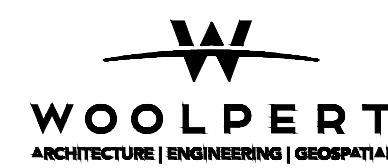


SITE IMPROVEMENT PLANS HERITAGE SQUARE

NE CORNER ROUTE 59 & AURORA AVENUE
NAPERVILLE, ILLINOIS
AUGUST 2018

BRIXMOR PROPERTY GROUP, LLC

40 SKOKIE BOULEVARD, SUITE 600, NORTHBROOK, IL 60062



1815 South Meyers Road
Suite 950
Oakbrook Terrace, IL 60181
630.424.9080
FAX: 630.495.3731

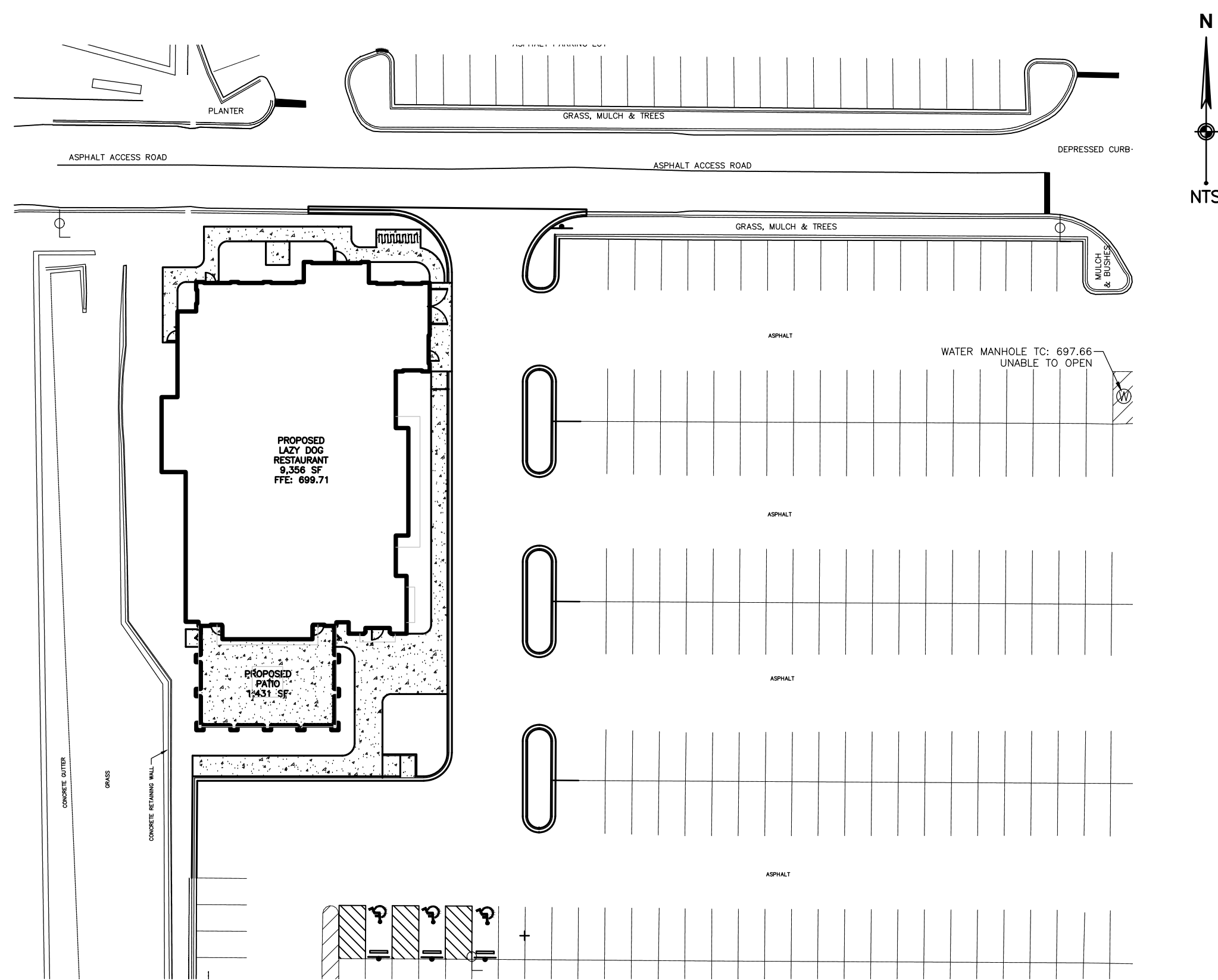
BENCHMARK #1

THE BASIS OF ELEVATIONS HEREON IS NAVD 88.
REBAR SET - SEE SITE MAP FOR LOCATION.
ELEVATION = 700.85'

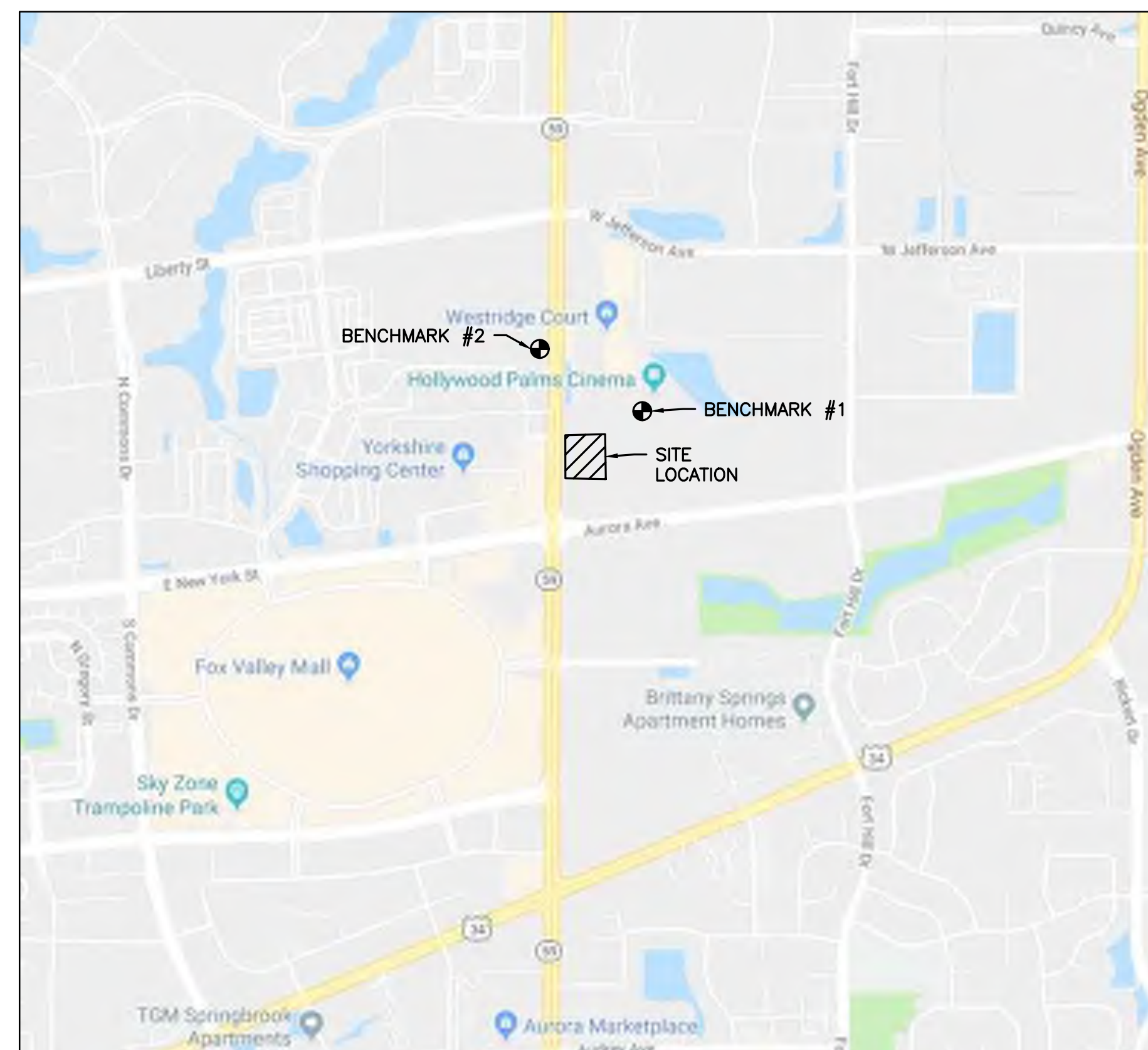
BENCHMARK #2

THE BASIS OF ELEVATIONS HEREON IS NAD
1983 (1986) ILLINOIS STATE PLANE EAST ZONE.
REBAR SET - SEE VICINITY MAP FOR LOCATION.
ELEVATION = 707.63'

SITE PLAN



VICINITY MAP

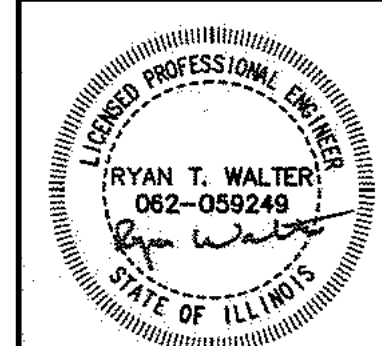
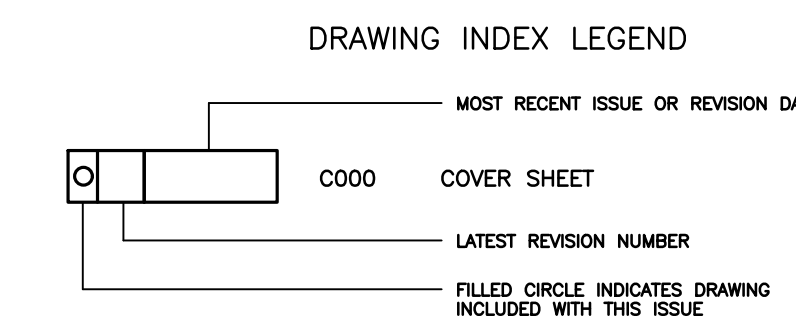


SHEET INDEX

● - 08/31/18	C000.....	COVER SHEET
● - 08/31/18	C001.....	GENERAL NOTES
● - 08/31/18	C002.....	GENERAL NOTES
● - 08/31/18	C100.....	EXISTING CONDITIONS/DEMO PLAN
● - 08/31/18	C200.....	SITE PLAN
● - 08/31/18	C300.....	GRADING PLAN
● - 08/31/18	C400.....	UTILITY PLAN
● - 08/31/18	C500.....	LANDSCAPE PLAN
● - 08/31/18	C600.....	DETAILS
● - 08/31/18	C601.....	DETAILS
● - 08/31/18	C602.....	DETAILS

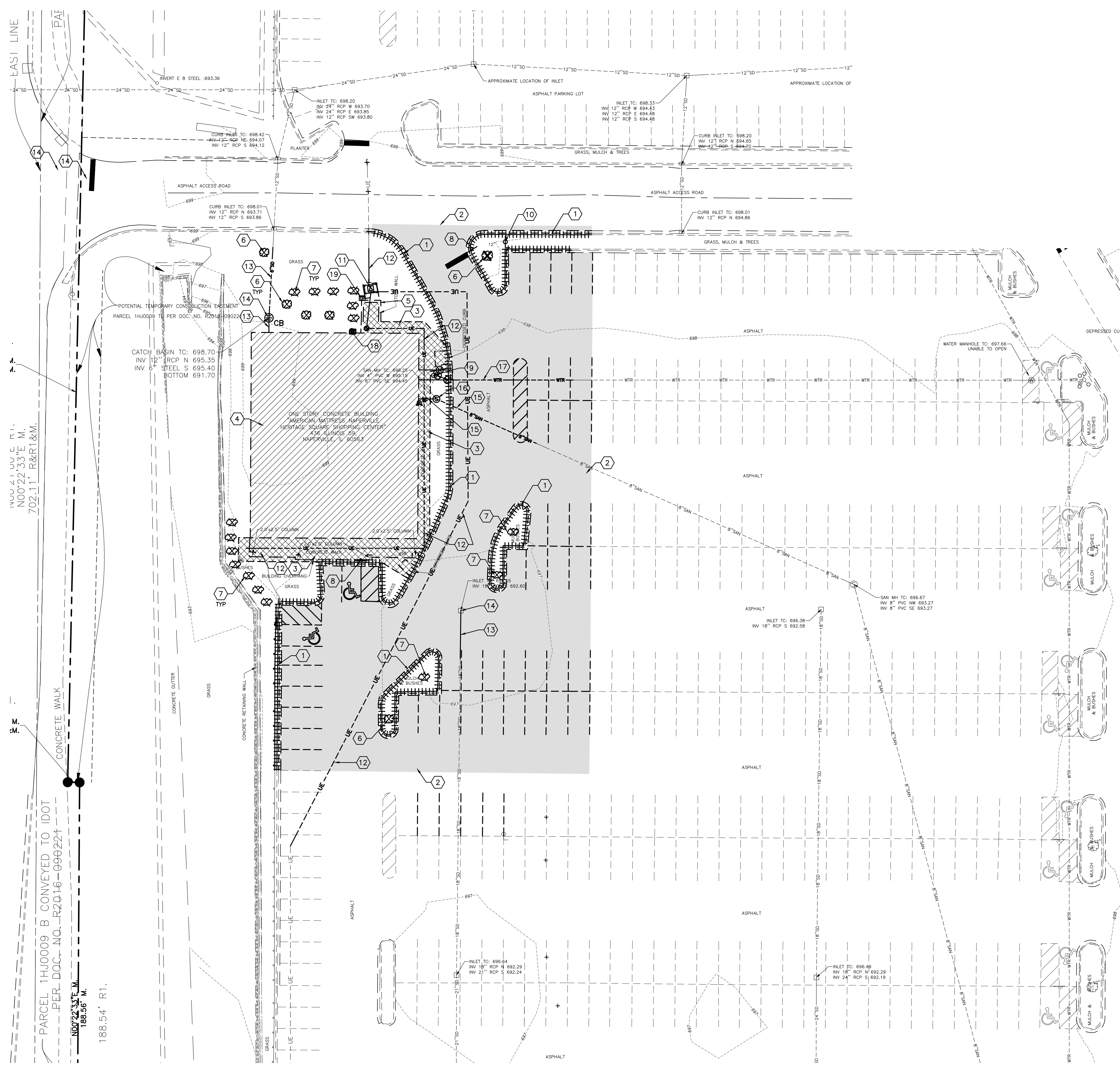
No.	DATE	REVISION
2	11/19/18	REVISED PER CITY COMMENTS
1	10/05/18	REVISED PER CITY COMMENTS

PROJECT No.: 078581



C000

Layout Tab Name: C000 COVER SHEET, Images: vicinity map.PNG, water seal.jpg, SOUTH LOT AERIAL.jpg, Xrefs: 078581-X.dwg, 078581-P.dwg, X-digitized.dwg
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EXISTING LEGEND

- ⊙ STORM MANHOLE
- CURB INLET
- CATCH BASIN
- ⊙ FIRE HYD.
- ⊙ WATER VALVE
- ⊙ WATER MANHOLE
- ⊙ SPRINKLER CONTROL VALVE
- ⊙ GAS METER
- ⊙ ELEC. TRANSFORMER
- ⊙ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ CLEANOUT
- ⊙ UTILITY POLE
- ⊙ LIGHT POLE
- ⊙ GUY WIRE
- ⊙ TELEPHONE PEDESTAL
- ⊙ TRAFFIC SIGNAL PULL BOX
- ⊙ SANITARY MANHOLE
- ⊙ SIGN
- UE --- UNDERGROUND ELECTRIC
- G --- UNDERGROUND GAS
- SD --- STORM
- SAN --- SANITARY
- WTR --- WATER
- EX --- EXISTING CURB (AND GUTTER)
- TC TOP OF CASTING

DEMOLITION LEGEND

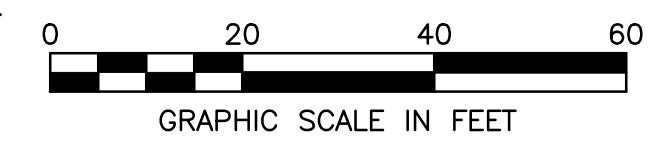
- 1 SAWCUT AND REMOVE EXISTING CURB AND GUTTER
- 2 SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT FULL DEPTH
- 3 SAWCUT AND REMOVE EXISTING CONCRETE FULL DEPTH
- 4 REMOVE EXISTING BUILDING AND ASSOCIATED FOUNDATIONS
- 5 REMOVE EXISTING WALL
- 6 REMOVE EXISTING TREE
- 7 REMOVE EXISTING SHRUB
- 8 REMOVE EXISTING SIGN
- 9 REMOVE EXISTING FIRE HYDRANT
- 10 REMOVE EXISTING LIGHTPOLE
- 11 REMOVE EXISTING TRANSFORMER AND PAD
- 12 REMOVE EXISTING UNDERGROUND ELECTRIC
- 13 REMOVE EXISTING STORM SEWER
- 14 REMOVE EXISTING STORM SEWER STRUCTURE
- 15 REMOVE EXISTING SANITARY SEWER
- 16 REMOVE EXISTING SANITARY SEWER STRUCTURE
- 17 REMOVE EXISTING WATER AND STRUCTURE
- 18 REMOVE EXISTING GAS METER
- 19 REMOVE EXISTING TELEPHONE PEDESTAL

DEMOLITION NOTES

1. EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ACCORDING TO AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE PRESENCE AND LOCATION OF THE EXISTING UTILITIES AND REPAIRING ANY DAMAGE DONE TO THE UTILITIES DURING PROBING OR CONSTRUCTION.
2. CALL J.U.L.I.E. (1-800-892-0123) FOR EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR THE RELOCATION OF UTILITIES ON SITE OR CROSSING THE SITE TO SERVICE ADJACENT PROPERTIES. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY OWNER OR OTHERS, DURING OCCUPIED HOURS, EXCEPT WHEN PERMITTED BY OTHERS.
4. DEMOLISH AND COMPLETELY REMOVE FROM SITE, EXISTING UNDERGROUND UTILITIES INDICATED TO BE REMOVED. COORDINATE WITH UTILITY COMPANIES FOR SHUT-OFF OF SERVICES, IF LINES ARE ACTIVE.
5. EXISTING PAVEMENT AND CONCRETE PAVEMENTS ARE TO BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
6. MATERIAL CREATED AS A RESULT OF BUILDING DEMOLITION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL MUD, DIRT, GRAVEL, AND ANY OTHER MATERIALS TRACKED ONTO ANY PUBLIC OR PRIVATE STREETS OR SIDEWALKS. THE CONTRACTOR MUST USE WATER OR OTHER METHODS TO KEEP AIRBORNE DUST TO A REQUIRED MINIMUM.
8. PAVEMENT DAMAGED DUE TO THE REMOVAL OF EXISTING CURB SHALL BE SAWCUT, REMOVED AND REPLACED IN KIND.
9. A FULL DEPTH SAWCUT SHALL BE PROVIDED IN ALL AREAS WHERE PROPOSED PAVEMENT OR CURB AND GUTTER MEETS EXISTING PAVEMENT.
10. CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF BENCHMARKS PRIOR TO THE START OF CONSTRUCTION.

BENCHMARK:

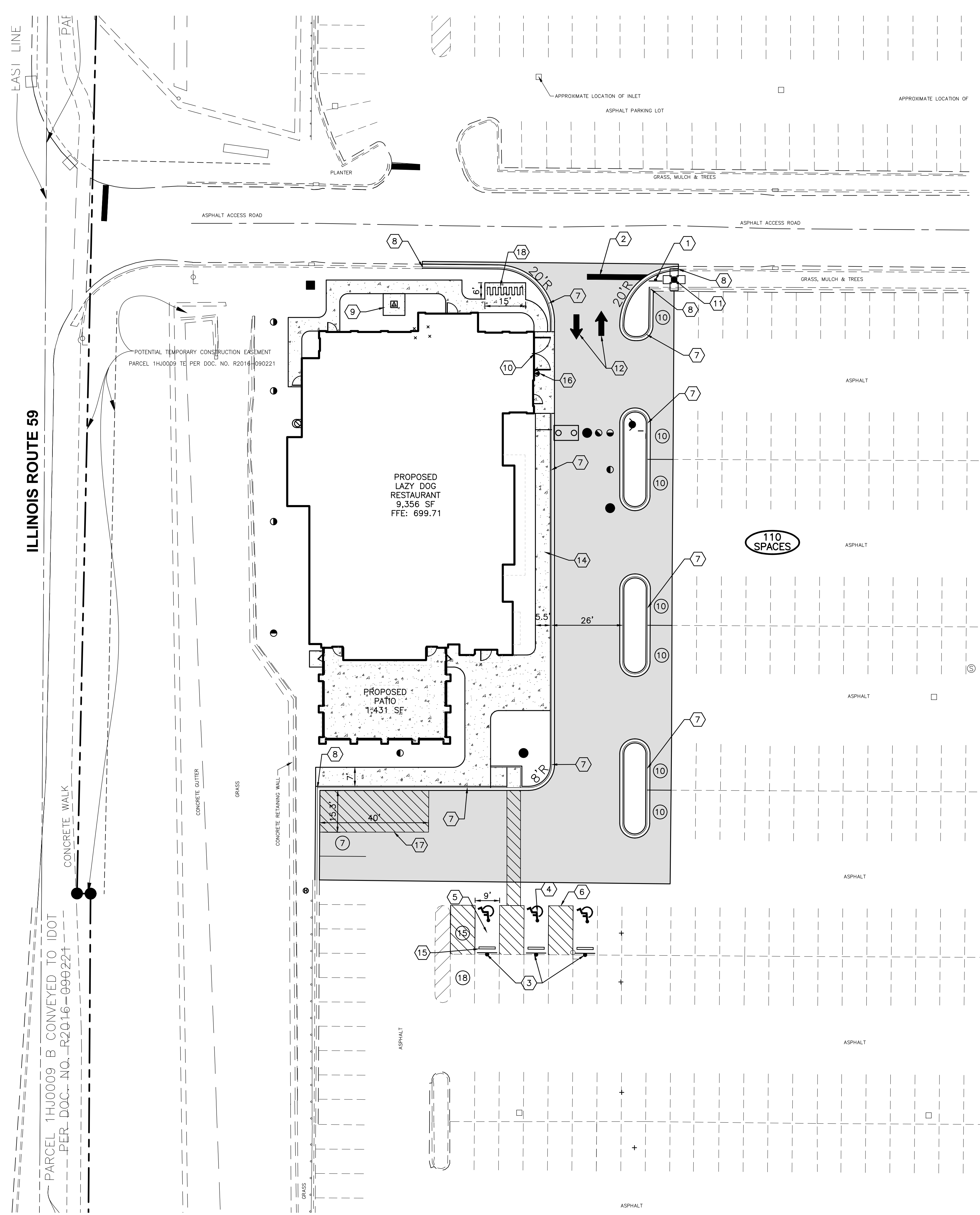
THE BASIS OF ELEVATIONS HEREON IS NAVD 88.
 REBAR SET - SEE VICINITY MAP FOR LOCATION.
 ELEVATION = 700.85'



REVISION	No.	DATE	PROJECT No:	DATE	DES. BY	DR.	CKD.
			078581	08/31/18	RW	JC	RW
			1815 South Meyers Road Suite 950 Oakbrook Terrace, IL 60181 630.424.9080 FAX: 630.495.3731				
			WOOLPERT ARCHITECTURAL ENGINEERING (CORPORATE)				
			SITE IMPROVEMENT PLANS HERITAGE SQUARE LAZY DOG RESTAURANT NE CORNER ROUTE 59 & AURORA AVENUE NAPERVILLE, ILLINOIS				
			EXISTING CONDITIONS DEMO PLAN				
			SHEET NO. C100				

Layout Tab Name: C200 SITE PLAN, Images: aerial.jpg, SOUTH LOT AERIAL.jpg, Xrefs: 078581-TBLK.dwg, 078581-X.dwg, 078581-P.dwg, 078581-R.dwg, X-digitalized.dwg
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ILLINOIS ROUTE 59



SITE DATA		
PROPOSED SITE AREA	1.38±	ACRES
BUILDING DATA:		
LAZY DOG BUILDING AREA	9,356	SQ. FT.
OUTDOOR DINING AREA	1,431	SQ. FT.
TOTAL AREA	10,787	SQ. FT.
PARKING DATA:		
EXISTING SPACES BEFORE PROJECT	1003	
SPACES REMOVED WITH PROJECT	36	
SPACES GAINED WITH PROJECT	0	
SPACES AVAILABLE AFTER PROJECT	967	
PARKING REQUIREMENTS		
LAZY DOG	10/1000 SQ.FT. = 108	
EXISTING RETAIL	673	
TOTAL SPACES REQUIRED	781	
TOTAL ACCESSIBLE SPACES REQUIRED	20	
TOTAL ACCESSIBLE SPACES PROVIDED	24	

SITE LEGEND

- INDICATES LIGHT DUTY PAVEMENT—SEE DETAILS FOR PAVEMENT COMPOSITION
- INDICATES HEAVY DUTY PAVEMENT—SEE DETAILS FOR PAVEMENT COMPOSITION
- INDICATES NEW CONCRETE PAVEMENT/SIDEWALK—SEE DETAILS FOR PAVEMENT COMPOSITION
- LIGHT POLES
- EXISTING CURB AND GUTTER
- POSITIVE SLOPED CURB
- NEGATIVE SLOPED CURB
- INDICATES ROW PARKING COUNT
- INDICATES PARKING TOTAL FOR SURROUNDING AREA
- PROPERTY BOUNDARY

- ### SITE KEY NOTES
- NO. DESCRIPTION
 - 1 "STOP" SIGN, R1-1
 - 2 24" WIDE STOP BAR, TRAFFIC WHITE PAINT
 - 3 ACCESSIBLE PARKING SIGN
 - 4 ACCESSIBLE PARKING SYMBOL
 - 5 ACCESSIBLE PARKING SPACES & THEIR ACCESS AISLES SHALL BE 2% MAX. SLOPE IN ALL DIRECTIONS
 - 6 PAINT 4" WIDE STRIPES @ 2'-0" O.C. @ 45° ANGLE, TRAFFIC YELLOW PAINT
 - 7 CURB AND GUTTER
 - 8 BEGIN/END PROPOSED CURB AND GUTTER. SAWCUT EXISTING CURB TO PROVIDE CLEAN CONSTRUCTION JOINT.
 - 9 CONCRETE TRANSFORMER PAD
 - 10 DUMPSTER ENCLOSURE (SEE ARCHITECTURAL PLANS)
 - 11 LIGHT POLE LOCATION
 - 12 DIRECTIONAL ARROW, TRAFFIC WHITE PAINT
 - 13 CONCRETE BOLLARDS
 - 14 CONCRETE 5' WALK
 - 15 PARKING BLOCK
 - 16 FIRE DEPARTMENT CONNECTION
 - 17 LOADING ZONE
 - 18 BICYCLE PARKING RACK

- ### SITE NOTES
1. ALL DIMENSIONS, RADII AND COORDINATES ARE TO BACK OF CURB WHERE APPLICABLE. ALL RADII SHALL BE 4' UNLESS INDICATED OTHERWISE.
 2. ALL PAVEMENT MARKING SHALL BE YELLOW IN COLOR UNLESS INDICATED OTHERWISE.
 3. ALL CURB & GUTTER SHALL BE B6.12, "POSITIVE", UNLESS NOTED OTHERWISE (SEE DETAILS).
 4. ADA DETECTABLE WARNINGS/TRUNCATED DOMES TO BE PROVIDED AT SIDEWALKS ON EITHER SIDE OF EACH DRIVEWAY CROSSING.
 5. SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
 6. WHERE NEW PAVEMENT IS TO BE PLACED OVER CURBED ISLANDS THAT HAVE BEEN REMOVED, CONTRACTOR TO PROVIDE AGGREGATE BASE & BINDER COURSE MATCHING THE EXISTING PAVEMENT SECTIONS PRIOR TO PLACEMENT OF SURFACE COURSE.
 7. CONTRACTOR TO PERFORM PAVEMENT RESTORATION FOR ALL BUILDING FOOTINGS AND UTILITY INSTALLATIONS. CONTRACTOR TO PROVIDE 8" AGGREGATE BASE, 3" BINDER COURSE, AND 1.5" SURFACE COURSE OR MATCH THE EXISTING PAVEMENT SECTION, WHICHEVER IS GREATER.
 8. AREAS OF PAVEMENT RESTORATION SHALL BE PROOF ROLLED TO DETERMINE IF FULL DEPTH RESTORATION IS REQUIRED OR IF ONLY THE BITUMINOUS MATERIAL IS TO BE REPLACED.

BENCHMARK:
 THE BASIS OF ELEVATIONS HEREON IS NAVD 88.
 REBAR SET - SEE VICINITY MAP FOR LOCATION.
 ELEVATION = 700.85'

REVISION	
No.	DATE
2	11/19/18
1	10/05/18

PROJECT No: 078581
 DATE: 08/31/18
 DES. RW
 DR. JC
 CKD. RW

1815 South Meyers Road
 Suite 950
 Oakbrook Terrace, IL 60181
 630.424.9080
 FAX: 630.495.3731

WOOLPERT
 ARCHITECTURAL ENGINEERING (CORPORATE)

SITE IMPROVEMENT PLANS
HERITAGE SQUARE
LAZY DOG RESTAURANT
 NE CORNER ROUTE 59 & AURORA AVENUE
 NAPERVILLE, ILLINOIS

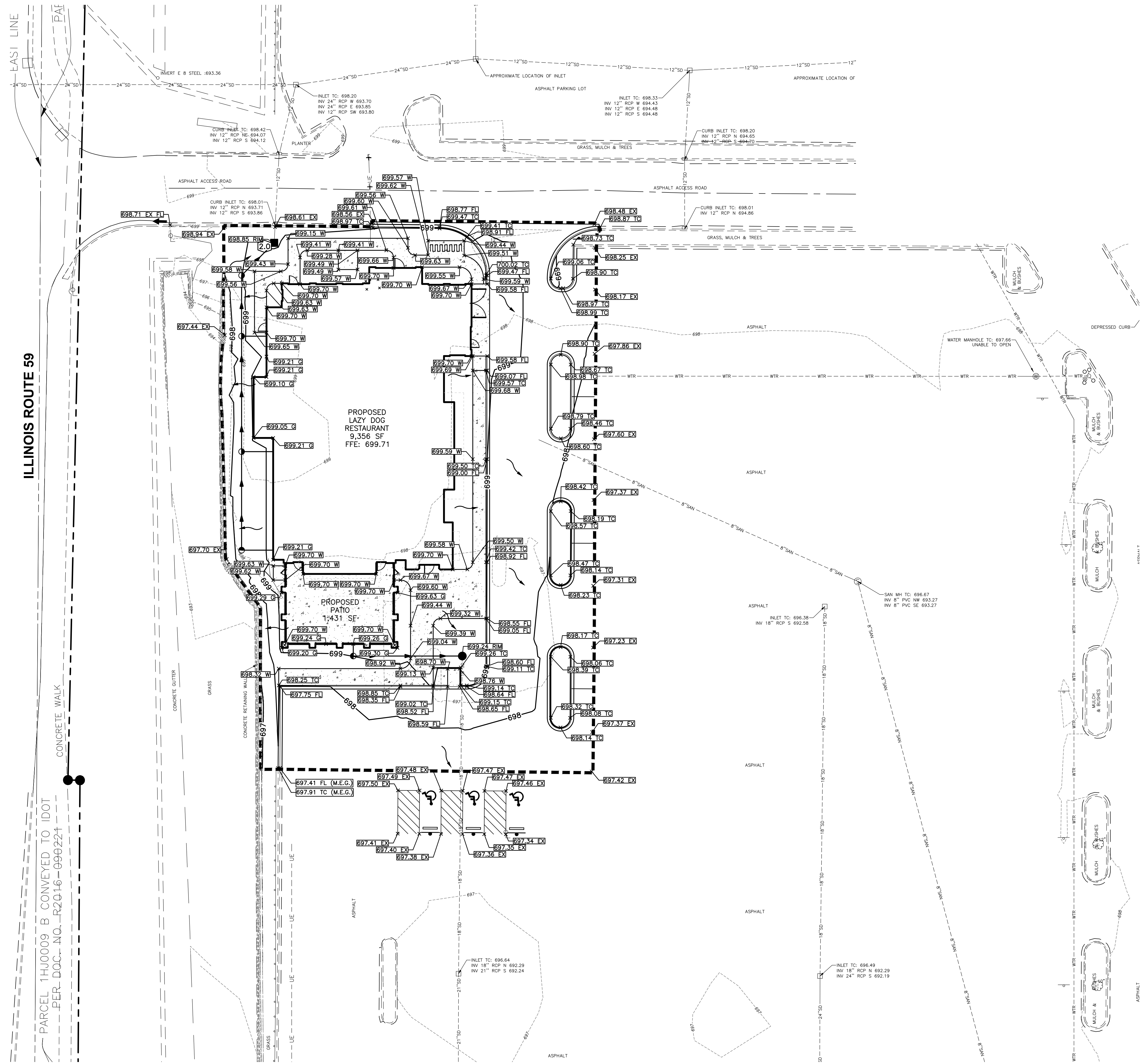
SITE PLAN

SHEET NO. **C200**

Layout Tab Name: C300 GRADING PLAN, Images: aerial.jpg; SOUTH LOT AERIAL.jpg; Xrefs: 078581-TBLK.dwg; 078581-X.dwg; 078581-P.dwg; 078581-G.dwg; X-digitized.dwg
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ILLINOIS ROUTE 59

PARCEL 1HJ0009 B CONVEYED TO IDOT
 PER DOC. NO. R2016-090224



GRADING LEGEND

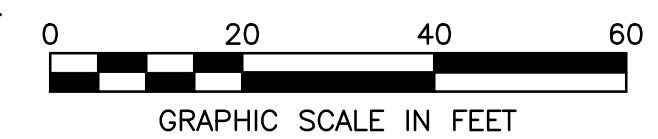
- EXISTING BOUNDARY
- PROPOSED BOUNDARY
- 803- EXISTING 1' CONTOUR
- 810- EXISTING 5' CONTOUR
- 803- PROPOSED 1' CONTOUR
- 810- PROPOSED 5' CONTOUR
- PROPOSED STORM DRAIN
- CENTERLINE DRAINAGE SWALE
- CONSTRUCTION LIMITS
- DIRECTION OF FLOW
- OVERLAND FLOW ROUTE
- PROPOSED CATCH BASIN
- PROPOSED CURB INLET
- PROPOSED STORM MANHOLE
- PROPOSED FLARED END SECTION
- PROPOSED CLEANOUT
- BENCHMARK
- POSITIVE SLOPED CURB
- NEGATIVE SLOPED CURB
- C700 INDICATES DETAIL LOCATION (DETAIL NUMBER/DETAIL SHEET)
- 1.0 PROPOSED STORM STRUCTURE CALLOUT

PROPOSED ELEVATIONS LEGEND

- X 800.00 TC ELEVATION AT TOP OF CURB
- X 000.00 FL ELEVATION AT FLOW LINE
- X 800.00 P ELEVATION AT TOP OF PAVEMENT
- X 800.00 G ELEVATION AT GRADE
- X 800.00 S ELEVATION AT TOP OF SLAB
- X 800.00 W ELEVATION AT TOP OF WALK
- X 800.00 RIM TOP OF CASTING (RIM OR FLOW LINE) ELEVATION
- X M.E.G. ELEVATION TO MATCH EXISTING GRADE

BENCHMARK:

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 REBAR SET - SEE VICINITY MAP FOR LOCATION.
 ELEVATION = 700.85'



REVISION		No.	DATE	PROJECT No: 078581	DATE 08/31/18	DES. RW	DR. NP	CKD. RW
		2	11/19/18					REVISED PER CITY COMMENTS

SITE IMPROVEMENT PLANS
HERITAGE SQUARE
LAZY DOG RESTAURANT
 NE CORNER ROUTE 59 & AURORA AVENUE
 NAPERVILLE, ILLINOIS

1815 South Meyers Road
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 630.424.9080
 FAX: 630.495.3731

WOOLPERT
 ARCHITECTURAL ENGINEERING (CORPORATE)

SHEET NO. **C300**

LANDSCAPE CODE SUMMARY

NAPERVILLE, ILLINOIS - CODE OF ORDINANCES
 TITLE 5 - BUILDING REGULATIONS
 CHAPTER 10 - LANDSCAPING, SCREENING, AND TREE PRESERVATION

PARKWAY LANDSCAPING (5-10-3-3)
 PROVIDE ONE TREE EVERY FORTY (40) LF OF ROAD FRONTAGE

ROUTE 59 (272 LF)
 = 6.8 TREES REQUIRED
 = EXISTING DETENTION BASIN PREVENTS TREE PLANTING

PERIMETER LANDSCAPING (5-10-3-4.1)
 PROVIDE ONE TREE EVERY SEVENTY (70) LF

NORTH PERIMETER (194 LF)
 = 2.8 TREES REQUIRED
 = 2 EXISTING TREES & 1 NEW TREE PROVIDED

WEST PERIMETER (272 LF)
 = 3.9 TREES REQUIRED
 = 4 TREES PROVIDED

FOUNDATION LANDSCAPING (5-10-3-4.2)
 PROVIDE ONE PLANT FOR EVERY THREE (3) LF OF BUILDING LENGTH

575 LF OF BUILDING LENGTH
 = 192 TREES REQUIRED
 = 194 PLANTS PROVIDED

PARKING LOT INTERIOR LANDSCAPING (5-10-3-5.1)
 PROVIDE ONE TREE FOR EVERY 130 SF OF ISLAND WITH 50% LIVE PLANT MATERIAL COVERAGE

1,205 SF OF ISLANDS
 = 9.3 TREES REQUIRED
 = 9 TREES & OVER 50% LIVE PLANT MATERIAL COVERAGE PROVIDED

PARKING LOT PERIMETER LANDSCAPING (5-10-3-5.2)
 PROVIDE LANDSCAPE ACROSS 50% OF THE PARKING LOT TO A HEIGHT OF 30 INCHES AND SPACED FOUR FEET ON CENTER

ROUTE 50 (45 LF)
 = 5.6 SHRUBS REQUIRED
 = 6 SHRUBS PROVIDED

LANDSCAPE NOTES

- LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES, PRIOR TO DIGGING, IS RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SUB GRADE, GENERAL SITE CONDITIONS, VERIFY ELEVATIONS, UTILITY LOCATIONS, IRRIGATION, APPROVE TOPSOIL PROVIDED BY GENERAL CONTRACTOR AND OBSERVE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. NOTIFY GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS. WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR AND/OR CONSTRUCTION MANAGER.
- GENERAL AND LANDSCAPE CONTRACTOR ARE RESPONSIBLE FOR PROTECTING EXISTING TREES FROM DAMAGE DURING CONSTRUCTION. GENERAL CONTRACTOR TO INSTALL TREE PROTECTION FENCING PRIOR TO ANY SITE WORK.
- ALL SHRUB AND GROUND COVER BEDS TO BE MULCHED WITH A MINIMUM OF 3 INCHES OF CLEAN SHREDDED HARDWOOD MULCH.
- PLANTING HOLES TO BE DUG A MINIMUM OF TWICE THE WIDTH AND 6-12 INCHES DEEPER THAN THE SIZE OF THE ROOT BALL OF BOTH SHRUB AND TREE. AMEND BACKFILL WITH TOPSOIL MIX. BACKFILL AND TAMP BOTTOM OF HOLE PRIOR TO PLANTING SO TOP OF ROOT BALL DOES NOT SETTLE BELOW SURROUNDING GRADE.
- TOPSOIL MIX TO BE 4 PARTS SCREENED TOPSOIL AND 1 PART ORGANIC MATERIAL (i.e. NATURE'S HELPER OR PRO MIX).
- EXISTING GRASS IN PROPOSED PLANTING AREAS TO BE REMOVED AND AREA TO BE HAND RAKED TO REMOVE ALL ROCKS AND DEBRIS LARGER THAN 1 INCH IN DIAMETER PRIOR TO PLANTING SHRUBS.
- SOIL TO BE TESTED TO DETERMINE FERTILIZER AND LIME REQUIREMENTS. LIME AND FERTILIZER TO BE DISTRIBUTED PRIOR TO SPREADING SEED. ALL DISTURBED AREAS (INCLUDING RIGHT-OF-WAYS) NOT RECEIVING PLANTINGS TO RECEIVE 4 INCHES OF TOPSOIL AND SEED.
- ALL CHANGES TO DESIGN AND/OR PLANT SUBSTITUTIONS TO BE AUTHORIZED BY LANDSCAPE ARCHITECT.
- ALL PARKING ISLANDS TO BE BERMED UP 6"-10" WITH CLEAN FRIABLE TOPSOIL PRIOR TO PLANTING.
- ALL LANDSCAPING SHALL BE INSTALLED IN CONFORMANCE WITH ANSI Z60.1 THE AMERICAN STANDARD FOR NURSERY STOCK, AND THE ACCEPTED STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERMEN.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS INSTALLED FOR ONE FULL YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. ALL PLANTS SHALL BE ALIVE AND AT A VIGOROUS RATE OF GROWTH AT THE END OF THE GUARANTEE PERIOD. THE LANDSCAPE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ACTS OF GOD OR VANDALISM.
- ANY PLANT THAT IS DETERMINED DEAD, IN AN UNHEALTHY OR UNSIGHTLY CONDITION, LOST ITS SHAPE DUE TO DEAD BRANCHES OR OTHER SYMPTOMS OF POOR, NON-VIGOROUS GROWTH SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR WITH THE COST OF THE REPLACEMENT INCLUDED IN THE BID OR PROPOSAL PRICE.
- WATER THOROUGHLY TWICE IN THE FIRST 24 HOURS AND APPLY MULCH IMMEDIATELY.
- TREES SHALL BE INSTALLED A MINIMUM OF FIVE (5) FEET HORIZONTALLY FROM UNDERGROUND ELECTRICAL FEEDERS, SANITARY SEWERS, SANITARY SERVICES, WATER MAINS, AND WATER SERVICES. TREES SHALL BE INSTALLED A MINIMUM TEN (10) FEET HORIZONTALLY FROM UTILITY STRUCTURES AND APPURTENANCES, INCLUDING, BUT NOT LIMITED TO, MANHOLES, VALVE UNITS, VALVE BOXES, AND FIRE HYDRANTS.



REVISION	No.	DATE	PROJECT No.	DATE	DES.	DR.	CHKD.
			078581	08/31/18	JC	RW	RW
	2	11/19/18					

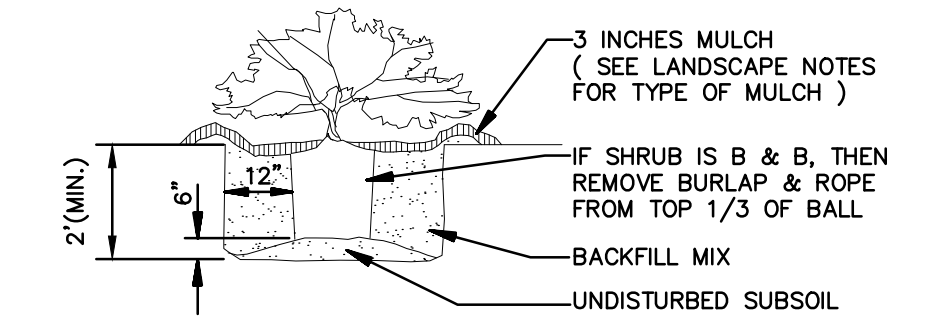
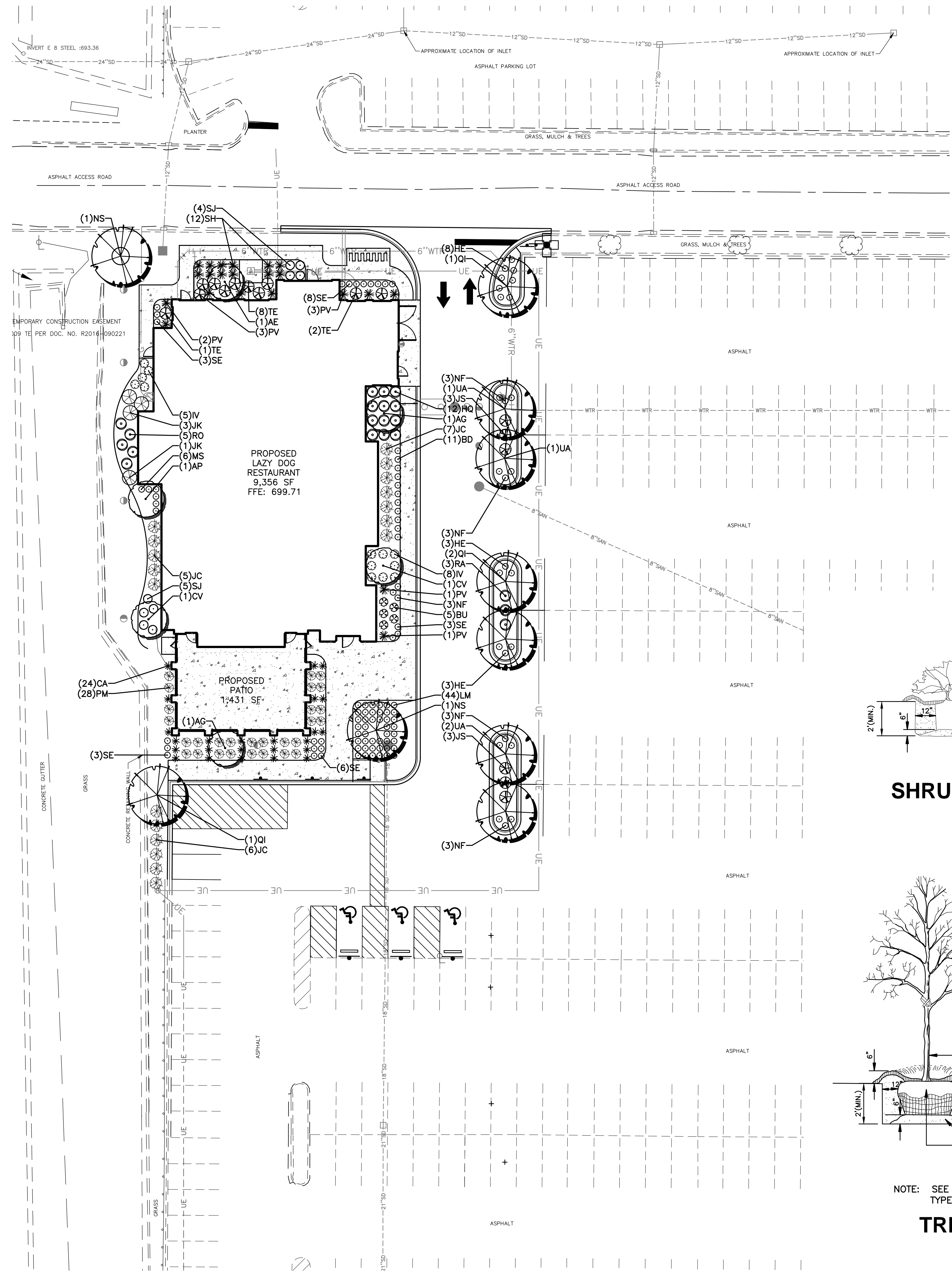
1815 South Meyers Road
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WOOLPERT
 ARCHITECTURAL ENGINEERING & LANDSCAPE ARCHITECTURE

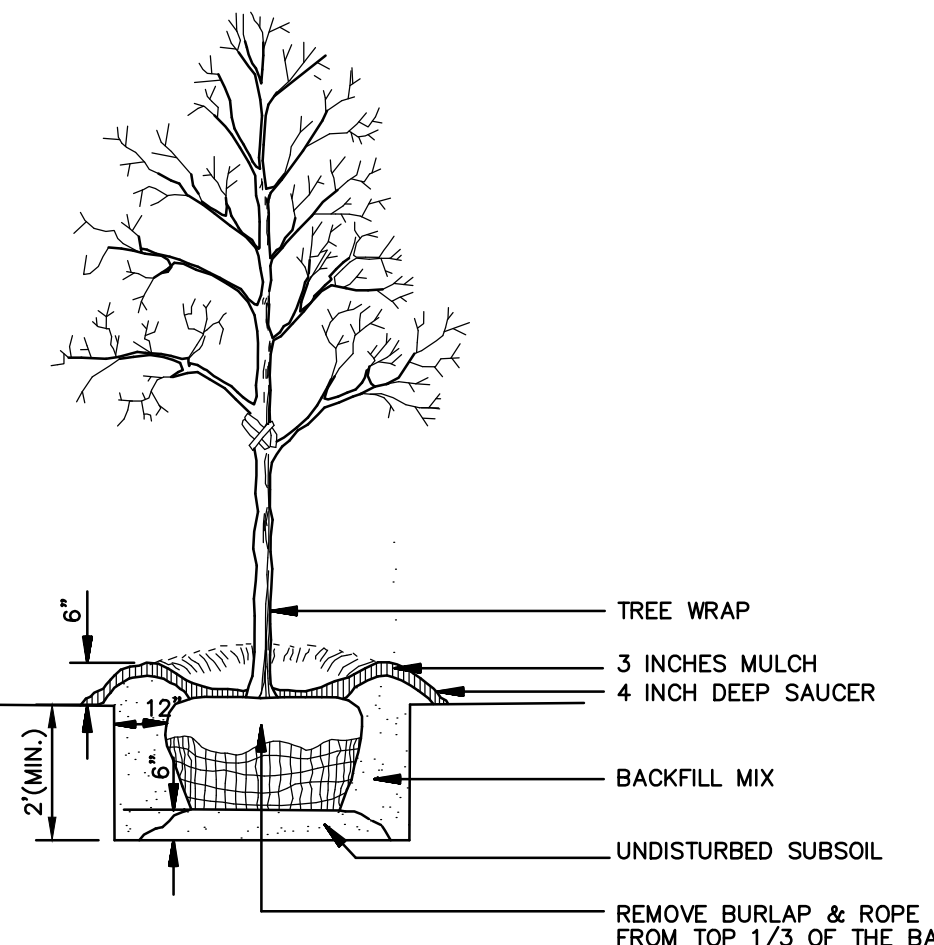
SITE IMPROVEMENT PLANS
HERITAGE SQUARE
LAZY DOG RESTAURANT
 NE CORNER ROUTE 59 & AURORA AVENUE
 NAPERVILLE, ILLINOIS

LANDSCAPE PLAN

SHEET NO. **C500**



SHRUB PLANTING
 N.T.S.

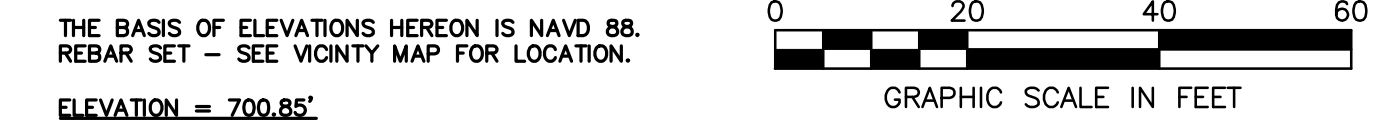


TREE PLANTING
 N.T.S.

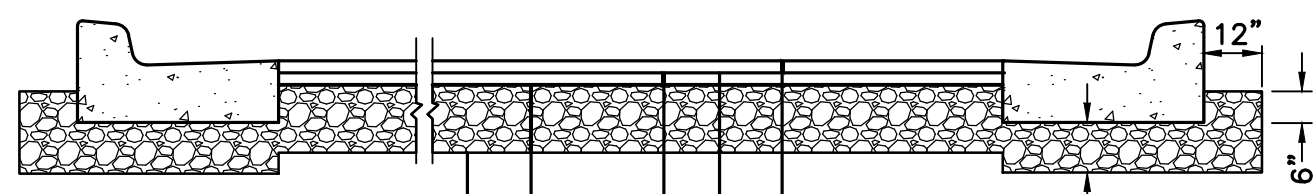
NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

TAG	QTY	SCIENTIFIC NAME	COMMON NAME	COND.	SIZE	REMARKS
SHADE TREE						
NS	2	<i>Nyssa sylvatica</i>	Black Gum	B&B	2.5" cal. 14"ht. 7"wd	Full, well shaped
QI	4	<i>Quercus imbricaria</i>	Shingle Oak	B&B	2.5" cal. 14"ht. 7"wd	Full, well shaped
UA	4	<i>Ulmus americana 'Princeton'</i>	Princeton American Elm	B&B	2.5" cal. 14"ht. 7"wd	Full, well shaped
ORNAMENTAL TREE						
AG	2	<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	Apple Serviceberry	B&B	1.5" cal. 8"ht. 4"wd.	Full, well shaped, single-stem
AE	1	<i>Aesculus pavia</i>	Red Buckeye	B&B	8"ht. 4"wd.	Full, well shaped, 3-stem
AP	1	<i>Acer palmatum 'Bloodgood'</i>	Bloodgood Japanese Maple	B&B	1.5" cal. 8"ht. 4"wd.	Full, well shaped, single-stem
CV	2	<i>Chionanthus virginicus</i>	White Fringetree	B&B	8"ht. 4"wd.	Full, well shaped, multi-stem
EVERGREEN SHRUB						
JU	5	<i>Buxus 'Glencoe'</i>	Chicagoland Green Boxwood	#3 cont.	18"ht. x 18"wd.	Full, vigorous
BC	18	<i>Juniperus chinensis 'Sea Green'</i>	Sea Green Juniper	#5 cont.	24"ht. x 24"wd.	Full, vigorous
JS	6	<i>Juniperus chinensis sargentii 'Viridis'</i>	Green Sargent Juniper	#3 cont.	12"ht. x 18"wd.	Full, vigorous
JK	4	<i>Juniperus chinensis 'Keteleeri'</i>	Keteleeri Upright Juniper	B&B	48"ht. x 24"wd.	Full, vigorous
PM	28	<i>Pinus mugo 'Slowmound'</i>	Slowmound Dwarf Mugo Pine	#3 cont.	18"ht. x 18"wd.	Full, vigorous
TE	11	<i>Taxus x media 'Everlow'</i>	Everlow Yew	#3 cont.	12"ht. x 18"wd.	Full, vigorous
DECIDUOUS SHRUB						
HQ	12	<i>Hydrangea quercifolia 'Pee Wee'</i>	Pee Wee Oakleaf Hydrangea	#3 cont.	18"ht. x 18"wd.	Full, vigorous
IV	13	<i>Itea virginica 'Little Henry'</i>	Little Henry Sweetspire	#3 cont.	18"ht. x 18"wd.	Full, vigorous
RA	3	<i>Rhus aromatica 'Gro-Low'</i>	Gro-Low Fragrant Sumac	#3 cont.	18"ht. x 18"wd.	Full, vigorous
RO	5	<i>Rosa x 'Radkapin'</i>	Double Pink Knockout Rose	#5 cont.	24"ht. x 24"wd.	Full, vigorous
SJ	9	<i>Spiraea japonica 'Shirobana'</i>	Shirobana Spirea	#3 cont.	18"ht. x 18"wd.	Full, vigorous
ORNAMENTAL GRASS						
CA	24	<i>Calamagrostis x acutifolia 'Karl Foerster'</i>	Feather Reed Grass	#2 cont.		Full, vigorous
PV	6	<i>Panicum virgatum 'Hot Rod'</i>	Hot Rod Red Switchgrass	#2 cont.		Full, vigorous
SH	12	<i>Sporobolus heterolepis</i>	Prairie Dropseed	#2 cont.		Full, vigorous
PERENNIAL						
BD	11	<i>Buddleia 'Pugster Amethyst'</i>	Dwarf Amethyst Butterflybush	#2 cont.		
HE	14	<i>Hemerocallis 'Happy Returns'</i>	Happy Returns Daylily	#1 cont.		
LM	44	<i>Liriope muscari 'Big Blue'</i>	Big Blue Liriope	#1 cont.		
MS	6	<i>Matteuccia struthiopteris</i>	Ostrich Fern	#1 cont.		
NF	15	<i>Nepeta x faassenii 'Walker's Low'</i>	Walker's Low Catmint	#1 cont.		
SE	23	<i>Sedum kamtschaticum var. elaeoceanum</i>	Yellow Stonecrop	#1 cont.		

* QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR TO VERIFY QUANTITIES OF PLANTS ON LANDSCAPE PLAN.



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- 1 SECTION 301 ~ SUBGRADE COMPACTION
- 2 SECTION 351 ~ AGGREGATE BASE CA-6 (12" COURSE)
- 3 SECTION 406 ~ HOT-MIX ASPHALT BINDER COURSE, 2.5", IL-19.0, N50
- 4 SECTION 403 ~ TACK COAT @ 0.05 TO 0.10 GAL/SY
- 5 SECTION 406 ~ HOT-MIX ASPHALT SURFACE COURSE, 1.5", MIX "D", N50

Flexible Pavement Structural Number Calculation

Material	Structural Coefficient*	Thickness (in)
Hot Mix Asphalt Surface Course	0.4	1.5
Hot Mix Asphalt Binder Course	0.33	2.5
CA-6 Agg. Base	0.13	12

* Values taken from IDOT BDE Manual dated March, 2013

Composite Structural Number

2.99

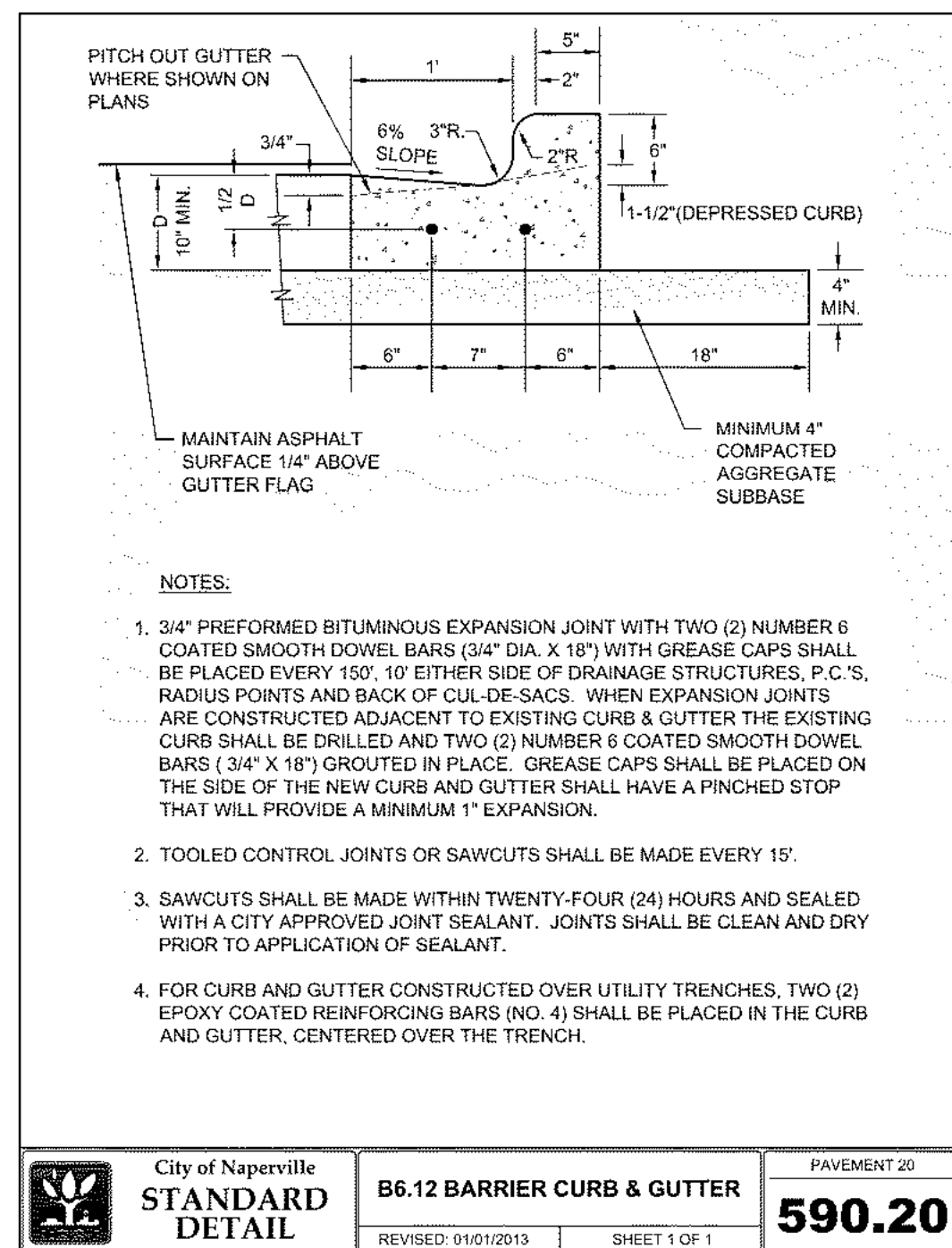
NOTES

- 1) ALL ITEM NUMBERS REFER TO STATE OF ILLINOIS DEPARTMENT OF TRANSPORTATION. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

PAVEMENT SECTION DETAIL

NTS

1
C600

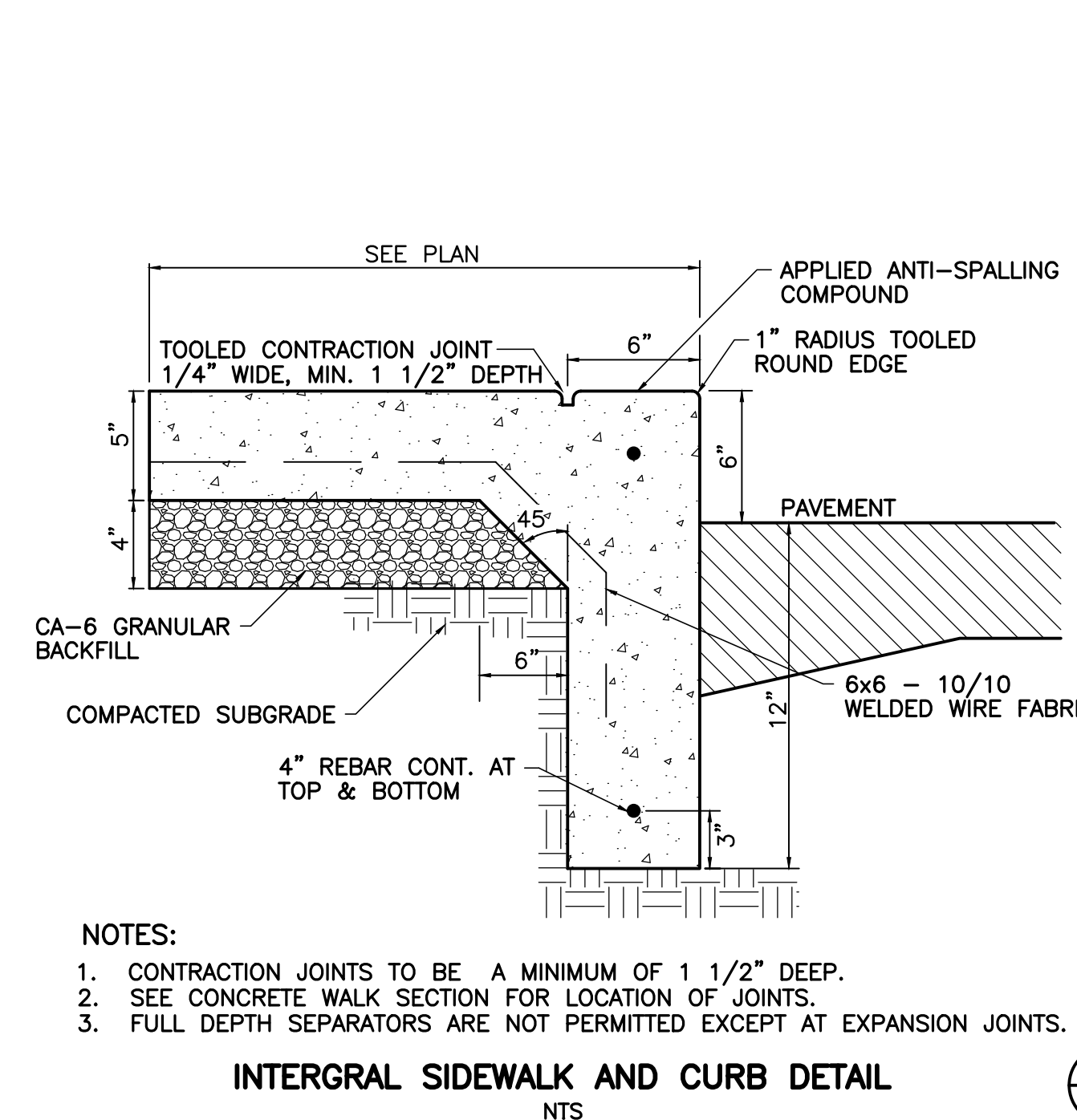


NOTES:

- 3/4" PREFORMED BITUMINOUS EXPANSION JOINT WITH TWO (2) NUMBER 6 COATED SMOOTH DOWEL BARS (3/4" DIA. X 18") WITH GREASE CAPS SHALL BE PLACED EVERY 150'. 10' EITHER SIDE OF DRAINAGE STRUCTURES, P.C.'S, RADIUS POINTS AND BACK OF CUL-DE-SACS. WHEN EXPANSION JOINTS ARE CONSTRUCTED ADJACENT TO EXISTING CURB & GUTTER THE EXISTING CURB SHALL BE DRILLED AND TWO (2) NUMBER 6 COATED SMOOTH DOWEL BARS (3/4" X 18") GROUDED IN PLACE. GREASE CAPS SHALL BE PLACED ON THE SIDE OF THE NEW CURB AND GUTTER SHALL HAVE A PINCHED STOP THAT WILL PROVIDE A MINIMUM 1" EXPANSION.
- TOOLED CONTROL JOINTS OR SAWCUTS SHALL BE MADE EVERY 15'.
- SAWCUTS SHALL BE MADE WITHIN TWENTY-FOUR (24) HOURS AND SEALED WITH A CITY APPROVED JOINT SEALANT. JOINTS SHALL BE CLEAN AND DRY PRIOR TO APPLICATION OF SEALANT.
- FOR CURB AND GUTTER CONSTRUCTED OVER UTILITY TRENCHES, TWO (2) EPOXY COATED REINFORCING BARS (NO. 4) SHALL BE PLACED IN THE CURB AND GUTTER, CENTERED OVER THE TRENCH.

City of Naperville STANDARD DETAIL B6.12 BARRIER CURB & GUTTER PAVEMENT 20 590.20

2
C600



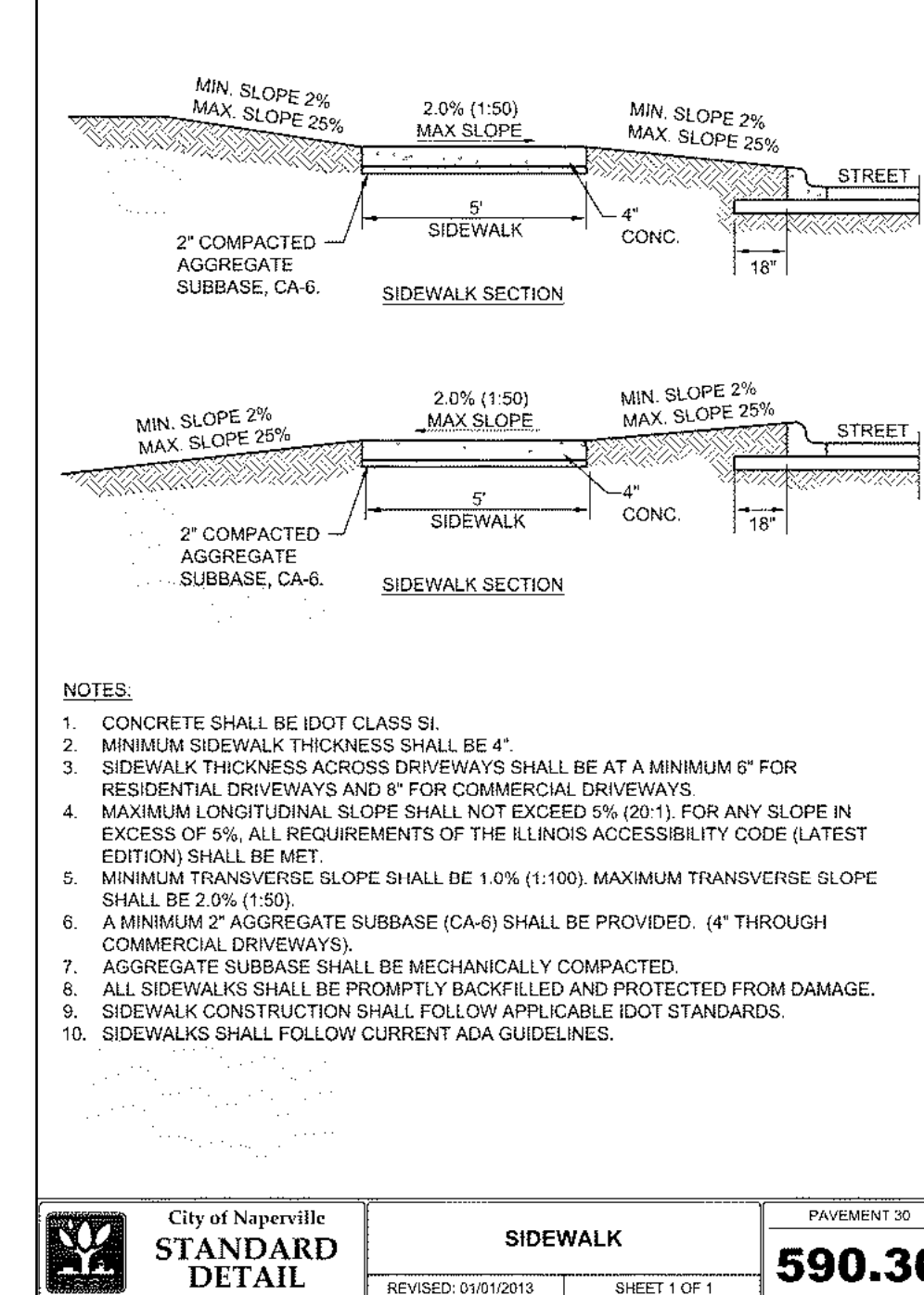
NOTES:

- CONTRACTION JOINTS TO BE A MINIMUM OF 1 1/2" DEEP.
- SEE CONCRETE WALK SECTION FOR LOCATION OF JOINTS.
- FULL DEPTH SEPARATORS ARE NOT PERMITTED EXCEPT AT EXPANSION JOINTS.

INTERGRAL SIDEWALK AND CURB DETAIL

NTS

3
C600

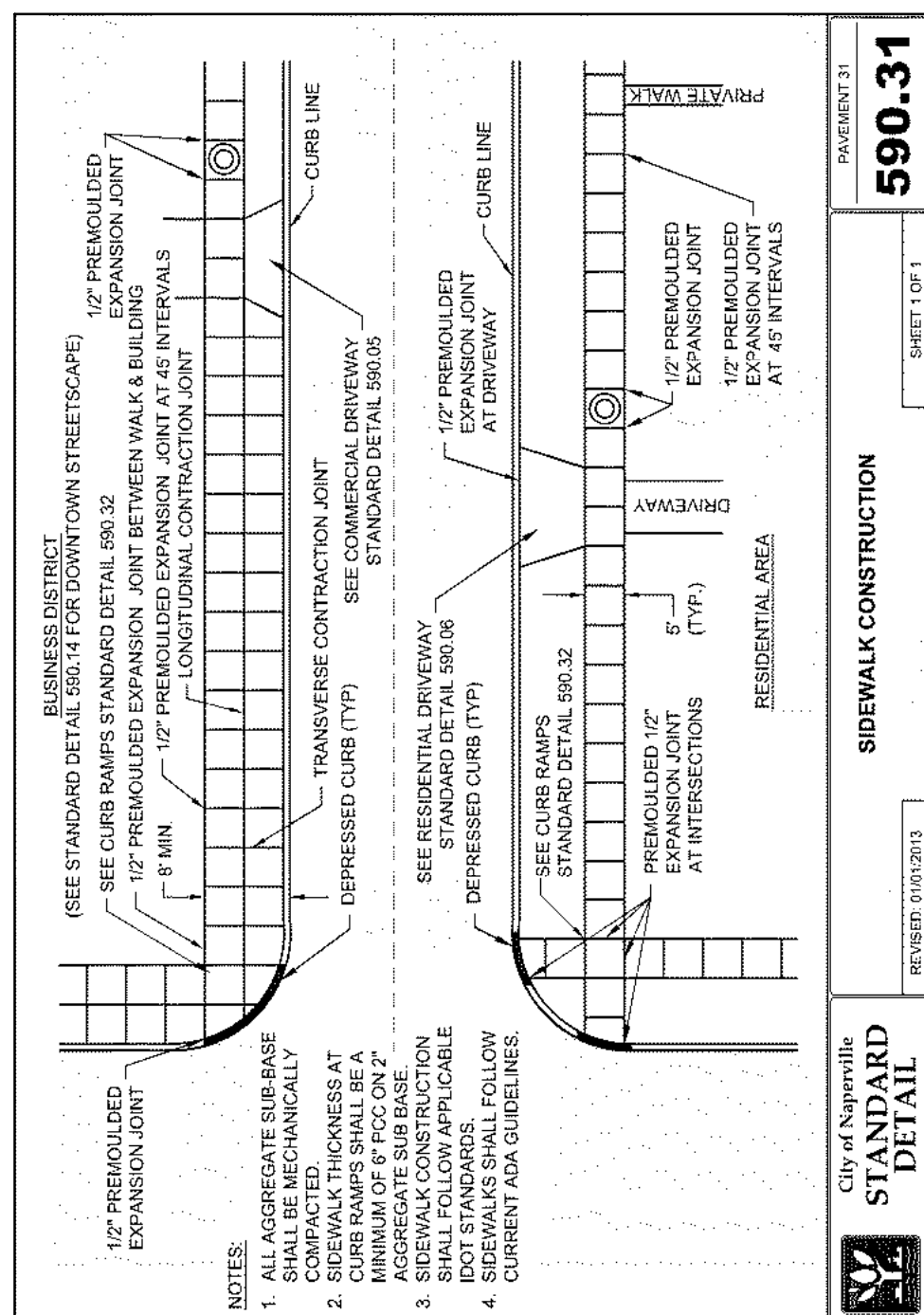


NOTES:

- CONCRETE SHALL BE IDOT CLASS SL.
- MINIMUM SIDEWALK THICKNESS SHALL BE 4".
- SIDEWALK THICKNESS ACROSS DRIVEWAYS SHALL BE AT A MINIMUM 6" FOR RESIDENTIAL DRIVEWAYS AND 8" FOR COMMERCIAL DRIVEWAYS.
- MAXIMUM LONGITUDINAL SLOPE SHALL NOT EXCEED 5% (20:1). FOR ANY SLOPE IN EXCESS OF 2%, ALL REQUIREMENTS OF THE ILLINOIS ACCESSIBILITY CODE (LATEST EDITION) SHALL BE MET.
- MINIMUM TRANSVERSE SLOPE SHALL BE 1.0% (1:100). MAXIMUM TRANSVERSE SLOPE SHALL BE 2.0% (1:50).
- A MINIMUM 2" AGGREGATE SUBBASE (CA-6) SHALL BE PROVIDED. (4" THROUGH COMMERCIAL DRIVEWAYS).
- AGGREGATE SUBBASE SHALL BE MECHANICALLY COMPACTED.
- ALL SIDEWALKS SHALL BE PROMPTLY BACKFILLED AND PROTECTED FROM DAMAGE.
- SIDEWALK CONSTRUCTION SHALL FOLLOW APPLICABLE IDOT STANDARDS.
- SIDEWALKS SHALL FOLLOW CURRENT ADA GUIDELINES.

City of Naperville STANDARD DETAIL SIDEWALK PAVEMENT 20 590.30

4
C600

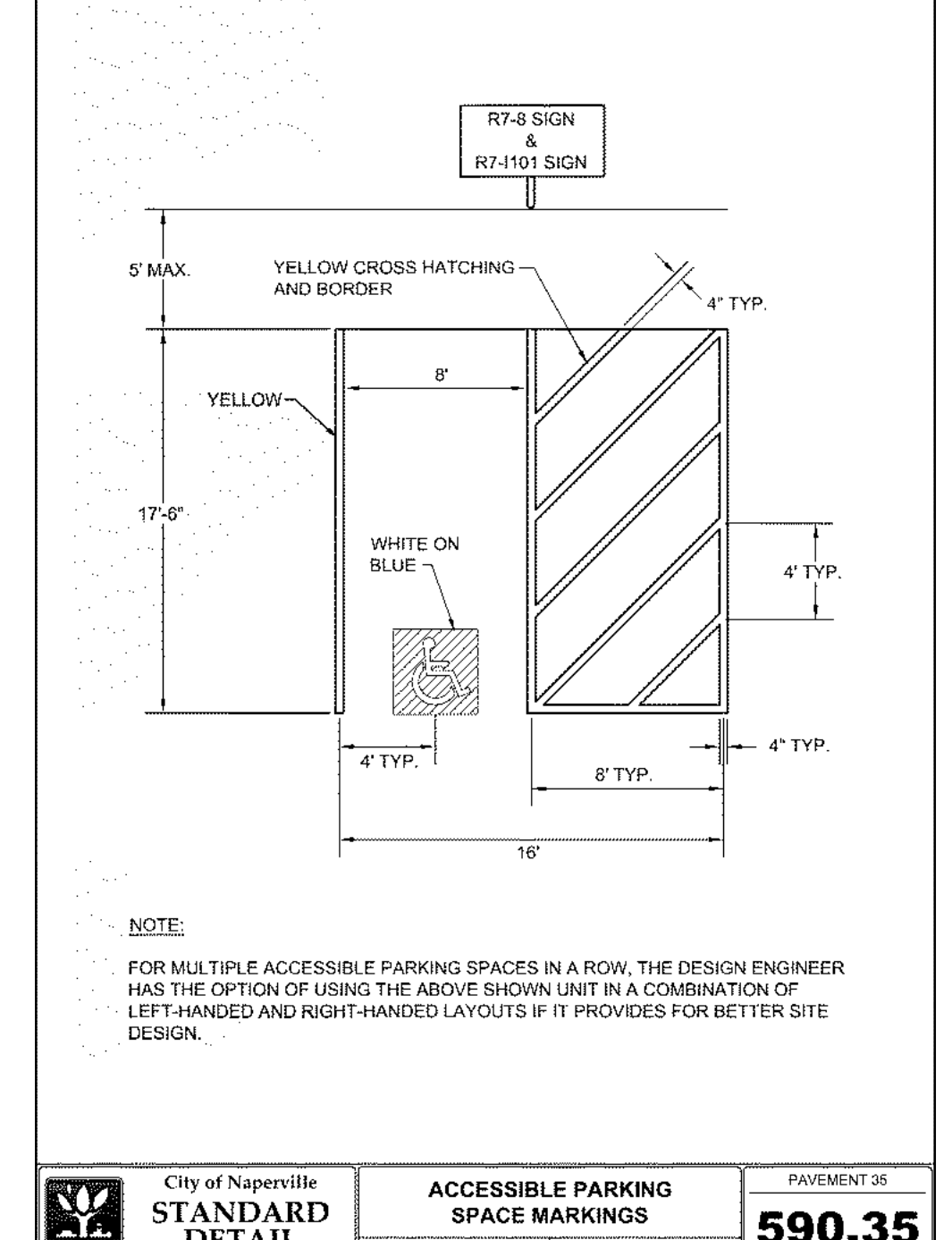


NOTES:

- ALL AGGREGATE SUB-BASE SHALL BE MECHANICALLY COMPACTED.
- SEWALK THICKNESS AT INTERSECTIONS SHALL BE 4" MINIMUM.
- MINIMUM OF 2" AGGREGATE SUB-BASE SHALL FOLLOW APPLICABLE IDOT STANDARDS.
- ALL SIDEWALKS SHALL FOLLOW CURRENT ADA GUIDELINES.

City of Naperville STANDARD DETAIL SIDEWALK CONSTRUCTION PAVEMENT 21 590.31

5
C600

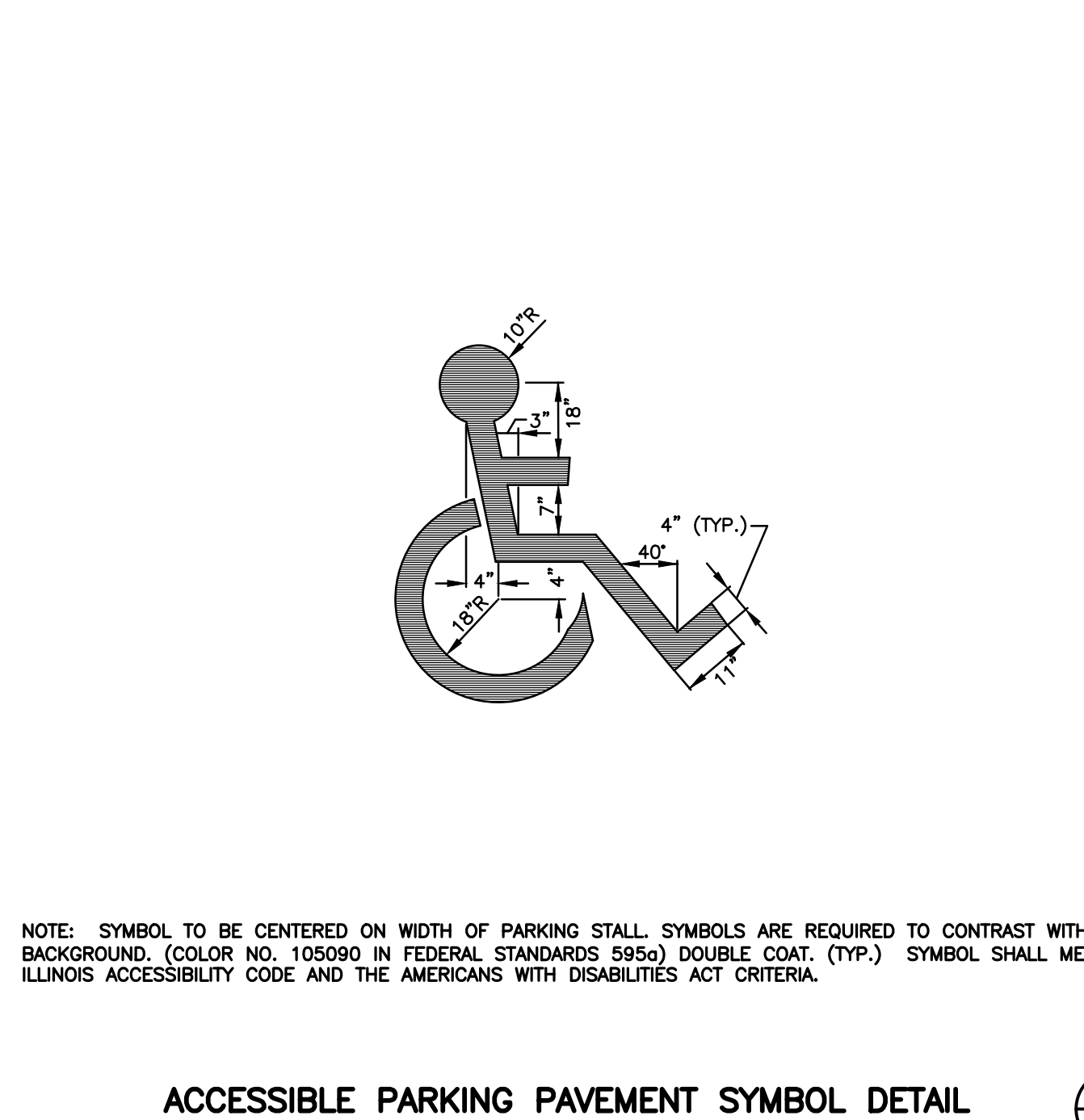


NOTE:

FOR MULTIPLE ACCESSIBLE PARKING SPACES IN A ROW, THE DESIGN ENGINEER HAS THE OPTION OF USING THE ABOVE SHOWN UNIT IN A COMBINATION OF LEFT-HANDED AND RIGHT-HANDED LAYOUTS IF IT PROVIDES FOR BETTER SITE DESIGN.

City of Naperville STANDARD DETAIL ACCESSIBLE PARKING SPACE MARKINGS PAVEMENT 26 590.35

6
C600

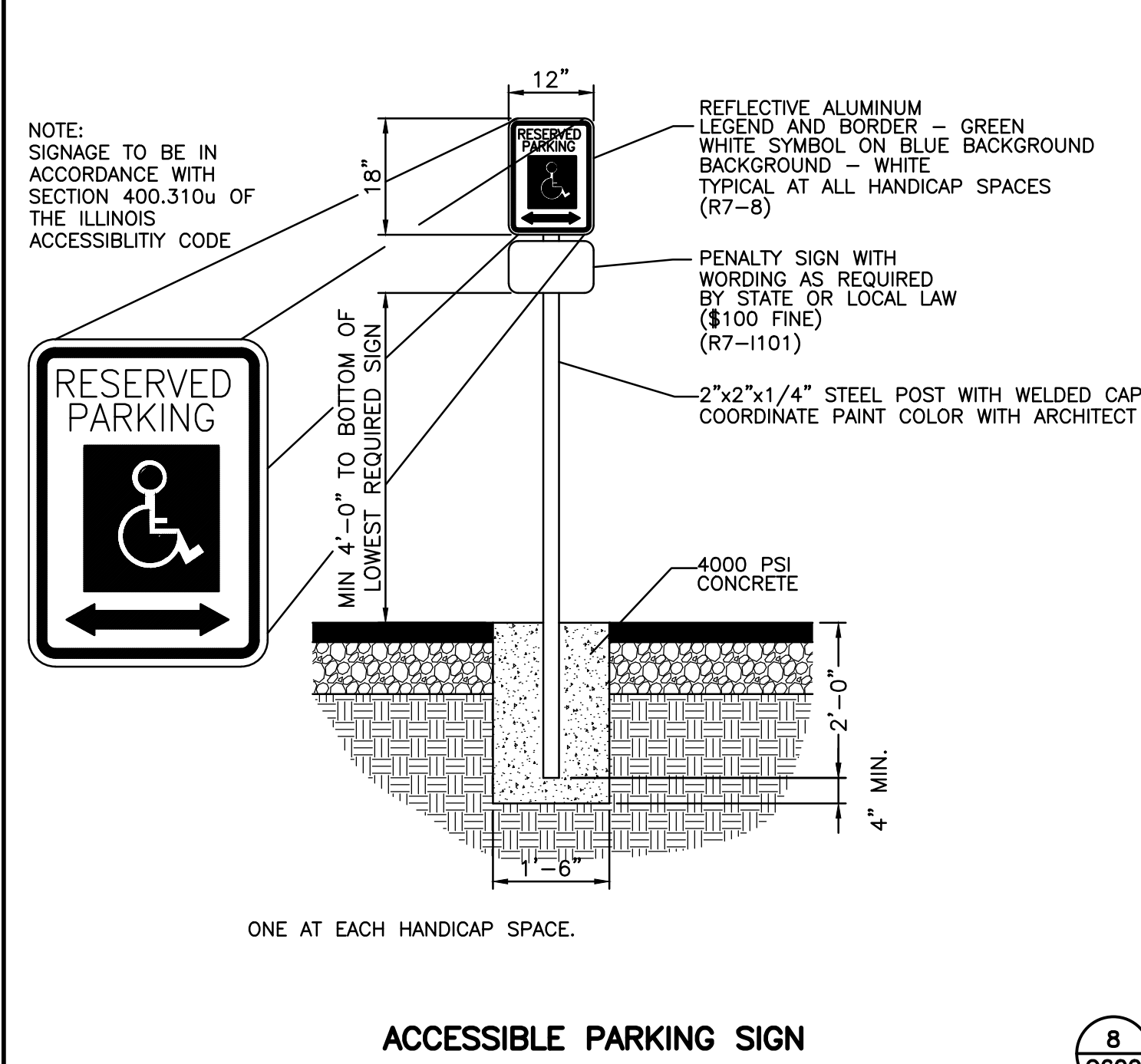


NOTE: SYMBOL TO BE CENTERED ON WIDTH OF PARKING STALL. SYMBOLS ARE REQUIRED TO CONTRAST WITH BACKGROUND. (COLOR NO. 105090 IN FEDERAL STANDARD OF THE 1950s) DOUBLE COAT. (TYP.) SYMBOL SHALL MEET ILLINOIS ACCESSIBILITY CODE AND THE AMERICANS WITH DISABILITIES ACT CRITERIA.

ACCESSIBLE PARKING PAVEMENT SYMBOL DETAIL

NTS

7
C600



NOTE: SIGNAGE TO BE IN ACCORDANCE WITH SECTION 400.310 OF THE ILLINOIS ACCESSIBILITY CODE



ACCESSIBLE PARKING SIGN

NTS

8
C600

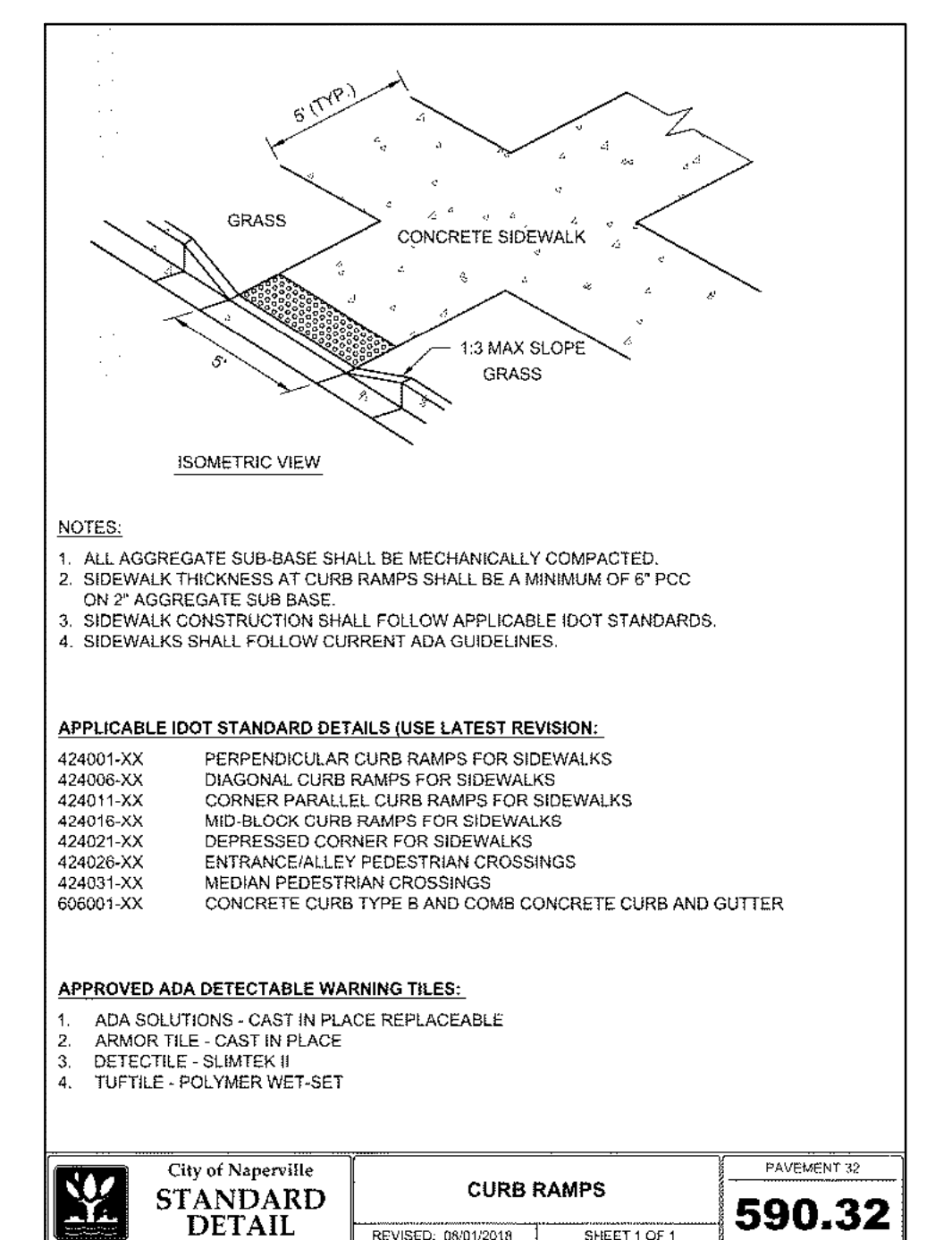
NOTES FOR ACCESSIBLE PARKING SPACES:

- EACH PARKING SPACE SHALL BE AT LEAST 16' WIDE, WITH AN 8' WIDE ACCESS AISLE.
- ADJACENT ACCESSIBLE PARKING SHALL NOT SHARE A COMMON ACCESS AISLE.
- SIGNS SHALL BE VERTICALLY MOUNTED ON A PERMANENT POST OR A WALL AT THE FRONT CENTER BETWEEN THE SPACE AND THE ACCESS AISLE NO MORE THAN 5' HORIZONTALLY FROM THE FRONT OF A PARKING SPACE AND SET A MINIMUM OF 4" FROM THE FINISHED GRADE TO THE BOTTOM OF THE "\$250 FINE" SIGN.
- ACCESSIBLE PARKING SIGNS SHALL ALSO EXHIBIT THE WORDS "\$250 FINE".
- PARKING SPACES DESIGNED FOR PERSONS WITH DISABILITIES AND ACCESSIBLE PASSENGER LOADING ZONES THAT SERVE A PARTICULAR BUILDING, SHALL BE LOCATED ON THE SHORTEST POSSIBLE ACCESSIBLE CIRCULATION ROUTE TO AN ACCESSIBLE ENTRANCE OF THE BUILDING.
- IN SEPARATE PARKING STRUCTURES OR LOTS THAT DO NOT SERVE A PARTICULAR BUILDING, PARKING SPACES FOR PERSONS WITH DISABILITIES SHALL BE LOCATED ON THE SHORTEST POSSIBLE ACCESSIBLE CIRCULATION ROUTE TO AN ACCESSIBLE PEDESTRIAN ENTRANCE OF THE PARKING FACILITY.

TOTAL OFF STREET PARKING SPACES REQUIRED	REQUIRED MINIMUM NUMBER OF ACCESSIBLE PARKING SPACES
1 TO 25	1
26 TO 50	2
51 TO 75	3
76 TO 100	4
101 TO 150	5
151 TO 200	6
201 TO 300	7
301 TO 400	8
401 TO 500	9
501 TO 1000	2% OF TOTAL NUMBER
OVER 1000	20 PERCENT FOR EACH 100 OVER 1000

City of Naperville STANDARD DETAIL ACCESSIBLE PARKING SPACE MARKINGS PAVEMENT 26 590.35

9
C600



NOTES:

- ALL AGGREGATE SUB-BASE SHALL BE MECHANICALLY COMPACTED.
- SIDEWALK THICKNESS AT CURB RAMP SHALL BE A MINIMUM OF 6" PCC OR 2" AGGREGATE SUB-BASE.
- SIDEWALK CONSTRUCTION SHALL FOLLOW APPLICABLE IDOT STANDARDS.
- SIDEWALKS SHALL FOLLOW CURRENT ADA GUIDELINES.

APPLICABLE IDOT STANDARD DETAILS (USE LATEST REVISION):

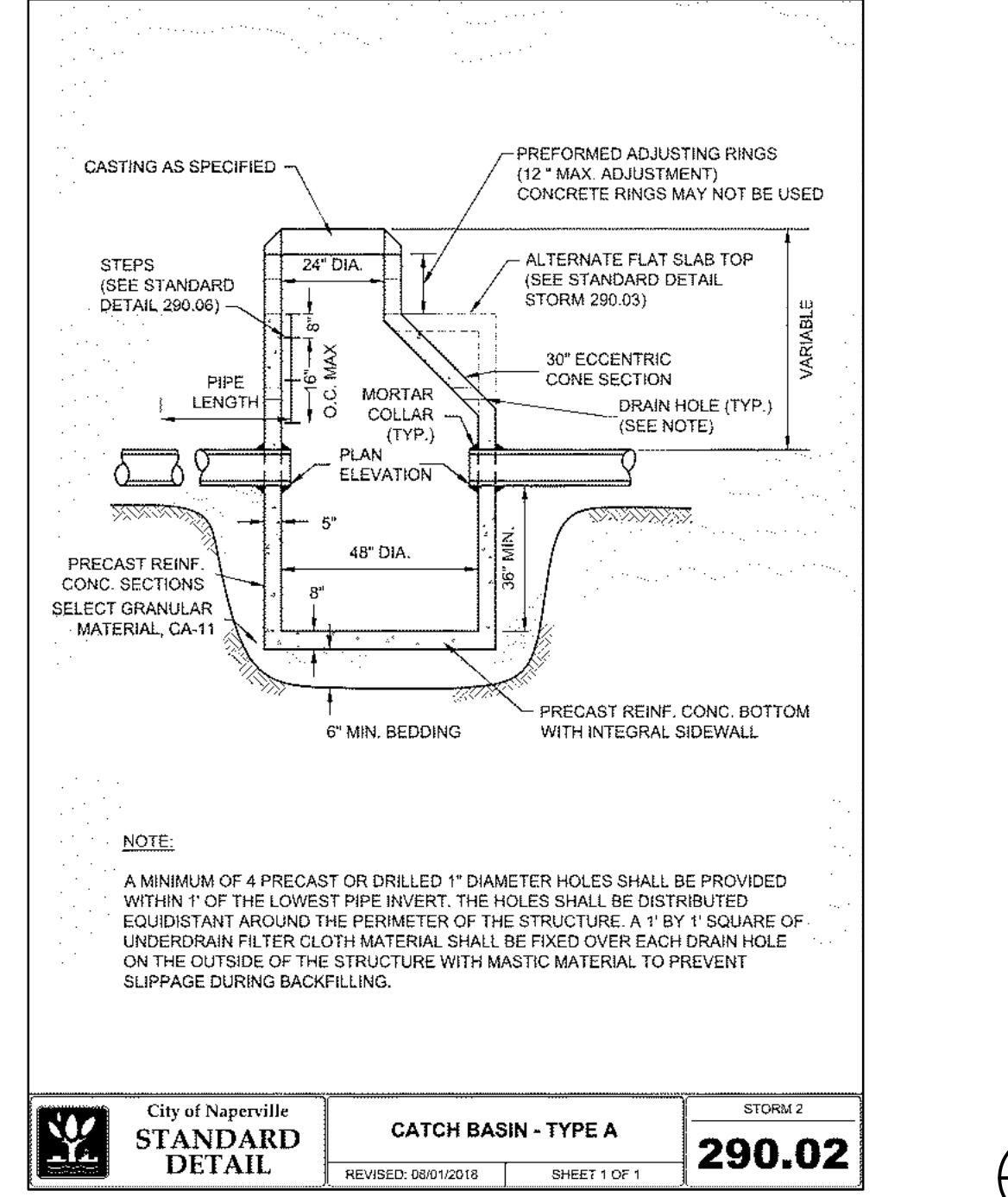
- 424001-XX PERPENDICULAR CURB RAMP FOR SIDEWALKS
- 424008-XX DIAGONAL CURB RAMP FOR SIDEWALKS
- 424011-XX CORNER PARALLEL CURB RAMP FOR SIDEWALKS
- 424016-XX MID-BLOCK CURB RAMP FOR SIDEWALKS
- 424021-XX DEPRESSED CORNER FOR SIDEWALKS
- 424038-XX ENTRANCE/EXIT PEDESTRIAN CROSSINGS
- 424031-XX MEDIAN PEDESTRIAN CROSSINGS
- 606001-XX CONCRETE CURB TYPE B AND COMB CONCRETE CURB AND GUTTER

APPROVED ADA DETECTABLE WARNING TILES:

- ADA SOLUTIONS - CAST IN PLACE REPLACEABLE
- ARMOR TILE - CAST IN PLACE
- DETECTLE - SLIMTEX II
- TUFITE - POLYMER WET-SET

City of Naperville STANDARD DETAIL CURB RAMP PAVEMENT 32 590.32

10
C600

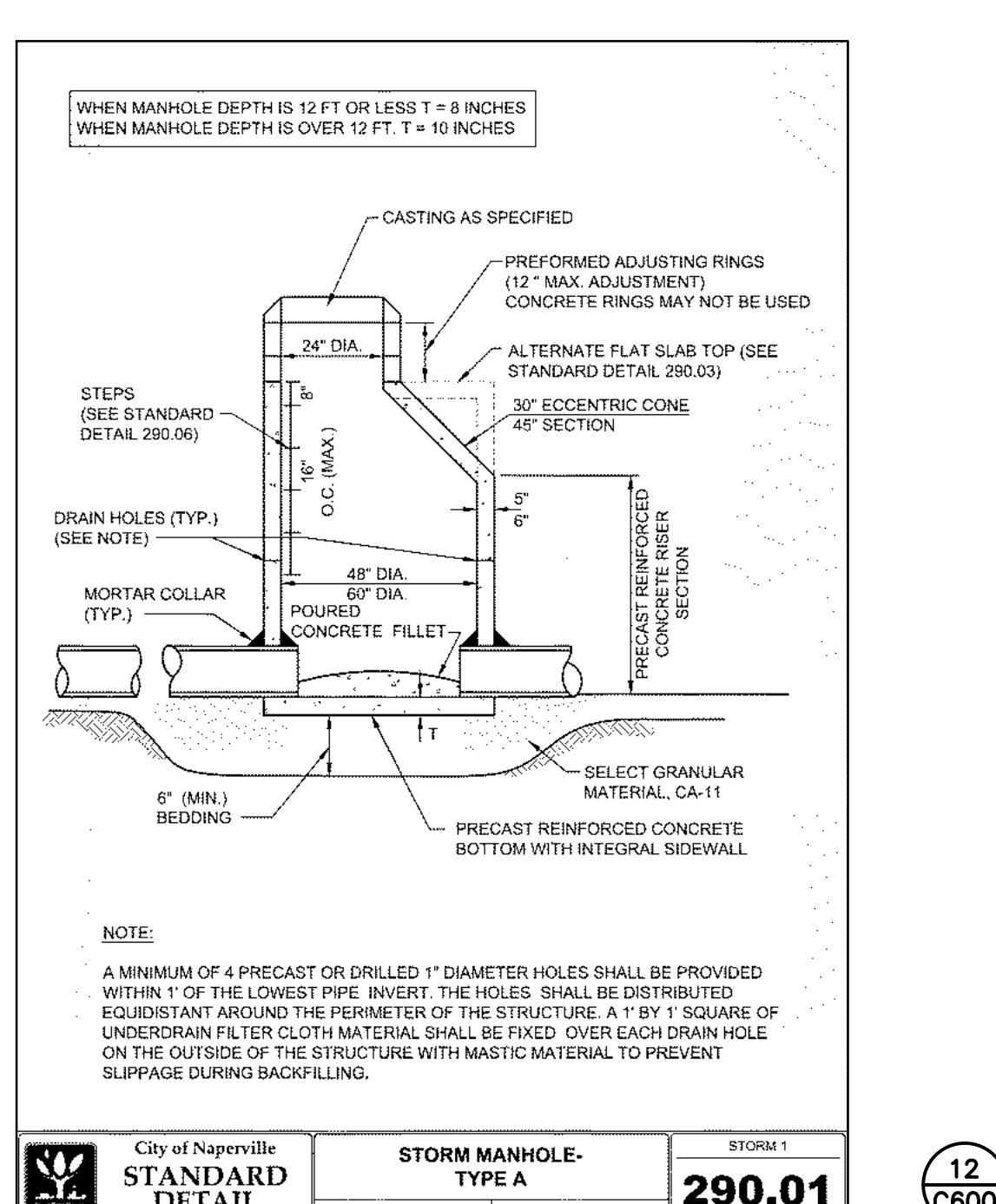


NOTE:

A MINIMUM OF 4 PRECAST OR DRILLED 1" DIAMETER HOLES SHALL BE PROVIDED WITHIN 1' OF THE LOWEST PIPE INVERT. THE HOLES SHALL BE DISTRIBUTED EQUIDISTANT AROUND THE PERIMETER OF THE STRUCTURE. A 1' BY 1' SQUARE OF UNDERDRAIN FILTER CLOTH MATERIAL SHALL BE FIXED OVER EACH DRAIN HOLE ON THE OUTSIDE OF THE STRUCTURE WITH MASTIC MATERIAL TO PREVENT SLIPPAGE DURING BACKFILLING.

City of Naperville STANDARD DETAIL CATCH BASIN - TYPE A STORM 2 290.02

11
C600



NOTE:

A MINIMUM OF 4 PRECAST OR DRILLED 1" DIAMETER HOLES SHALL BE PROVIDED WITHIN 1' OF THE LOWEST PIPE INVERT. THE HOLES SHALL BE DISTRIBUTED EQUIDISTANT AROUND THE PERIMETER OF THE STRUCTURE. A 1' BY 1' SQUARE OF UNDERDRAIN FILTER CLOTH MATERIAL SHALL BE FIXED OVER EACH DRAIN HOLE ON THE OUTSIDE OF THE STRUCTURE WITH MASTIC MATERIAL TO PREVENT SLIPPAGE DURING BACKFILLING.

City of Naperville STANDARD DETAIL STORM MANHOLE - TYPE A STORM 1 290.01

12
C600

SITE IMPROVEMENT PLANS
HERITAGE SQUARE
LAZY DOG RESTAURANT
 NE CORNER ROUTE 59 & AURORA AVENUE
 NAPERVILLE, ILLINOIS

DETAILS

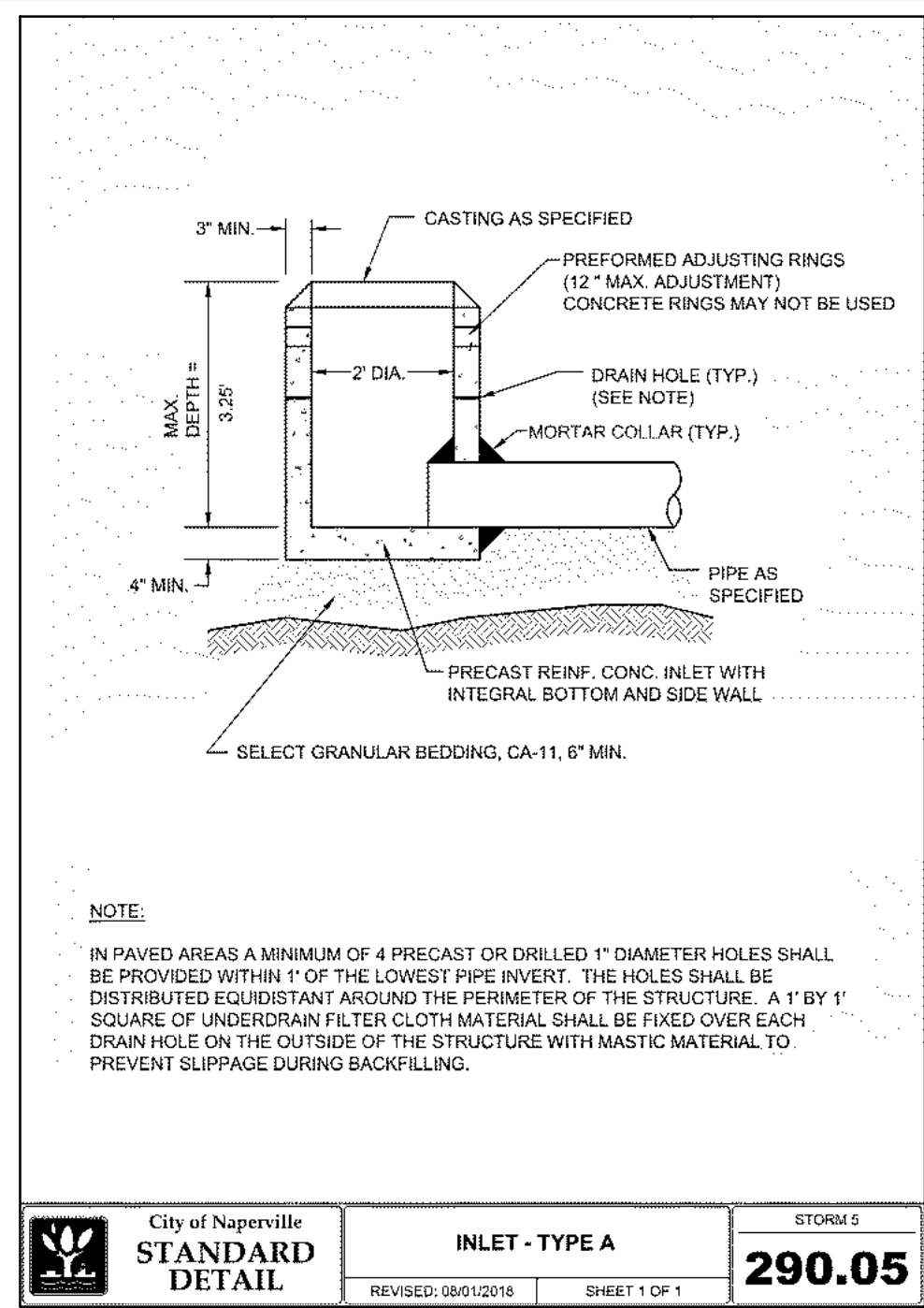
SHEET NO. **C600**

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 DES. BY: RW
 DR. BY: JC
 CKD. BY: RW

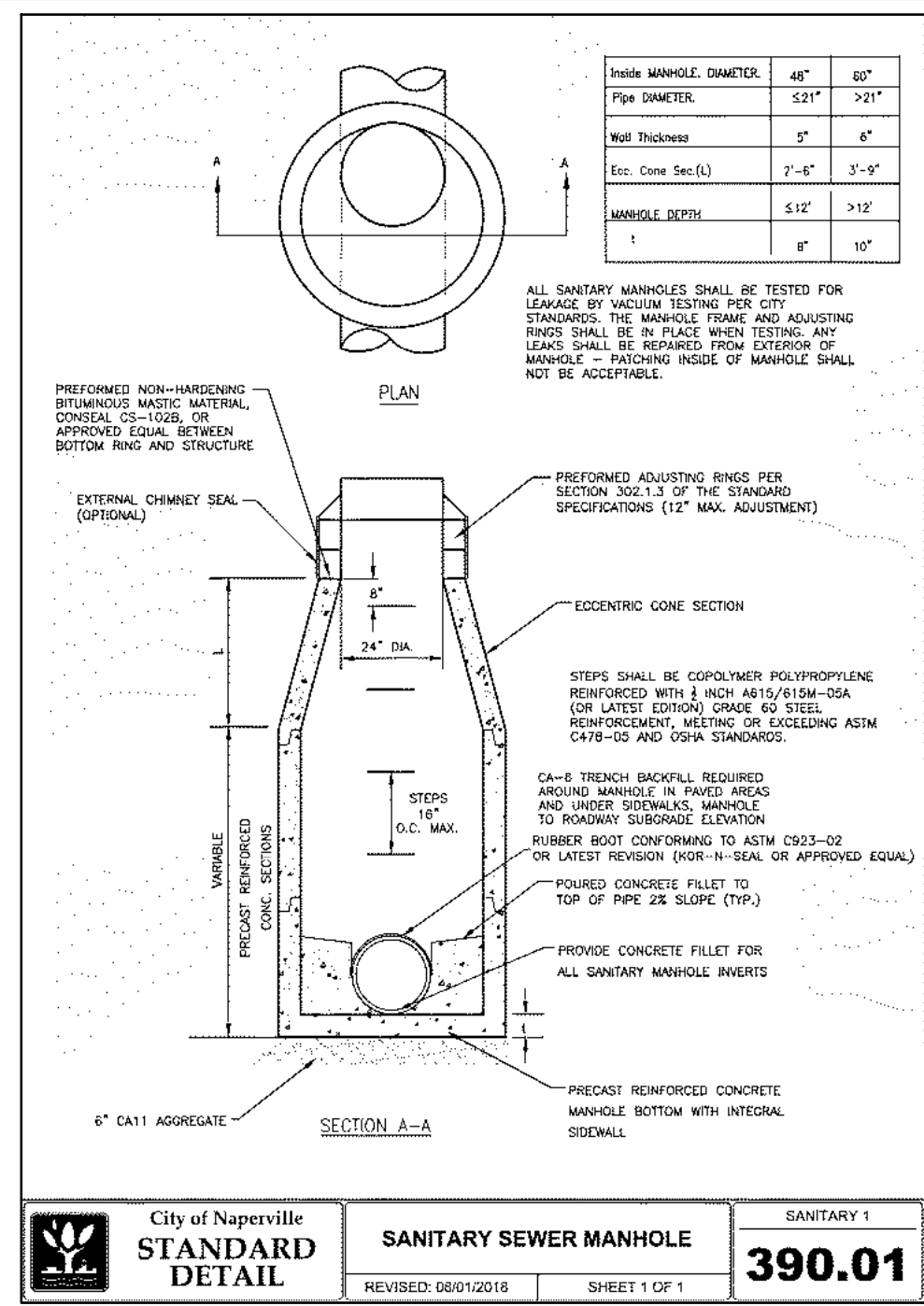
1815 South Meyers Road
 Suite 950
 Oakbrook Terrace, IL 60181
 WOOLPERT
 ARCHITECTURAL ENGINEERING (INCORPORATED)
 FAX: 630.495.3731

REVISION	No.	DATE	COMMENTS
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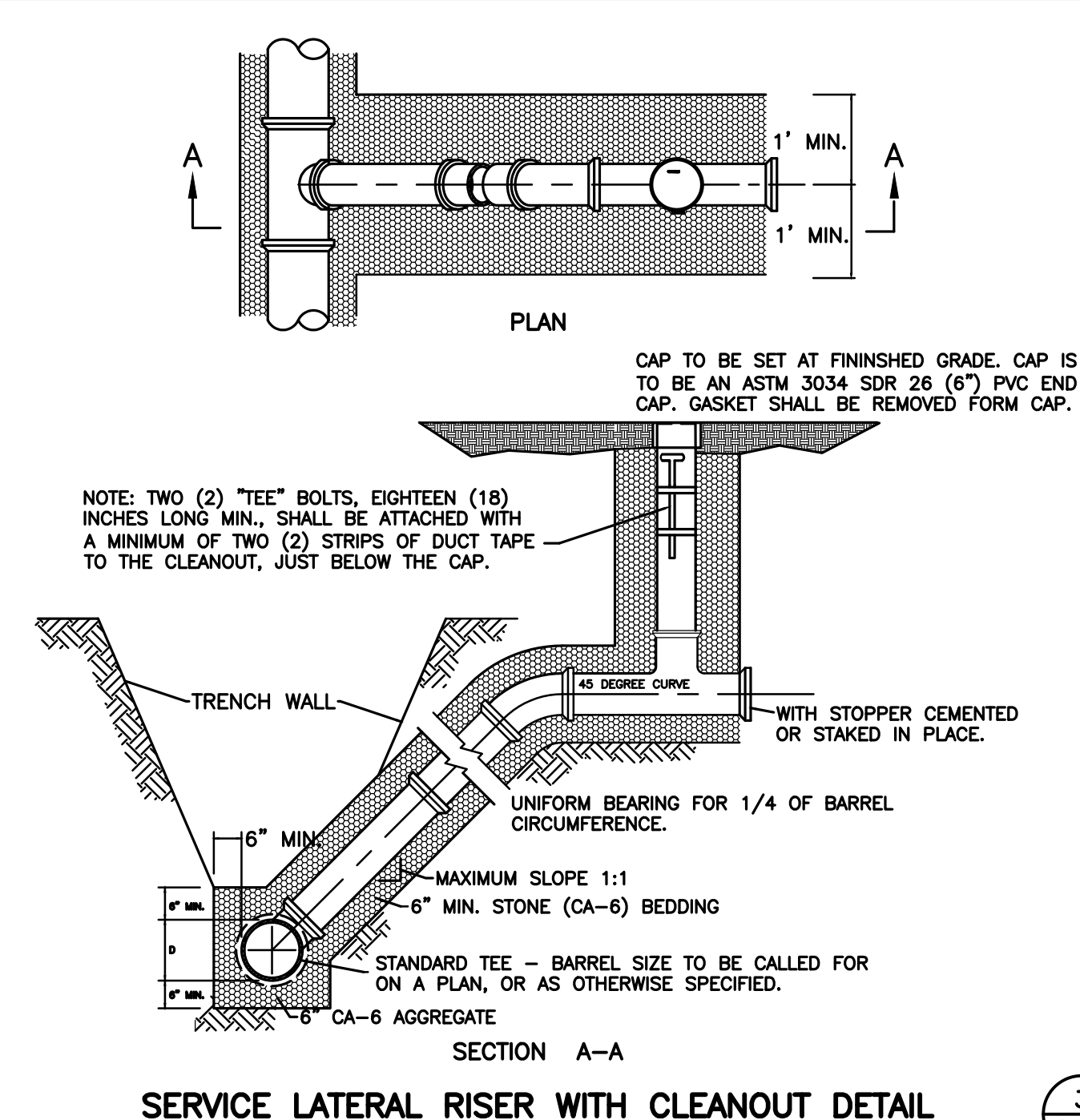
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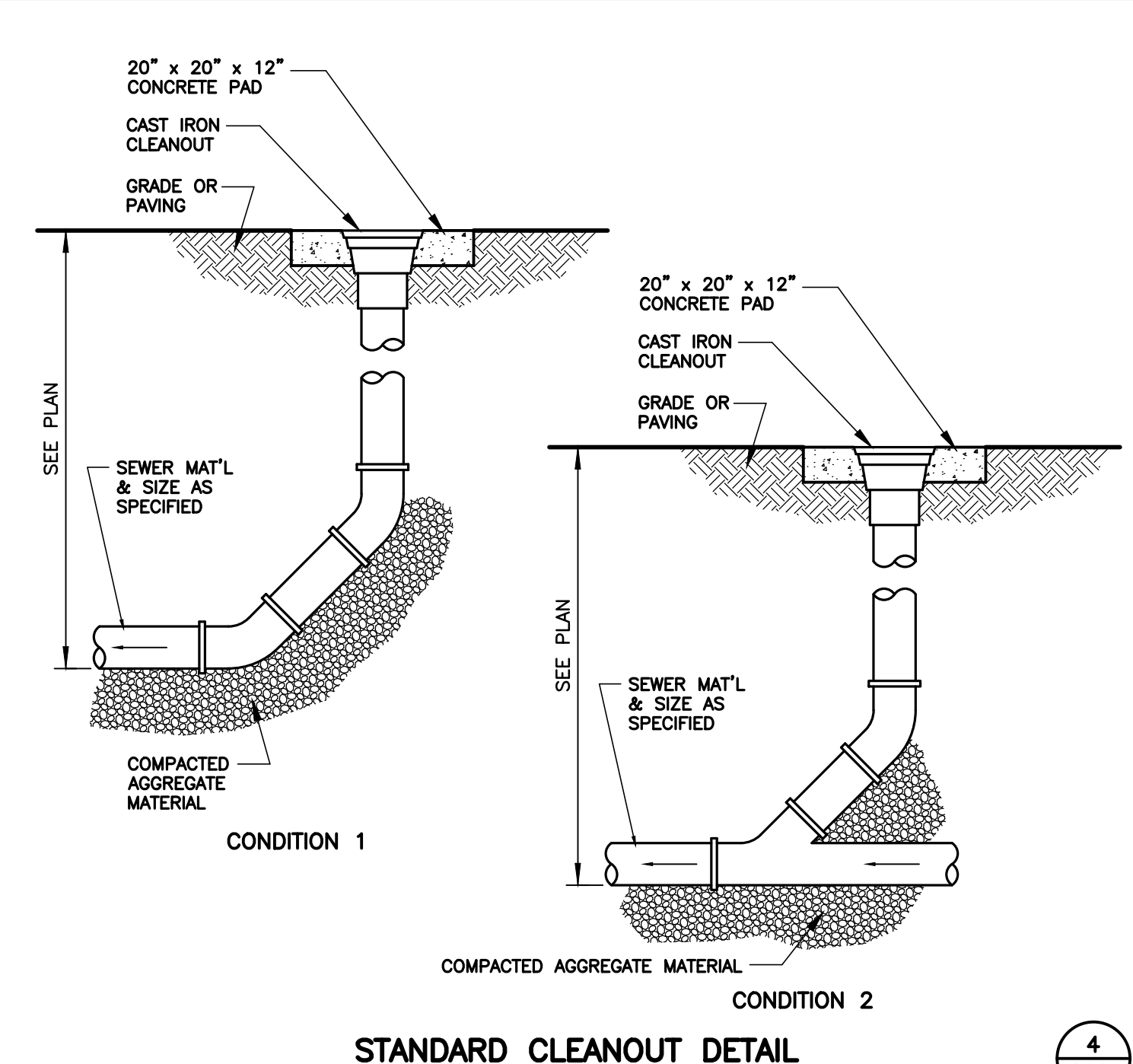
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REVIS: 06/12/018
SHEET 1 OF 1
290.05



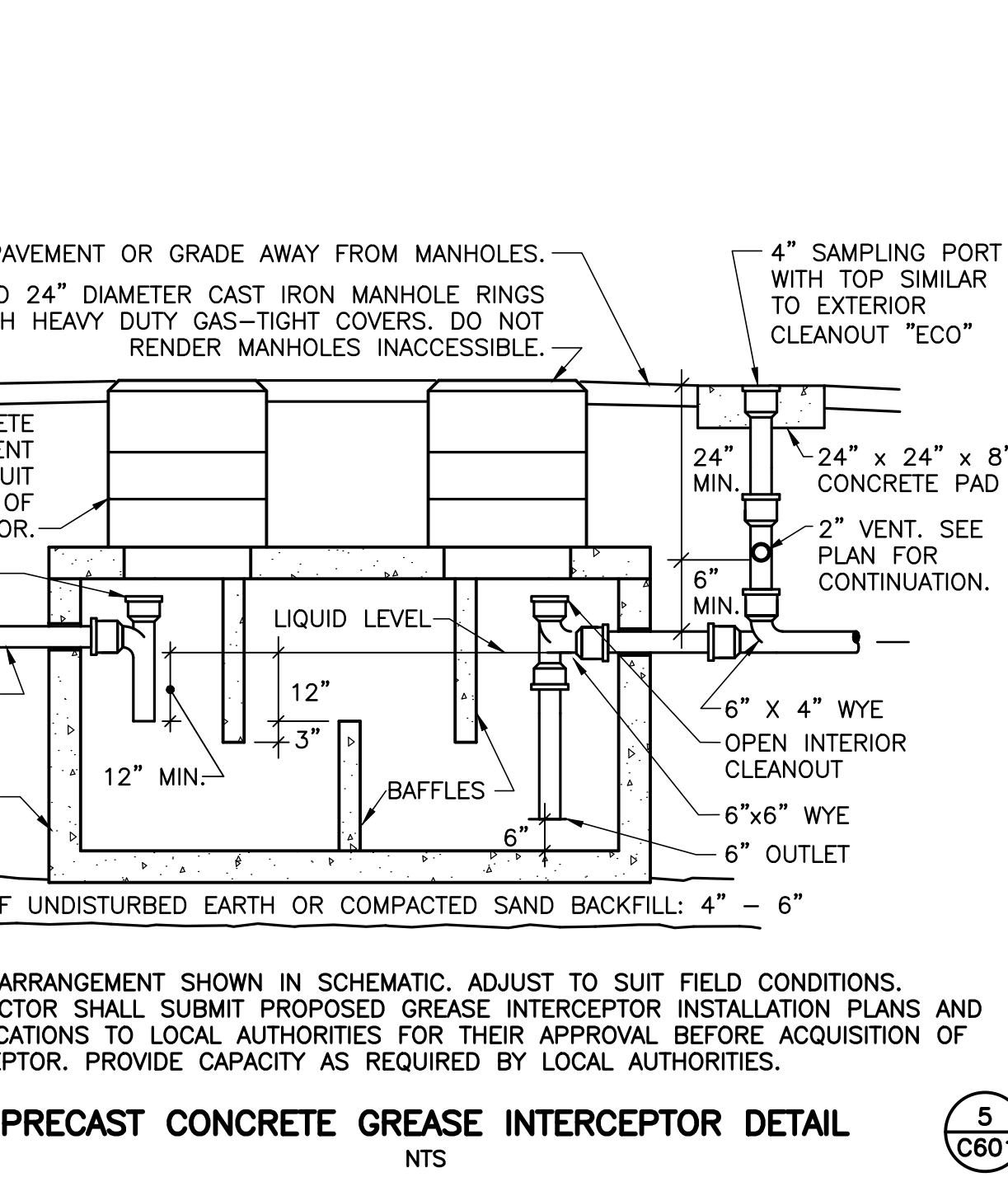
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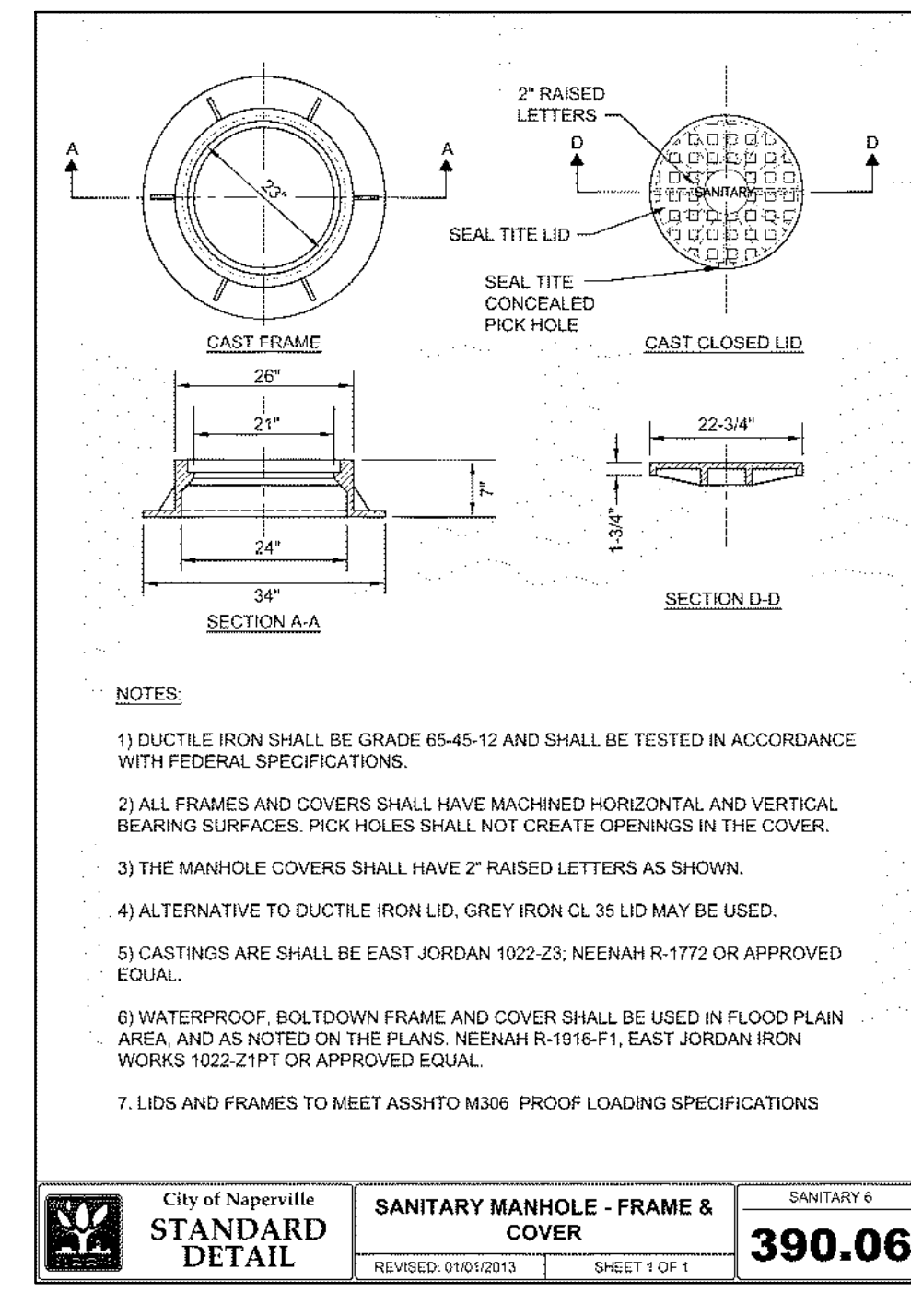
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REVIS: 01/03/2013
SHEET 1 OF 1
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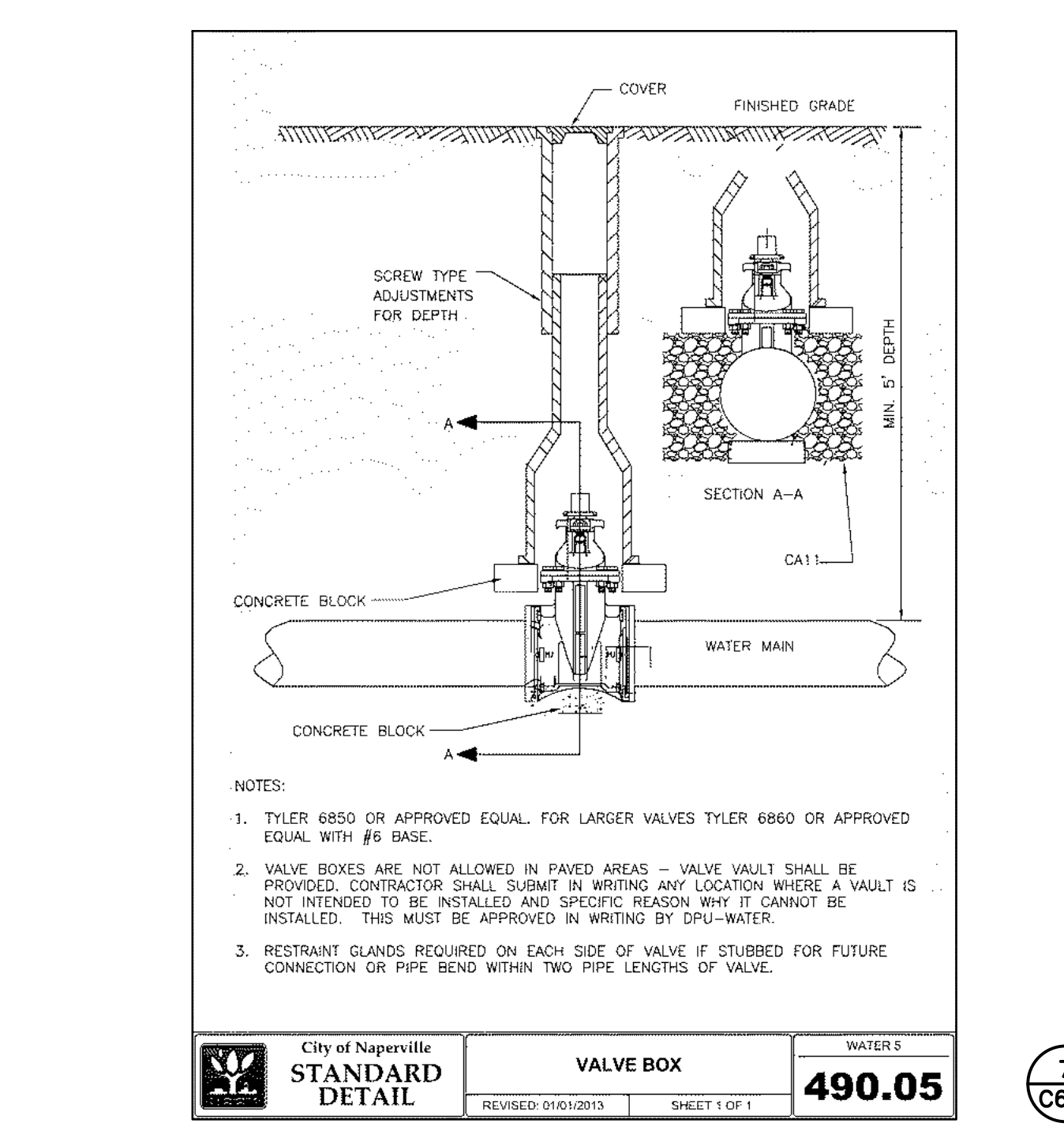
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STANDARD DETAIL
STANDARD CLEANOUT DETAIL
REVIS: 05/15/2015
SHEET 1 OF 1
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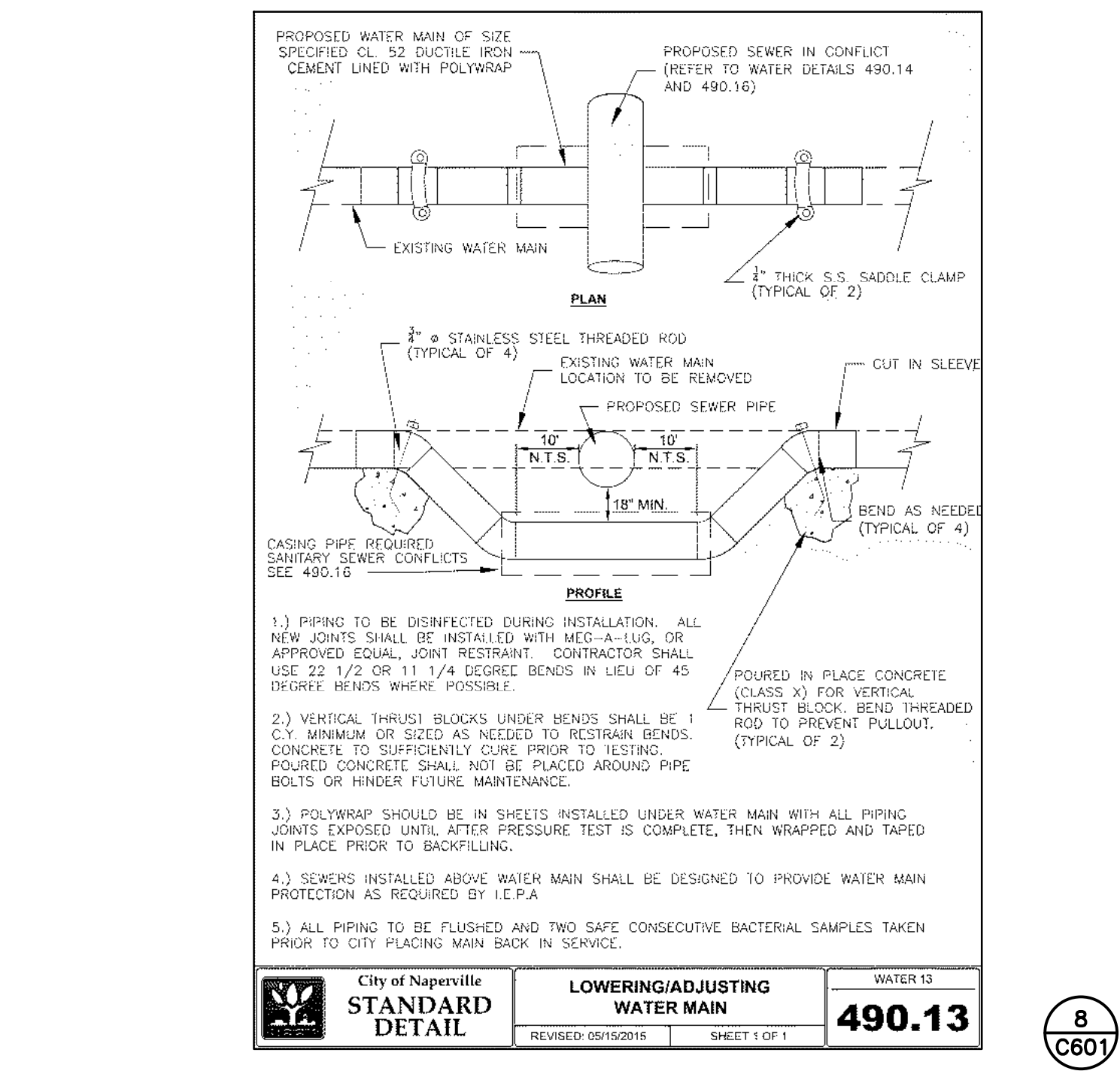
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REVIS: 01/03/2013
SHEET 1 OF 1
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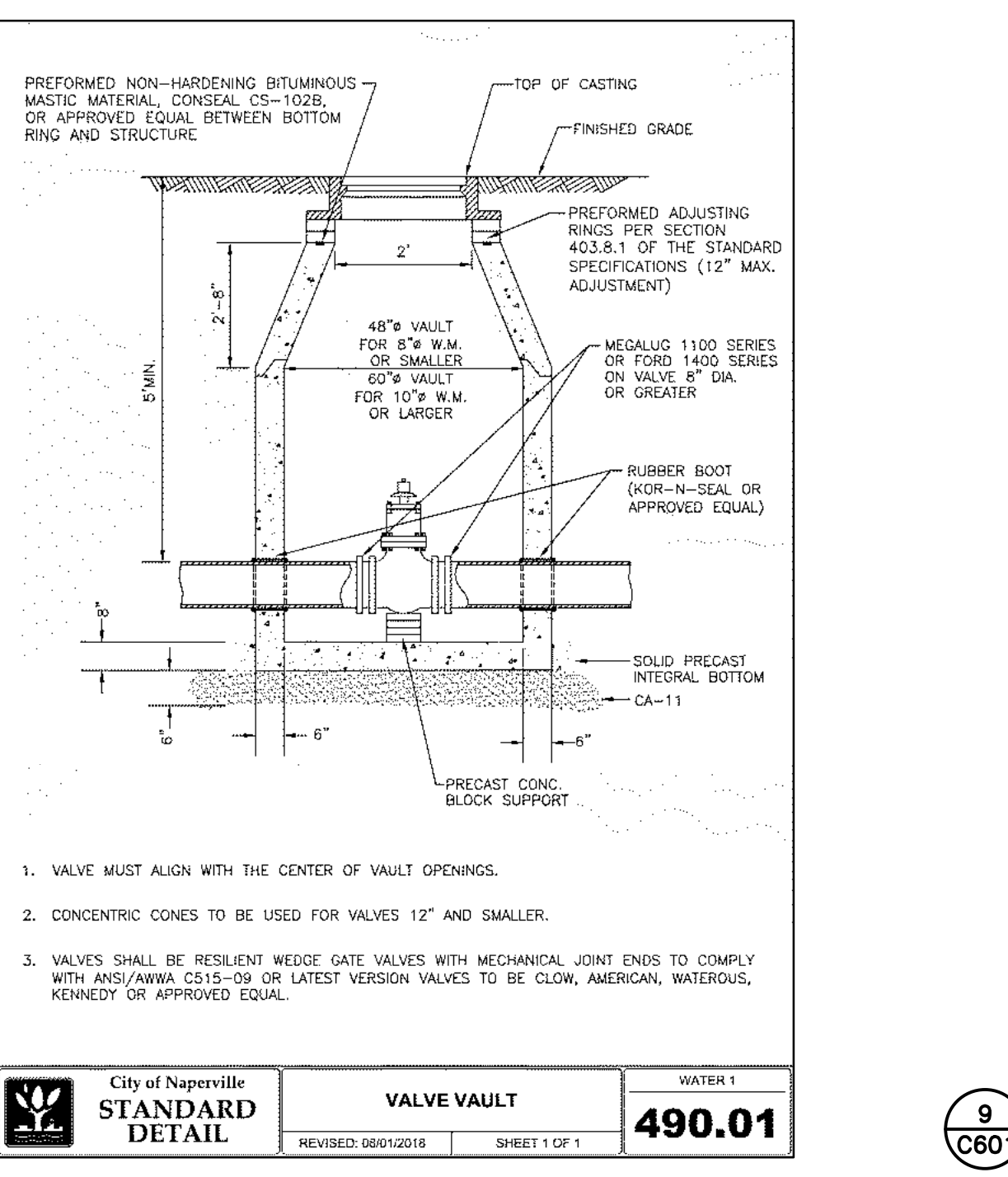
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SANITARY MANHOLE - FRAME & COVER
REVIS: 01/03/2013
SHEET 1 OF 1
490.06



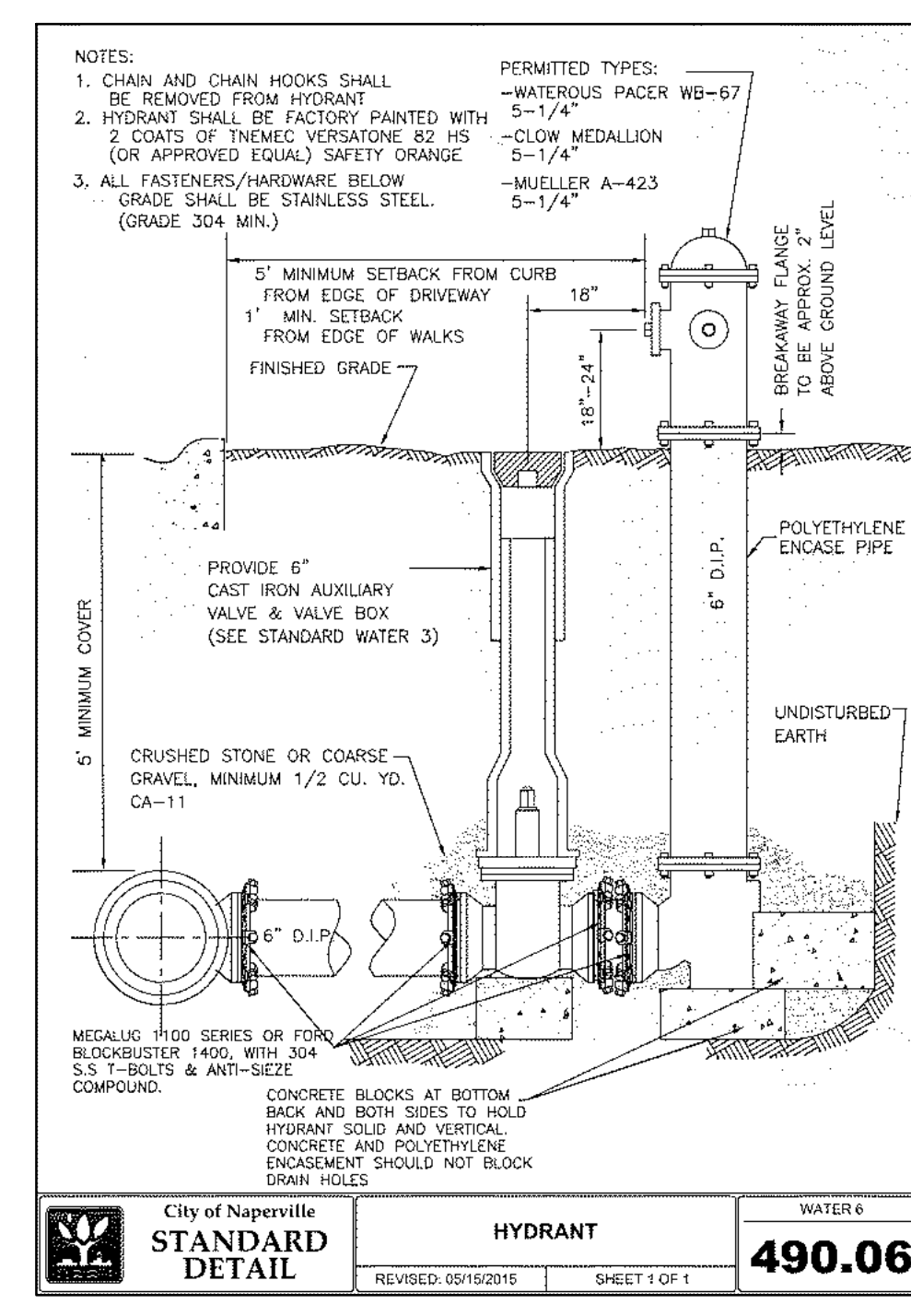
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VALVE BOX
REVIS: 01/03/2013
SHEET 1 OF 1
490.05



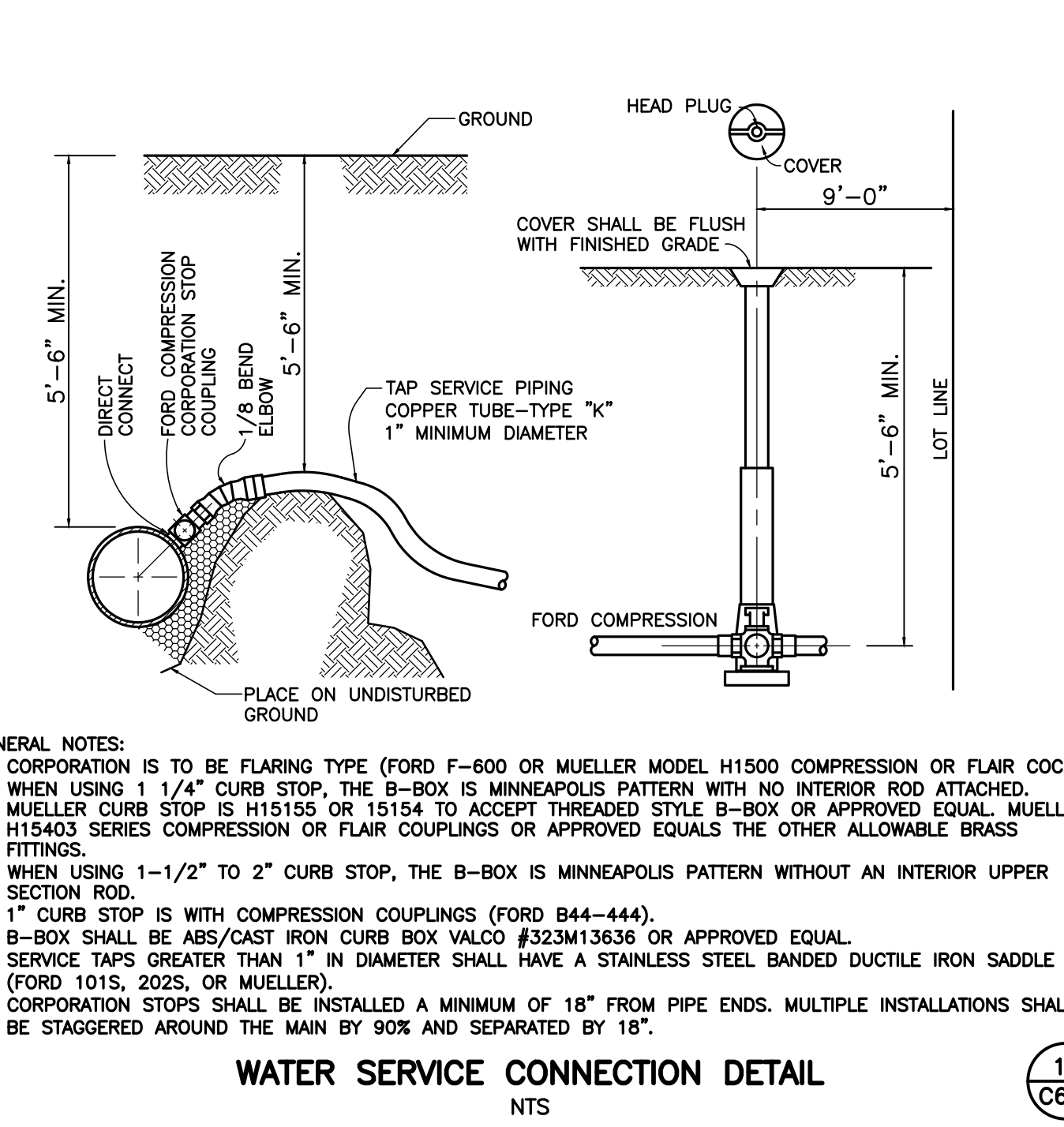
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STANDARD DETAIL
LOWERING/ADJUSTING WATER MAIN
REVIS: 05/15/2015
SHEET 1 OF 1
490.13



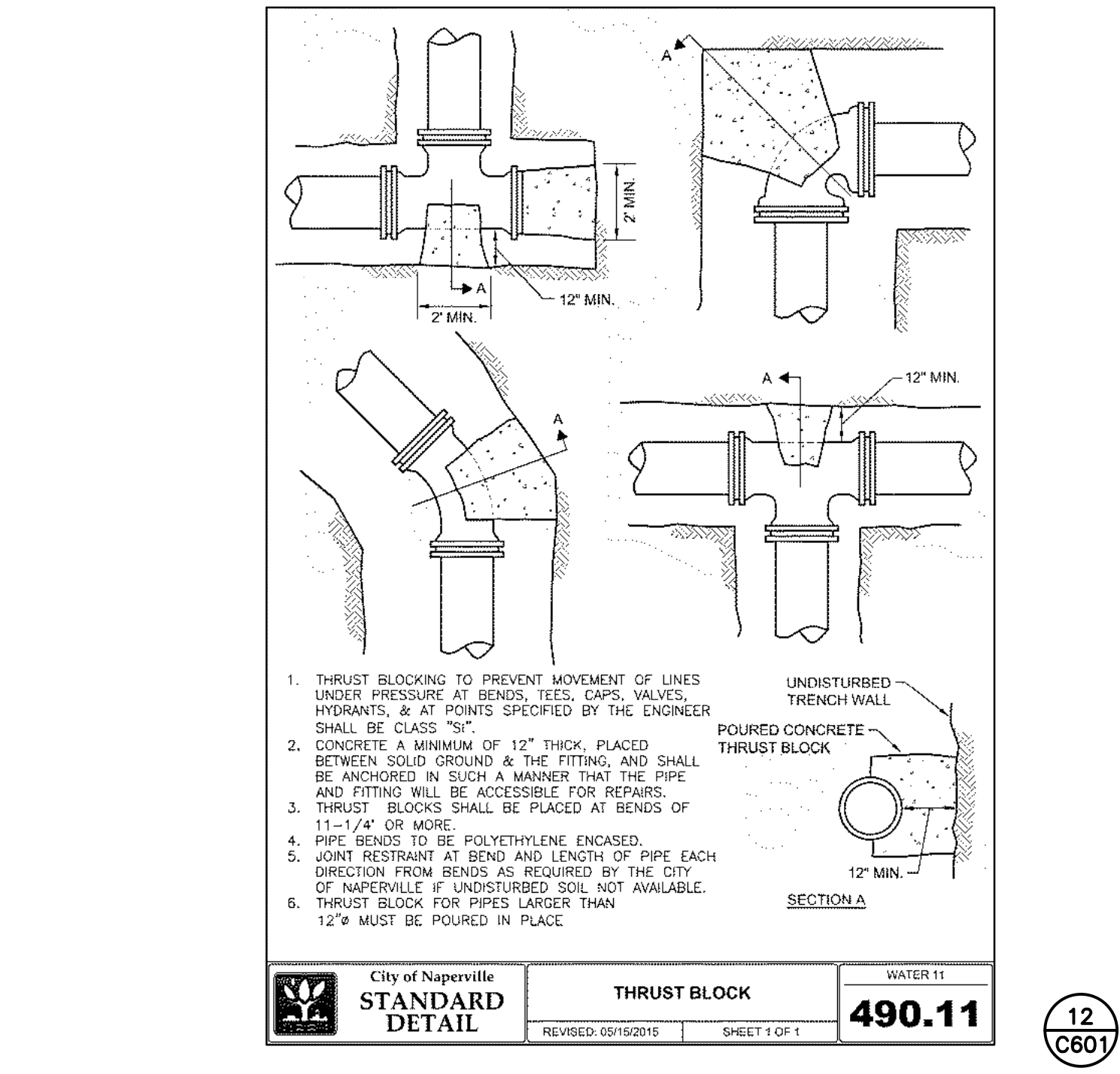
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REVIS: 06/12/018
SHEET 1 OF 1
490.01



City of Naperville
STANDARD DETAIL
HYDRANT
REVIS: 05/15/2015
SHEET 1 OF 1
490.06



City of Naperville
STANDARD DETAIL
WATER SERVICE CONNECTION DETAIL
REVIS: 01/03/2013
SHEET 1 OF 1
490.07



City of Naperville
STANDARD DETAIL
THRUST BLOCK
REVIS: 05/15/2015
SHEET 1 OF 1
490.11

REVISION

No.	DATE	REVISION
1	10/05/18	REVISED PER CITY COMMENTS

PROJECT NO: 078581
DATE: 08/31/18
DES. BY: J.C.
DR. BY: J.C.
CKD. BY: J.C.

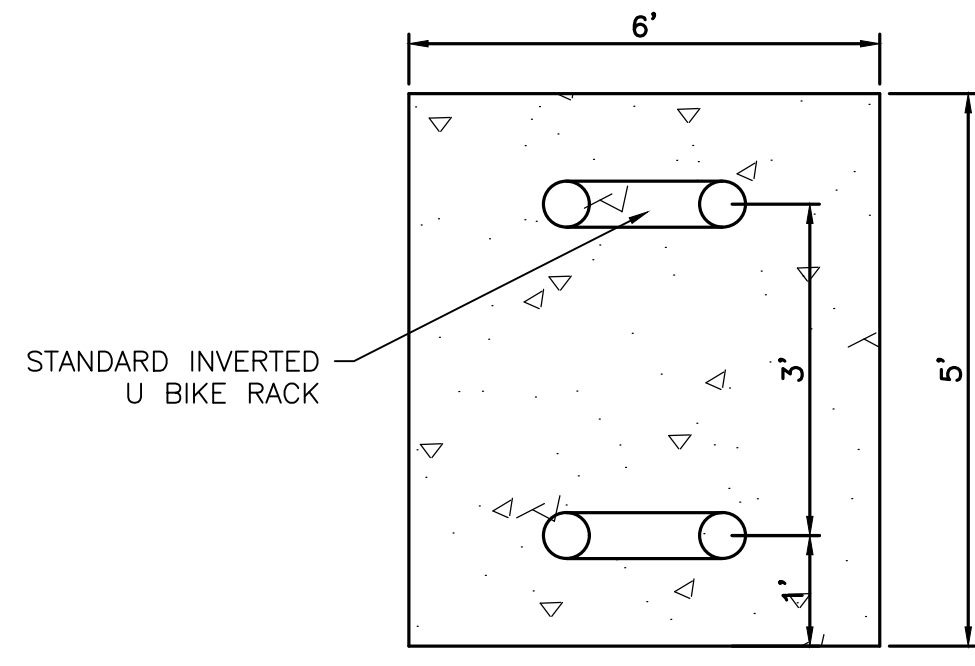
1815 South Meyers Road
Suite 950
Oakbrook Terrace, IL 60181
630.424.9080
FAX: 630.495.3731

WOOLPERT
ARCHITECTURAL ENGINEERING (INCORPORATED)

SITE IMPROVEMENT PLANS
HERITAGE SQUARE
LAZY DOG RESTAURANT
NE CORNER ROUTE 59 & AURORA AVENUE
NAPERVILLE, ILLINOIS

DETAILS

SHEET NO. **C601**



- BIKE RACK NOTES:
- 1.) INSTALL BIKE RACK AS PER MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.
 - 2.) ALTERNATIVE BIKE RACKS MAY BE USED BUT ARE SUBJECT TO APPROVAL BY THE OWNER AND TOWN OF NAPERVILLE. BIKE RACK SHALL ACCOMMODATE TWO BICYCLES.
 - 3.) DIMENSIONS SHOWN ARE MINIMUM.

BIKE RACK PLACEMENT DETAIL
NTS

1
C602

2
C602

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C602

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C602

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C602

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C602

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C602

No.	DATE	REVISION
2	11/19/18	REVISED PER CITY COMMENTS

PROJECT No:	078581
DATE	08/31/18
DES. DR.	RW
DR. JC	
CKD. RW	

1815 South Meyers Road
Suite 950
Oakbrook Terrace, IL 60181
630.424.9080
FAX: 630.495.3731

WOOLPERT
ARCHITECTURAL ENGINEERING CONSULTANTS

SITE IMPROVEMENT PLANS
HERITAGE SQUARE
LAZY DOG RESTAURANT
NE CORNER ROUTE 59 & AURORA AVENUE
NAPERVILLE, ILLINOIS

DETAILS

SHEET NO.
C602