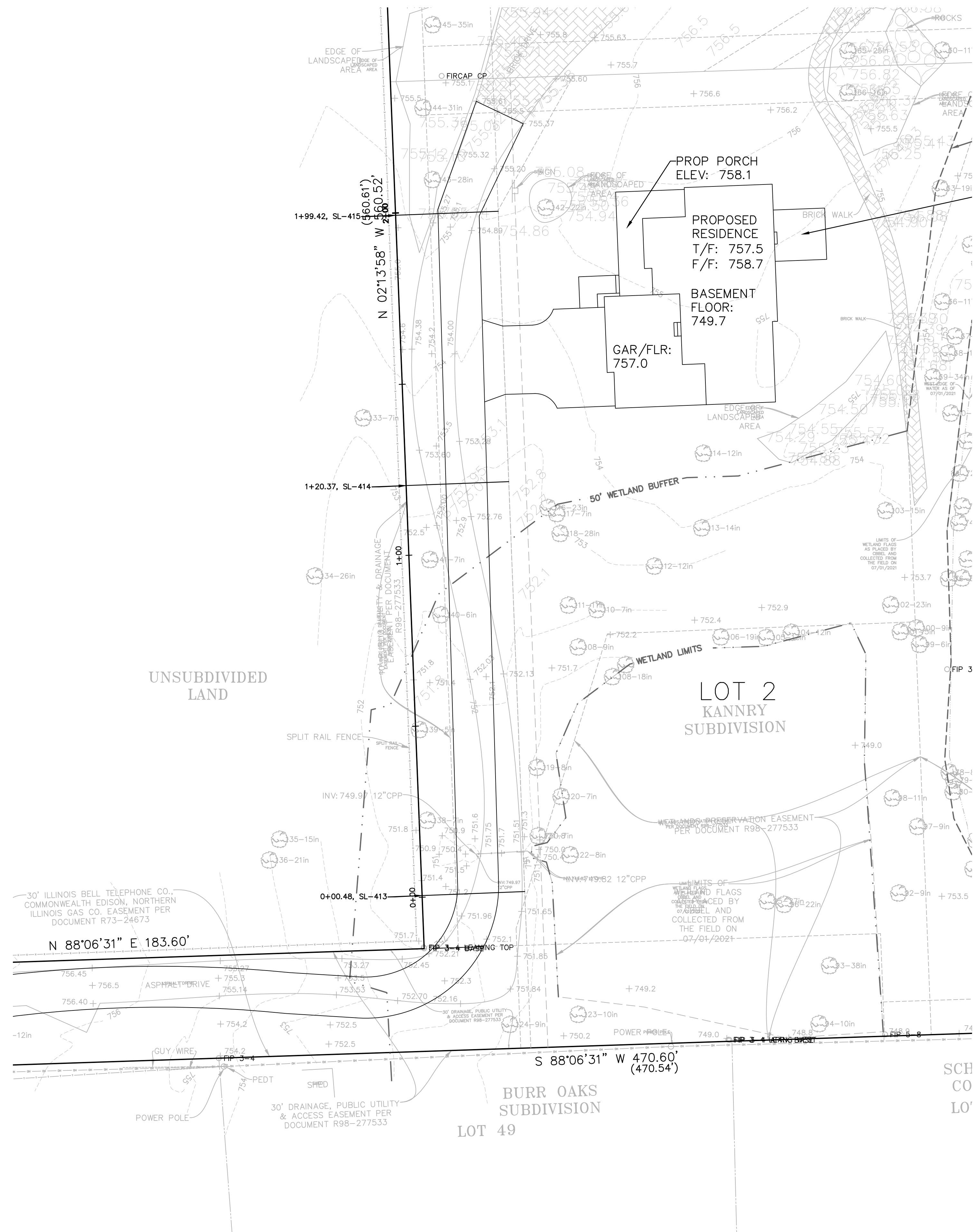
2416 GALEN DRIVE  
CHAMPAIGN, ILLINOIS 61821  
PHONE (217) 351-6268  
FAX (217) 355-1902

REVISED DATE: DECEMBER 30, 2021  
REVISED DATE: NOVEMBER 2, 2021  
PLAN DATED: AUGUST 19, 2021

SHEET 11 OF 12 PROFESSIONAL DESIGN FIRM



# DRIVEWAY SECTION VIEWS



PREPARED FOR: DJK CUSTOM HOMES

DRAWN BY: AEC  
 CHECKED BY: JPG  
 APPROVED BY: JPG



35701 WEST AVENUE, SUITE 150  
 WARRENVILLE, ILLINOIS 60555  
 PHONE (630) 393-3060  
 FAX (630) 393-2152

10 S. RIVERSIDE PLAZA, SUITE 875  
 CHICAGO, ILLINOIS 60606  
 PHONE (312) 474-7841  
 FAX (312) 474-6099

2416 GALEN DRIVE  
 CHAMPAIGN, ILLINOIS 61821  
 PHONE (217) 351-6268  
 FAX (217) 355-1902