CITY OF NAPERVILLE
PLAN REVIEW STATUS

Project Name: Extra Space Storage
Project Address: 1432 W Ogden Av
Project Number: 24-1-058
Plan Set Name: Building Elevations
Submittal Number: 5

Plan Review Status:
APPROVED

No further revision to this plan set is required at this time. The conditions of approval are listed in this "Markup Summary" and included in the attached plan set as markups. These conditions shall be followed and complied with at all times.

Please note this approval only reflects the result of staff's technical review. This plan set may be subject to additional review by the Planning and Zoning Commission and final approval by the City Council.

Any future changes to the approved plan set will be subject to City review and approval as a field change. Following construction completion, record drawings are required for this project. For future reference, the City's record drawing requirements are outlined in Section 100 (page 12) of the City's Standard Specifications, available online at http://www.naperville.il.us/standspecdetails.aspx .

Please contact the Project Manager listed below with any questions.

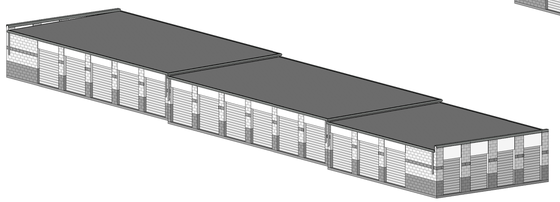
Gabby Mattingly, AICP
630-420-6043
mattinglyg@naperville.il.us

EXTRA SPACE STORAGE, INC.

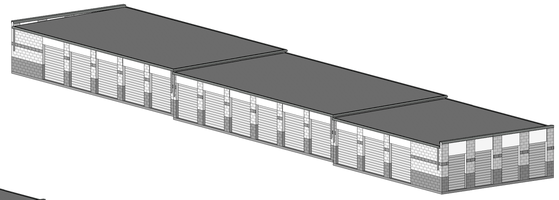
EXR NAPERVILLE 1259

1432 W OGDEN AVE. NAPERVILLE, IL 60563

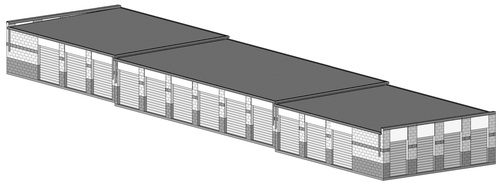
Project Number: 23-700-262



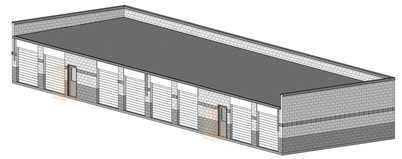
BUILDING 'A'



BUILDING 'B'



BUILDING 'C'



BUILDING 'D' & 'E'

Design Team

Architect/Civil Engineer

RQAW Consulting Engineers & Architects
8770 North Sreet, Ste. 110
Fishers, IN 46038
P: (317) 588-1798

Structural Engineer

Highland Engineering, P.C.
540 W. Frontage Rd. Ste. 2255
Northfield, IL 60093
P: (847) 639-9000

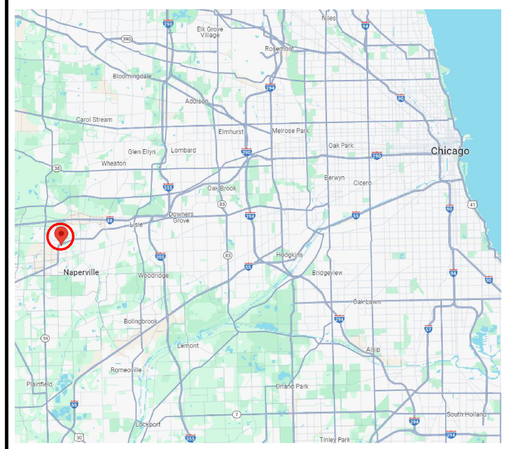
MEP Engineer

RQAW Consulting Engineers & Architects
8770 North Sreet, Ste. 110
Fishers, IN 46038
P: (317) 588-1798

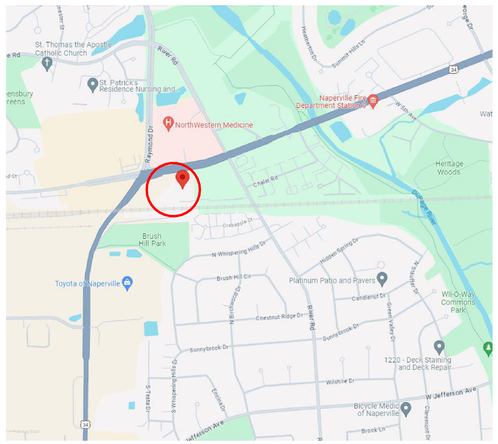
Construction Manager

MLCO Construction
549 W Randolph Street, Suite 704
Chicago, IL 60661
P: (312) 846-6161

Site Location



Building Location



1 - General

G-000	COVER SHEET
G-001	UNIT MIX SUMMARY

2 - Civil

C-100	DEMOLITION PLAN
C-200	SITE PLAN
C-300	UTILITY PLAN
C-301	STORM SEWER PROFILE VIEWS
C-400	GRADING PLAN
C-401	STORM DRAINAGE PLAN
C-402	STORM DRAINAGE SECTION VIEWS
C-500	PRE-CONSTRUCTION EROSION CONTROL PLAN
C-501	CONSTRUCTION EROSION CONTROL PLAN
C-502	POST CONSTRUCTION EROSION CONTROL PLAN
C-503	EROSION CONTROL DETAILS
C-504	EROSION CONTROL DETAILS
C-505	SWPPP NOTES
C-600	CONSTRUCTION DETAILS
C-601	CONSTRUCTION DETAILS
C-602	CONSTRUCTION DETAILS
L-100	TREE REMOVAL AND PROTECTION PLAN
L-200	LANDSCAPE PLAN
L-201	LANDSCAPE DETAILS

3 - Structural

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S-102	BUILDING B FOUNDATION PLAN
S-103	BUILDING C FOUNDATION PLAN
S-300	FOUNDATION DETAILS

4 - Architectural

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ASP - 101	ARCHITECTURAL SITE PLAN
AL-101	LIFE SAFETY DIAGRAM & CODE ANALYSIS
A-101	BUILDING - FIRST FLOOR PLANS - BUILDING A AND B
A-102	BUILDING - FIRST FLOOR PLANS - BUILDING C, D AND E
A-103	BUILDING - ROOF PLANS
A-104	BUILDING - ROOF PLANS
A-201	BUILDING A - ELEVATIONS
A-202	BUILDING B - ELEVATIONS
A-203	BUILDING C - ELEVATIONS
A-204	BUILDING D & E - ELEVATIONS
A-310	WALL & BUILDING SECTIONS
A-311	WALL & BUILDING SECTIONS
A-600	DOOR AND WINDOW SCHEDULE

7 - Electrical

E-001	ELECTRICAL SYMBOLS, ABBREVIATIONS, AND GENERAL NOTES
E-010	ELECTRICAL SITE PLAN
E-011	ELECTRICAL SITE PHOTOMETRIC PLAN
E-210	FIRST FLOOR ELECTRICAL PLANS
E-600	ELECTRICAL SCHEDULES
E-700	ELECTRICAL RISER DIAGRAM
E-800	SITE LIGHTING DATA SHEETS

EXR NAPERVILLE 1259
Project Number: 23-700-262

Project Issued: 08.22.2024

PERMIT SET

G-000

EXHIBIT G

ACCESSIBLE UNIT REQUIREMENTS

BUILDING A - 40 UNITS @ 5% = 2
ACCESSIBLE UNITS PROVIDED = **2**
BUILDING B - 41 UNITS @ 5% = 2.05
ACCESSIBLE UNITS PROVIDED = **3**
BUILDING C - 38 UNITS @ 5% = 1.9
ACCESSIBLE UNITS PROVIDED = **3**
BUILDING D - 25 UNITS @ 5% = 1.25
ACCESSIBLE UNITS PROVIDED = **2**
BUILDING E - 25 UNITS @ 5% = 1.25
ACCESSIBLE UNITS PROVIDED = **2**

TOTAL UNIT MIX DATA

UNIT	DOWN OUT	C.C. DOWN OUT	DOWN IN	C.C. DOWN IN	UP IN	C.C. UP IN	TOTAL	% OF UNITS	NET SQ. FT.
5X5	0	0	8	0	0	0	8	5	200
5X10	10	0	10	0	0	0	20	12	1,000
5X15	12	0	0	0	0	0	12	7	900
7.5X10	24	0	0	0	0	0	24	15	1,800
10X10	21	0	12	0	0	0	33	20	3,300
10X15	46	0	0	0	0	0	46	28	6,900
10X20	14	0	4	0	0	0	18	11	3,600
10X30	4	0	0	0	0	0	4	2	1,200
TOTAL	131	0	34	0	0	0	165	100	18,900

NET RENTABLE 18,900 AVG. UNIT SIZE 115
GROSS SQ.FT. 20,837.59 EFFICIENCY 95%

A5

BUILDING 'A' UNIT MIX DATA

UNIT	DOWN OUT	C.C. DOWN OUT	DOWN IN	C.C. DOWN IN	UP IN	C.C. UP IN	TOTAL	% OF UNITS	NET SQ. FT.
7.5X10	8	0	0	0	0	0	8	22	600
10X15	28	0	0	0	0	0	28	78	4,200
TOTAL	36	0	0	0	0	0	36	100	4,800

NET RENTABLE 4,800 GROSS SF 5,043.11 SF A5
AVG. UNIT SIZE 133

BUILDING 'B' UNIT MIX DATA

UNIT	DOWN OUT	C.C. DOWN OUT	DOWN IN	C.C. DOWN IN	UP IN	C.C. UP IN	TOTAL	% OF UNITS	NET SQ. FT.
5X10	10	0	0	0	0	0	10	24	500
7.5X10	8	0	0	0	0	0	8	20	600
10X10	9	0	0	0	0	0	9	22	900
10X20	14	0	0	0	0	0	14	34	2,800
TOTAL	41	0	0	0	0	0	41	100	4,800

NET RENTABLE 4,800 GROSS SF 5,043.11 SF A5
AVG. UNIT SIZE 117

BUILDING 'C' UNIT MIX DATA

UNIT	DOWN OUT	C.C. DOWN OUT	DOWN IN	C.C. DOWN IN	UP IN	C.C. UP IN	TOTAL	% OF UNITS	NET SQ. FT.
5X15	12	0	0	0	0	0	12	32	900
7.5X10	8	0	0	0	0	0	8	21	600
10X15	18	0	0	0	0	0	18	47	2,700
TOTAL	38	0	0	0	0	0	38	100	4,200

NET RENTABLE 4,200 GROSS SF 4,417.68 SF A5
AVG. UNIT SIZE 111

BUILDING 'D' AND 'E' UNIT MIX DATA

UNIT	DOWN OUT	C.C. DOWN OUT	DOWN IN	C.C. DOWN IN	UP IN	C.C. UP IN	TOTAL	% OF UNITS	NET SQ. FT.
5X5	0	0	8	0	0	0	8	16	200
5X10	0	0	10	0	0	0	10	20	500
10X10	12	0	12	0	0	0	24	48	2,400
10X20	0	0	4	0	0	0	4	8	800
10X30	4	0	0	0	0	0	4	8	1,200
TOTAL	16	0	34	0	0	0	50	100	5,100

NET RENTABLE 5,100 GROSS SF 6,333.68 SF A5
AVG. UNIT SIZE 102

EXHIBIT G

RQAW
DCCM

PERMIT SET

EXTRA SPACE STORAGE, INC.
EXR NAPERVILLE STORAGE #1259
1432 W OGDEN AVE. NAPERVILLE, IL 60563

#	Revision	Date
A1	Addendum 01	12/28/2023
A2	CITY REVIEW COMMENTS	8/22/2024
A5	BLDG REVIEW COMMENTS	12/17/24

Project #: 23-700-262
Designed By: TCH
Drawn By: TCH
Checked By: TCH / VT
Date: 08.22.2024

LICENSED ARCHITECT
VICTORIA DAWN TEMPLETON
001.023401
STATE OF ILLINOIS

UNIT MIX SUMMARY

G-001

ABBREVIATIONS

A LABEL	Class A door	DIM	dimension	HAZ	hazard	NA	not applicable	STA	station
A/E	architect/engineer	DIR	direction	HAZ MAT	hazardous materials	NBC	National Building Code	STD	standard
ADA	Americans with Disabilities Act	DISP	dispenser	HC	handicap	NEC	National Electric Code	STL	steel
ADD	addendum	DIV	division	HC	hose cabinet	NFC	National Fire Code	STL JST	steel joist
ADMIN	administration	DJ	double joist	HCWD	hollow core wood door	NIBS	National Institute of Building Sciences	STL LNTL	steel lintel
AFF	above finished floor	DN	down	HD	hand dryer	NIC	not in contract	STL PL	steel plate
ALUM	aluminum	DR	door	HDBD	heavy duty hardboard	NO	number	STL RF DK	steel roof deck
AMT	amount	DS	down spout	HDO	high density overlay	NOM	nominal	STL TB	steel tube
APPROX	approximate	DWG	drawing	HDW	hardware	NTS	not to scale	STL TR	steel truss
APT	apartment	DWR	drawer	HDWD	hardwood			STOR	storage
ARCH	Architect			HM	hollow metal	O/O	out to out	STR	stair(s)
ASI	Architect's Supplemental Instruction	E LABEL	Class E door	HORIZ	horizontal	OC	on center	STRUCT	structural
ASSN	association	EA	each	HQ	headquarters	OD	outside diameter	STRUCT	STL structural steel
ASSY	assembly	EC	Electrical Contractor	HR	hour	OD	outside dimension	SUPP	supplement
ASTM	American Society for Testing and Materials	EFS	exterior finish system	HT	height	OFC	office	SURF	surface
AVE	avenue	EIFS	exterior insulation and finish system	HTR	heater	OFD	overflow drain	SURR	surround
AVG	average	EJ	expansion joint	HWY	highway	OPNG	opening	SURV	survey
AWI	Architectural Woodworking institute	EL/ ELEV	elevation	HVAC	heating, ventalation and air conditioning	OPP	opposite	SUSP	suspend
		ELEC	electric			ORD	overflow roof drain	SUSP CLG	suspended ceiling
B LABEL	Class B door	ELEV	elevator	IBC	International Building Code	ORIG	original	SV	sheet vinyl
BD	board	EMER	emergency	ID	inside diameter	OSHA	Occupational Safety and	SVC	service
BFC	below finished ceiling	ENAM	enamel	ID	inside dimension		Health Administration	SWR	sewer
BFF	below finish floor	ENCL	enclosure	IN	inch/ inches	PARG	parging	SYS	system
BITUM	bituminous	ENTR	entrance	INSTL	install	PART	partial		
BLDG	building	EOS	edge of slab	INSTR	instrument	PBD	particleboard	T&G	tongue and groove
BLKHD	bulkhead	EPDM	ethylene propylene diene monomer	INSUL	insulation, (e), (ed)	PCT	percent	T/O	top of
BLVD	boulevard	EQ	equial	INT	interior	PERF	perforated	TAN	tangent
BOCA	Building Officials and Code	EQUIP	equipment			PKG	package	TB	tack board
	Administrators Association International	EQUIV	equivalent			PLAS LAM	plastic laminate	TB	towel bar
BOT	bottom	ESCAL	escalator	JAN	janitor	PLYWD	plywood	TC	terra cotta
BRG	bearing	ESMT	easement	JAN CLO	janitor closet	PNL	panel	TD	towel dispenser
BRG PL	bearing plate	EST	estimate			PORC	porcelain	TECH	technical
BSMT	basement	ET	et cetra	KD	knock down	PR	pair	TEL	telephone
		EXIST	existing	KIT	kitchen	PREFAB	prefabricated	TEMP	temperature
CAB	cabinet	EXP JT	expansion joint	KO	knockout	PREFIN	prefinish	TEMP	temporary
CB	chalk board					PREFMD	preformed	TEMP	tempered glass
CB	ceramic base	FAB	fabric	LAM	laminate	PREP	preparation	TER	terrazzo
CCTV	closed circuit television	FAS	fascia	LAM GL	laminated glass	PRKG	parking	TFA	to floor above
CD	construction documents	FAS BD	fascia board	LAQ	lacquer	PROJ	project	TFB	to floor below
CD	contract documents	FC	file cabinet	LAU	laundry	PT	paint	TFF	top of finish floor
CEM PLAS	cement plaster	FD	floor drain	LAV	lavatory	PT CONC	post-tensioned concrete	THK	thickness
CEM PLAS CLG	cement plaster ceiling	FDTN	foundation	LC	laundry chute			THRES	threshold
CIP	cast-in-place	FE	fire extinguisher	LDG	landing	R	radius	THRU	through
CJ	construction joint	FEC	fire extinguisher cabinet	LED	light emitting diode	RB	resilient base	THROUOT	throughout
CJ	control joint	FED	federal	LF	linear feet (foot)	RCP	reflected ceiling plan	TI	tapered insulation
CL	center line	FH	fire hose	LF INS	loose fill insulation	RD	roof drain	TOS	top of steel
CLG	ceiling	FH	fire hydrant	LH	left hand	REBAR	reinforcing steel bars	TOM	top of masonry
CLG HT	ceiling height	FHC	fire hose cabinet	LHR	left hand reverse	RECD	received	TPD	toilet paper dispenser
CLO	closet	FIG	figure	LIB	library	RECPT	receptacle	TR	towel rack
CLR	clear	FIN	finish	LKR RM	locker room	REF	reference	TRANS	transom
CMU	concrete masonry unit	FIN FLR	finish floor	LN	lane	REF	refrigerator	TRANS	transparent
CNTR	counter	FIN GR	finish grade	LOC	location	REINF	reinforced	TS	tube steel
CNTRTP	countertop	FIN WD	finish wood	LRG	large	REQ	require	TV	television
COL	column	FIXT	fixture	LT	light	REQD	required	TYP	typical
CONC	concrete	FLASH	flashing	LT GA	light gauge	REST	restroom		
CONC FLR	concrete floor	FLG	flooring	LVDR	louver door	RFI	request for information	UBC	Uniform Building Code
CONF	conference	FLMT	flush mount			RFP	request for proposal	UFC	Uniform Fire Code
CONSTR	construction	FLR	floor	MAINT	maintenance	RH	right hand	UL	Underwriters Laboratories
COORD	coordinate	FLR FIN	floor finish	MAN	manual	RH	roof hatch	UMC	Uniform Mechanical Code
CORR	corridor	FLUT CMU	fluted concrete masonry unit	MATL	material	RHR	right hand reverse	UNO	unless noted otherwise
CPT	carpet	FOC	face of concrete	MAX	maximum	RM	room	UPC	Uniform Plumbing Code
CSI	Construction Specifications Institute	FOF	face of finish	MB	marker board	RO	rough opening	UPS	uninterruptible power supply
CSMT	casement	FOM	face of masonry	MC	Mechanical Contractor	RTG	rating	UTIL	utility
CSWK	casework	FOS	face of slab	MCH	mail chute	RTU	roof fop unit	VAR	variation
CT	ceramic tile	FOUND	foundation	MD	metal deck			VAR	varies
CTB	ceramic tile base	FOW	face of wall	MDO	medium density overlay	SAT	suspended acoustical tile	VB	vinyl base
CTF	ceramic tile floor	FPC	Fire Protection Contractor	MEAS	measure	SATC	suspended acoustical tile ceiling	VCT	vinyl composition tile
CTR	center	FR	fire resistant	MECH	mechanical	SCD	seat cover dispenser	VCT	vitrified clay tile
CU FT	cubic feet	FRC	fiber reinforced concrete	MECH RM	mechanical room	SCH	school	VEH	vehicle
CU IN	cubic inch	FRG	fiber reinforced gypsum	MED	medium	SCHED	schedule	VERT	vertical
CUB	cubicle	FRP	fiberglass reinforced plastic	MEL	melamine	SCHEM	schematic	VEST	vestibule
CUST	custodian	FRZ	freezer	MEMB	membrane	SCWD	solid core wood door	VIF	verify in field
		FT	feet, foot	MEZZ	mezzanine	SD	smoke detector	VOL	volume
D LABEL	Class D door	FTG	footing	MFD	manufactured	SD	soap dispenser	VP	veneer plaster
DAT	datum	FTR	finned tubed radiation	MFG	manufacturing	SECT	section	VR	vapor retarder
db	decibel	FURG	furring	MFR	manufacturer	SF	square foot (feet)	VTR	vent through roof
DBL	double	FURN	furniture	MFR REC	manufacturer's recommendation	SFTWD	softwood	VWC	vinyl wall covering
DBL ACT DR	double acting door	FWC	fabric wall covering	MGT	management	SHR	shower	VWF	vinyl wall fabric
DBL GLZ	double glaze			MIN	minimum	SHT	sheet	W CAB	wall cabinets
DEG	degree	GA	gauge	MIRR	mirror	SIM	similar	WI	with
DEG C	degrees Celsius	GAL	gallon	MISC	miscellaneous	SLNT	sealant	W/O	without
DEG F	degrees Fahrenheit	GALV	galvanized	ML	metal lath	SM	small	WB	wood base
DEL	delete	GC	General Contrator	MLDG	molding (mouilding)	SPEC	specification	WC	wall covering
DEMO	demolition	GFRC	glass-fiber-reinforced concrete	MLWK	millwork	SPKLR	sprinkler	WD	wood
DEPT	department	GFRG	glass-fiber-reinforced gypsum	MO	masonry opening	SPKR	speaker	WH	weep hole
DET	detail	GFRP	glass-fiber-reinforced plaster	MT	mount	SQ	square	WHSE	warehouse
DF	drinking fountain	GFRP	glass-fiber-reinforced plastic	MTD	mounted	SQIN	square inch	WO	where occurs
DHH	double hung (door, window)	GL BLK	glass block	MTG	mounting	SQ YD	square yard	WP	working point
DIA	diameter	GLU LAM	glue laminated wood	MTL	metal	SS	stainless steel	WSCT	wainscot
DIAG	diagonal	GOVT	government	MULL	mullion	ST	street	WT	weight
DIFF	diffuser	GWB	gypsum wallboard						

MATERIAL SYMBOLS

CONCRETE MASONRY UNIT

FACE BRICK

EARTH

CONCRETE

PLYWOOD

METAL/STEEL

FINISHED WOOD TRIM

WOOD BLOCKING

WOOD SHIM

INSULATION (LOOSE OR BATT.)

INSULATION (RIGID)

GYPSUM BOARD / PLASTER

COMPONENT SYMBOLS

LIGHT FIXTURE IN CEILING GRID

RETURN AIR

SUPPLY AIR

EXIT LIGHT

ROOF/OVERFLOW DRAIN

SINK — DOUBLE, SINGLE, UTILITY

LAVATORY — COUNTERTOP, WALL HUNG

TOILET — WALL HUNG, FLOOR MOUNT

URINAL

FLOOR DRAIN

SEALANT

BASED ON PRODUCTS LISTED BELOW... PROVEN EQUAL PRODUCTS MAY BE CONSIDERED. COLORS TO BE CHOSEN BY ARCHITECT FROM FULL RANGE OF STANDARD COLORS.

	URETHANE S, NS, 35,T,NT BASF: MASTERSEAL NP-1	URETHANE S, NS, 50 NT BASF: MASTERSEAL NP 150	URETHANE S, NS, 25 NT BASF: MASTERSEAL CR 195	URETHANE M, NS, 25, T, NT BASF: MASTERSEAL NP-2	URETHANE S, NS, 35, T, NT SIKA: SINKAFLEX-1a	URETHANE S, NS, 100/50, T, NT SIKA: SINKAFLEX-15LM	URETHANE M, NS, 25, T, NT SIKA: SINKAFLEX-2c NS	URETHANE S, P, 25, T, NT SIKA: SINKAFLEX-1c SL		SILICONE S, NS, 25, T, NT SIKA: SINKASIL-N Plus US (Industry)	SILICONE NON-STAINING, S, NS, 50, NT SIKA: SINKASIL WS-295
CONCRETE (VERTICAL EXTERIOR)	●	●	●	●	●	●	●			●	●
CONCRETE (VERTICAL EXTERIOR)	●	●	●	●	●	●	●			●	●
CONCRETE (HORIZONTAL EXTERIOR - TRAFFIC)				●		●		●			
CONCRETE (HORIZONTAL INTERIOR - TRAFFIC)				●		●		●			
CONCRETE (HORIZONTAL EXTERIOR - NON-TRAFFIC)	●	●	●	●	●	●	●	●			
CONCRETE (HORIZONTAL INTERIOR - NON-TRAFFIC)	●	●	●	●	●	●	●	●			
MASONRY	●	●	●	●	●	●	●			●	●
NATURAL STONE	●	●	●	●	●		●				●
PANEL WALLS	●	●	●	●	●		●				
METALS	●	●	●	●	●		●			●	
ALUMINUM	●	●	●	●	●		●			●	●
PLASTIC		●	●							●	●
WOOD	●	●	●	●	●		●			●	●
EIFS		●		●		●	●				
STUCCO	●	●		●		●	●				
GLAZING (GLASS)										●	●
PLASTIC GLAZING										●	●
TILE										●	●
FIBERGLASS										●	●
PLASTIC LAMINATE										●	●
SIMULATED STONE										●	●
PORCELAIN										●	●
KITCHEN/ BATH FIXTURES										●	●
WINDOW/ DOOR FRAMES	●	●	●	●	●	●	●			●	●
EXPANSION JOINTS	●	●	●	●	●	●	●			●	●

GENERAL NOTES

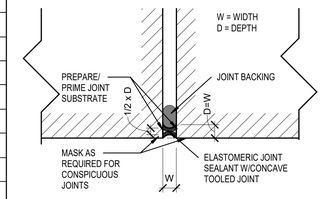
BUILDER, CONTRACTOR, SUB-CONTRACTOR'S RESPONSIBILITIES:

The term Work as used in construction documents shall include all provision as drawn or specified in these documents as well as other provisions specifically included by the Architect in the form of drawings, specifications, written and other instruction issued by the Architect.

1. Where reference is made in these documents to Builder/ Sub-Contractor, it shall refer to Builder, General Contractor, and all Sub-Contractors and their employees.
2. Sub-Contractor or Builder understands that drawings graphically depict design intent of the project. Locations and dimensions shown on drawing are diagrammatic. Builder/Contractor understand that drawings shown the general arrangement, design and extent of Work and are not intended to be scaled for measurement or serve as shop drawings.
3. Sub-Contractor/Builder shall properly fabricate, transport, install erect, construct and test, furnish and supply all labor materials, equipment, apparatus, appliances, and all other items and expenses necessary to properly complete the Work in place and ready for operation or use as intended for by the Architect.
4. Sub-Contractor/Builder shall be familiar with provision of all applicable codes, shall ensure compliance with same and shall be responsible for and be required to discover, through exercising care, skill and dilligence in reviewing the Construction Drawings, any ommision, and discrepancies and shall bring same to the attention of the Architect prior to construction.
5. By executing the Contract, the Sub-Contractor/Builder warrants that he shall closely inspected the site and its environs, and has determined to his satisfaction the physical condition of such, familiarized himself with the local conditions under which the Work is to be performed, correlated his observations with the requirements of the Construction Drawings, and knows of no other information required to complete the Work as intended for by the Architect, and as per local jurisdiction requirements.
6. If any item or materials is not known or ommitted on the drawings, but is otherwise reasonably inferable therefrom, the Sub-contractor/ Builder shall inform Architect, and be required to furnish and install such item or material which conform to the type and quality of similar items otherwise established in the Construction Drawings and Specifications.
7. Where a typical detail is shown or indicated on the drawings, that condition shall be representative of and shall constitute the standard for workmanship, materials, and performance for conditions and materials and workmanship throughout corresponding condition throughout the Work.
8. The Sub-Contractor/Builder are responsible for thoroughly examining all drawings, specifications and applicable codes, as well as making all actual measurements and establishing all actual dimensions for each particular type of Work, and for co-ordinating the Work described, and also responsible for determining the exact scope of Work for each section, as well as checking cross references of Work, and any Work excluded from any section.
9. Nothing hereunder shall create any contractual relationship between the Architect and any Sub-contractor.
10. These documents do not include the necessary components for construction safety, care of adjacent properties during construction, compliance with state and federal regulation regarding safety. Compliance with all safety requirements shall be the Contractor's responsibility. Sub-Contractor/Builder shall supervise and direct the work and be solely responsible for all construction means, methods, techniques and safety procedures, and for coordinating all portions of the Work.
11. All Work shall be in accordance with local, state, and federal regulations.
12. All Contractors shall be licensed to work in State of Indiana.
13. All Work shall comply with:

Building	2012 International Building Code (IBC)
	2014 Indiana Building Code
Fire	National Fire Protection Association (NFPA) latest edition
	NFPA 101 Life Safety Code latest edition
Plumbing	2012 Indiana Plumbing Code
Electrical	National Electric Code (NEC) latest edition
Mechanical	2014 Indiana Mechanical Code
Energy	2010 Indiana Energy Conservation Code (IECC)
Accessibility	ANSI 117.3 Accessibility Code
	FHA Fair Housing Act 1998
	Americans with Disabilities Act 1994

14. All debris shall be recycled or disposed of in accordance with local, state, and federal regulations.
15. The Construction Documents consist of both the Construction Drawings and the Project Manual/Specifications taken together as one entity. Where there is a discrepancy between the Drawings and Specifications, the most restrictive requirement shall prevail.
16. Any discrepancies in the Contract Documents of Field conditions shall be reported to the Architect immediately for review prior to proceeding with the Work, including manufacturing or installation. Contractor will not be compensated for proceeding with any Work in question.
17. Contractor shall coordinate the Work with all disciplines including Architecture, Civil, Structural, MEP, Interior Design, Landscape Design, and other Consultants contracted by the Owner.
18. The Construction Documents (Drawings and Specifications) show the design intent of the project, and are not intended to denote every instance or condition that may be required for the complete construction of the project.
19. Contractor shall provide sealant at all dissimilar materials (interior and exterior) including vinyl wall covering, vanity backsplash/sidesplash, partitions, weather resistive barrier, and exterior sheathing.
20. Tape and seal all penetrations at weather resistive barrier to provide a single contiguous vapor permeable air barrier/drainage membrane.
21. All penetrations shall be firestopped to match fire rating of entity penetrated (floor, wall and ceiling) per UL Assembly and as required per Code.
22. All penetrations, wall, and ceiling intersections shall be sealed with acoustic sealant.
23. All electric boxes in exterior walls shall be sealed weatherproof boxes.
24. All steel stairs shall be designed and detailed by GC's steel fabricator. Steel fabricator shall provide signed and sealed drawings and calculations by professional engineer licensed in state of project location.
25. All truss shall be designed/build. Truss manufacturer to provide signed and sealed drawings/calculations by professional engineer licensed in state of project location.



NOTE:
3-POINT ADHESION IS UNACCEPTABLE

1. CYLINDER JOINT BACKING DIAMETER SHOULD BE 1.5 - 2 x JOINT WIDTH.

2. TOOL SEALANT WHEN THUMB PRINT HARD.

3. CLEAN OFF ANY EXCESS MASKING MATERIALS, SEALANT OR PRIMER FROM ADJACENT CONSTRUCTION.

ELASTOMERIC SEALANT JOINT W/ BACKING

REFERENCE SYMBOLS

TITLE MARK
1 View Name
1/8" = 1'-0"

SECTION MARK — 1 / A101 SIM

ELEVATION MARK — 1 / A101 SIM

CUT LINE

DETAIL MARK — 1 / A101 SIM

PLAN NOTE DESIGNATION

WHEELCHAIR CLEARANCE RADIUS — ADA

WALL DESIGNATION — 1t

DOOR NUMBER — Door Label (Series / SIZE / HT), Door Number, Frame Type, Door Type

WINDOW NUMBER — 1t

FURNITURE — FM

COLUMN DESIGNATION — FB

NORTH ARROW — TRUE NORTH, N

ROOM TAG — Room name, 101, 150 SF

UNIT MATCHLINE — UNIT A / UNIT B

DEMOLITION NOTE — 1

REVISION CLOUD & TAG

DATUM POINT

EXHIBIT G

RQAW
DCCM

PERMIT SET

EXTRA SPACE STORAGE, INC.
EXR NAPERVILLE
STORAGE #1259
1432 W OGDEN AVE. NAPERVILLE, IL 60563

#	Revision	Date

Project #: 23-700-262

Designed By: TCH

Drawn By: TCH

Checked By: TCH / VT

Date: 08.22.2024

LICENSED ARCHITECT
VICTORIA DAWN TEMPLETON
001.023401
STATE OF ILLINOIS

ARCHITECTURAL GENERAL NOTES AND ABREVIATIONS

A-002

ADDED ENTRANCE GATE WITH LOCK BOX FOR EMERGENCY FIRE DEPARTMENT ACCESS

ENTRANCE INTO FACILITY IS EXISTING

REQUIRED MAJOR ARETERIAL SETBACK- 20FT. FROM EDGE OF RIGHT-OF-WAY

INSTALL RESTRICTOR PLATE, SEE DETAIL ON C602

INSTALL TRASH RACK TO EX. STORM STRUCTURE

TIE PROPOSED CHAIN LINK FENCE INTO EXISTING FENCE LINE

EXISTING BUILDING

PROPOSED BLDG A
NET/FIRE AREA SF = 4,800 SF
GROSS SF = 161.271' x 31.271' = 5,043.11 SF

PROPOSED BLDG B
NET/FIRE AREA SF = 4,800 SF
GROSS SF = 161.271' x 31.271' = 5,043.11 SF

PROPOSED BLDG C
NET/FIRE AREA SF = 4,200 SF
GROSS SF = 141.271' x 31.271' = 4,417.68 SF

PROPOSED BLDG D
NET/FIRE AREA SF = 3,000 SF
GROSS SF = 31.271' x 101.271' = 3,166.84 SF

PROPOSED BLDG E
NET/FIRE AREA SF = 3,000 SF
GROSS SF = 31.271' x 101.271' = 3,166.84 SF

ACCESS EASEMENT PER Doc R2020-058150 SEE NOTE 2a

LEASED PREMISES SEE NOTE 2a

THE ARCHITECTURAL IS FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR OVERALL SITE PLAN AND DETAILS

ARCHITECTURAL SITE PLAN - NEW

EXHIBIT G

RQAW
DCCM

PERMIT SET

EXTRA SPACE STORAGE, INC.
EXR NAPERVILLE STORAGE #1259
1432 W OGDEN AVE. NAPERVILLE, IL 60563

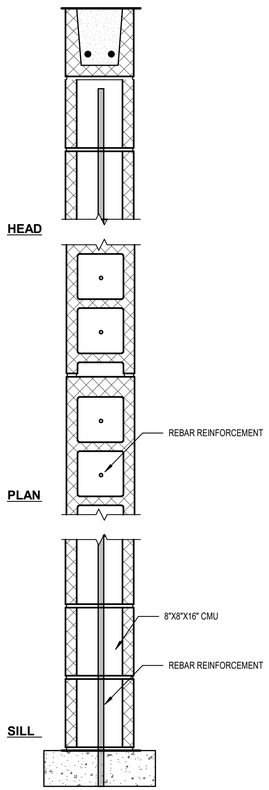
#	Revision	Date
A2	CITY REVIEW COMMENTS	8/22/2024
A4	BLDG REVIEW COMMENTS	12/03/24
A5	BLDG REVIEW	12/17/24

Project #: 23-700-262
Designed By: TCH
Drawn By: TCH
Checked By: TCH / VT
Date: 08.22.2024

LICENSED ARCHITECT
VICTORIA DAWN TEMPLETON
001.023401
STATE OF ILLINOIS

ARCHITECTURAL SITE PLAN

ASP - 101



EXTERIOR MASONRY WALL ASSEMBLY

2-HR., FIRE-RATED
U.L. DESIGN #U906

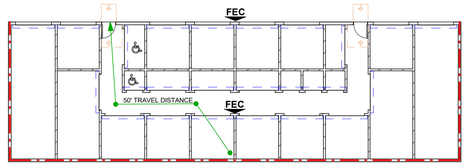
CONCRETE BLOCKS - NOMINAL 6"X8"X16" MINIMUM, HOLLOW OR SOLID. VARIOUS DESIGNS. CLASSIFICATION (2HR).

MORTAR - BLOCKS LAID IN FULL BED OF MORTAR, NOM. 3/8" THICK, OF NOT LESS THAN 2 1/4" AND NOT MORE THAN 3 1/2" PARTS OF CLEAN SHARP SAND TO 1 PART PORTLAND CEMENT (PROPORTIONED BY VOLUME) AND NOT MORE THAN 50 PERCENT HYDRATED LIME (BY CEMENT VOLUME). VERTICAL JOINTS STAGGERED.

PORTLAND CEMENT STUCCO OR GYPSUM PLASTER - ADD 1/2 HR TO CLASSIFICATION IF USED. ATTACHED TO CONCRETE BLOCKS.

5 2-HR EXTERIOR BEARING WALL
1 1/2" = 1'-0"

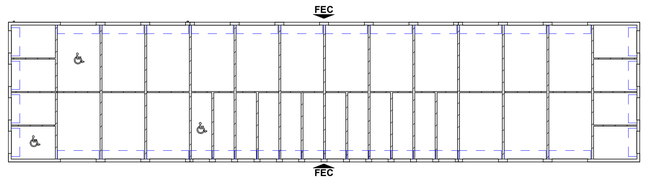
FIRE AREA = 3,000 SF



FOR REFERENCE
Building A
Net/Fire Area SF = 4,800sf
Gross SF = 5,043sf
Building B
Net/Fire Area SF = 4,800sf
Gross SF = 5,043sf
Building C
Net/Fire Area SF = 4,200sf
Gross SF = 4,417sf
Building D
Net/Fire Area SF = 3,000sf
Gross SF = 3,166sf
Building E
Net/Fire Area SF = 3,000sf
Gross SF = 3,166sf

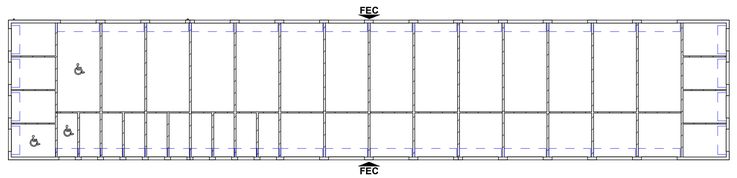
4 FIRST FLOOR PLAN - BUILDING D & E LIFE SAFETY
1/16" = 1'-0"

FIRE AREA = 4,200 SF



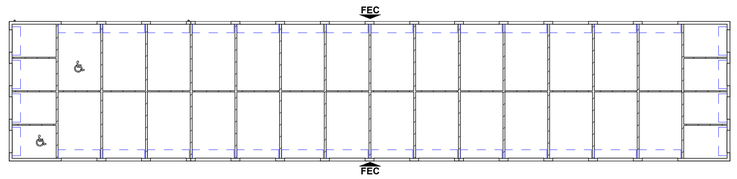
3 FIRST FLOOR PLAN - BUILDING C LIFE SAFETY
1/16" = 1'-0"

FIRE AREA = 4,800 SF



2 FIRST FLOOR PLAN - BUILDING B LIFE SAFETY
1/16" = 1'-0"

FIRE AREA = 4,800 SF



1 FIRST FLOOR PLAN - BUILDING A LIFE SAFETY
1/16" = 1'-0"

CODE SUMMARY

Applicable Codes:	2018 International Building Code 2018 International Property Maintenance Code 2018 International Fire Code 2018 International Fuel Gas Code 2018 International Mechanical Code 2018 International Plumbing Code 2018 International Existing Building Code 2017 National Electric Code (NFPA 70) 2006 International Code Council Electrical Administrative Provisions 2018 Life Safety Code (NFPA 101) Illinois Energy Conservation Code, Current Edition* National Fire Code (NFPA), Current Edition Illinois State Plumbing Code, Current Edition Illinois Accessibility Code, Current Edition Local Amendments per Naperville Municipal Code * Buildings are exempt from following the 2021 IL Energy Conversation Code because they do not contain conditioned spaces
Scope of Project:	Construction of five single story self storage buildings - Gross SF of Building "A" 5,043 sf, Building "B" 5,043 sf, Building "C" 4,417 sf, Building "D" 3,166 sf, Building "E" 3,166 sf . Work includes CMU masonry building system with standing seam metal roof. Interior walls are pre-finished metal liner panels. Concrete foundations and floor slab. The buildings are non conditioned.
Occupancy Classification:	Storage Units - Moderate Hazard Storage - S-1 Occupancy [311.2]
Construction Type:	Type II-B Construction permitted based upon allowable area and height [504.3]
Allowable Area for S-1 Occupancy:	Allowable Area: 17,500 net sf [Table 506.2] Building A Actual Area: 4,800 net sf Building B Actual Area: 4,800 net sf Building C Actual Area: 4,200 net sf Building D Actual Area: 3,000 net sf Building E Actual Area: 3,000 net sf
Allowable Height - Building Type A, B, C, D & E:	2 stories allowable [Table 504.4] 1 stories actual
Building Elements - Fire-resistive Requirements -Building Type A, B, C:	Structural frame, bearing walls, floors, and roof are required to be of 0-hour construction. [Table 601] Exterior walls are not required to be rated provided that the distance to an imaginary line between two buildings on that same lot is 10 feet or greater. [Table 602]
Building Elements - Fire-resistive Requirements -Building Type D and E:	Structural frame, bearing walls, floors, and roof are required to be of 0-hour construction. [Table 601] Exterior walls are required to be 2 hour rated provided that the distance to an imaginary line between two buildings on that same lot and to the closest interior lot line is less than 5 feet [Table 602]
Maximum Area of Exterior Wall Openings:	Buildings where exterior bearing walls, exterior non-bearing walls and exterior structural frame are not required to be fire-resistive rated are permitted to have unlimited unprotected openings. [705.8.1 exc.2]
Occupant Load Factors:	Warehouse: 500 Net sf / occ. [Table 1004.5] Building A: 4,800nsf / 500 sf person = 10 persons Building B : 4,800nsf / 500 sf person = 10 persons Building C: 4,200nsf / 500 sf person = 9 persons Building D: 3,000nsf / 500 sf person = 6 persons Building E: 3,000nsf / 500 sf person = 6 persons
Plumbing Fixtures:	Each building contains only rentable self storage units with no dedicated employees or occupants. These buildings are not conditioned and therefore excempt from providing plumbing fixture requirements.
Travel Distance:	One means of egress is allowed from any space where the occupant load is less than 29 for S Occupancies or where the common path of egress travel distance is less than 100 feet. [Table 1006.2.1]
Sprinkler System:	Each fire area is less than 5,000 SF. Building A and B have fire areas equaling 4,800 net sf. An automatic sprinkler system is not required and not being provided. [903.2]
Fire Alarm System:	Fire alarm system is not required to be provided
Interior Finishes:	S-1 Occupancy Vertical Exits - B Corridors - B Rooms - C Class A - flame spread 0-25/smoke development 0-450 Class B - flame spread 26-75/smoke development 0-450 Class C - flame spread 75-200/smoke development 0-450 The building as designed complies with the above referenced code requirements and referenced codes

LIFE SAFETY PLAN NOTES

1. V.I.F. WITH CITY OF NAPERVILLE FOR LOCATION AND SIZE AND TYPE OF PORTABLE FIRE EXTINGUISHERS ON ALL FLOORS.
2. DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT A MIN. 34" AND A MAX. 48" ABOVE THE FINISH FLOOR.

LIFE SAFETY PLAN LEGEND

FEC — FIRE EXTINGUISHER

2-HOUR FIRE RESISTANCE RATING

RQAW
DCCM

PERMIT SET

EXTRA SPACE STORAGE, INC.
EXR NAPERVILLE
STORAGE #1259
1432 W OGDEN AVE. NAPERVILLE, IL 60563

#	Revision	Date
A2	CITY REVIEW COMMENTS	8/22/2024
A3	CITY REVIEW COMMENTS	11/15/2024
A4	BLDG REVIEW	12/03/24

Project #: 23-700-262
Designed By: TCH
Drawn By: TCH
Checked By: TCH / VT
Date: 08.22.2024

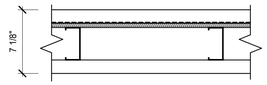
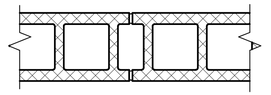
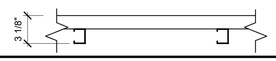
LICENSED ARCHITECT
VICTORIA DAWN TEMPLETON
001.023401
STATE OF ILLINOIS

LIFE SAFETY DIAGRAM & CODE ANALYSIS

AL-101

EXHIBIT G

WALL TYPES & NOTES

ES4-DM	EXTERIOR METAL WALL PANELS ON WEATHER BARRIER ON 1/2" EXTERIOR GRADE SHEATHING ON LIGHT GAGE METAL STUDS AND INTERIOR METAL LINER PANEL		EM8	8" CMU EXTERIOR MASONRY FACADE (2-HR BEARING WALL. UL DESIGN NO. U906) 
S4-DM*	INTERIOR METAL LINER PANEL ON LIGHT GAGE METAL STUDS TO DECK UNLESS NOTED OTHERWISE			
S2-DM*	INTERIOR METAL LINER PANEL ON LIGHT GAGE METAL STUDS TO DECK UNLESS NOTED OTHERWISE			***Per 2018 IBC 1607.15 Interior walls and partitions: Interior walls and partitions that exceed 6 feet in height, including their finish materials, shall have adequate strength and stiffness to resist a minimum of 5 psf horizontal load***

GENERAL PLAN NOTES

1. PLAN NOTES INDICATE ONE GRAPHIC REPRESENTATION TYPICAL. THE CONTRACTOR SHALL USE THE GRAPHIC REPRESENTATIONS FOR THE COUNT, NOT THE KEYED PLAN NOTES. THE ABSENCE OF A KEYED PLAN NOTE ON THE PLAN DOES NOT ABSOLVE THE CONTRACTOR FROM PROVIDING THE FEATURE GRAPHICALLY REPRESENTED ON THE DRAWING.

2. ALL DIMENSIONS SHOWN ARE TO FACE OF STUD OR MASONRY, UNLESS NOTED OTHERWISE. DIMENSIONS DESIGNATED AS "CLR OR "CLEAR" INDICATE A CLEAR DIMENSION FROM FACE OF FINISH TO FACE OF FINISH. DIMENSIONS OF EXTERIOR WALLS ARE TO OUTSIDE EDGE OF FOUNDATION.

4. ALL DOOR FRAMES ARE LOCATED 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE.

5. SEAL ALL JOINTS BETWEEN DISSIMILAR MATERIALS.

6. ALL GYPSUM WALLBOARD IS 5/8" TYPE "X", UNLESS NOTED OTHERWISE.

7. ALL EXTERIOR WALLS ARE TYPE " EM8 ", UNLESS NOTED OTHERWISE.

8. ALL INTERIOR WALLS ARE TYPE " S4-DM' " (3 5/8" METAL STUD TO DECK, WITH 1 1/2" METAL LINER PANELS HELD TO DECK UNLESS NOTED OTHERWISE.

9. BASE ELEVATION VARIES (UNITED STATES GEOLOGICAL SURVEY DATA). COORDINATE WITH CIVIL DRAWINGS

10. DRAWINGS ESTABLISH THE DESIGN INTENT OF WORK TO BE PERFORMED. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HIGHEST INDUSTRY STANDARDS. ALL PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL TRADES SHALL CAREFULLY COORDINATE WORK OF ALL OTHER TRADES. ANY DISCREPANCIES OR CONFLICTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT AND THE OWNER PRIOR TO FABRICATION OR INSTALLATION.

11. CONTRACTORS SHALL BE RESPONSIBLE FOR CHECKING THE CONTRACT DOCUMENTS FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, PLUMBING, AND LANDSCAPING. CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS AND FOR VERIFYING THEM WITH THE CONTRACT DOCUMENTS. ANY DISCREPANCY IN THE CONTRACT DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE NOTICE OF THE ARCHITECT PRIOR TO ANY FABRICATION OR CONSTRUCTION.

12. UNIT NUMBER PLAQUES TO BE INSTALLED DIRECTLY CENTERED ABOVE UNIT DOOR. INSTALL WITH SELF-ADHESIVE BACKS, ALL WEATHER LIQUID NAILS, OR SCREW. SUPPLIED AND INSTALLED BY CONTRACTOR. UNIT NUMBERING SEQUENCE PLANS TO BE CREATED BY EXTRA SPACE STORAGE.

13. ALL BUILDING MATERIALS (INCLUDING BUT NOT LIMITED TO METAL FLASHING, VAPOR BARRIERS, AIR/WATER RESISTANT BARRIERS, THRU-WALL FLASHING, ETC.) SHALL BE LAPPED TO SHED WATER TO THE OUTSIDE OF THE BUILDING ENVELOPE.

15. SEE STRUCTURAL FOR CONTROL/EXPANSION JOINT LOCATIONS.

16. SLOPE CONCRETE SLABS TO FLOOR DRAINS AT 1/16" MIN. PER FT.

17. SUFFIXES WITHIN SPECIFICATION REFERENCES (i.e. 10 11 33.XX or 10 11 33.A1) IN THE DRAWINGS CAN BE IGNORED. THESE SUFFIXES ARE A SORTING MECHANISM USED IN PREPARING THESE DRAWINGS.

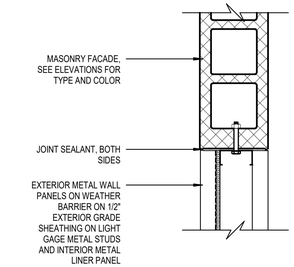
18. ALL ROUGH OPENINGS (R.O.) SHALL BE VERIFIED WITH SELECTED WINDOW AND DOOR MANUFACTURER. ANY CHANGES FROM THE BASIS OF DESIGN WILL BE COORDINATED WITH ALL TRADES AND ROUGH OPENINGS ADJUSTED AS REQUIRED. ANY DISCREPTENCIES FOUND WILL BE BROUGHT TO THE ARCHITECT PRIOR TO CONSTRUCTION. ANY CHANGES AND REVISIONS WILL BE DONE AT CONTRACTORS EXPENSE.

19. BUILDING ENVELOPE CONTINUITY WILL BE MONITORED BY A COMMISSIONING AGENT. TRANSITIONS BETWEEN BUILDING SYSTEMS (I.E. ROOF TO WALL, CURTAINWALL TO EXTERIOR WALL, ETC) SHALL INCLUDE CONITNUOUS AIRTIGHT AIR BARRIER SYSTEM. ALL PENETRATIONS IN THE BUILDING ENVELOPE (INCLUDING WINDOWS, DOORS, STOREFRONT, ETC.) SHALL BE SEALED WITH AIR THIGHT WEATHER SEALS. AT ANY LOCATION WHERE MASONRY TIES OR OTHER MATERIALS PENETRATE THE AIR BARRIER, EACH PENETRATION SHALL BE SEALED AIRTIGHT.

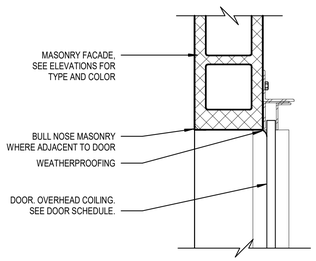
FRAMING NOTES

1. SUBCONTRACTORS TO USE THE SMALLEST PENETRATIONS POSSIBLE AND TO PROPERLY SEAL ALL OF THEIR PENETRATIONS THROUGH EXTERIOR AND PARTY WALLS, AND THROUGH ALL FLOORS AND CEILINGS USING A SPRAY FOAM, MASTIC OR CAULK, TO INCLUDE BUT NOT LIMITED TO PLUMBING, ELECTRICAL, DUCTS, SHAFTS AND LIGHT FIXTURES. USE FIRE RATED CAULK AND/OR COLLARS WHERE NECESSARY TO MAINTAIN FIRE RATING

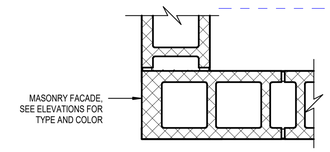
2. CAULK PERIMETER AND PARTY WALL SILL AND TOP PLATES TO PREVENT AIR LEAKAGE.



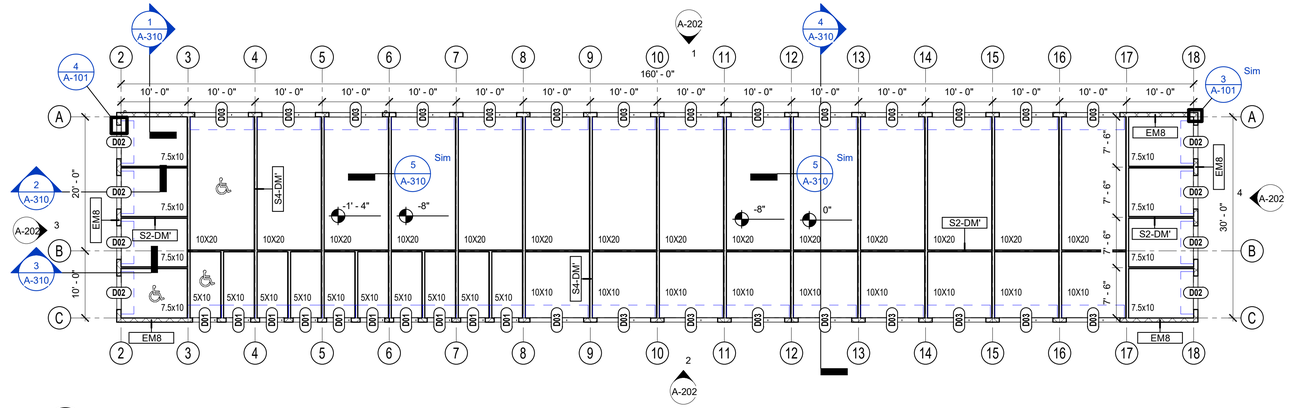
5 MASONRY TO MWP DETAIL
1 1/2" = 1'-0"



4 DOOR JAMB DETAIL - MASONRY
1 1/2" = 1'-0"



3 DETAIL - TYPICAL CORNER TRANSITION
1 1/2" = 1'-0"



2 FIRST FLOOR PLAN - BUILDING B
3/32" = 1'-0"

1 FIRST FLOOR PLAN - BUILDING A
3/32" = 1'-0"

EXHIBIT G

RQAW
DCCM

PERMIT SET

EXTRA SPACE STORAGE, INC.
EXR NAPERVILLE
STORAGE #1259
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#	Revision	Date
A2	CITY REVIEW COMMENTS	8/22/2024
A4	BLDG REVIEW COMMENTS	12/03/24

Project #: 23-700-262
Designed By: TCH
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Checked By: TCH / VT
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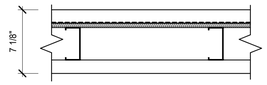
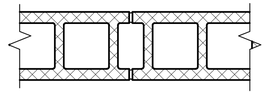
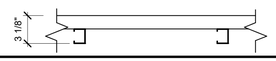
LICENSED ARCHITECT
VICTORIA DAWN TEMPLETON
001.023401
STATE OF ILLINOIS

BUILDING - FIRST FLOOR PLANS - BUILDING A AND B

A-101

WALL TYPES & NOTES

ES4-DM	EXTERIOR METAL WALL PANELS ON WEATHER BARRIER ON 1/2" EXTERIOR GRADE SHEATHING ON LIGHT GAGE METAL STUDS AND INTERIOR METAL LINER PANEL		**EM8**	8" CMU EXTERIOR MASONRY FACADE (2-HR BEARING WALL. UL DESIGN NO. U906) 
S4-DM'	INTERIOR METAL LINER PANEL ON LIGHT GAGE METAL STUDS TO DECK UNLESS NOTED OTHERWISE			
S2-DM'	INTERIOR METAL LINER PANEL ON LIGHT GAGE METAL STUDS TO DECK UNLESS NOTED OTHERWISE			***Per 2018 IBC 1607.15 Interior walls and partitions: Interior walls and partitions that exceed 6 feet in height, including their finish materials, shall have adequate strength and stiffness to resist a minimum of 5 psf horizontal load***

GENERAL PLAN NOTES

1. PLAN NOTES INDICATE ONE GRAPHIC REPRESENTATION TYPICAL. THE CONTRACTOR SHALL USE THE GRAPHIC REPRESENTATIONS FOR THE COUNT, NOT THE KEYED PLAN NOTES. THE ABSENCE OF A KEYED PLAN NOTE ON THE PLAN DOES NOT ABSOLVE THE CONTRACTOR FROM PROVIDING THE FEATURE GRAPHICALLY REPRESENTED ON THE DRAWING.

2. ALL DIMENSIONS SHOWN ARE TO FACE OF STUD OR MASONRY, UNLESS NOTED OTHERWISE. DIMENSIONS DESIGNATED AS "CLR OR "CLEAR" INDICATE A CLEAR DIMENSION FROM FACE OF FINISH TO FACE OF FINISH. DIMENSIONS OF EXTERIOR WALLS ARE TO OUTSIDE EDGE OF FOUNDATION.

4. ALL DOOR FRAMES ARE LOCATED 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE.

5. SEAL ALL JOINTS BETWEEN DISSIMILAR MATERIALS.

6. ALL GYPSUM WALLBOARD IS 5/8" TYPE "X", UNLESS NOTED OTHERWISE.

7. ALL EXTERIOR WALLS ARE TYPE " EM8 ", UNLESS NOTED OTHERWISE.

8. ALL INTERIOR WALLS ARE TYPE " S4-DM' " (3 5/8" METAL STUD TO DECK, WITH 1 1/2" METAL LINER PANELS HELD TO DECK UNLESS NOTED OTHERWISE.

9. BASE ELEVATION VARIES (UNITED STATES GEOLOGICAL SURVEY DATA). COORDINATE WITH CIVIL DRAWINGS

10. DRAWINGS ESTABLISH THE DESIGN INTENT OF WORK TO BE PERFORMED. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HIGHEST INDUSTRY STANDARDS. ALL PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL TRADES SHALL CAREFULLY COORDINATE WORK OF ALL OTHER TRADES. ANY DISCREPANCIES OR CONFLICTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT AND THE OWNER PRIOR TO FABRICATION OR INSTALLATION.

11. CONTRACTORS SHALL BE RESPONSIBLE FOR CHECKING THE CONTRACT DOCUMENTS FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, PLUMBING, AND LANDSCAPING. CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS AND FOR VERIFYING THEM WITH THE CONTRACT DOCUMENTS. ANY DISCREPANCY IN THE CONTRACT DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE NOTICE OF THE ARCHITECT PRIOR TO ANY FABRICATION OR CONSTRUCTION.

12. UNIT NUMBER PLAQUES TO BE INSTALLED DIRECTLY CENTERED ABOVE UNIT DOOR. INSTALL WITH SELF-ADHESIVE BACKS, ALL WEATHER LIQUID NAILS, OR SCREW. SUPPLIED AND INSTALLED BY CONTRACTOR. UNIT NUMBERING SEQUENCE PLANS TO BE CREATED BY EXTRA SPACE STORAGE.

13. ALL BUILDING MATERIALS (INCLUDING BUT NOT LIMITED TO METAL FLASHING, VAPOR BARRIERS, AIR/WATER RESISTANT BARRIERS, THRU-WALL FLASHING, ETC.) SHALL BE LAPPED TO SHED WATER TO THE OUTSIDE OF THE BUILDING ENVELOPE.

15. SEE STRUCTURAL FOR CONTROL/EXPANSION JOINT LOCATIONS.

16. SLOPE CONCRETE SLABS TO FLOOR DRAINS AT 1/16" MIN. PER FT.

17. SUFFIXES WITHIN SPECIFICATION REFERENCES (i.e. 10 11 33.XX or 10 11 33.A1) IN THE DRAWINGS CAN BE IGNORED. THESE SUFFIXES ARE A SORTING MECHANISM USED IN PREPARING THESE DRAWINGS.

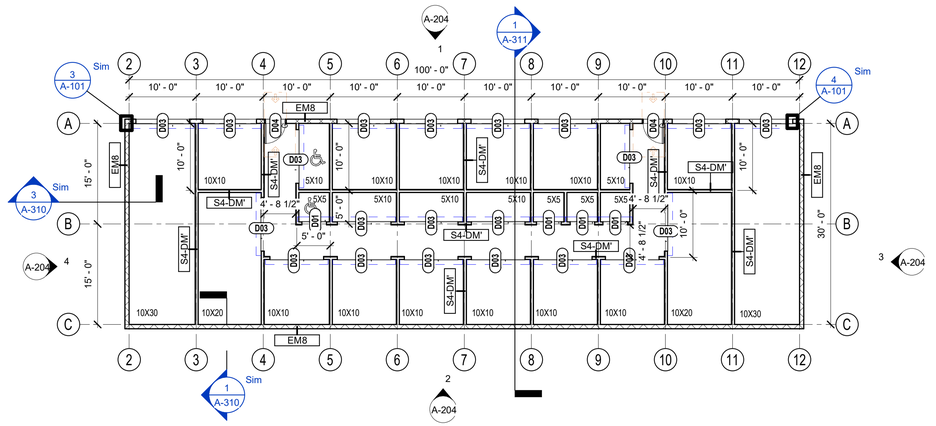
18. ALL ROUGH OPENINGS (R.O.) SHALL BE VERIFIED WITH SELECTED WINDOW AND DOOR MANUFACTURER. ANY CHANGES FROM THE BASIS OF DESIGN WILL BE COORDINATED WITH ALL TRADES AND ROUGH OPENINGS ADJUSTED AS REQUIRED. ANY DISCREPTENCIES FOUND WILL BE BROUGHT TO THE ARCHITECT PRIOR TO CONSTRUCTION. ANY CHANGES AND REVISIONS WILL BE DONE AT CONTRACTORS EXPENSE.

19. BUILDING ENVELOPE CONTINUITY WILL BE MONITORED BY A COMMISSIONING AGENT. TRANSITIONS BETWEEN BUILDING SYSTEMS (I.E. ROOF TO WALL, CURTAINWALL TO EXTERIOR WALL, ETC) SHALL INCLUDE CONITNUOUS AIRTIGHT AIR BARRIER SYSTEM. ALL PENETRATIONS IN THE BUILDING ENVELOPE (INCLUDING WINDOWS, DOORS, STOREFRONT, ETC.) SHALL BE SEALED WITH AIR THIGHT WEATHER SEALS. AT ANY LOCATION WHERE MASONRY TIES OR OTHER MATERIALS PENETRATE THE AIR BARRIER, EACH PENETRATION SHALL BE SEALED AIRTIGHT.

FRAMING NOTES

1. SUBCONTRACTORS TO USE THE SMALLEST PENETRATIONS POSSIBLE AND TO PROPERLY SEAL ALL OF THEIR PENETRATIONS THROUGH EXTERIOR AND PARTY WALLS, AND THROUGH ALL FLOORS AND CEILINGS USING A SPRAY FOAM, MASTIC OR CAULK, TO INCLUDE BUT NOT LIMITED TO PLUMBING, ELECTRICAL, DUCTS, SHAFTS AND LIGHT FIXTURES. USE FIRE RATED CAULK AND/OR COLLARS WHERE NECESSARY TO MAINTAIN FIRE RATING

2. CAULK PERIMETER AND PARTY WALL SILL AND TOP PLATES TO PREVENT AIR LEAKAGE.

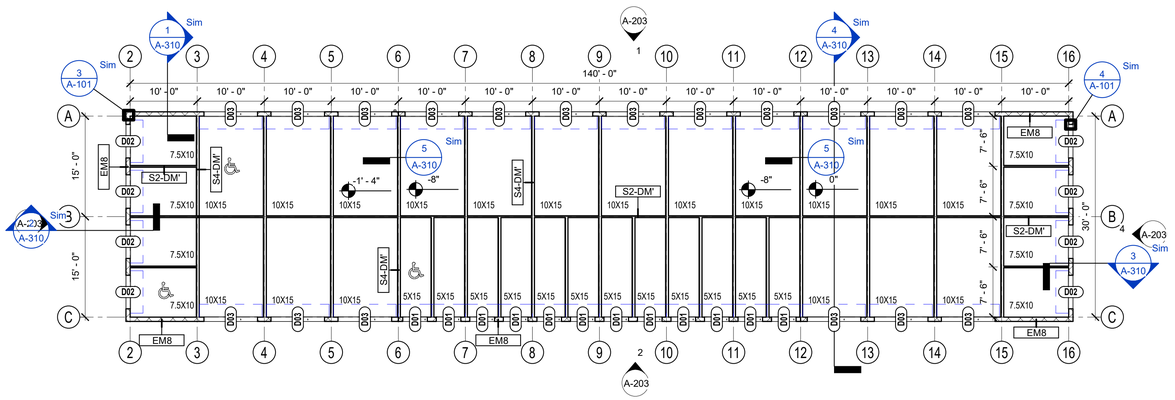


THESE BUILDINGS WILL NOT BE CONDITIONED. THERE ARE NO OCCUPIABLE SPACES AND THEREFORE VENTILATION IS NOT REQUIRED.

N

2 FIRST FLOOR PLAN - BUILDING D AND E

3/32" = 1'-0"



1 FIRST FLOOR PLAN - BUILDING C

3/32" = 1'-0"

N

EXHIBIT G

RQAW

DCCM

PERMIT SET

EXTRA SPACE STORAGE, INC.

EXR NAPERVILLE STORAGE #1259

1432 W OGDEN AVE. NAPERVILLE, IL 60563

#	Revision	Date
A2	CITY REVIEW COMMENTS	8/22/2024
A4	BLDG REVIEW COMMENTS	12/03/24

Project #: 23-700-262

Designed By: TCH

Drawn By: TCH

Checked By: TCH / VT

Date: 08.22.2024

LICENSED ARCHITECT
VICTORIA DAWN TEMPLETON
001.023401
STATE OF ILLINOIS

BUILDING - FIRST FLOOR PLANS - BUILDING C, D AND E

A-102

***Calculator is based on Chapter 1 of SMACNA's Architectural Sheet Metal Manual 7th Edition (ASMM).**
Rainfall Wizard is based on Table 1-2 Rainfall Data and Drainage Factors, Page 1.2-1.3 of the Architectural Sheet Metal Manual 7th Edition.
Downspout Sizes are based on Table 1-3 Dimensions of Standard Downspouts, Page 1.4 of the Architectural Sheet Metal Manual 7th Edition.
Calculations are based on level gutter capacity as experimentally determined by the National Institute of Standards and Technology (NIST).
Downspout Sizes must not exceed the bottom width of the gutter.
To limit the effects of thermal expansion in gutters, 50 ft. (15 m) is a practical maximum gutter length to be served by a downspout.
The capacity of a sloped rectangular gutter may be approximated by using a gutter cross section area not less than that of a semicircular gutter and a depth to width ratio of at least 0.75.

DOWNSPOUT AND GUTTER CALCULATIONS
Rainfall Intensity (in/hr): 9.3
based on rainfall averages in Chicago, IL (100 years)

Largest roof rainfall design area = 1,876 sf
Gutter linear ft = 60 feet
Minimum gutter width = 6"
Minmum gutter depth = 4.5"
# of downspouts required = 2
Minimum downspout size = 3"x4"

ROOF NOTES

1. INSTALL INSULATION AND ROOFING MATERIALS INCLUDING ALL FLASHING, FASTENERS, ADHESIVES, TAPES, CEMENTS, SEALANTS, ETC. IN ACCORDANCE WITH MANUFACTUER'S INSTRUCTIONS AND RECOMMENDATIONS.

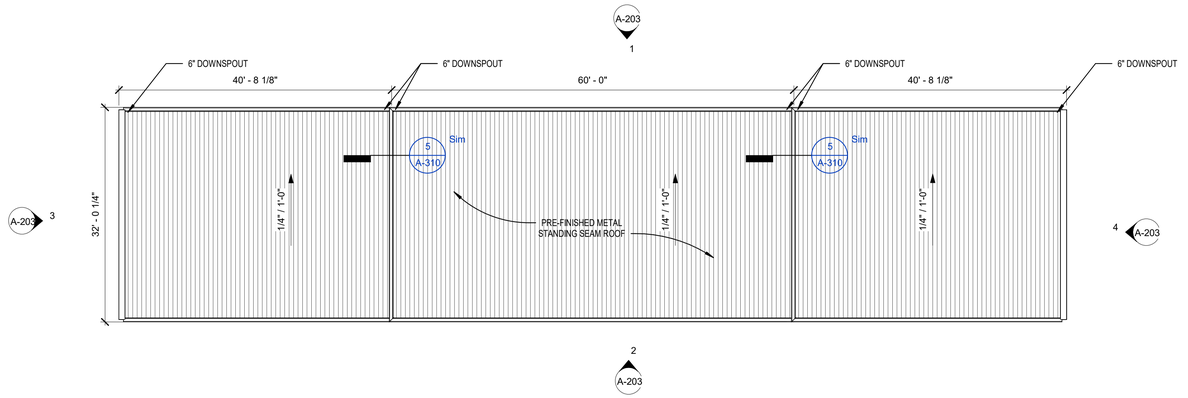
2. DURING INSTALLATION ALL INSTALLED MATERIALS ARE TO BE PROTECTED FROM WEATHER AT ALL TIMES.

3. VERIFY LOCATIONS AND QUANTITY OF ALL ROOF PENETRATIONS. I.E. EXHAUST FANS, EXHAUST VENTS AND SANITARY VENTS WITH ALL DRAWINGS PRIOR TO ROOF INSTALLATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

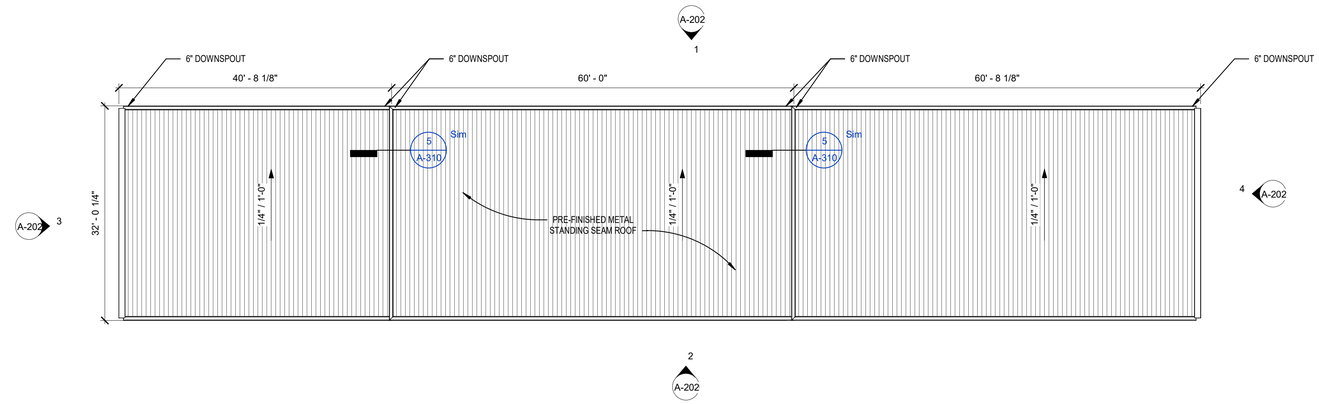
4. OVERALL ROOF DIMENSIONS ARE FOR ESTIMATION PURPOSES ONLY, VERIFY OVERHANG DIMENSIONS WITH WALL SECTIONS.

5. ROOF DESIGN: STANDING SEAM PREFINISHED METAL ROOF (CLASS A). NO SCREWS OR FASTENERS SHALL PENETRATE ROOF PANELS WITHIN THE BUILDING ENVELOPE.

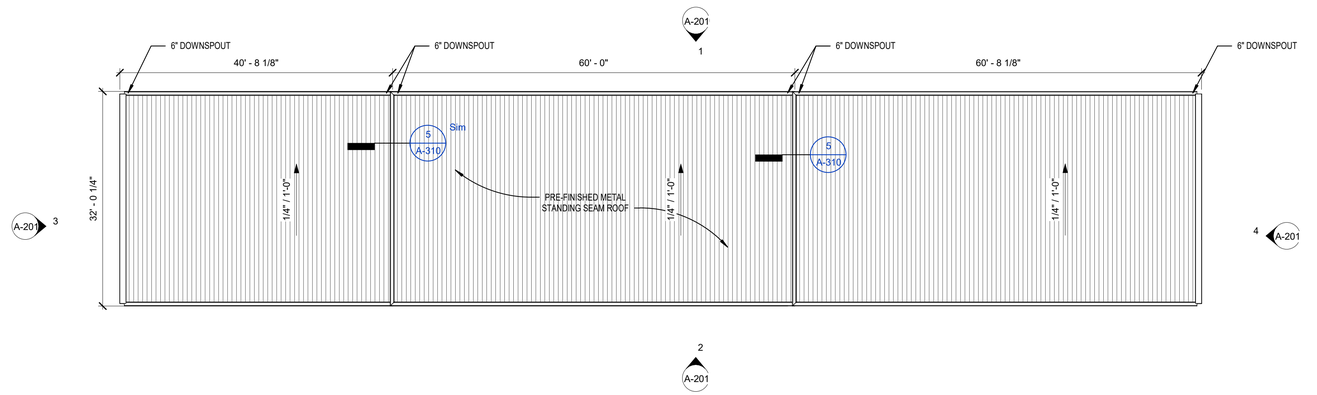
6. DOWNSPOUTS ARE TO BE HELD 48" ABOVE EXTERIOR GRADE UNLESS NOTED OTHERWISE.



3 BUILDING C - ROOF PLAN
3/32" = 1'-0"



2 BUILDING B - ROOF PLAN
3/32" = 1'-0"



1 BUILDING A - ROOF PLAN
3/32" = 1'-0"

EXHIBIT G

RQAW
DCCM

PERMIT SET

EXTRA SPACE STORAGE, INC.
EXR NAPERVILLE STORAGE #1259
1432 W OGDEN AVE. NAPERVILLE, IL 60563

#	Revision	Date
A2	CITY REVIEW COMMENTS	8/22/2024
A4	BLDG REVIEW COMMENTS	12/03/24

Project #: 23-700-262
Designed By: TCH
Drawn By: TCH
Checked By: TCH / VT
Date: 08.22.2024

LICENSED ARCHITECT
VICTORIA DAWN TEMPLETON
001.023401
STATE OF ILLINOIS

BUILDING - ROOF PLANS

A-103

ROOF NOTES

1. INSTALL INSULATION AND ROOFING MATERIALS INCLUDING ALL FLASHING, FASTENERS, ADHESIVES, TAPES, CEMENTS, SEALANTS, ETC. IN ACCORDANCE WITH MANUFACTUER'S INSTRUCTIONS AND RECOMMENDATIONS.

2. DURING INSTALLATION ALL INSTALLED MATERIALS ARE TO BE PROTECTED FROM WEATHER AT ALL TIMES.

3. VERIFY LOCATIONS AND QUANTITY OF ALL ROOF PENETRATIONS. I.E. EXHAUST FANS, EXHAUST VENTS AND SANITARY VENTS WITH ALL DRAWINGS PRIOR TO ROOF INSTALLATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

4. OVERALL ROOF DIMENSIONS ARE FOR ESTIMATION PURPOSES ONLY, VERIFY OVERHANG DIMENSIONS WITH WALL SECTIONS.

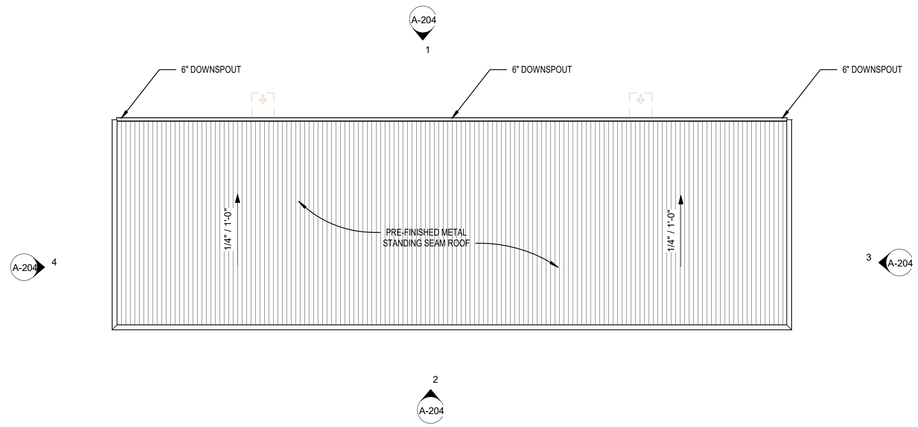
5. ROOF DESIGN: STANDING SEAM PREFINISHED METAL ROOF (CLASS A). NO SCREWS OR FASTENERS SHALL PENETRATE ROOF PANELS WITHIN THE BUILDING ENVELOPE.

6. DOWNSPOUTS ARE TO BE HELD 48" ABOVE EXTERIOR GRADE UNLESS NOTED OTHERWISE.

***Calculator is based on Chapter 1 of SMACNA's Architectural Sheet Metal Manual 7th Edition (ASMM).**
Rainfall Wizard is based on Table 1-2 Rainfall Data and Drainage Factors, Page 1.2-1.3 of the Architectural Sheet Metal Manual 7th Edition.
Downspout Sizes are based on Table 1-3 Dimensions of Standard Downspouts, Page 1.4 of the Architectural Sheet Metal Manual 7th Edition.
Calculations are based on level gutter capacity as experimentally determined by the National Institute of Standards and Technology (NIST).
Downspout Sizes must not exceed the bottom width of the gutter.
To limit the effects of thermal expansion in gutters, 50 ft. (15 m) is a practical maximum gutter length to be served by a downspout.
The capacity of a sloped rectangular gutter may be approximated by using a gutter cross section area not less than that of a semicircular gutter and a depth to width ratio of at least 0.75.

DOWNSPOUT AND GUTTER CALCULATIONS
Rainfall Intensity (in/hr): 9.3
based on rainfall averages in Chicago, IL (100 years)

Largest roof rainfall design area = 3,127 sf
Gutter linear ft = 101 feet
Minimum gutter width = 6"
Minmum gutter depth = 4.5"
# of downspouts required = 3
Minimum downspout size = 3"x4"



1 **BUILDING D&E - ROOF PLAN**
3/32" = 1'-0"

N

EXHIBIT G

RQAW
DCCM

PERMIT SET

EXTRA SPACE STORAGE, INC.
EXR NAPERVILLE
STORAGE #1259
1432 W OGDEN AVE. NAPERVILLE, IL 60563

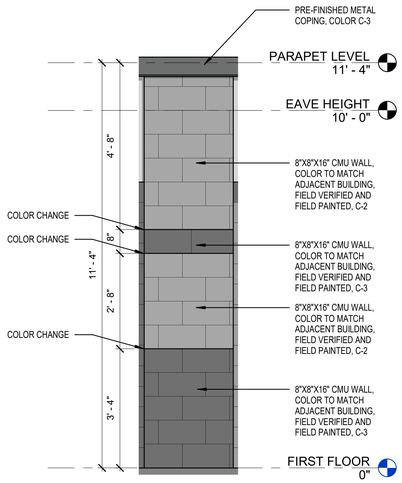
#	Revision	Date
A2	CITY REVIEW COMMENTS	8/22/2024
A4	BLDG REVIEW COMMENTS	12/03/24

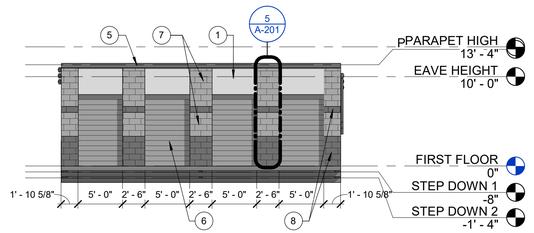
Project #: 23-700-262
Designed By: TCH
Drawn By: TCH
Checked By: TCH / VT
Date: 08.22.2024

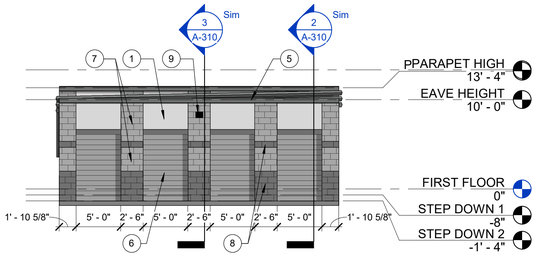
LICENSED ARCHITECT
VICTORIA DAWN TEMPLETON
001.023401
STATE OF ILLINOIS

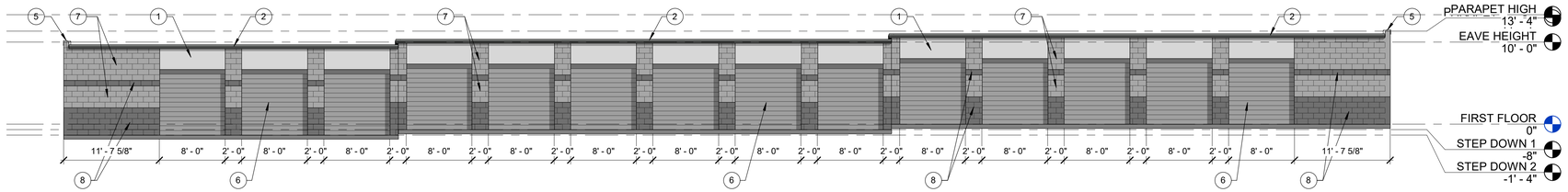
BUILDING - ROOF PLANS

A-104









EXTERIOR COLORS

C1 SHERWIN WILLIAMS - 7063 NEBULOUS WHITE
C2 SHERWIN WILLIAMS - 7065 ARGOS
C3 SHERWIN WILLIAMS - 7067 CITYSCAPE
*SOLID COLOR CONCRETE STAIN IS TO MATCH ADJACENT EXSITING STORAGE FACILITY COLOR SCHEME

ELEVATION NOTES

Key	Note
1	PRE-FINISHED METAL WALL PANELS - COLOR C1
2	PRE-FINISHED METAL RAKE TRIM, 6" - COLOR C3
3	PRE-FINISHED METAL GUTTER, 6" - COLOR C3
4	PRE-FINISHED METAL DOWNSPOUTS, 6" PLAIN SQUARE WITH STEEL ELBOW (A) STYLE. HELD 48" AFF UNLESS NOTED OTHERWISE - COLOR C3
5	PRE-FINISHED METAL COPING - COLOR C3
6	PRE-FINISHED OVERHEAD DOOR - COLOR C2
7	CMU WALL BAND - COLOR C2
8	CMU WALL BAND - COLOR C3
9	WALL MOUNTED EXTERIOR WALL PACK LIGHT W/CUT-OFF SHIELD. SEE ELECTRICAL DRAWINGS FOR MOUNTING HEIGHT AND POWER REQUIREMENTS

5 TYPICAL MASONRY WALL
1/2" = 1'-0"

4 BUILDING A - NORTH ELEVATION
1/8" = 1'-0"

3 BUILDING A - SOUTH ELEVATION
1/8" = 1'-0"

THIS BUILDING DOES NOT REQUIRE ANY FIRE RESISTANCE RATED EXTERIOR WALLS. A PARAPET NEED NOT TO BE PROVIDED ON AN EXTERIOR WALL DUE TO EXCEPTION 1, PER 705.11.

2 BUILDING A - EAST ELEVATION
1/8" = 1'-0"

1 BUILDING A - WEST ELEVATION
1/8" = 1'-0"

EXHIBIT G

RQAW
DCCM

PERMIT SET
EXTRA SPACE STORAGE, INC.
EXR NAPERVILLE
STORAGE #1259
1432 W OGDEN AVE. NAPERVILLE, IL 60563

#	Revision	Date
A2	CITY REVIEW COMMENTS	8/22/2024
A3	CITY REVIEW COMMENTS	11/15/2024
A4	BLDG REVIEW	12/03/24

Project #: 23-700-262
Designed By: TCH
Drawn By: TCH
Checked By: TCH / VT
Date: 08.22.2024

VICTORIA DAWN TEMPLETON
001.023401

Victoria Templeton

BUILDING A - ELEVATIONS

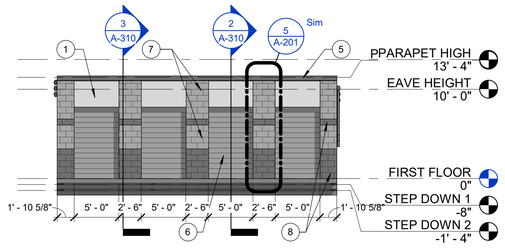
A-201

EXTERIOR COLORS

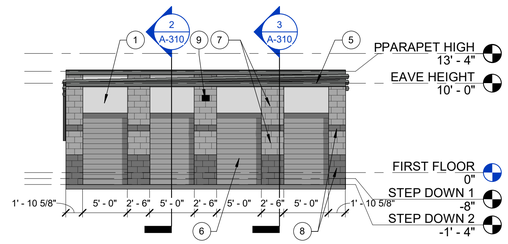
C1 SHERWIN WILLIAMS - 7063 NEBULOUS WHITE
C2 SHERWIN WILLIAMS - 7065 ARGOS
C3 SHERWIN WILLIAMS - 7067 CITYSCAPE
*SOLID COLOR CONCRETE STAIN IS TO MATCH ADJACENT EXISTING STORAGE FACILITY COLOR SCHEME

ELEVATION NOTES

Key	Note
1	PRE-FINISHED METAL WALL PANELS - COLOR C1
2	PRE-FINISHED METAL RAKE TRIM, 6" - COLOR C3
3	PRE-FINISHED METAL GUTTER, 6" - COLOR C3
4	PRE-FINISHED METAL DOWNSPOUTS, 6" PLAIN SQUARE WITH STEEL ELBOW (A) STYLE. HELD 48" AFF UNLESS NOTED OTHERWISE - COLOR C3
5	PRE-FINISHED METAL COPING - COLOR C3
6	PRE-FINISHED OVERHEAD DOOR - COLOR C2
7	CMU WALL BAND - COLOR C2
8	CMU WALL BAND - COLOR C3
9	WALL MOUNTED EXTERIOR WALL PACK LIGHT W/CUT-OFF SHIELD. SEE ELECTRICAL DRAWINGS FOR MOUNTING HEIGHT AND POWER REQUIREMENTS

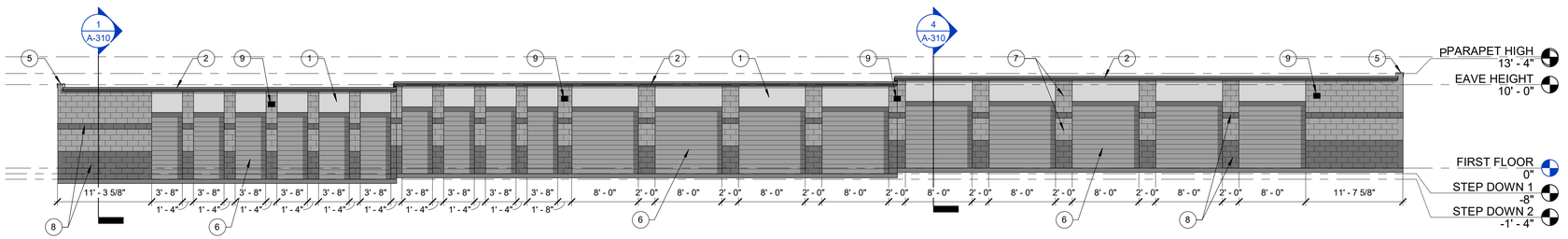


4 BUILDING B - NORTH ELEVATION
1/8" = 1'-0"

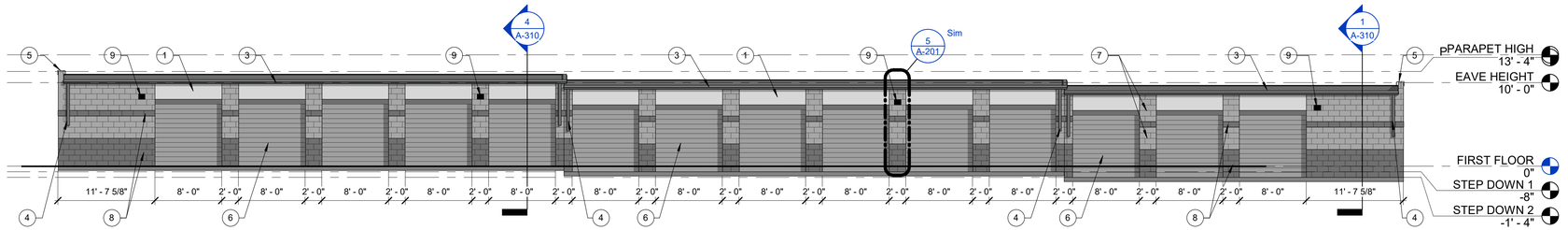


3 BUILDING B - SOUTH ELEVATION
1/8" = 1'-0"

THIS BUILDING DOES NOT REQUIRE ANY FIRE RESISTANCE RATED EXTERIOR WALLS. A PARAPET NEED NOT TO BE PROVIDED ON AN EXTERIOR WALL DUE TO EXCEPTION 1, PER 705.11.



2 BUILDING B - EAST ELEVATION
1/8" = 1'-0"



1 BUILDING B - WEST ELEVATION
1/8" = 1'-0"

EXHIBIT G

RQAW
DCCM

PERMIT SET

EXTRA SPACE STORAGE, INC.
EXR NAPERVILLE STORAGE #1259
1432 W OGDEN AVE. NAPERVILLE, IL 60563

#	Revision	Date
A1	Addendum 01	12/28/2023
A2	CITY REVIEW COMMENTS	8/22/2024
A3	CITY REVIEW COMMENTS	11/15/2024
	COMMENTS	

Project #: 23-700-262

Designed By: TCH

Drawn By: TCH

Checked By: TCH / VT

Date: 08.22.2024

LICENSED ARCHITECT
VICTORIA DAWN TEMPLETON
001.023401
STATE OF ILLINOIS

BUILDING B - ELEVATIONS

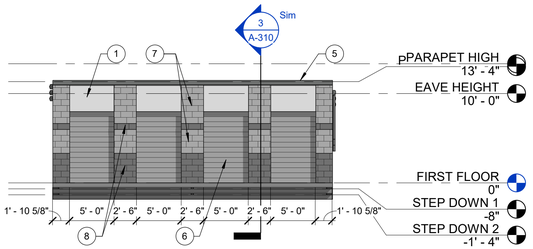
A-202

EXTERIOR COLORS

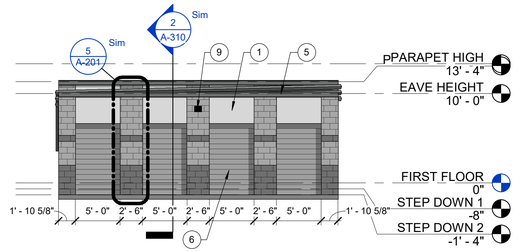
C1 SHERWIN WILLIAMS - 7063 NEBULOUS WHITE
C2 SHERWIN WILLIAMS - 7065 ARGOS
C3 SHERWIN WILLIAMS - 7067 CITYSCAPE
*SOLID COLOR CONCRETE STAIN IS TO MATCH ADJACENT EXISTING STORAGE FACILITY COLOR SCHEME

ELEVATION NOTES

Key	Note
1	PRE-FINISHED METAL WALL PANELS - COLOR C1
2	PRE-FINISHED METAL RAKE TRIM, 6" - COLOR C3
3	PRE-FINISHED METAL GUTTER, 6" - COLOR C3
4	PRE-FINISHED METAL DOWNSPOUTS, 6" PLAIN SQUARE WITH STEEL ELBOW (A) STYLE. HELD 48" AFF UNLESS NOTED OTHERWISE - COLOR C3
5	PRE-FINISHED METAL COPING - COLOR C3
6	PRE-FINISHED OVERHEAD DOOR - COLOR C2
7	CMU WALL BAND - COLOR C2
8	CMU WALL BAND - COLOR C3
9	WALL MOUNTED EXTERIOR WALL PACK LIGHT W/CUT-OFF SHIELD. SEE ELECTRICAL DRAWINGS FOR MOUNTING HEIGHT AND POWER REQUIREMENTS

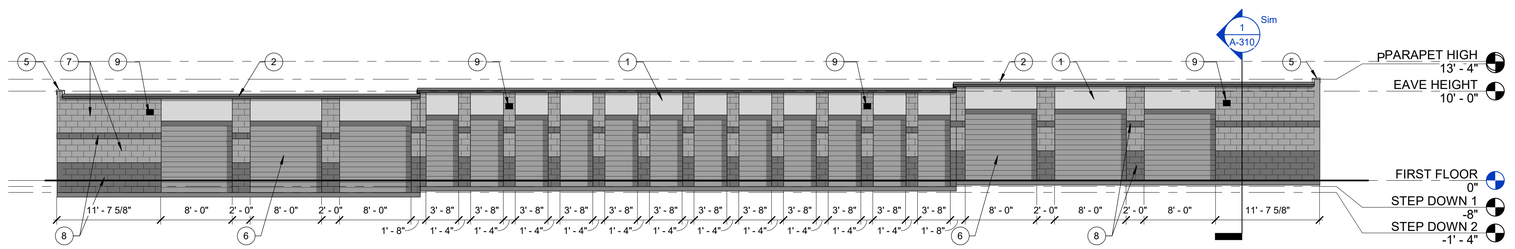


4 BUILDING C - NORTH ELEVATION
1/8" = 1'-0"

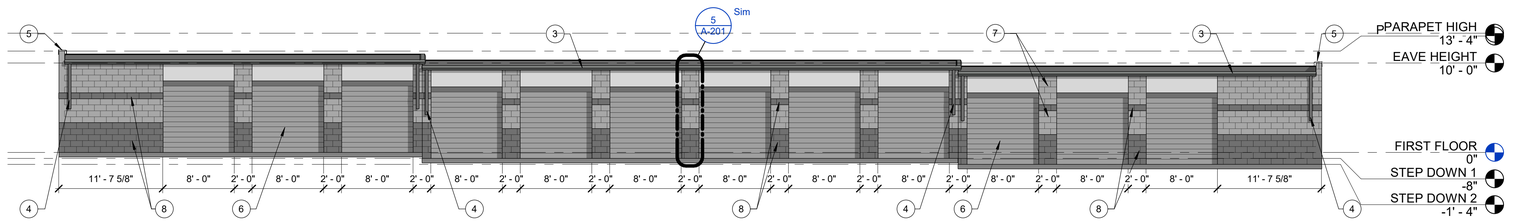


3 BUILDING C - SOUTH ELEVATION
1/8" = 1'-0"

THIS BUILDING DOES NOT REQUIRE ANY FIRE RESISTANCE RATED EXTERIOR WALLS. A PARAPET NEED NOT TO BE PROVIDED ON AN EXTERIOR WALL DUE TO EXCEPTION 1, PER 705.11.



2 BUILDING C - EAST ELEVATION
1/8" = 1'-0"



1 BUILDING C - WEST ELEVATION
1/8" = 1'-0"

EXHIBIT G

RQAW
DCCM

PERMIT SET

EXTRA SPACE STORAGE, INC.
EXR NAPERVILLE STORAGE #1259
1432 W OGDEN AVE. NAPERVILLE, IL 60563

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A1	Addendum 01	12/28/2023
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A3	CITY REVIEW COMMENTS	11/15/2024
	COMMENTS	

Project #: 23-700-262

Designed By: TCH

Drawn By: TCH

Checked By: TCH / VT

Date: 08.22.2024

LICENSED ARCHITECT
VICTORIA DAWN TEMPLETON
001.023401
STATE OF ILLINOIS

BUILDING C - ELEVATIONS

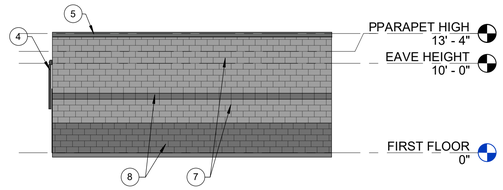
A-203

EXTERIOR COLORS

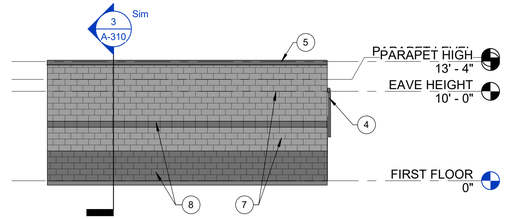
C1 SHERWIN WILLIAMS - 7063 NEBULOUS WHITE
C2 SHERWIN WILLIAMS - 7065 ARGOS
C3 SHERWIN WILLIAMS - 7067 CITYSCAPE
*SOLID COLOR CONCRETE STAIN IS TO MATCH ADJACENT EXISTING STORAGE FACILITY COLOR SCHEME

ELEVATION NOTES

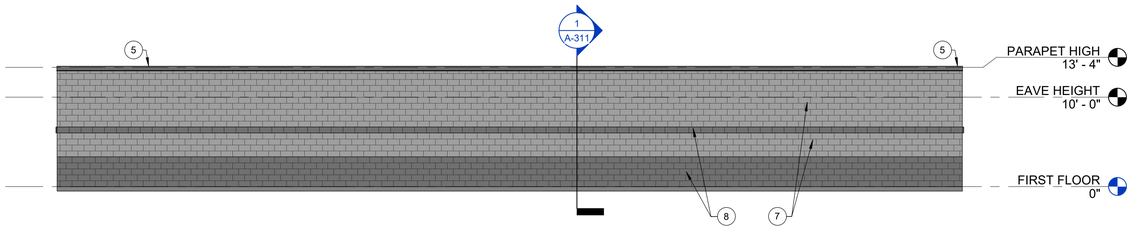
Key	Note
1	PRE-FINISHED METAL WALL PANELS - COLOR C1
2	PRE-FINISHED METAL RAKE TRIM, 6" - COLOR C3
3	PRE-FINISHED METAL GUTTER, 6" - COLOR C3
4	PRE-FINISHED METAL DOWNSPOUTS, 6" PLAIN SQUARE WITH STEEL ELBOW (A) STYLE. HELD 48" AFF UNLESS NOTED OTHERWISE - COLOR C3
5	PRE-FINISHED METAL COPING - COLOR C3
6	PRE-FINISHED OVERHEAD DOOR - COLOR C2
7	CMU WALL BAND - COLOR C2
8	CMU WALL BAND - COLOR C3
9	WALL MOUNTED EXTERIOR WALL PACK LIGHT W/CUT-OFF SHIELD. SEE ELECTRICAL DRAWINGS FOR MOUNTING HEIGHT AND POWER REQUIREMENTS



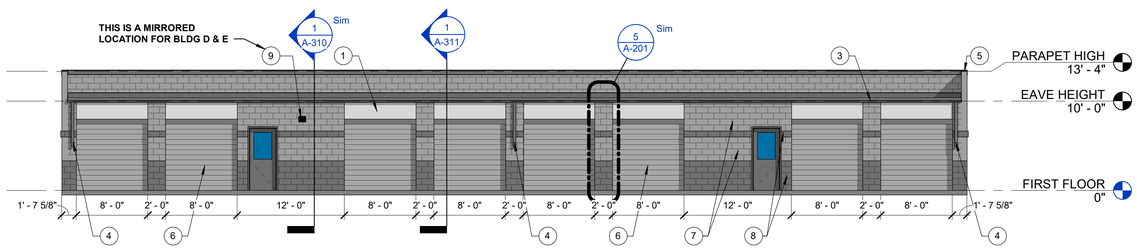
4 **BUILDING D & E - WEST ELEVATION**
1/8" = 1'-0"



3 **BUILDING D & E - EAST ELEVATION**
1/8" = 1'-0"



2 **BUILDING D & E - SOUTH ELEVATION**
1/8" = 1'-0"



1 **BUILDING D & E - NORTH ELEVATION**
1/8" = 1'-0"

EXHIBIT G

RQAW
DCCM

PERMIT SET

EXTRA SPACE STORAGE, INC.
EXR NAPERVILLE STORAGE #1259
1432 W OGDEN AVE. NAPERVILLE, IL 60563

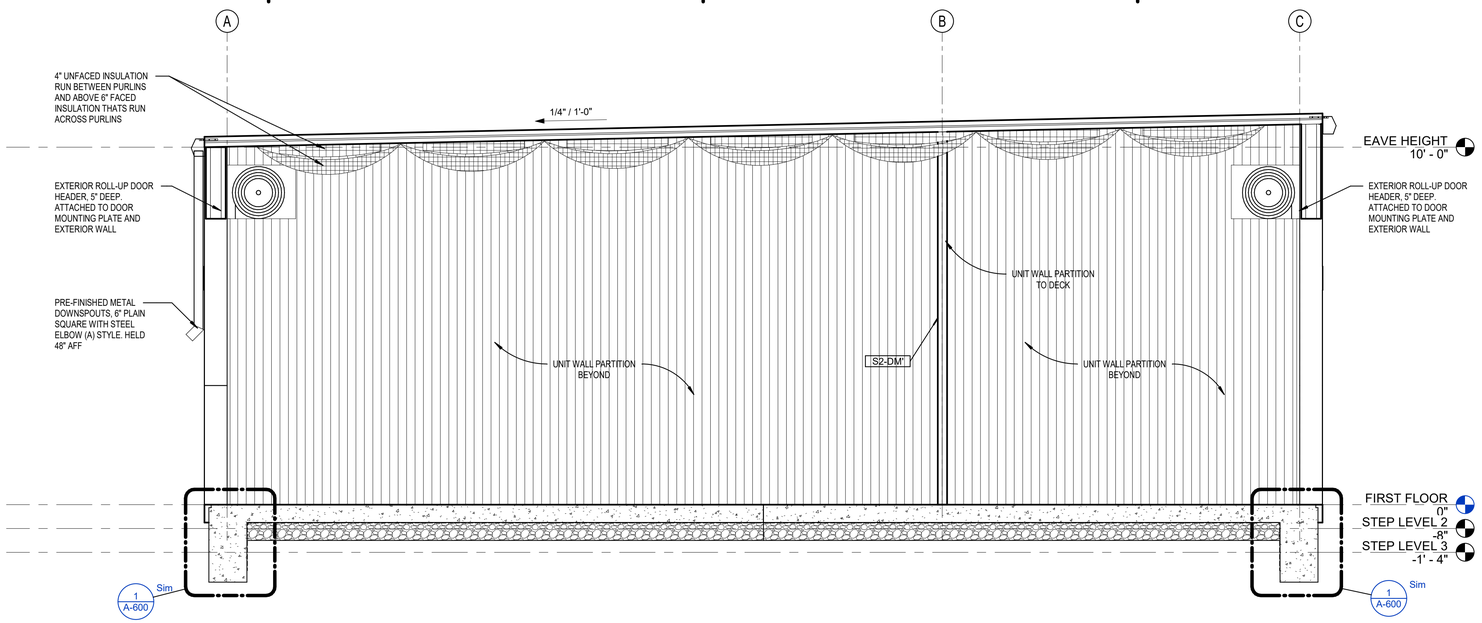
#	Revision	Date
A2	CITY REVIEW COMMENTS	8/22/2024
A3	CITY REVIEW COMMENTS	11/15/2024
A4	BLDG REVIEW	12/03/24

Project #: 23-700-262
Designed By: TCH
Drawn By: TCH
Checked By: TCH / VT
Date: 08.22.2024

LICENSED ARCHITECT
VICTORIA DAWN TEMPLETON
001.023401
STATE OF ILLINOIS

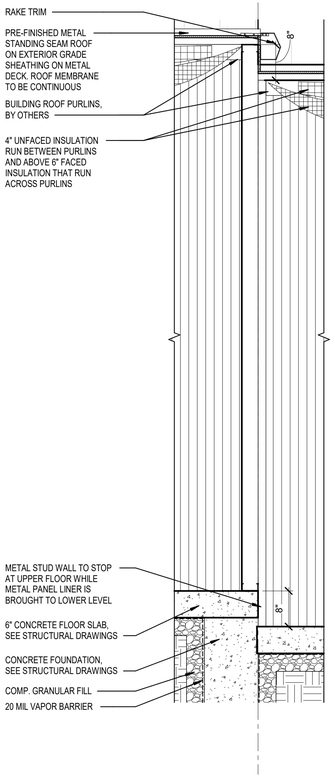
BUILDING D & E - ELEVATIONS

A-204

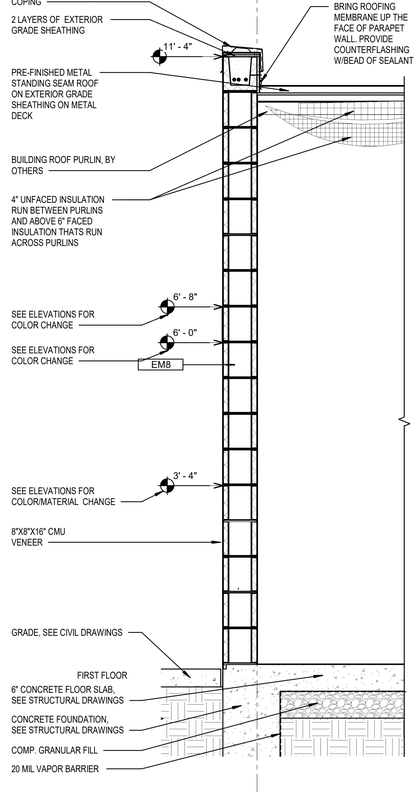


4 BUILDING SECTION - TYPICAL
1/2" = 1'-0"

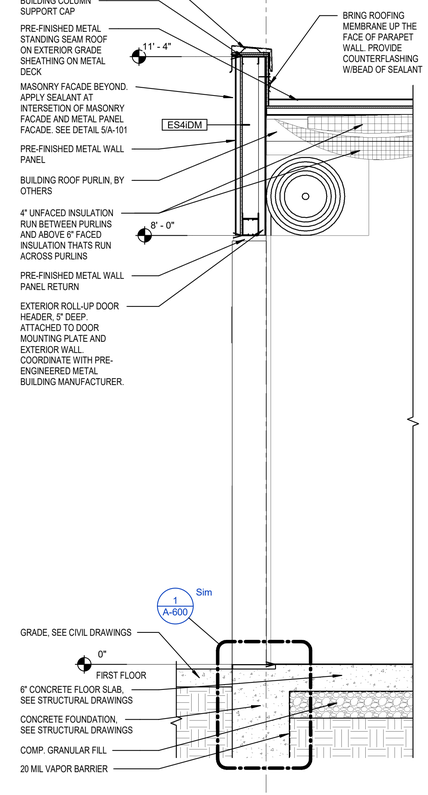
*NOTES ON THIS BUILDING SECTION ARE TYPICAL AND SHOULD BE APPLIED TO BUILDING TYPES A, B, AND C



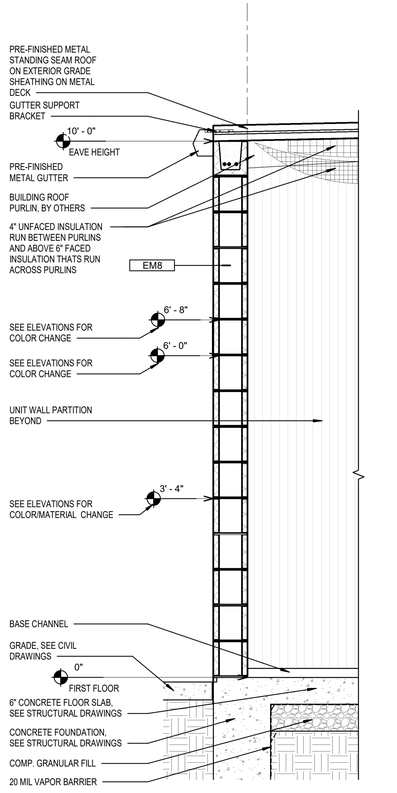
5 WALL SECTION DETAIL - INTERIOR ROOF TRANSITION
3/4" = 1'-0"



3 TYPICAL EXTERIOR WALL SECTION
3/4" = 1'-0"



2 TYPICAL EXTERIOR WALL SECTION
3/4" = 1'-0"



1 TYPICAL EXTERIOR WALL SECTION
3/4" = 1'-0"

EXHIBIT G

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EXR NAPERVILLE STORAGE #1259
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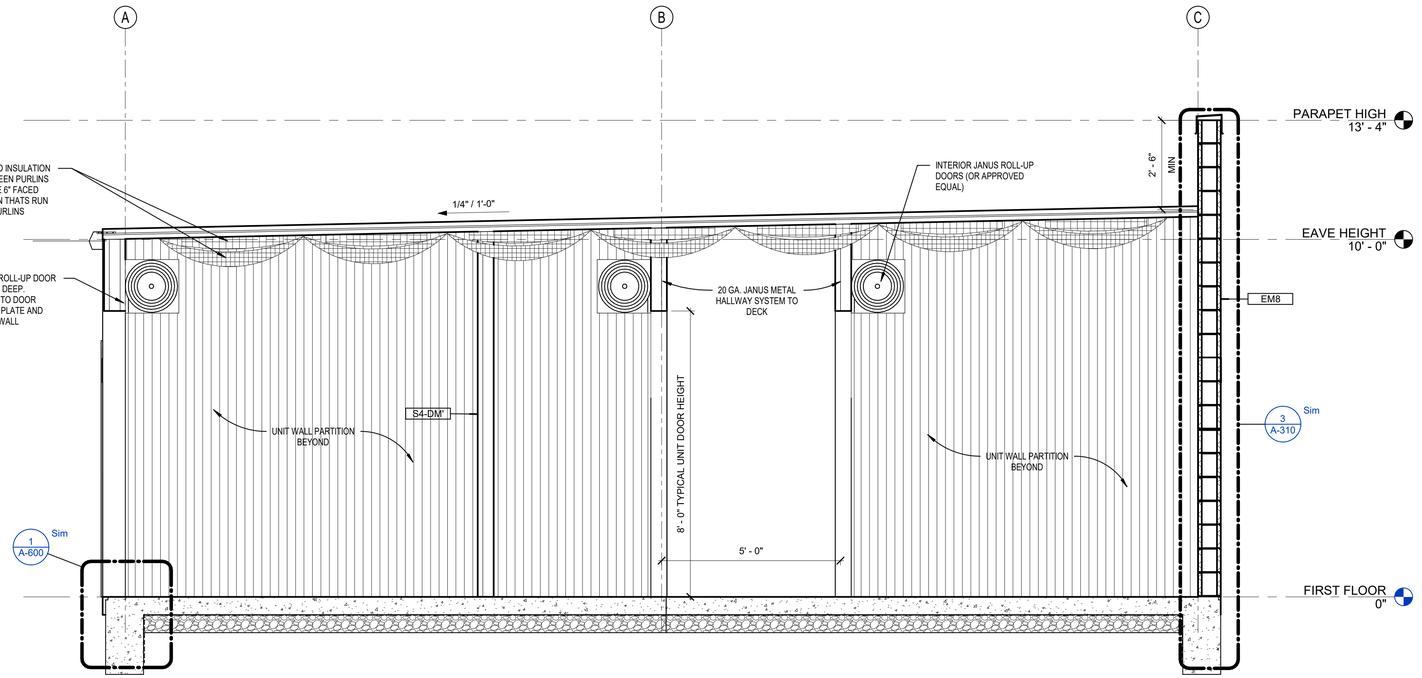
LICENSED ARCHITECT
VICTORIA DAWN TEMPLETON
001.023401
STATE OF ILLINOIS

WALL & BUILDING SECTIONS

A-310



1 **BUILDING SECTION - BUILDING D & E**
1/2" = 1'-0"

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DCCM

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LICENSED ARCHITECT
VICTORIA DAWN TEMPLETON
001.023401
STATE OF ILLINOIS

WALL & BUILDING SECTIONS

A-311

DOOR & FRAME SCHEDULE

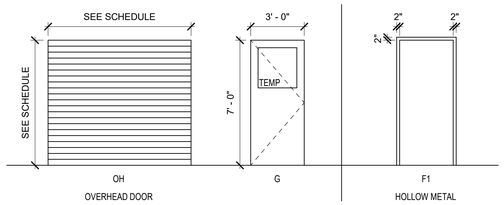
MARK	DOOR PANEL TYPE	MATL	SIZE H	SIZE W	SIZE TH	FRAME MARK	FRAME MATL	HDWR SET	NOTES
D01	OH	STL	8' - 0"	3' - 8"	1"	-	STL	1	FIELD PAINTED
D02	OH	STL	8' - 0"	5' - 0"	1"		STL	1	FIELD PAINTED
D03	OH	STL	8' - 0"	8' - 0"	1"	-	STL	1	FIELD PAINTED
D04	G	HM	7' - 0"	3' - 0"	1 3/4"		HM	2	FACTORY DOOR FINISH

FINISH SCHEDULE

NAME	FLOOR	BASE	WALLS	CEILING		
				HEIGHT	MATERIAL	FINISH
UNITS	CONCRETE	-	METAL LINER PANEL FACTORY FINISH - WHITE	VARIES	MESH /DECK	FACTORY FINISH

DOOR SCHEDULE KEY

STL - STEEL
HM - HOLLOW METAL
PNT - PAINT
FACT - FACTORY FINISH
IHM - INSULATED HOLLOW METAL
AL - ALUMINUM



DOOR PANEL & FRAME ELEVATIONS
1/4" = 1'-0"

HARDWARE SETS

SET#1 - OVERHEAD ROLL-UP STORAGE ROOM DOOR
REFER TO JANUS (OR SIMILIAR) UNIT OVERHEAD DOOR SYSTEM

SET#2 - ENTRY DOOR
1 CONTINUOUS HINGE, HVY WT
1 STOREROOM LOCK
1 CLOSER
1 KICK PLATE
1 PERIMETER SEAL
1 SWEEP
1 THRESHOLD, 1/2" HVY WT
1 DOOR POSITION SWITCH

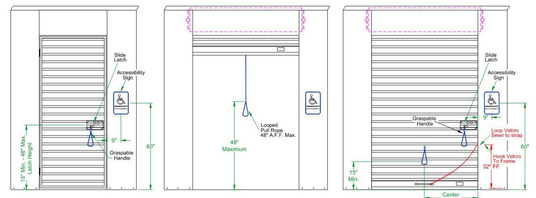
HARDWARE SHALL COMPLY WITH ADA AND 2009 ICC A117.1 - 404.2.6

DOOR & FRAME NOTES

1. ALL ENTRANCES AND EXITS SHALL HAVE A MINIMUM CLEAR OPENING OF 32 INCHES WITH THE DOOR OPEN AT 90 DEGREES FROM ITS CLOSED POSITION, MEASURED BETWEEN THE FACE OF THE DOOR AND THE OPPOSITE STOP.
2. MAXIMUM DOOR OPENING FORCES FOR EGRESS DOORS SHALL BE 8.5LBS FOR EXTERIOR DOORS, 5 LBS FOR INTERIOR DOORS. IAC 404.2.9
3. DOOR CLOSERS, WHERE PROVIDED SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3 INCHES FROM THE LATCH. CONFIRM MANEUVERING CLEARANCE W/ AOR WHERE CLOSERS ARE ADDED.
4. THRESHOLD - LANDINGS SHALL NOT BE MORE THAN 1/2 INCH LOWER THAN THE TOP OF THE THRESHOLD OF THE DOORWAY. CHANGES IN HEIGHT BETWEEN 1/4 INCH AND 1/2 INCH SHALL BE BEVELED AT A MAXIMUM OF 50% CHANGES IN LEVEL GREATER THAN 1/2 INCH SHALL BE RAMPED.
5. PROVIDE VINYL OR NEOPRENE WEATHER STRIPPING FOR ALL EXTERIOR EXPOSED OVERHEAD DOORS.
6. ALL GLAZING WITHIN A DOOR PANEL SHOULD RECEIVE TEMPERED GLAZING
7. PER 2018 IBC 2603.4.1.9 GARAGE DOORS, WHERE GARAGE DOORS ARE PERMITTED WITHOUT A FIRE-RESISTANCE RATING AND FOAM PLASTIC IS USED AS A CORE MATERIAL, THE DOOR FACING SHALL BE METAL HAVING A MINIMUM THICKNESS OF 0.032-INCH WOOD. GARAGE DOORS HAVING FACINGS OTHER THEN THOSE DESCRIBED IN THIS SECTION SHALL BE TESTED IN ACCORDANCE WITH, AND MEET THE ACCEPTANCE CRITERIA OF, DASMA 107.

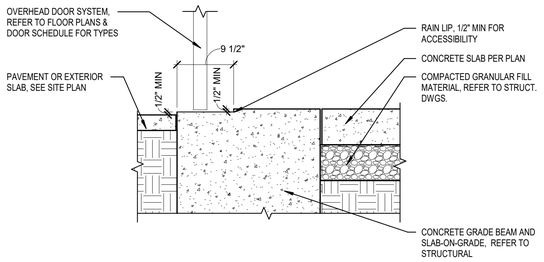
ACCESSIBLE OVERHEAD DOOR REQUIREMENTS

SEE FLOOR PLAN FOR LOCATIONS OF ACCESSIBLE UNITS
ALL DOORS SHALL REQUIRE A MAXIMUM OF 5 POUNDS OF FORCE TO OPEN AND CLOSE

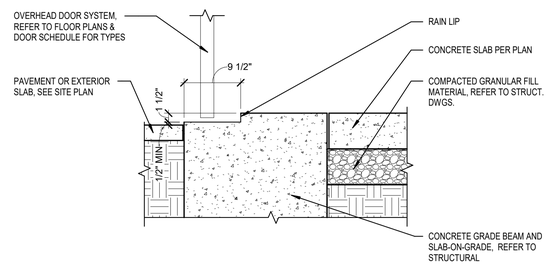


TYPICAL ITEMS REQUIRED FOR ACC. ROLL-UP UNIT DOOR
- 8" NYLON STRAP WITH 'S' HOOK FOR LATCH SIDE
- 12" NYLON STRAP FOR GRASPABLE HANDLE ON FRONT OF DOOR
- 48" HANGING STRAP FOR GRASPABLE PULL ROPE
- ATTACHMENT HARDWARE
- ACCESSIBILITY SIGNAGE

REFER TO ADA CODE CHAPTER 7, SECTION 703.4.1



2 **OVERHEAD DOOR - ACCESSIBLE EXTERIOR THRESHOLD DETAIL**
1" = 1'-0"



1 **OVERHEAD DOOR - TYPICAL EXTERIOR THRESHOLD DETAIL**
1" = 1'-0"

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DOOR AND WINDOW SCHEDULE

A-600