

FINAL ENGINEERING PLANS

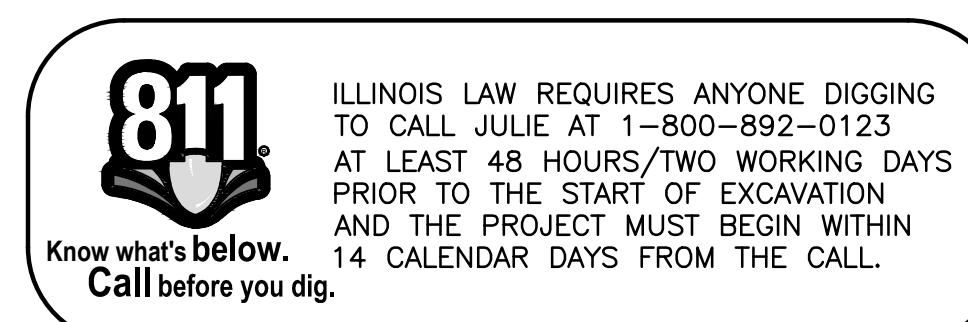
222 SOUTH MILL STREET NAPERVILLE, ILLINOIS 60540

LEGEND	PROPOSED	EXISTING	DESCRIPTIONS
	—	—	BOUNDARY PROPERTY LINE
	—	—	PROPERTY LINE
	—	—	RIGHT-OF-WAY
	—	—	UNDERLYING PROPERTY LINE
	—	—	CENTER LINE
	—	—	EASEMENT LINE
	—	—	SETBACK LINE
	—	—	SECTION LINE
— 715 —	— 715 —	— 715 —	INDEX (MAJOR) CONTOUR
— 711 —	— 711 —	— 711 —	INTERMEDIATE (MINOR) CONTOUR
— X — X —	— X — X —	— X — X —	EXISTING FENCE LINE
— / — / —	— / — / —	— / — / —	EXISTING WOOD FENCE LINE
	—	—	CURB
	—	—	EDGE OF PAVEMENT
	—	—	EDGE OF GRAVEL
	—	—	PAVEMENT SHOULDER
	—	—	STORM PIPE
	—	—	DOWNSPOUT SERVICE LINE
— W —	— W —	— W —	WATER LINE
— SAN —	— SAN —	— SAN —	SANITARY SEWER LINE
— FM —	— FM —	— FM —	PROPOSED FORCEMAIN
— G —	— G —	— G —	GAS LINE
— OH-W —	— OH-W —	— OH-W —	OVERHEAD WIRE
— E —	— E —	— E —	ELECTRIC LINE
— C —	— C —	— C —	CABLE LINE
— FO —	— FO —	— FO —	FIBER OPTIC LINE
— T —	— T —	— T —	TELEPHONE LINE
	—	—	GUIDE RAIL
	—	—	TREELINE
	—	—	PROPOSED TRENCH BACKFILL
	—	—	PROPOSED CONCRETE
	—	—	PROPOSED PAVEMENT
	—	—	PROPOSED RIPRAP
	—	—	PROPOSED STRIPING
	—	—	BUILDING
	—	—	PROPOSED SLOPE LABEL
	—	—	PROPOSED SPOT ELEVATION
	—	—	TOP OF WALL ELEVATION
	—	—	BOTTOM OF WALL ELEVATION
	—	—	TOP OF CURB ELEVATION
	—	—	FLOWLINE ELEVATION
	—	—	SANITARY MANHOLE
	—	—	CLEANOUT
	—	—	FLARED END SECTION
	—	—	STORM MANHOLE
	—	—	STORM CATCH BASIN (ROUND LID)
	—	—	STORM CATCH BASIN (CURB LID)
	—	—	STORM CURB INLET
	—	—	STORM INLET (CIRCULAR)
	—	—	STORM INLET (SQUARE)
	—	—	STORM BEEHIVE INLET
	—	—	STORM DRAIN OR DOWNSPOUT
	—	—	WATER VALVE VAULT
	—	—	WATER VALVE BOX
	—	—	FIRE HYDRANT
	—	—	ELECTRIC CONTROL CABINET (ABOVE GRADE)
	—	—	ELECTRIC HANDHOLE
	—	—	TRANSFORMER
	—	—	ELECTRIC METER
	—	—	LIGHT STANDARD
	—	—	UTILITY POLE
	—	—	TRAFFIC MANHOLE
	—	—	TELEPHONE PULL BOX (FLUSH WITH GRADE)
	—	—	TELEPHONE BOX/CABINET (ABOVE GRADE)
	—	—	CABLE MANHOLE
	—	—	FIBER OPTIC BOX/CABINET (ABOVE GRADE)
	—	—	FIBER OPTIC MANHOLE
	—	—	GAS LINE MARKER
	—	—	MANHOLE (UNKNOWN)



SITE MAP

NOT TO SCALE



PROJECT TEAM

OWNER

LAKEWEST CUSTOM HOMES, LTD.
1309 NORTH LOOMIS STREET
NAPERVILLE, ILLINOIS 60563
PH: (630) 292-1754
CONTACT: DAN JURJOVEC

ARCHITECT

DERRICK ARCHITECTURE
506 SOUTH GABLES BOULEVARD
WHEATON, ILLINOIS 60187
PH: (847) 606-6460
CONTACT: CHRISTOPHER DERRICK

CIVIL ENGINEER

CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
1230 EAST DIEHL ROAD, SUITE 200
NAPERVILLE, ILLINOIS 60563
PH: (630) 963-6026
FX: (630) 963-6027
CONTACT: JIM CANEFF, P.E.

LANDSCAPE ARCHITECT

WESTWOOD LANDSCAPE CONTRACTORS
1N617 ARBOR AVENUE
WEST CHICAGO, IL 60185
PH: (630) 231-6090
CONTACT: CRAIG HERNAN

REFERENCE

- EXISTING CONDITIONS ARE BASED UPON FIELD OBSERVATIONS MADE ON MAY 14, 2025 BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. (CEC).
- FIELD DATUM: US SURVEY FOOT, CITY OF NAPERVILLE DATUM NAVD 88.
- UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON FIELD OBSERVATIONS, ATLAS MAPS PROVIDED BY THE CITY OF NAPERVILLE AND THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE OR CONTRACT WITH THE CITY OF NAPERVILLE.

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C000	COVER SHEET
C001	SITE SPECIFICATIONS - 1
C002	SITE SPECIFICATIONS - 2
C003	SITE SPECIFICATIONS - 3
C100	EXISTING CONDITIONS
C101	DEMOLITION PLAN
C200	DIMENSION PLAN
C300	GRADING PLAN
C400	UTILITY PLAN - 1
C401	UTILITY PLAN - 2
C800	DETAILS - 1
C801	DETAILS - 2
C802	DETAILS - 3

BENCHMARKS:

REFERENCE BENCHMARK:

- NAPERVILLE STATION #1505: BERNSTEN 3D TOP SECURITY MONUMENT IN 6" PVC PIPE WITH BMAC 6 ALUMINUM ACCESS COVER AT THE NORTHEAST CORNER OF WASHINGTON STREET AND AURORA AVENUE.

ELEVATION=672.24 (NAVD88)

- NAPERVILLE STATION #1007: BERNSTEN 3D TOP SECURITY MONUMENT IN 6" PVC PIPE WITH BMAC 6 ALUMINUM ACCESS COVER AT THE SOUTHEAST CORNER OF CHARLES STREET AND CHESHIRE LANE.

ELEVATION=733.69 (NAVD88)

SITE BENCHMARKS:

- CROSS CUT IN TOP OF CURB ALONG THE SOUTH CURBLINE OF JACKSON AVENUE. SAID CROSS IS 12± FEET WEST OF THE SOUTHWEST CORNER OF THE SUBJECT SITE. NORTHING= 1,859,549.08 EASTING = 1,032,805.30 ELEVATION=683.20

- CROSS CUT IN PUBLIC SIDEWALK ALONG THE SOUTH CURBLINE OF JACKSON AVENUE. SAID CROSS IS 40± FEET EAST AND 31± FEET SOUTH OF THE CENTER OF INTERSECTION OF JACKSON AVENUE AND MILL STREET. NORTHING= 1,859,536.34 EASTING = 1,033,021.68 ELEVATION=681.05

- CROSS CUT IN PUBLIC SIDEWALK ALONG THE EAST CURBLINE OF MILL STREET. SAID CROSS IS 27± FEET EAST AND 67± FEET NORTH OF THE CENTER OF INTERSECTION OF JACKSON AVENUE AND MILL STREET. NORTHING= 1,859,635.04 EASTING = 1,033,011.41 ELEVATION=684.49

STATE OF ILLINOIS
COUNTY OF DUPAGE SS

I, JAMES G. CANEFF, AN ILLINOIS PROFESSIONAL ENGINEER, HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC., ILLINOIS LICENSED PROFESSIONAL DESIGN FIRM NO. 184-004002, LICENSE EXPIRES APRIL 30, 2025, UNDER MY PERSONAL DIRECTION FOR THE EXCLUSIVE USE OF THE CLIENT NOTED BELOW. REPRODUCTION OR USE BY THIRD PARTIES IS STRICTLY PROHIBITED WITHOUT THE WRITTEN PERMISSION OF THE UNDERSIGNED.

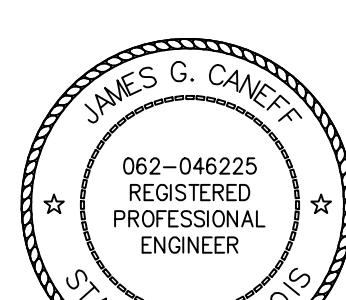
GIVEN UNDER MY HAND AND SEAL THIS 16TH DAY OF DECEMBER, 2025.

James G. Caneff

ILLINOIS LICENSED PROFESSIONAL ENGINEER NO. 46225
REGISTRATION VALID THROUGH NOVEMBER 30, 2027
(NOT VALID WITHOUT ORIGINAL SIGNATURE)

© COPYRIGHT 2025 CIVIL & ENVIRONMENTAL CONSULTANTS, INC. ALL RIGHTS RESERVED.

*HAND SIGNATURE ON FILE



DRAWING NO.: C000
CITY PROJECT NO. DEV-0114-2025
SHEET 1 OF 13

COVER SHEET

DATE: JULY 22, 2025 DRAWN BY: JGC
DWG SCALE: NOT TO SCALE CHECKED BY: JGC
PROJECT NO.: 347-491
APPROVED BY: *JGC

REVISION RECORD	
NO.	DATE
1	11/16/2025 BUILDING LAYOUT AS STATED IN REV. (6/16/2025)
2	10/16/2025 CHANGES PER CIVIL & ENVIRONMENTAL CONSULTANTS, INC. (CEC) DATED 10/16/2025

LAKEWEST CUSTOM HOMES, LTD.
222 SOUTH MILL STREET
NAPERVILLE, ILLINOIS 60540

CIVIL & Environmental
Consultants, Inc.
C & E Consultants, Inc.

PROJECT TECHNICAL SPECIFICATIONS

1. GENERAL NOTES

A. DEFINITIONS

- (1) Whenever in these Project Technical Specifications the following terms are used, the intent and meaning shall be interpreted as follows:
 - (a) Governing Agency: Government or regulatory entity with authority to implement and enforce specific laws, permit requirements, or construction requirements. City of Naperville Standard Specifications for Construction and Standard Details are available online at <https://www.naperville.il.us/projects-in-naperville/standard-specifications-for-construction/>.
 - (b) Owner: Entity or individual for whom the project is being performed.
 - (c) Contractor: Entity or individual responsible for performing construction activities and furnishing all labor, materials, equipment and other incidental work necessary for the successful completion of the project and for carrying out all duties and obligations imposed by the contract.
 - (d) Engineer: Licensed professional engineering entity, or licensed professional engineer and/or authorized agent(s), who represents the Owner during the construction phase of the project work.
 - (e) Geotechnical Engineer: Licensed professional engineering entity, or licensed professional engineer and/or authorized agent(s), who, in representing the Owner, is involved with the principles, properties and behavior of earth materials with regard to the project work.
 - (f) Project Drawings / Plans: The drawings that define the required site development activities and improvements.
 - (g) IDOT Standard Specifications: The current edition of the Illinois Department of Transportation's (IDOT) "Standard Specifications For Road & Bridge Construction" including all applicable current supplemental specifications and special provisions.

B. GOVERNING REGULATIONS

- (1) All project activities and improvements shall be in accordance with the Governing Agency regulations. In the event of conflict with these Project Technical Specifications, or the indicated Reference Specifications, the Governing Agency regulations shall apply.

C. REFERENCE STANDARDS AND SPECIFICATIONS

- (1) Site development activities and improvements, including site preparation and demolition, earthwork, sanitary sewers, storm drainage, water supply, pavement, lighting, landscape improvements, and erosion control measures shall be in accordance with the Reference Specifications indicated throughout these Project Technical Specifications. All Reference Specifications shall be incorporated into and made a part of the Project Technical Specifications. When the Reference Specifications conflict with Project Technical Specifications, Project Technical Specifications shall govern.

D. CONTRACT GENERAL CONDITIONS

- (1) These Project Technical Specifications supplement the engineering plans, the Agreement between Owner and Contractor, and other supplemental documents that comprise the overall project Contract. These Project Technical Specifications address the technical requirements of the project design as indicated on the Project Drawings (Plans). Unless specifically addressed in the Plans or these Project Technical Specifications, general conditions such as bid items, quantities, unit prices, terms of payment, change management, construction schedule, submittals, and other conditions are defined in the Agreement between Owner and Contractor.
- (2) The Contractor shall be responsible for complying with applicable Federal, State, and local requirements, together with exercising precaution at all times for the protection of persons (including employees) and property. It is the sole responsibility of the contractor to initiate, maintain, and supervise all safety requirements, precautions, and programs in connection with the work.
- (3) The Contractor shall indemnify and hold harmless the Owner and Engineer for any and all injuries and/or damages to personnel, equipment, and/or existing facilities occurring in the course of the site improvement construction work described in the Plans and these Project Technical Specifications.
- (4) The Contractor shall obtain all required construction permits in accordance with local, state, and federal regulations.
- (5) The Contractor shall guarantee all materials and workmanship for a period of 1 year following final acceptable by the Owner and the Governing Agencies.

E. QUALITY CONTROL OF MATERIALS

- (1) Materials shall be inspected, sampled, and tested before, during, and after they are incorporated into the work. The timing of these activities shall be as appropriate for the materials being placed and the properties (composition, gradation, density, strength, compaction, etc.) being examined. The requirements for quality testing are specified within the applicable sections of these Project Technical Specifications.
- (2) Materials not conforming to the requirements of the Project Technical Specifications at the time they are used or installed will be considered unacceptable and shall be removed and replaced with acceptable materials properly installed in place at the Contractor's expense.
- (3) When material test results are not within specification tolerances, the supplier shall make appropriate adjustments at its source to correct the issue.
- (4) Material inspections, sampling, and testing shall be performed by an independent testing agency/laboratory with suitable capabilities and experience. The testing entity shall be retained by Contractor or Owner, as required or as specified in the Contract Documents.

2. EXISTING CONDITIONS & SITE PREPARATION

A. EXISTING CONDITIONS

- (1) Existing conditions as depicted on the Plans are general and illustrative in nature. It is the responsibility of the Contractor to examine the site and be familiar with existing conditions prior to initiating construction. If conditions are encountered, before or during construction, that are significantly different than those shown on the Plans, Contractor shall notify the Engineer immediately.
- (2) It is not the Engineer's intent that any single plan sheet in the Plans fully depicts all work associated with the project. The Contractor shall be familiar with all sheets in the Plans for construction. Contractor shall similarly be familiar with all structural, architectural, mechanical, electrical, or other plans, as necessary, for the construction of the overall project.
- (3) Contractor shall protect all property corner pins, permanent monuments, and permanent benchmarks during construction. If disturbed, Contractor shall have items reset by a licensed surveyor at Contractor expense.
- (4) Contractor shall protect all existing utilities, structures, and features to remain. Any items to remain that have been disturbed or damaged as a result of construction shall be repaired or replaced at Contractor expense.

B. EXISTING UTILITIES

- (1) Underground utility information shown on the Plans may be based upon a combination of topographic survey data, field observations, historical utility maps, Owner-provided information, or other available data for the Site. The Plans constitute a representation of utility locations from best known information available to the Engineer. There is no guarantee that the utilities shown comprise all such utilities in the area, either in service, or abandoned.
- (2) Contractor shall be responsible for contacting all agencies, utility companies, and pipeline companies known or suspected to have buried cable, duct, sewer pipes, etc., which may conflict with the project improvements to determine the location and depth of the existing utilities.
- (3) If conflicts occur after the existing utility conditions have been determined by field investigations, Contractor shall immediately notify Engineer and either:
 - (a) Adjust the location and depth of the proposed improvements as directed by Engineer in cooperation with the Owner, or
 - (b) If relocation of proposed improvements is not feasible, Contractor shall work with Owner and Engineer to make arrangements with the affected utility companies to have their utilities protected or relocated.
- (4) All utility disconnection, removal, relocation, cutting, capping, and/or abandonment shall be coordinate with the appropriate utility company / agency.

C. EROSION / SEDIMENTATION CONTROL

- (1) Erosion/sedimentation control measures, as indicated on the Plans and as required elsewhere in these Project Technical Specifications, shall be employed during the course of construction operations and until suitable ground covers are established on all construction site areas.
- (2) Erosion/sedimentation control measures shall be properly installed and functional prior to any earth disturbing activities.

D. CONSTRUCTION ACCESS

- (1) Construction ingress-access shall be limited to defined connections to adjacent driveways and public roadways, and as indicated on the plans and as required elsewhere in these Project Technical Specifications.

E. TRAFFIC CONTROL

- (1) The Contractor shall provide necessary traffic control for work performed in active transportation areas, including any specific traffic control requirements as indicated on the Plans.

F. TEMPORARY CONSTRUCTION FENCING

- (1) Temporary construction fences shall be installed where indicated on the Plans and where required by the Engineer to restrict access to and from certain areas. Such fences shall be maintained during construction and removed when all work activities are completed.
- (2) Temporary construction fences shall consist of 48-inch-high plastic fabric, metal fabric, or wood lath fence material (approved by the Engineer, prior to placement) attached to suitable metal posts that are set at 6-foot (or less) intervals and anchored at least 18 inches into the ground.
- (3) Temporary chain link construction fences shall be provided where indicated on the Plans.

G. TREE AND LANDSCAPE PROTECTION

- (1) Highly visible temporary fences shall be placed around trees and landscape areas designated for protection. Vehicles, equipment, and material storage shall not be allowed within the protection zone.

(2) Vehicle and equipment parking and material storage shall not be permitted within the drip line of any tree, even if the tree is not enclosed in a protective barrier. Vehicles and equipment shall avoid travel within the drip line of trees whenever possible.

(3) Overhanging tree branches within the construction zone that are expected to come in contact with construction equipment shall be properly removed (sawcut) prior to construction in the area. Engineer approval is required before a branch is removed.

(4) Roots of trees that are to be preserved shall be pruned (cut) where indicated on the Plans or required by the Engineer. Tree roots shall be cut with appropriate root pruning equipment to a depth of 24 inches (minimum) before construction begins. The cut shall be made approximately 12 inches closer to the tree than the construction limit (edge of excavation).

H. MATERIAL DISPOSAL

- (1) All demolition waste and construction debris shall become the property of the Contractor unless otherwise stated in the Agreement between Owner and Contractor.
- (2) The following shall be removed from the construction site and properly disposed of in a legal manner. Unless otherwise stated in the Agreement between Owner and Contractor, the cost of removal and disposal shall be included in the fixed or unit prices for the various contract pay items and no additional payment will be allowed thereto:
 - (a) All surplus excavated materials.
 - (b) Construction and demolition debris such as building materials, asphalt and concrete pavement materials, culvert and sewer pipe, utility and drainage structures, retaining walls (concrete, stone and timber), trees, shrubs, and miscellaneous landscape features removed during the installation of the project improvements.
 - (c) If Contractor intends to dispose of generated construction / demolition debris materials or excavated soils at a regulated clean construction / demolition debris (CCDD) or uncontaminated soil fill operation, the contractor shall be responsible for taking all actions and preparing all documents required by 35 Illinois Administrative Code 1100 prior to transport of the materials / soil to the disposal facility. Materials and soils that do not meet CCDD and uncontaminated soil constituent limit requirements shall be disposed of at a permitted landfill facility. The cost of testing and documentation to evaluate the materials / soils and determine proper disposal requirements shall be as defined in the Agreement between Owner and Contractor.
- (4) See Earthwork Operations specification section for additional requirements.

3. EARTHWORK OPERATIONS

A. GENERAL

- (1) Except where modified by the following Project Technical Specifications, all earthwork operation and compaction requirements shall be in conformance with the material, installation and testing requirements of the IDOT Standard Specifications.
- (2) Earthwork shall include site clearing, tree and hedge removal, topsoil and rootmat stripping and stockpiling, earth and fill material excavation, construction of embankments and slopes, placement and compaction of non-structural fill areas, pavement areas, and structural fill areas, removal and disposal of surplus and unsuitable excavated materials, topsoil placement, and final shaping and trimming to the lines and grades indicated on the Plans.
- (3) Prior to commencement of earthwork operations, Contractor shall notify any Utility Protection Service or other Governing Agency, as may be required.

B. SITE CLEARING

- (1) All construction site features and items such as structures, foundations, fences, pavements, rubbish/debris, trees, shrubs, and surface vegetation shall be removed where necessary and as indicated on the Plans for the construction of the project improvements.
- (2) No tree, shrub, or surface vegetation shall be removed unless it is marked for removal or the Engineer specifically authorizes its removal.
- (3) When indicated on the Plans, brush, shrubs, branches and small trees shall be shredded or chipped using suitable mechanical equipment. The resulting material shall be stockpiled on-site, as directed by the Engineer, for the Owners' future use. Tree trunks, branches, and removed stumps too large to be chipped shall be removed from the road and disposed of.
- (4) Tree stumps shall be removed by excavation or grinding to a depth of not less than 12 inches below ground surface. Material resulting from stump grinding shall be spread on the ground and excavated as part of topsoil or rootmat stripping.
- (5) All items and materials not specifically required to remain on-site shall be removed from the site and disposed of in a legal manner.

C. TOPSOIL AND ROOTMAT REMOVAL

- (1) Existing topsoil shall be removed from proposed pavement and building areas, non-structural fill areas, and structural fill areas. Sufficient existing topsoil shall be stockpiled for future use as topsoil replacement. When approved by Geotechnical Engineer, stripped topsoil may be used as non-structural fill to design elevations. Topsoil not used for replacement or for non-structural fill shall be removed from the site and legally disposed of, unless directed by Owner to stockpile on-site for future use. Stockpile locations shall be as authorized by Owner.
- (2) Topsoil supplied from off-site sources shall be natural, fertile agricultural soil material capable of sustaining vigorous plant growth. It shall contain not less than 4% nor more than 10% organic matter, as determined in accordance with AASHTO T194. It shall contain not less than 12% nor more than 50% clay and the sand content shall not exceed 55%, both as determined in accordance with AASHTO T88. The pH shall be between 5.0 and 8.0. Topsoil material shall be relatively free from large roots, sticks, stones, brush, stones larger than 1-inch in diameter, or other litter or waste products. It shall be a loamy mixture having at least 90% passing the No. 10 sieve.
- (3) Within proposed pavement and building areas where there is no existing topsoil, the surface layer of organic material (friable soil containing roots or other vegetative matter) shall be removed before starting fill and compaction operations. Such removed material may be used as non-structural fill. If this material is not used as non-structural fill, it shall be removed from the site and legally disposed of.

D. EXCAVATION

- (1) Existing earth and fill materials within the project construction limits shall be excavated as necessary to establish the elevations, contours, and drainage patterns indicated on the Plans. Excavated materials classified by Geotechnical Engineer as suitable structural fill material shall be used to construct compacted subgrades within the project building and pavement areas. Excess materials not needed for filling or for the construction of berms or embankments shall be removed from the site and legally disposed of, unless directed by the Engineer or Owner to stockpile on-site for future use. Stockpile locations shall be as authorized by the Owner.
- (2) Rock materials within the project construction limits shall be excavated to a minimum of 6 inches below grade levels of proposed pavement and pipe bedding. Rock materials shall be removed to a minimum of 18 inches below building and structure foundations. Rock materials shall be defined as boulders one cubic yard or greater in volume and all materials in ledges, bedded deposits, and conglomerate deposits that exhibit the physical characteristics of rock, as determined by Geotechnical Engineer. Excavated rock materials not used for filling or for the construction of berms or embankments shall be removed from the site and disposed of, unless directed by the Engineer or Owner to stockpile on-site for future use. Stockpile locations shall be as authorized by the Owner.
- (3) Excavated materials classified by the Geotechnical Engineer as unsuitable or unsuitable for structural fill purposes and not needed for non-structural fill, shall be removed from the site and legally disposed of, unless directed by the Engineer or Owner to stockpile on-site for future use. Stockpile locations shall be as authorized by the Owner.
- (4) Excavations shall be maintained in a well-drained condition at all times. Temporary drainage (dewatering) facilities shall be provided where surface runoff is not possible or effective. Such facilities shall be operated during the entire course of earthwork operations. Dewatering facilities shall include appropriate erosion and sediment control measures, as indicated elsewhere in these Project Technical Specifications. Unless otherwise stated in the Agreement between Owner and Contractor, the cost of temporary drainage facilities and dewatering activities shall be considered incidental to the various pay items of the work.

E. FILL PLACEMENT

- (1) Before placing any fill within pavement or structural areas, the existing subgrade shall be compacted as indicated in the "Compaction" section of these Project Technical Specifications. Pavement subgrade areas shall be proof-rolled to check for soft, unstable, or otherwise unsuitable materials and approved by a Geotechnical Engineer prior to paving operations. Where possible, proof-rolling shall be accomplished with at least four passes of a fully loaded tandem axle dump truck. Below-grade footing or foundation areas shall be inspected by a Geotechnical Engineer prior to foundation installation. Soft, unstable, or otherwise unsuitable materials shall be removed and replaced as directed by Geotechnical Engineer.
- (2) Structural fill materials shall be soil materials that can be compacted to develop a stability satisfactory to the Geotechnical Engineer. Structural fill materials shall not contain frozen material or any material which, by decay or otherwise, might result in site or foundation settlement.
- (3) Materials Types For Structural Fill Purposes:
 - (a) Suitable Fine-Grained Soils - Soil materials that comply with ASTM D2487 Soil Classification Group CL and meet the following requirements:
 - (i) Laboratory maximum dry density when determined with the No. 200 sieve.
 - (ii) Plasticity Index greater than 12.
 - (iii) Liquid Limit less than 45.
 - (iv) Particle size distribution with greater than 50% passing the No. 200 sieve.
 - (b) Suitable Coarse-Grained Soils - Soil materials that comply with ASTM D2487 soil classification groups GW, GP, GM, SW, SP and SC.
 - (c) Bituminous concrete and granular base materials removed from existing pavement areas may be used as structural fill, subject to gradation, placement, and compaction control by Geotechnical Engineer.
 - (d) Impervious clay liners (liners) shall be constructed of fine-grained soils within the CL classification that have a Plastic Index greater than 15 and a moisture content greater than optimum and are free of stones bigger than 1 inch average size.
- (4) Unsuitable Fill - Soil materials that are not in conformance with the stated criteria for structural fill material shall not be used as structural fill.
- (5) Installed fill layers softened or otherwise damaged by rain, ponded water, or construction activities shall be scarified, dried, and recompacted, or removed and replaced. This work, even if performed after lift or fill acceptance, shall be incidental to the various pay items of the work.

F. TEMPORARY CONSTRUCTION FENCING

- (1) Temporary construction fences shall be installed where indicated on the Plans and where required by the Engineer to restrict access to and from certain areas. Such fences shall be maintained during construction and removed when all work activities are completed.

G. TREE AND LANDSCAPE PROTECTION

- (1) Highly visible temporary fences shall be placed around trees and landscape areas designated for protection. Vehicles, equipment, and material storage shall not be allowed within the protection zone.

(6) UNSUITABLE SUBGRADE CONDITIONS:

- (a) Within areas of new or reconstructed pavements, specific requirements for removal and remedial procedures shall be as directed by Geotechnical Engineer. Soft or otherwise unacceptable subgrade materials shall typically be removed to a depth where the minimum in situ unconfined compressive strength is 2.0 tsf and the in situ moisture content is no more than 3 percentage points above the optimum moisture content per ASTM D1557. Where the depth of unsuitable material is excessive and does not warrant complete removal, remedial procedures will typically require partial removal of unsuitable subgrade material, placement of a geotextile fabric (MIRAFI 600X or approved equal), and sufficient aggregate fill (IDOT CA-1 or alternate acceptable granular material) to the required subgrade level. Depths of unsuitable subgrade removal will be as directed by the Geotechnical Engineer. Alternative procedures may be required depending on the conditions encountered.
- (b) Removal of unsuitable materials and installation of replacement fill material under and adjacent to proposed buildings and structures shall be as specified by Geotechnical Engineer.
- (c) Payment for removal and replacement of unsuitable materials and the installation of geotextile fabric and aggregate fill shall be as indicated in the agreement between Owner and Contractor. Such payment shall include all work necessary for removal and disposal of unsuitable materials, supply and placement of fabric and aggregate materials, supply, placement and compaction of additional structural fill material, if required, and any dewatering required during these activities.
- (d) Where necessary, structural fill materials shall be placed and compacted under proposed pavements, buildings, and structures. Compacted structural fill shall be placed to required subgrade elevations.
- (e) Unsuitable materials may be placed within non-structural fill areas only where fill is required to obtain final subgrade levels. If borrow pits are used to obtain structural fill material, unsuitable materials may be used to bring the borrow areas to grade. Placement of such materials shall be limited to areas and depths authorized by the Geotechnical Engineer. If sufficient acceptable placement areas are not available, remaining unsuitable and unsatisfactory materials shall be removed from the site and legally disposed of.
- (f) If necessary, Contractor shall provide sufficient suitable structural fill material from off-site sources as necessary to complete earthwork operations to the required levels and elevations indicated on the Plans. Structural fill materials shall be in conformance with the stated criteria for structural fill. Contractor shall provide the Geotechnical Engineer access to the proposed off-site sources to take samples and evaluate materials.

F. FILL COMPACTION

- (1) Fill materials shall be placed in layers (lifts) and compacted in accordance with the following specified requirements. Lift thickness shall not exceed 8 inches (loose condition) and the fill material (when compacted) shall have a moisture content within the limits of -1 to +3 percentage points of optimum value. Specific lift thickness and moisture content shall be as determined by the Geotechnical Engineer to obtain the required compaction and strength of material in place.
- (2) Cohesive soils and well-graded aggregate mixtures shall be sampled and tested to determine the laboratory maximum density and optimum moisture content (control values) of the material. The test method shall be the ASTM Standard as indicated below.
- (3) Free-draining cohesionless soils and aggregate mixtures shall be sampled and tested to determine the laboratory density (control value) of the material.
- (4) Laboratory density and moisture tests shall be performed to determine the control values for each type and source of material to be used. One test of laboratory maximum density and optimum moisture content shall be performed for each 300 cubic yards of fill and backfill material, and when any change in material occurs that may affect the maximum density or optimum moisture content values.
- (5) Aggregate supplier shall provide a written certification that the aggregate gradation and quality conforms to the project requirements. If a certification is not provided, gradation and quality tests shall be performed for each 300 cubic yards of stockpiled in-place source material.
- (6) Non-Structural Areas: The top 6 inches of existing subgrade and all layers of cohesive soil and well-graded granular fill materials shall be compacted to at least 90% maximum dry density, as determined by the Standard Proctor Method (ASTM D698). Free-draining aggregate and soil materials (ASTM D4253 & D4254) shall be placed and compacted as specified by the Geotechnical Engineer.
- (7) Pavement Areas: The top 6 inches of existing subgrade and all layers of cohesive soil and well-graded granular fill materials shall be compacted to at least 95% maximum dry density, as determined by the Standard Proctor Method (ASTM D698). Free-draining aggregate and soil materials (ASTM D4253 & D4254) shall be placed and compacted as specified by the Geotechnical Engineer.
- (8) Building Areas: The top 6 inches of existing subgrade and all layers of cohesive soil and well-graded granular fill materials shall be compacted to at least 95% maximum dry density, as determined by the Standard Proctor Method (ASTM D698). Free-draining aggregate and soil materials (ASTM D4253 & D4254) shall be placed and compacted as specified by the Geotechnical Engineer.
- (9) Impervious Clay Liners: All layers of clay fill material shall be compacted to at least 92% maximum dry density, as determined by the Standard Proctor Method (ASTM D698).
- (10) Soil and aggregate fill materials compacted in place shall be field tested to determine in-place density and moisture values. A nuclear density gauge shall be used in accordance with ASTM D6938 to measure in-place density/moisture values of cohesive soils and well-graded aggregate materials, unless Geotechnical Engineer determines other testing equipment is more suitable for the type of material being tested. The dry unit weight of the in-place compacted material shall be compared to its control value to determine the percent compaction achieved.
- (11) Frequency of fill material moisture content and compaction tests shall be as follows, unless otherwise adjusted by Geotechnical Engineer.
 - (a) When using materials from exposed stockpile, excavation, or borrow area sources, a minimum of two moisture content tests per day shall be performed for each type and source of material being placed during stable weather. During unstable weather, moisture content tests shall be performed as determined by Geotechnical Engineer.
 - (b) Within pavement areas, one in-place density test shall be performed for each 6,000 square feet, or fraction thereof, of each lift of material placed during each day.
 - (c) Under building/structure ground slabs and mat foundations, one in-place density test shall be performed for each 3,000 square feet, or fraction thereof, of each lift of material placed during each day.
 - (d) Under building/structure wall footings, one in-place density test shall be performed for each 100 linear feet, or fraction thereof, of each lift of material placed during each day.
 - (e) Under building/structure column footings, one in-place density test shall be performed for each footing, of each lift of material placed during each day.

8	7	6	5	4	3	2	1												
TRANSPORTATION, ENGINEERING AND DEVELOPMENT BUSINESS GROUP STANDARD CONSTRUCTION PLAN NOTES FOR DEVELOPMENT PROJECTS																			
CITY OF NAPERVILLE - DEPARTMENT OF PUBLIC UTILITIES WATER/WASTEWATER GENERAL NOTES																			
GENERAL NOTES																			
<p>a. New water main valves, including pressure tap valves, adjacent to an existing water main, and existing water main valves shall only be operated by the City of Naperville, Department of Public Utilities CEE/CM Division personnel with 48-hour notice (Monday-Friday). Contact Naperville DPU-WWW (630) 420-4122 for scheduling.</p> <p>b. Any existing utility structures requiring adjustment or reconstruction shall be completed by the contractor to the satisfaction of the utility owner. Adjustments and/or reconstructions not called for on the plans shall be considered incidental to the contract. No more than a total of 12 inches of adjusting rings and/or 2 adjusting rings shall be allowed. All structure frames shall be flush with final grade.</p> <p>c. Trees shall be installed a minimum of five (5) feet horizontally from underground electrical feeders, sanitary sewers, sanitary services, water mains, and water services. Trees shall be installed a minimum of ten (10) feet horizontally from utility structures and appurtenances, including, but not limited to, manholes, valve vaults, valve boxes and fire hydrants. No trees, shrubs or obstacles will be allowed 10' in front of, 5' on the sides, and 7' to the rear of the electrical transformer.</p> <p>d. All retainer glands when required to restrain valves, fittings, hydrants, and pipe joints shall be mechanical joint wedge action type MEGALUG 1100 Series as manufactured by EBBA Iron, Inc. or UNI-FLANGE BLOCKBUSTER 1400 SERIES as manufactured by Ford Meter Box Co. and shall be used on ductile iron pipe conforming to ANSI/AWWA C151/A21.51, for nominal pipe sizes 3" through 48".</p> <p>e. Existing ductile iron systems for restraining push-on pipe bells shall be MEGALUG SERIES 1100HD or FORD SERIES 1390.</p> <p>f. Existing ductile iron systems requiring restraint shall be MEGALUG SERIES 1100SS (split MEGALUG) for mechanical joints.</p> <p>g. Ductile iron water main to be Class 52. All ductile iron pipe is to be encased in polyethylene film Polyethylene encasement to be installed in accordance with ANSI/AWWA C105/A21.5-05.</p> <p>h. A set of as-built record drawing shall be given to the City of Naperville upon completion of improvements showing the elevation and location (tie to two points) of all new and existing structures including fire hydrants, valve boxes and vaults, limestone sleeves, water service corporation stops, water main fittings/bends, manholes, sanitary service wyes (measured from downstream manhole), and abandoned water or sanitary service lines. All elevations should be referenced to the same benchmark datum as the original design plans. Horizontal ties shall be referenced to lot lines, back of curb, or property corners.</p> <p>i. All sanitary sewer piping shall be PVC pipe meeting the requirements of ASTM D-2241 with joints conforming to ASTM D-3139. All sanitary sewer fittings shall be PVC meeting the following requirements: 4" to 12" shall be Injection Molded Fittings meeting ASTM D-2241. Greater than 12" shall be Fabricated Fittings meeting ASTM D-2241 or C905. Minimum pressure rating shall be 150 psi.</p> <p>j. The valves less than 16" shall be standard pattern, gate valves and shall have the name or mark of the manufacturer, size and working pressure plainly cast in raised letters on the valve body. Valves may be approved from one of the following manufacturers: American, Clow, Waterous or Kennedy.</p> <p>k. Stainless steel nuts, bolts/T-bolts, and washers, Type 304 or better, will be required on all water main installations. This would apply to hydrants, tapping sleeves, valves, fittings, restraint, and other appurtenances buried or in valve vaults. Mechanical joints and restraint glands require 304 stainless steel T-bolts. An anti-seize compound shall be factory applied to nuts or bolts - any damage to this coating shall be repair with field applied approved anti-seize compound that is a molybdenum-base lubricant, Bostik Never-Seze or approved equal.</p> <p>l. The contractor shall rotate and/or adjust any existing and/or new hydrant to the satisfaction of the Department of Public Utilities.</p> <p>m. Water mains shall be subjected to a hydrostatic/leakage test in accordance with Naperville Standard Specifications. Test pressure shall be no less than 150 psi for a period of 4 hours and not vary by more than +5 psi. during the test. The test gauge shall be approved by the City and shall be glycerin or oil filled, with a range of not more than 200 psi and increments not greater than 5 psi, 4" minimum dial size. Water recovery test shall be completed at the end of the testing period to show actual leaking and that the water main did not have too much trapped air in the tested section.</p> <p>n. The City of Naperville DPU-WWW does not guarantee that any valve or fitting in the existing water distribution system will hold against a hydrostatic/leakage test. The Contractor is solely responsible for providing an acceptable pressure test which shall include provisions around existing valves and fittings.</p> <p>o. Fire hydrant should be bagged "NOT IN SERVICE" until all testing and disinfection has been completed and new water main section is service.</p> <p>p. Sanitary sewer and water shall be constructed, tested, and placed into service in accordance with City of Naperville Standard Specification and Specifications for Water and Sewer Main Construction in Illinois, Latest Edition.</p> <p>q. All valve boxes, vaults, hydrants, and manholes shall not be covered with construction debris and shall remain accessible to the respective utility company.</p> <p>r. Water service line smaller than 3" shall be type K copper. If joints are required due to length of service, then only compression type coupling shall be permitted. No soldered or flared type joints are allowed.</p> <p>s. All sanitary manholes shall be tested for leakage by vacuum testing. The manhole frame and adjusting rings shall be in place when testing. Any leaks shall be repaired from exterior of manhole - patching inside of manhole shall not be acceptable. A vacuum of 10" (254 mm) Hg shall be place on the manhole and the time shall be measured for the vacuum to drop to 9" (229 mm) Hg. The vacuum shall not drop below 9" (229 mm) Hg for the following time periods for each size of manhole:</p> <ul style="list-style-type: none"> i. 48-inch diameter - 60 seconds ii. 60-inch diameter - 75 seconds iii. 72-inch diameter - 90 seconds iv. 84-inch diameter - 105 seconds <p>t. Any manholes that fail the test shall be sealed and re-tested until acceptable.</p> <p>u. The contractor shall provide internal televised inspection of all installed sanitary sewer, laterals, manholes and connections to the public system. Following completion of televising work, the contractor shall submit video recordings on DVD or flash drive along with a comprehensive televising report which will indicate the location, footages and nature of any defects. All defects shall be repaired to the satisfaction of the Water/Wastewater Utility and re-televised.</p> <p>v. Contractor work hours are only allowed from 7:00 a.m. to 5:00 p.m., Monday through Saturday. No work shall be permitted on Sundays.</p> <p>w. Sanitary pipes with less than 4 feet or more than 25 feet of cover shall be constructed of ductile iron piping (Class 50, minimum) and encased in polywrap.</p> <p>x. All excavations more than 20 feet deep must be protected by a system designed by a registered professional engineer.</p> <p>y. Contractor shall maintain 2' minimum clearance between existing utilities and new foundations and underground facilities. In areas where foundations and underground facilities are proposed adjacent to existing utilities, the contractor shall not hole by vacuum excavation or hand excavation to locate the existing utility to verify minimum clearance requirement.</p> <p>z. Fences shall be installed a minimum of 5 feet from any water or sanitary mains when running parallel with them. Where fences are installed crossing water or sanitary mains, the posts shall be located to have the main between them.</p> <p>aa. All brass components shall be certified to be lead free in compliance with NSF 61 and NSF 372 and identified with applicable markings.</p>																			
STORM SEWER NOTES (GENERAL)																			
<p>1. NO CONNECTION TO AN EXISTING PUBLIC STORM SEWER MAY BE MADE WITHOUT PERMISSION OF THE CITY ENGINEER.</p> <p>2. THE CONTRACTOR SHALL REPAIR ANY EXISTING FIELD DRAINAGE TILE DAMAGED DURING CONSTRUCTION AND PROPERLY REROUTE AND/OR CONNECT SAID TILE TO THE NEAREST STORM SEWER OUTLET. ALL LOCATIONS OF ENCONTRUED FIELD DRAINAGE TILE SHALL BE PROPERLY INDICATED ON THE CONTRACTOR'S RECORD DRAWINGS.</p>																			
STORM SEWER NOTES (STORM SEWER WORK IN PLANS)																			
<p>1. THE FOLLOWING MATERIALS ARE PERMITTED FOR STORM SEWER AND PIPE CULVERTS, WHERE A PARTICULAR MATERIAL IS SPECIFIED IN THE PLANS OR SPECIAL PROVISIONS, NO OTHER KIND OF MATERIAL WILL BE PERMITTED:</p> <p>a. REINFORCED CONCRETE PIPE (RCP) - REINFORCED CONCRETE PIPE SHALL CONFORM TO ASTM DESIGNATION C 76, CLASSES I, II, III, IV OR V. BITUMINOUS JOINTS SHALL CONFORM TO ASTM DESIGNATIONS C 14 OR C 76 AS MAY BE APPLICABLE. BITUMINOUS MATERIAL SHALL CONSIST OF A HOMOGENEOUS BLEND OF BITUMEN, INERT FILLER, AND SUITABLE SOLVENT APPROVED BY THE CITY ENGINEER. RUBBER GASKET JOINTS SHALL CONFORM TO ASTM C 43. REINFORCED CONCRETE PIPE SHALL ALSO BE PERMITTED AS ROUND, ELLIPTICAL, OR BOX SHAPED OR AS REINFORCED CONCRETE ARCH CULVERT.</p> <p>b. NON-REINFORCED CONCRETE PIPE - NON-REINFORCED CONCRETE PIPE SHALL BE ALLOWED FOR PIPES WITH A 10 INCH OR SMALLER DIAMETER. NON-REINFORCED CONCRETE PIPE SHALL CONFORM TO ASTM DESIGNATION C 14, CLASS 3. BITUMINOUS JOINTS SHALL CONFORM TO ASTM DESIGNATIONS C 14 OR C 76 AS MAY BE APPLICABLE. BITUMINOUS MATERIAL SHALL CONSIST OF A HOMOGENEOUS BLEND OF BITUMEN, INERT FILLER, AND SUITABLE SOLVENT APPROVED BY THE CITY ENGINEER. RUBBER GASKET JOINTS SHALL CONFORM TO ASTM C 443.</p> <p>c. DUCTILE IRON PIPE (DIP) - DUCTILE IRON PIPE SHALL CONFORM TO ANSI A 21.51 (AWWA C-151), CLASS THICKNESS DESIGNED PER ANSI A 21.50 (AWWA C-150), TAR (SEAL) COATED AND CEMENT LINED PER ANSI A 21.4 (AWWA C-104), WITH MECHANICAL OR RUBBER RING (SLIP SEAL OR PUSH ON) JOINTS. ALL DUCTILE IRON PIPE SHALL BE WRAPPED WITH POLYETHYLENE.</p> <p>d. POLYVINYL CHLORIDE PIPE (PVC) - POLYVINYL CHLORIDE (PVC) PIPE SHALL CONFORM TO ASTM D 3034, TYPE PSM. THE MINIMUM STANDARD DIMENSION RATIO (SDR) SHALL BE 26. THE PIPE SHALL BE MADE OF PVC PLASTIC HAVING A MINIMUM CELL CLASSIFICATION OF 12454-C, AND SHALL HAVE A MINIMUM PIPE STIFFNESS OF FORTY-SIX (46) LBS. PER INCH (317 KPA). JOINTS FOR PVC PIPE SHALL BE FLEXIBLE ELASTOMETRIC SEALS PER ASTM D 3212.</p> <p>e. HIGH DENSITY POLYETHYLENE PIPE (HDPE) - HIGH-DENSITY POLYETHYLENE (HDPE) PIPE SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M 252 AND M 294. PIPE AND FITTINGS SHALL BE MADE FROM VIRGIN PE COMPOUNDS WHICH CONFORM TO THE REQUIREMENTS OF CELL CLASS 324420C AS DEFINED AND DESCRIBED IN ASTM D 3350. RUBBER GASKET JOINTS SHALL BE USED.</p> <p>f. FULLY GALVANIZED CORRUGATED STEEL PIPE - FULLY GALVANIZED CORRUGATED STEEL PIPE MAY BE USED FOR RESIDENTIAL DRIVEWAY CROSSINGS ONLY WHEN A DITCH SECTION IS PRESENT. THE MINIMUM CULVERT SIZE IS 12" DIAMETER.</p> <p>g. DEDGING, OTHER THAN CONCRETE EMBEDMENT, SHALL CONSIST OF GRAVEL, CRUSHED GRAVEL, OR CRUSHED STONE 1/4 INCH TO 1 INCH IN SIZE. AS A MINIMUM, THE MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF IDOT STANDARD SPECIFICATIONS. THE GRADATION SHALL CONFORM TO GRADATION CA-7 OR CA-11 OF THE STANDARD SPECIFICATIONS.</p> <p>h. BACKFILL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF IDOT STANDARD SPECIFICATIONS. THE GRADATION SHALL CONFORM TO GRADATION CA-6 OF THE STANDARD SPECIFICATIONS. BACKFILL MATERIAL SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.</p> <p>i. JOINTS CONNECTING DISIMILAR PIPE MATERIALS SHALL BE MADE WITH SEWER CLAMP NON-SHEAR TYPE COUPLINGS; CASCADE CSS, ROMAC LSS, FERNCO, INC. SHEAR RING, OR APPROVED EQUAL. WHEN AVAILABLE, A STANDARD JOINT WITH A TRANSITION GASKET MAY BE USED. THE NAME OF THE MANUFACTURER, CLASS, AND DATE OF ISSUE SHALL BE CLEARLY IDENTIFIED ON ALL SECTIONS OF PIPE. THE CONTRACTOR OR DEVELOPER SHALL ALSO SUBMIT BILLS OF LADING, OR OTHER QUALITY ASSURANCE DOCUMENTATION WHEN REQUESTED BY THE CITY ENGINEER. ALL NUTS AND BOLTS FOR COUPLINGS SHALL BE STAINLESS STEEL.</p> <p>j. MANHOLES FOR STORM SEWERS SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES AND SHALL BE CONSTRUCTED OF PRECAST CONCRETE UNITS IN ACCORDANCE WITH ASTM C478-05 (OR LATEST EDITION) AND SHALL CONFORM TO THE CITY OF NAPERVILLE STANDARD DETAIL. ALL MANHOLES SHALL BE WATER-TIGHT. ALL VISIBLE LEAKS SHALL BE SEALED IN A MANNER ACCEPTABLE TO THE CITY ENGINEER.</p> <p>k. MANHOLES SHALL BE FURNISHED WITH A SELF-SEALING FRAME AND SOLID COVER (EAST JORDAN IRON WORKS 1022 WITH TYPE A SOLID COVER, OR APPROVED EQUAL) WITH THE WORD "STORM" IMPRINTED ON THE COVER IN RAISED LETTERS. ALL FRAMES AND LIDS SHALL MEET OR EXCEED AASHTO H-20 LOADING SPECIFICATIONS. FRAMES SHALL BE SHOP PAINTED WITH ASPHALTIC BASE PAINT. BOTH THE MANHOLE FRAME AND COVER SHALL HAVE MACHINED HORIZONTAL AND VERTICAL BEARING SURFACES. INVERTED MANHOLE FRAMES ARE NOT ALLOWED. PICK HOLES SHALL NOT CREATE OPENINGS IN THE MANHOLE COVER.</p> <p>l. A continuous layer of non-hardening, preformed bituminous mastic material, Conself 102 B or approved equal shall be applied to each manhole barrel cone and top section to provide a watertight seal.</p> <p>m. All brass components shall be certified to be lead free in compliance with NSF 61 and NSF 372 and identified with applicable markings.</p> <p>n. The sanitary foremain shall be tested a minimum of one (1) hour at 1.5 times the shut off head of the pump, 2.5 times the operating pressure, or 20 psi, whichever is greatest. Allowable leakage shall be in accordance with section 41-2.14C of the Standard Specifications for Water and Sewer Construction.</p>																			
TRAFFIC CONTROL AND PROTECTION NOTES (GENERAL)																			
<p>1. ALL DEVELOPERS AND CONTRACTORS SHALL PROVIDE SUITABLE TRAFFIC CONTROL FOR THEIR CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH PART 6 OF THE MANUAL ON UNIFORM TRAFFIC</p>																			
GENERAL NOTES																			
<p>8. CATCH BASINS AND INLETS SHALL HAVE A MINIMUM INSIDE DIAMETER OF 24 INCHES AND SHALL BE CONSTRUCTED OF PRECAST CONCRETE UNITS IN ACCORDANCE WITH ASTM C478-05 (OR LATEST EDITION) AND SHALL CONFORM TO THE CITY OF NAPERVILLE STANDARD DETAIL. ALL CATCH BASINS AND INLETS SHALL BE WATER-TIGHT AT ALL POINTS BELOW GRADE. ALL VISIBLE LEAKS SHALL BE SEALED IN A MANNER ACCEPTABLE TO THE CITY ENGINEER. CATCH BASINS AND INLETS SHALL BE FURNISHED WITH A FRAME AND GRATE BASED UPON THE LOCATION OF THE INSTALLATION AS LISTED BELOW. ALL FRAMES AND GRATES SHALL MEET OR EXCEED AASHTO H-20 LOADING SPECIFICATIONS. FRAMES SHALL BE SHOP PAINTED WITH ASPHALTIC BASE PAINT.</p> <p>a. PAVEMENT: EAST JORDAN IRON WORKS 1022 FRAME WITH TYPE MI RADIAL FLAT GRATE, OR APPROVED EQUAL.</p> <p>b. BARRIER CURB AND GUTTER: EAST JORDAN IRON WORKS 7220 FRAME WITH TYPE MI GRATE AND TI CURB BOX, OR APPROVED EQUAL.</p> <p>c. DEPRESSED CURB: EAST JORDAN IRON WORKS 5120 FRAME AND GRATE, OR APPROVED EQUAL.</p> <p>d. MOUNTABLE CURB: EAST JORDAN IRON WORKS 7525 FRAME AND GRATE, OR APPROVED EQUAL.</p> <p>e. NON-PAVED AREAS: EAST JORDAN IRON WORKS 6527 BEEHIVE GRATE, OR APPROVED EQUAL. ALTERNATELY, IN AREAS WHERE THERE IS THE LIKELIHOOD OF PEDESTRIAN TRAFFIC, EAST JORDAN IRON WORKS 1022 FRAME WITH TYPE MI RADIAL FLAT GRATE, OR APPROVED EQUAL MAY BE USED.</p> <p>f. ALL PIPE SHALL BE LAID TRUE TO LINE AND GRADE. DIRT AND OTHER FOREIGN MATERIAL SHALL BE PREVENTED FROM ENTERING THE PIPE OR PIPE JOINT DURING HANDLING OR LAYING OPERATIONS. ALL STORM SEWER PIPE TO PIPE CONNECTIONS SHALL BE SEALED WITH BUTYL MASTIC TO ENSURE WATER TIGHTNESS. LIFT HOLES TO BE SEALED USING BUTYL MASTIC AND CONCRETE PLUGS. AT NO TIME SHALL CONNECTIONS BETWEEN THE STORM SEWER AND SANITARY SEWER BE ALLOWED.</p> <p>g. FOR STRUCTURES LOCATED IN PAVED AREAS, A MINIMUM OF FOUR 2-INCH DIAMETER HOLES SHALL BE DRILLED OR PRECAST INTO THE STRUCTURE WITHIN 1 FOOT OF THE LOWEST PIPE INVERT. THE HOLES SHALL BE DISTRIBUTED EQUIDISTANT AROUND THE PERIMETER OF THE STRUCTURE. A 1-FOOT BY 1-FOOT SECTION OF UNDERDRAIN FILTER CLOTH MATERIAL SHALL BE SUFFICIENTLY FIXED TO THE OUTSIDE OF THE MANHOLE WITH MASTIC MATERIAL TO PREVENT SLIPPAGE DURING BACKFILLING.</p> <p>ADJUSTMENTS MAY BE NECESSARY TO ENSURE THAT FRAMES AND GRATES MATCH THE ELEVATION OF THE SURROUNDING PAVEMENT OR GROUND SURFACE. PREFORMED ADJUSTING RINGS OF THE PROPER DIMENSIONS NEEDED TO MATE THE FRAME TO THE PRECAST STRUCTURE SHALL BE USED. NO MORE THAN 12 INCHES OF VERTICAL ADJUSTMENT MAY BE MADE USING THE MINIMUM PRACTICAL NUMBER OF INDIVIDUAL RINGS.</p> <p>ALL RINGS SHALL BE HIGH DENSITY POLYETHYLENE PLASTIC (HDPE), RECYCLED RUBBER, HIGH DENSITY EXPANDING POLYSTYRENE, EXPANDED POLYPROPYLENE (EPP), OR OTHER MATERIAL AS APPROVED BY THE CITY ENGINEER. PRECAST CONCRETE RINGS, BRICKS, ROCKS, SHIMS, OR CONCRETE BLOCKS WILL NOT BE ALLOWED. TAPERED ADJUSTING RINGS SHALL BE REQUIRED WHEN THE FRAME WILL NEED TO MATCH THE SLOPE OF THE ROADWAY.</p> <p>A RESILIENT, FLEXIBLE, NON-HARDENING, PREFORMED BITUMINOUS MASTIC MATERIAL, CONSELF 102 B OR APPROVED EQUAL, SHALL BE USED BETWEEN THE CONE OR TOP BARREL SECTION OF THE STRUCTURE AND THE ADJUSTING RINGS. A THICK BEAD OF NON-HARDENING ELASTOMERIC JOINT SEALANT CONFORMING TO ASTM C-920, TYPE S, GRADE NS, SHALL BE APPLIED BETWEEN ALL INDIVIDUAL RINGS, AND BETWEEN THE ADJUSTING RINGS AND THE FRAME. THE SEALANT OR MASTIC MATERIAL SHALL BE APPLIED IN SUCH A MANNER THAT NO SURFACE WATER OR GROUND WATER INFLOW CAN ENTER THE STRUCTURE.</p> <p>ALL STORM SEWER STRUCTURE FRAMES WITHOUT INSIDE FLANGES SHALL BE SHAPED WITH HYDRAULIC CEMENT OR ELASTOMERIC JOINT SEALANT TO FORM A FILLET TO THE STRUCTURE OR ADJUSTING RINGS AND TO MAINTAIN WATER-TIGHTNESS.</p> <p>FRAME ADJUSTMENTS SHALL BE COMPLETED IN ACCORDANCE WITH SECTIONS 602 AND 603 OF STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, PREPARED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION, LATEST EDITION, EXCEPT AS NOTED HEREIN.</p>																			
DEPARTMENT OF PUBLIC UTILITIES - ELECTRIC GENERAL NOTES																			
<p>1. THE DEVELOPER SHALL SUPPLY THE DPU-E EQUIPMENT WITH CATALOG CUTS FOR ALL CT/METER EQUIPMENT (INCLUDING BUT NOT LIMITED TO METER SOCKETS, PT CABINET, CT CABINET, DISCONNECT CABINET) AND TRANSFORMER PAD/VAULT. THE CATALOG CUTS SHALL BE APPROVED BY DPU-E PRIOR TO PURCHASING.</p> <p>2. THE CT/METER CABINET SHALL BE TOP FED.</p> <p>3. CT/METER EQUIPMENT ARE LONG LEAD TIME ITEMS AND DPU-E SHALL NOT BE HELD RESPONSIBLE FOR DELAYS RESULTING FROM NON-COMPLIANT CT/METER EQUIPMENT.</p> <p>4. PLEASE PROVIDE NAME AND CONTACT INFORMATION FOR ELECTRICAL CONTRACTOR FOR THIS PROJECT.</p> <p>5. DPU-E WILL PROVIDE, INSTALL, AND MAINTAIN THE TRANSFORMERS, ALL PRIMARY (15KV) CABLE AND CONDUIT, AND THE METERS AND INSTRUMENT TRANSFORMERS. DPU-E WILL ALSO MAKE THE FINAL CONNECTIONS IN THE TRANSFORMERS ONCE THE INSPECTION IS COMPLETE AND THE BUILDING IS READY TO BE ENERGIZED.</p> <p>6. THE DEVELOPER IS RESPONSIBLE FOR PROVIDING, INSTALLING, AND MAINTAINING THE TRANSFORMER PAD/VAULT, ALL SERVICE LATERAL (480V) CABLE AND CONDUIT, THE SERVICE ENTRANCE EQUIPMENT INCLUDING THE CT/METER CABINET AND ALL BANKED METER SOCKETS.</p> <p>7. THE DEVELOPER SHALL COORDINATE SITE CONSTRUCTION WITH DPU-E TO ALLOW ELECTRIC FACILITIES TO BE INSTALLED PRIOR PAVING AND CURBING. DPU-E REQUIRES 30 WORKING DAYS ADVANCE WRITTEN NOTICE PRIOR TO PAVEMENT INSTALLATION TO ALLOW FOR THE INSTALLATION OF ELECTRIC FACILITIES. GRADE ELEVATION MUST BE WITHIN 4" OF FINAL GRADING BEFORE ELECTRIC FACILITIES CAN BE INSTALLED.</p> <p>8. ELECTRIC FACILITIES SHALL BE INSTALLED PURSUANT TO SECTION 8-1C-3 OF THE CITY OF NAPERVILLE MUNICIPAL CODE, WHICH REQUIRES A CONSTRUCTION FEE PAYMENT FOR INSTALLATION OF ELECTRIC FACILITIES.</p> <p>9. AT ALL TIMES, THE CUSTOMER SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING A SUITABLE APPROACH TO THE METER LOCATION, WITH NO OBSTRUCTIONS WITHIN FOUR (4') FEET OF THE FRONT AND TWO (2') FEET OF THE SIDES OF THE METER. PER NAPERVILLE SERVICE RULES AND POLICIES 22.2.F.</p> <p>10. CLEARANCE TO TRANSFORMER PAD SHALL BE 5' FROM ALL SIDES, 10' FROM FRONT, AND THE AREA ABOVE MUST BE COMPLETELY CLEAR OF OBSTRUCTION. NO TREES, SHRUBS, OR OTHER OBSTACLES WILL BE ALLOWED WITHIN THIS AREA. TRANSFORMER PAD SHALL MAINTAIN MINIMUM CLEARANCE OF 20' FROM EGRESS POINTS. PER DPU-E SPECIFICATIONS C10-2130 AND C30-0016.</p> <p>11. DPU-E REQUIRES A MINIMUM 5' OF SEPARATION BETWEEN ITS ELECTRIC FACILITIES AND ANY FIRE HYDRANTS, STORM DRAINS, STORM SEWERS, WATER MAINS, GAS MAINS, ETC. THAT RUN PARALLEL TO ITS FACILITIES.</p> <p>12. TO HAVE AN EXISTING SERVICE DISCONNECTED CALL THE CITY DISPATCH OFFICE AT 630-420-6187. PLEASE ALLOW AT LEAST 24 HOURS' NOTICE. METERS AND METER SEALS ARE TO BE REMOVED ONLY BY DPU-E PERSONNEL. THE LOCATION AND TYPE OF NEW OR REPLACEMENT METER RELATED EQUIPMENT MUST BE PRE-APPROVED IN WRITING BY DPU-E. AN ELECTRIC SERVICE MUST BE INSPECTED BY THE DEVELOPMENT SERVICES TEAM ELECTRICAL INSPECTOR PRIOR TO CONNECTION.</p> <p>13. LABEL ALL METER SOCKETS WITH THE COMPLETE ADDRESS IN 1" LETTERS USING PERMANENT STICKERS. IN MULTIPLE METER BANKS, THE COMPLETE ADDRESS MAY BE ON THE DISCONNECT SWITCH AND THE SUITE NUMBERS ON THE METER SOCKETS. THE ELECTRICAL SERVICE EQUIPMENT WILL NOT PASS INSPECTION WITHOUT APPROPRIATE ADDRESS LABELING.</p> <p>14. APPROVAL OF METERING EQUIPMENT BY DPU-E DOES NOT REMOVE YOUR RESPONSIBILITY TO COMPLY WITH THE LATEST VERSION OF THE NATIONAL ELECTRICAL CODE AS ADOPTED BY THE CITY OF NAPERVILLE. DETERMINATION OF COMPLIANCE WITH THE NATIONAL ELECTRICAL CODE WILL BE MADE BY THE TRANSPORTATION, ENGINEERING AND DEVELOPMENT DEPARTMENT.</p> <p>15. A CUSTOMER'S GROUNDING CONDUCTOR SHALL NOT BE CONNECTED TO DPU-E DISTRIBUTION EQUIPMENT.</p> <p>16. DPU-E WILL INSTALL AND ENERGIZE ALL METERS IN A MULTIPLE METER BANK AT ONE TIME, PROVIDED ALL METER SOCKETS PASS INSPECTION. IN THE EVENT OF AN INCOMPLETE INSTALLATION, ONLY THE INSPECTED AND APPROVED EQUIPMENT SHALL BE ENERGIZED AND A METER INSTALLED. INDIVIDUAL TENANT PERMITS WILL BE REQUIRED FOR INSTALLATION OF THE OTHER METERS IN THE METER BANK.</p> <p>17. DUE TO SUPPLY CHAIN ISSUES DPU-E IS EXPERIENCING LONG LEAD TIMES (+400 DAYS) ON TRANSFORMERS. PLEASE TAKE THIS INTO CONSIDERATION WHEN PLANNING CONSTRUCTION.</p> <p>18. PLEASE IDENTIFY PREFERRED VOLTAGE LEVEL. 1-PHASE 120/240, 1-PHASE 120/208, 3-PHASE 120/208V, OR 3-PHASE 277/480V? PLEASE COMPLETE A SERVICE LOADING SPREADSHEET FOR EACH BUILDING AND RETURN TO THE DPU-E ENGINEER.</p> <p>19. THE TRANSFORMER MUST BE SHOWN ON THE SITE PLAN AND SHOULD BE LOCATED BETWEEN 8' AND 50' FROM COMMERCIAL BUILDINGS. METERS, INSTRUMENTAL TRANSFORMERS, AND MAIN DISCONNECT SHALL BE LOCATED WITHIN 50' OF THE TRANSFORMERS AND SHALL BE INSTALLED ON THE EXTERIOR OF THE BUILDING. IF THE TRANSFORMER WILL BE LOCATED AT A DISTANCE GREATER THAN 50', THEN THE METERING CABINET AND MAIN DISCONNECT MUST BE FREE STANDING AND LOCATED BETWEEN 10' AND 15' OF THE TRANSFORMERS. THE INSTRUMENT TRANSFORMERS AND MAIN DISCONNECT MAY BE INSTALLED INSIDE THE BUILDING IF THE SERVICE ENTRANCE CAPACITY IS 1200 AMPS OR GREATER. METERS SHALL BE INSTALLED ON THE BUILDING EXTERIOR.</p> <p>20. TO HAVE AN EXISTING SERVICE DISCONNECTED CALL THE CITY DISPATCH OFFICE AT 630-420-6187. PLEASE ALLOW AT LEAST 24 HOURS' NOTICE. METERS AND METER SEALS ARE TO BE REMOVED ONLY BY DPU-E PERSONNEL. THE LOCATION AND TYPE OF NEW OR REPLACEMENT METER RELATED EQUIPMENT MUST BE PRE-APPROVED IN WRITING BY DPU-E. AN ELECTRIC SERVICE MUST BE INSPECTED BY THE DEVELOPMENT SERVICES TEAM ELECTRICAL INSPECTOR PRIOR TO CONNECTION.</p>																			
LAKEWEST CUSTOM HOMES, LTD. 222 SOUTH MILL STREET NAPERVILLE, ILLINOIS 60540																			
SITE SPECIFICATIONS - 3																			
<p>DATE: JULY 22, 2025 DRAWN BY: *JGC DWG SCALE: NOT TO SCALE CHECKED BY: *JGC PROJECT NO: 347-491 APPROVED BY: *JGC</p>																			
<p>REVISION RECORD</p> <table border="1"> <thead> <tr> <th>NO</th> <th>DATE</th> <th>DESCRIPTION</th> <th>REVISION SHEET</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>11/16/2023</td> <td>BUILDING AD STY/REV (68-12-2023)</td> <td></td> </tr> <tr> <td>2</td> <td>10/16/2023</td> <td>NOTES</td> <td></td> </tr> </tbody> </table>								NO	DATE	DESCRIPTION	REVISION SHEET	1	11/16/2023	BUILDING AD STY/REV (68-12-2023)		2	10/16/2023	NOTES	
NO	DATE	DESCRIPTION	REVISION SHEET																
1	11/16/2023	BUILDING AD STY/REV (68-12-2023)																	
2	10/16/2023	NOTES																	
<p>ME/AB JGC 347-491 C003 4 OF 13</p>																			



NORTH

SOUTH MILL STREET

ASSUMED WATER SERVICE ALIGNMENT BASED
FORWARDED BY CITY OF NAPERVILLE DEPART
PUBLIC UTILITIES - WATER AND WASTEWATER
JULIE LOCATES OBSERVED IN THE FIELD. SIZE
DEPTH OF SERVICE IS UNKNOWN.

UNITARY SEWER SERVICE ALIGNMENT BASED
FORWARDED BY CITY OF NAPERVILLE
OF PUBLIC UTILITIES - WATER AND
AND CLEANOUT SURVEYED IN THE FIELD
DEPTH OF SERVICE IS UNKNOWN.

5.00' PUBLIC UTILITY & DRAINAGE
EASEMENT PER DOC. R1999-201

PART OF LOT 3 BLOCK 3
TOWN OF NAPERVILLE

5

4

3

2

PART OF LOT 1 BLOCK 3
TOWN OF NAPERVILLE
PER DOC. (R1842)-131

PART OF LOT 4 BLOCK 3
TOWN OF NAPERVILLE
PER DOC. (R1842)-131

PART OF LOT 5 BLOCK 3
TOWN OF NAPERVILLE
PER DOC. (R1842)-131

5.00' PUBLIC UTILITY & DRAINAGE
EASEMENT PER DOC. R1999-201176

BRICK WALK

698.35T/W
696.14
696.41
696.08

699.59

698.42

699.91E/PL 699.8
700.01E/PL 699.8
700.19

700.29E/P
700.45E/P
700.78
700.91

700.89

OH-E

MEAS

REVISION RECORD

ITEM	DESCRIPTION
1	BUILDING LAYOUT AND CITY REVIEW (09/16/2025)
2	NO REVISIONS THIS SHEET

1230 East Diehl Road
Suite 200
Naperville, IL 60563
Ph: 630.963.6026
www.cecinc.com

	<p>1230 East Diehl Rd Suite 200 Naperville, IL 605 Ph: 630.963.6026 www.cecinc.com</p>	<p>CEC Civil & Environmental Consultants, Inc.</p>
---	--	--

LAKEWEST CUSTOM HOMES, LTD.
222 SOUTH MILL STREET
NAPERVILLE, ILLINOIS 60540

100

EXISTING CONDITIONS	
DRAWING NO.:	C100
DATE:	JULY 22, 2025
DWG SCALE:	1" = 10'
PROJECT NO.:	347-491
APPROVED BY:	*JGC

P: \3400-000\347-491\ -CADD\DWG\CV01\347491-CV01-C100.dwg\1001 LS(1/16/2025 - abasho) - LP: 12/16/2025 12:12 PM

REFERENCE

1. EXISTING CONDITIONS ARE BASED UPON FIELD OBSERVATIONS MADE ON MAY 14, 2025 BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. (CEC).
2. FIELD DATUM: US SURVEY FOOT, CITY OF NAPERVILLE DATUM NAVD 88.
3. UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON FIELD OBSERVATION ATLAS MAPS PROVIDED BY THE CITY OF NAPERVILLE AND THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE OR CONTRACT WITH THE CITY OF NAPERVILLE.

SCALE IN FEET



A horizontal scale bar with a black line and a white line. The white line is divided into four equal segments by black tick marks. The number '0' is at the left end, and the number '10' is at the right end of the white line.

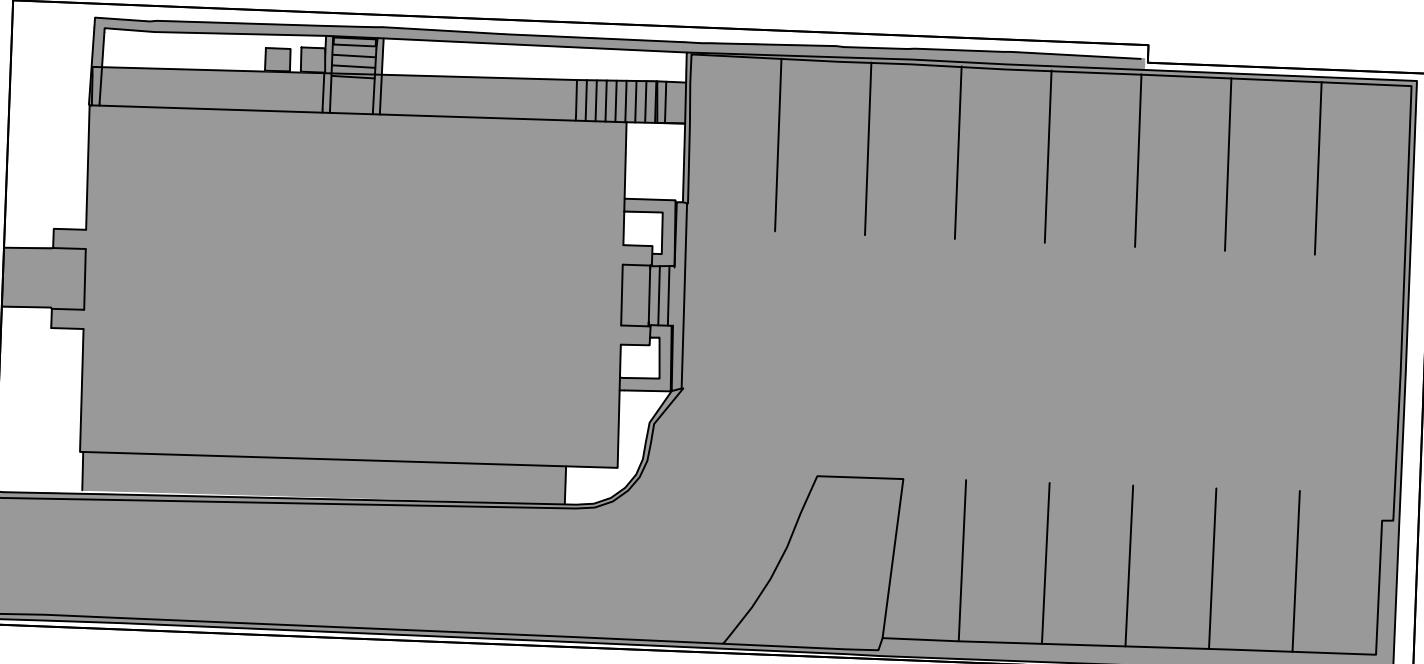
0 10

DRAWING NO.:
C100
SHEET **5** OF **13**

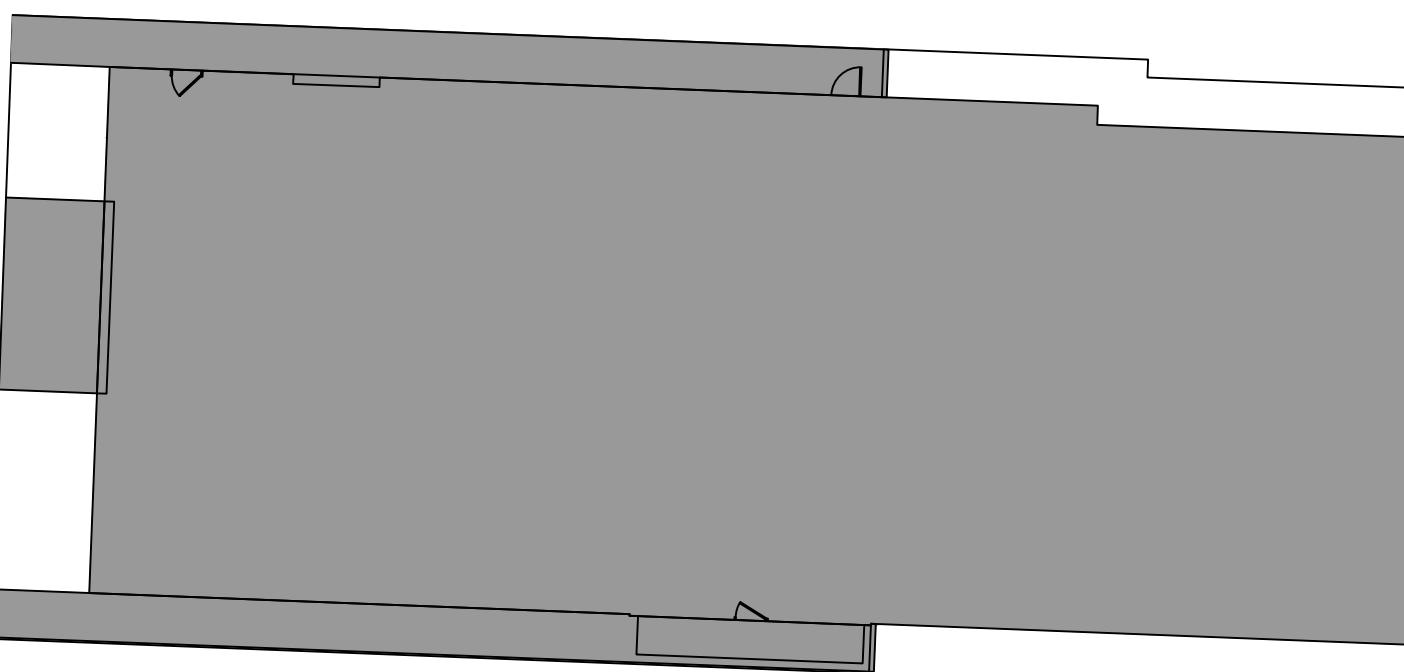
DRAWING NO.: A
C100
SHEET 5 OF 13



NORTH



EXISTING IMPERVIOUS/PERVIOUS CONDITIONS
1" = 20'



PROPOSED IMPERVIOUS/PERVIOUS CONDITIONS

1" = 20'

PERVIOUS/IMPERVIOUS CALCULATIONS

<u>PERVIOUS/IMPERVIOUS CALCULATIONS</u>			
	IMPERVIOUS AREA	PERVIOUS AREA	PROJECT AREA
EXISTING	8,536 S.F.	1,047 S.F.	9,583 S.F.
PROPOSED	8,619 S.F.	964 S.F.	9,583 S.F.
NET DIFFERENCE	83 S.F.	-83 S.F.	0 S.F.

THE NET IMPERVIOUS AREA DIFFERENCE IS LESS THAN 2,500 S.F., THEREFOR NO BEST MANAGEMENT PRACTICES ARE REQUIRED.

THE NET IMPERVIOUS AREA DIFFERENCE IS LESS THAN 2,500 S.
THEREFOR NO BEST MANAGEMENT PRACTICES ARE REQUIRED.

REFERENCE

1. EXISTING CONDITIONS ARE BASED UPON FIELD OBSERVATIONS MADE ON MAY 14, 2025 BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. (CEC).
2. FIELD DATUM: US SURVEY FOOT, CITY OF NAPERVILLE DATUM NAVD 88.
3. UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON FIELD OBSERVATIONS, ATLAS MAPS PROVIDED BY THE CITY OF NAPERVILLE AND THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE OR CONTRACT WITH THE CITY OF NAPERVILLE.

GRADING NOTES:

1. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATION IN THE ILLINOIS URBAN MANUAL, LATEST EDITION.
2. ALL GRADES DEPICTED ARE FINISHED GRADES. IN NON-PAVED AREAS, THE CONTRACTOR SHALL SUBTRACT 6 INCHES (0.5 FEET) TO ALLOW FOR TOPSOIL/MULCH MATERIAL PLACEMENT.
3. THE CONTRACTOR SHALL PROVIDE INLET FILTER BASKETS IN ACCORDANCE WITH THE APPROVED EROSION CONTROL PLANS FOR ALL OPEN LID STRUCTURES TO MINIMIZE INTRUSION OF DEBRIS/SILT INTO THE STORM SEWER SYSTEM.
4. THE ESTIMATED CONSTRUCTION SCHEDULE IS AS FOLLOWS:

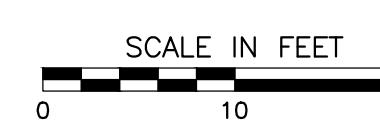
GRADING	SPRING	2026
PAVING	SUMMER	2026
GROUND STABILIZATION/SODDING	SUMMER	2026
LANDSCAPING	FALL	2026
5. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE CITY OF NAPERVILLE.
6. DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO SEDIMENT BASINS OR SILT TRAPS. CONCRETE TRUCKS SHALL NOT BE PERMITTED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON SITE. SPECIFIC AREAS FOR THIS ACTIVITY SHALL BE DESIGNATED BY THE CONTRACTOR AND PROVIDED WITH ADEQUATE SILTATION BASINS AND OTHER FACILITIES TO ASSURE THAT DISCHARGE IS CONTAINED AND CLEANSED BEFORE ENTERING THE RECEIVING STORM SEWER SYSTEM.
7. ALL ADJACENT STREETS SHOULD BE KEPT CLEAR OF MUD/DEBRIS. THE CONTRACTOR SHALL INSPECT THE STREETS DAILY AND CLEAN THEM AS NECESSARY.
8. PROPOSED SIDEWALK SHALL HAVE CROSS SLOPE OF 1% MINIMUM AND 2% MAXIMUM.
9. DRAINAGE SWALES SHALL HAVE A MINIMUM SLOPE OF 1.5% (2% PREFERRED).
10. PARKING LOT GRADES INTERNAL TO THE BUILDING HAVE BEEN DESIGNED SO THAT FINISHED FLOOR ELEVATIONS COULD BE ESTABLISHED. THE FOUNDATION SHALL BE STEPPED OR BRICK LEDGES PROVIDED SO THAT THE TOP OF FOUNDATION ELEVATION IS A MINIMUM SIX (6) INCHES ABOVE THE PROPOSED GRADES AT THE BUILDING'S EXTERIOR PERIMETER.

LANDSCAPE MATERIALS SHALL BE INSTALLED AS SOON AS POSSIBLE TO STABILIZE SITE.

5. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE CITY OF NAPERVILLE.

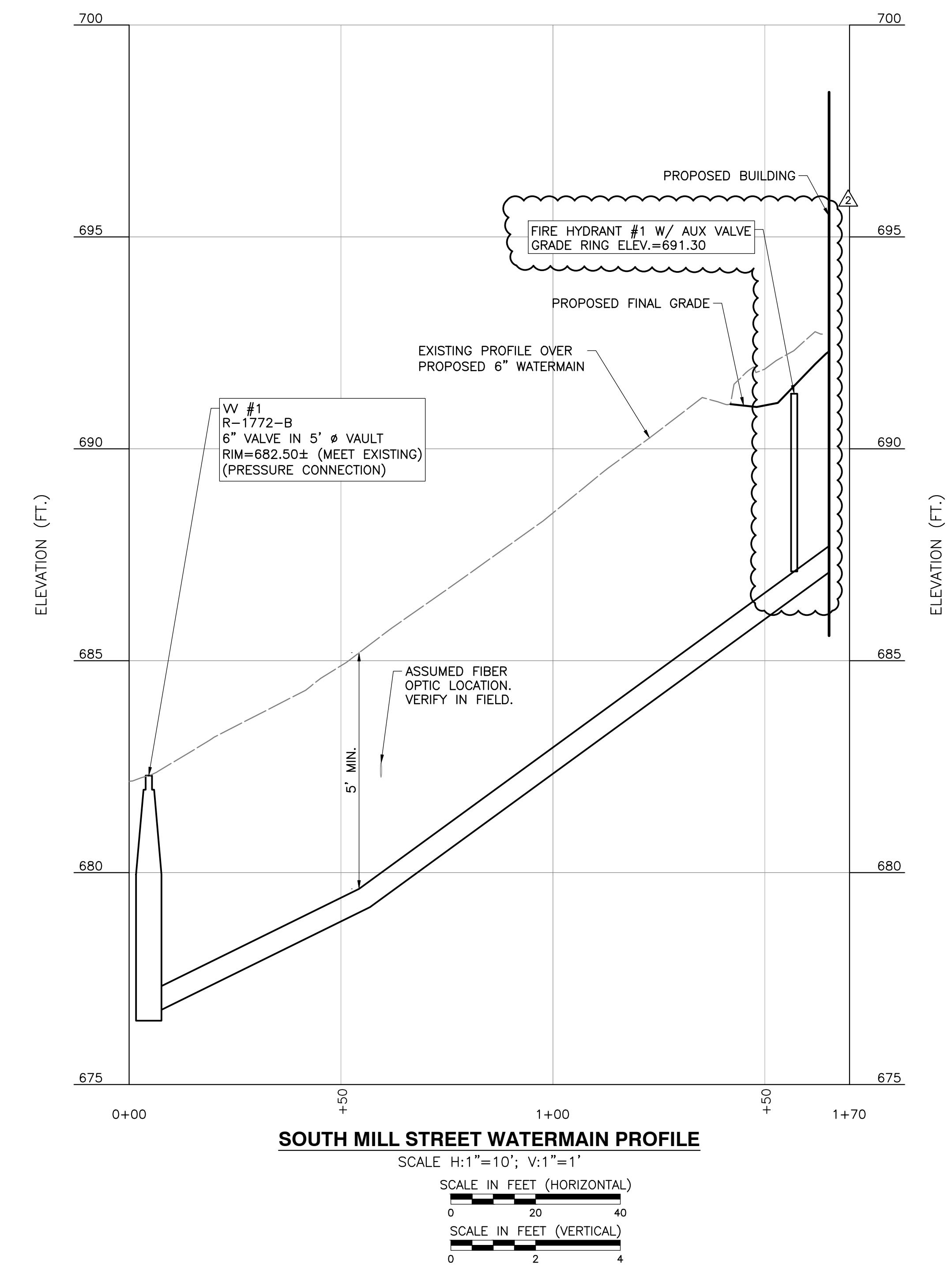
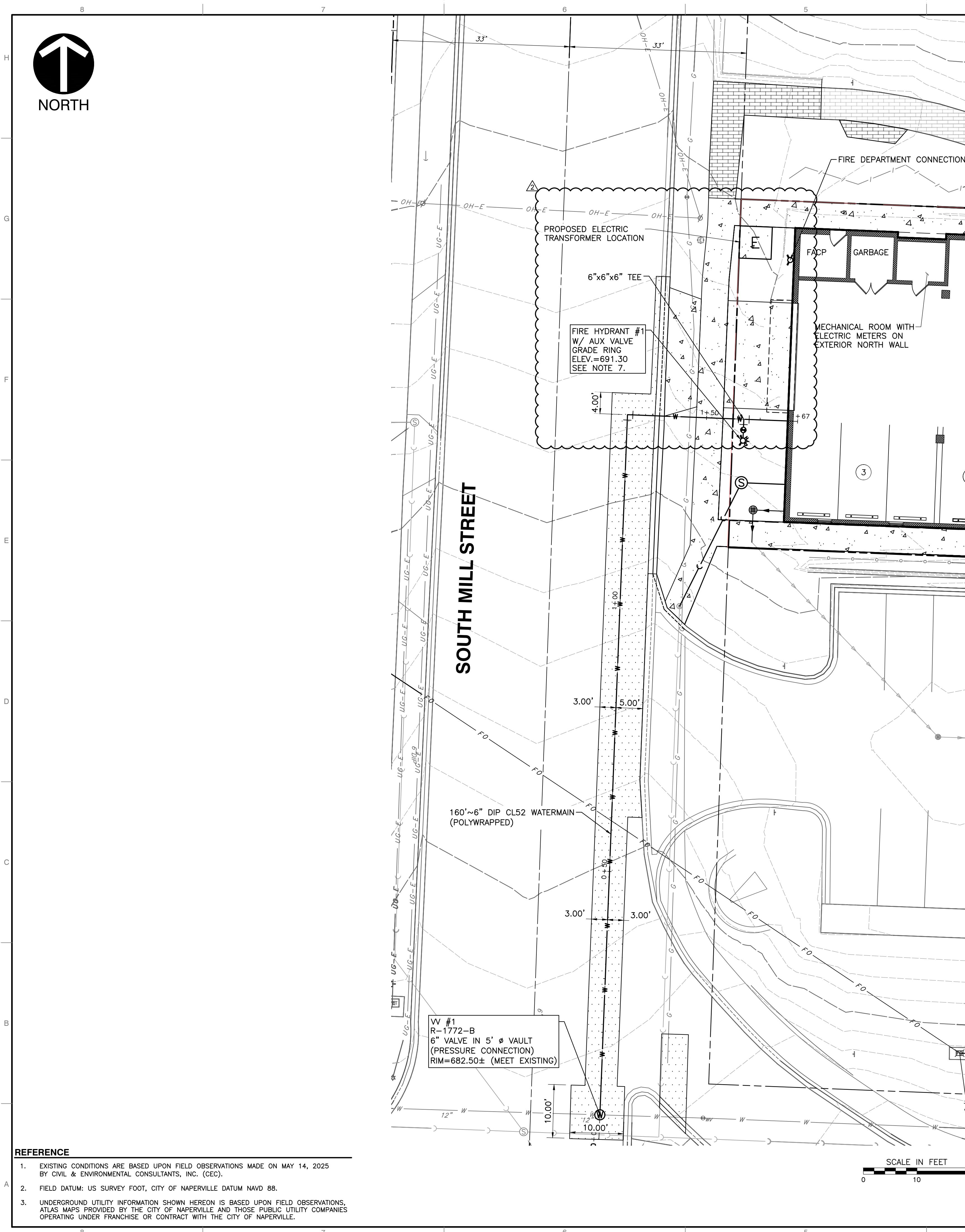
TRADING PLAN

NG NO.:
C300

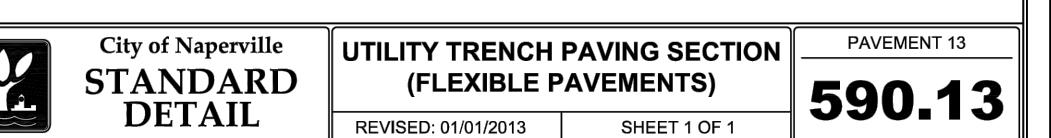
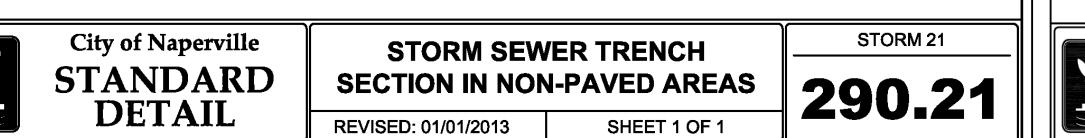
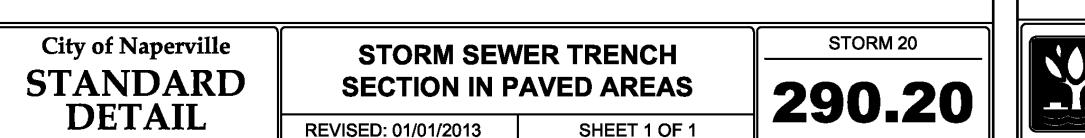
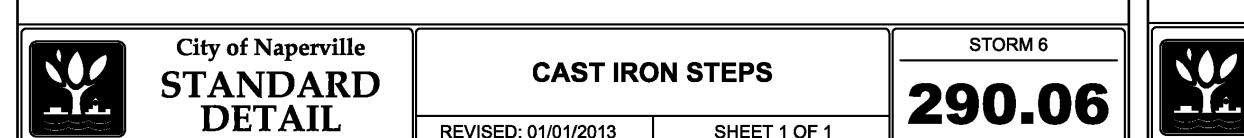
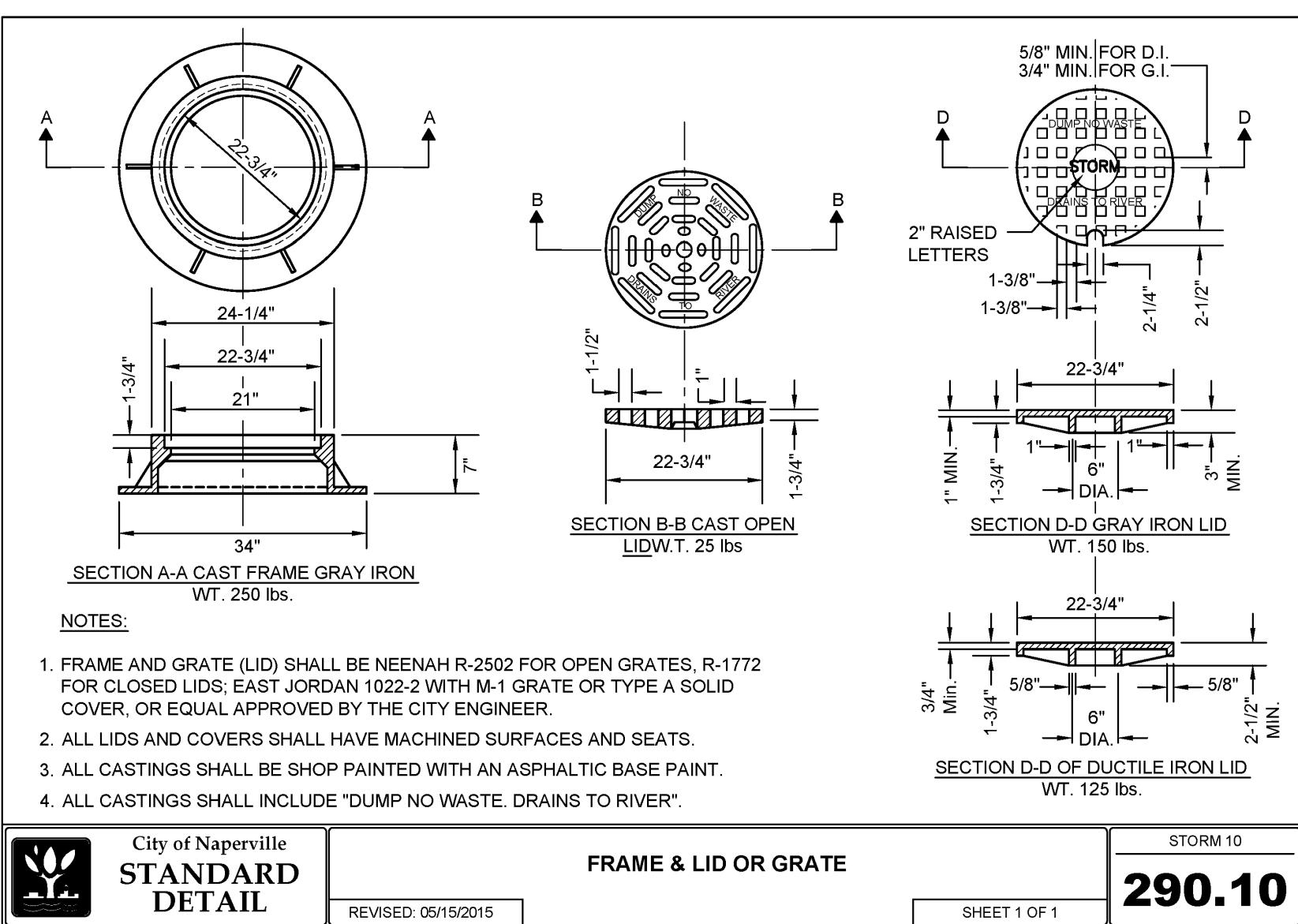
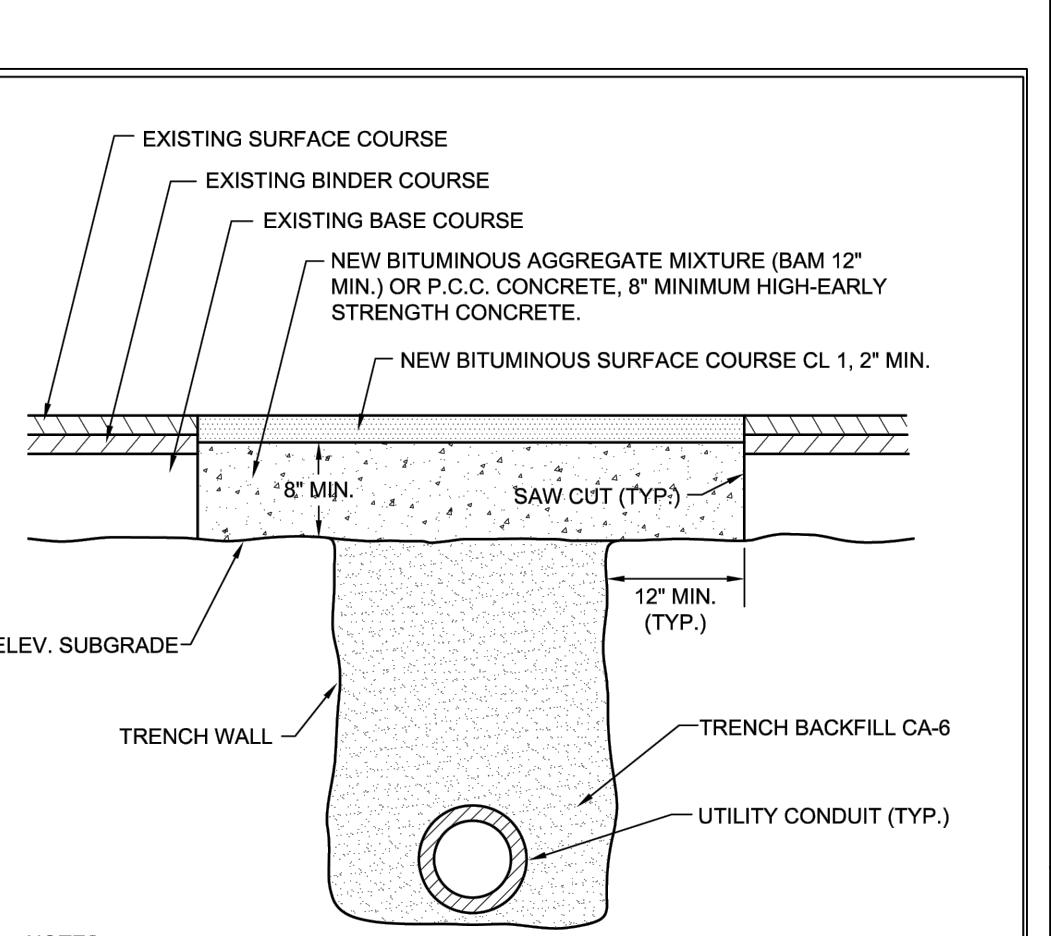
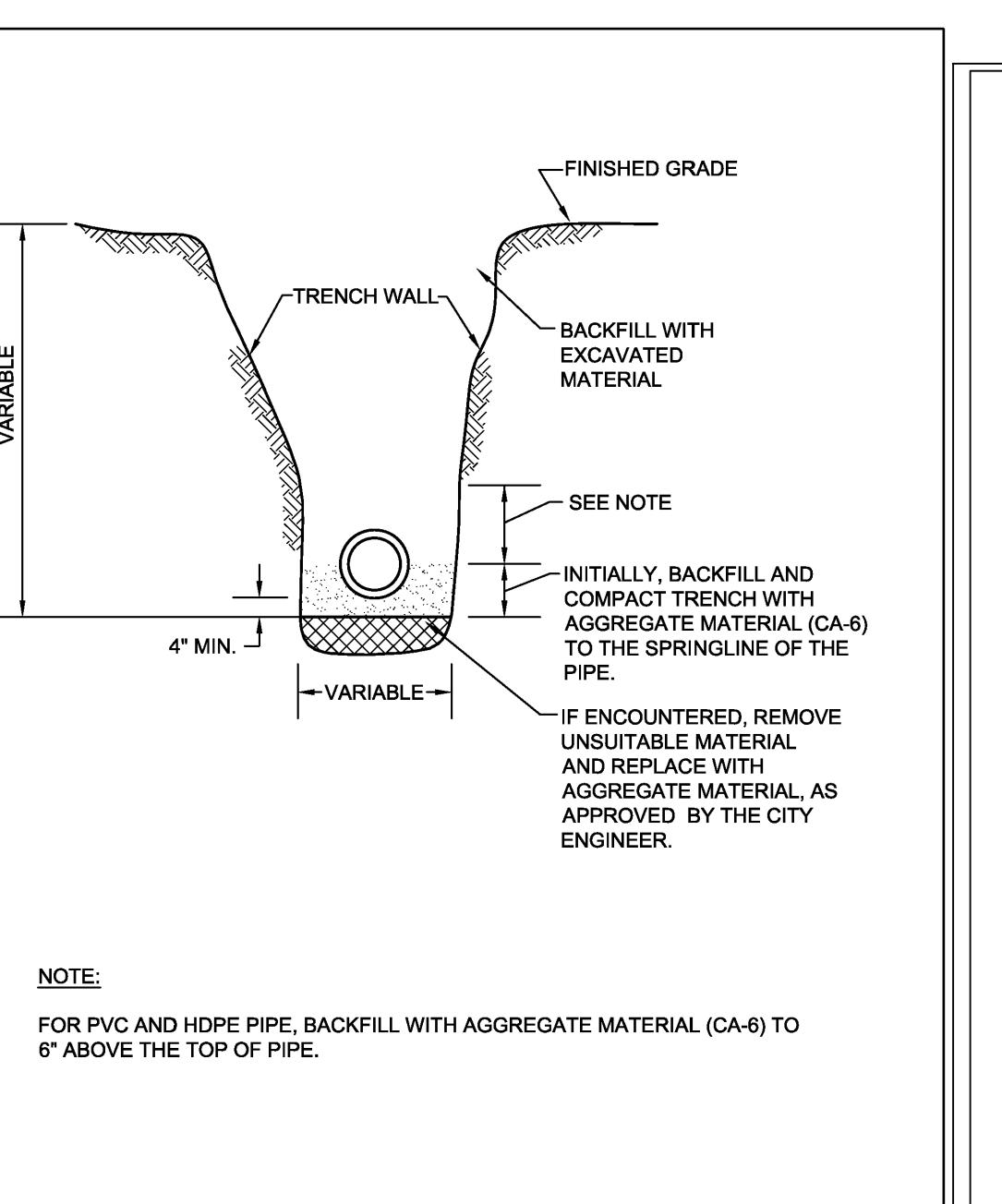
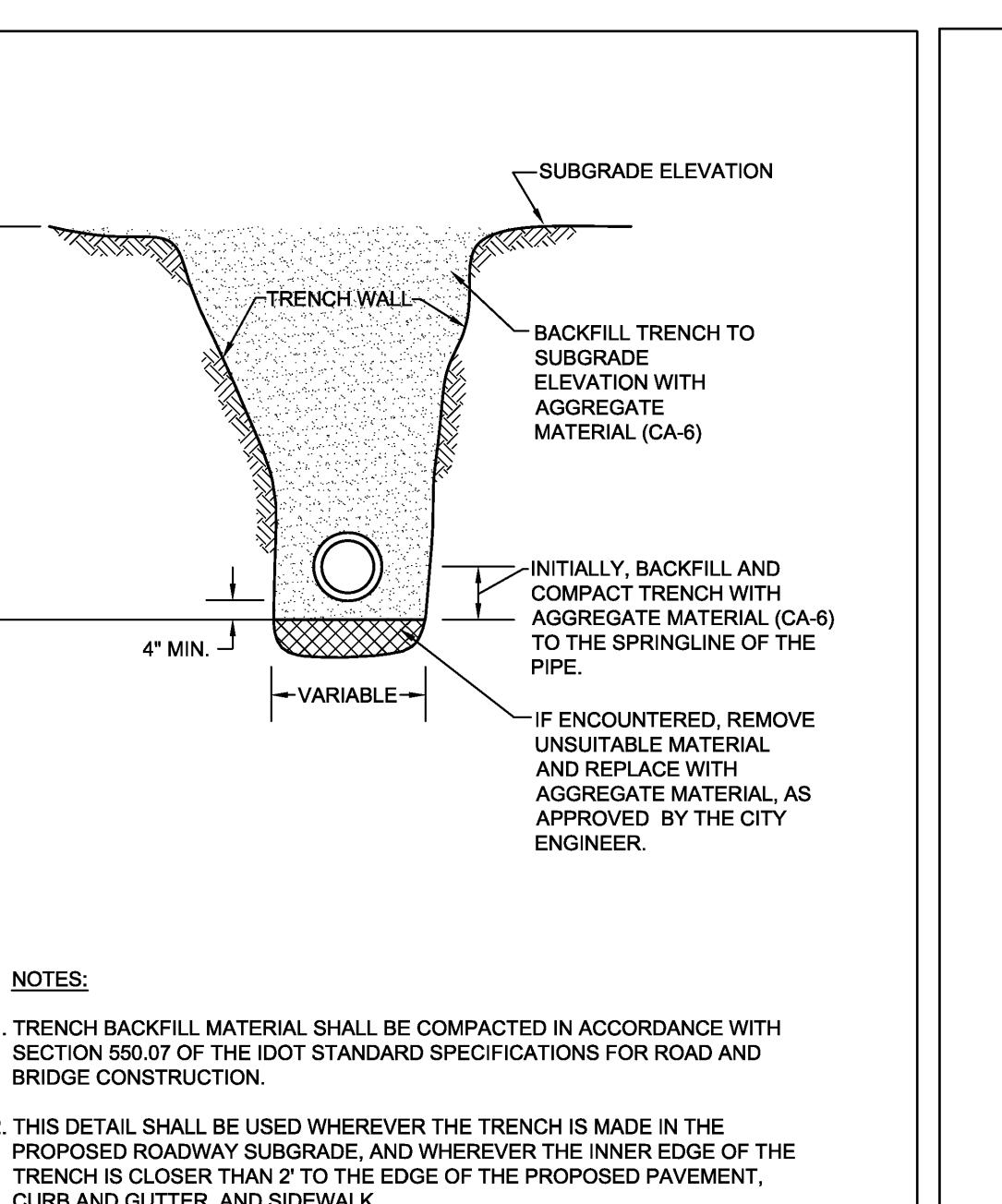
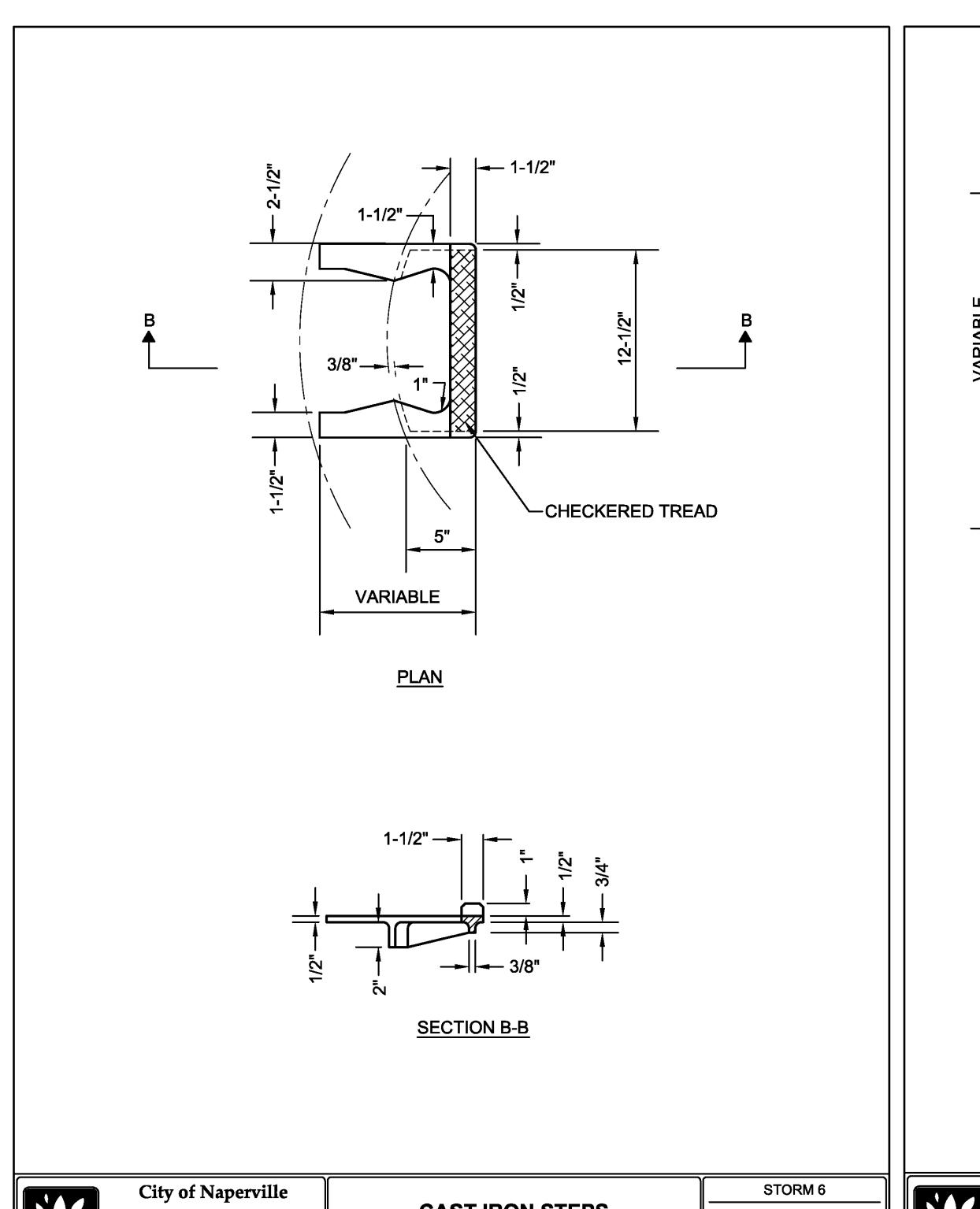
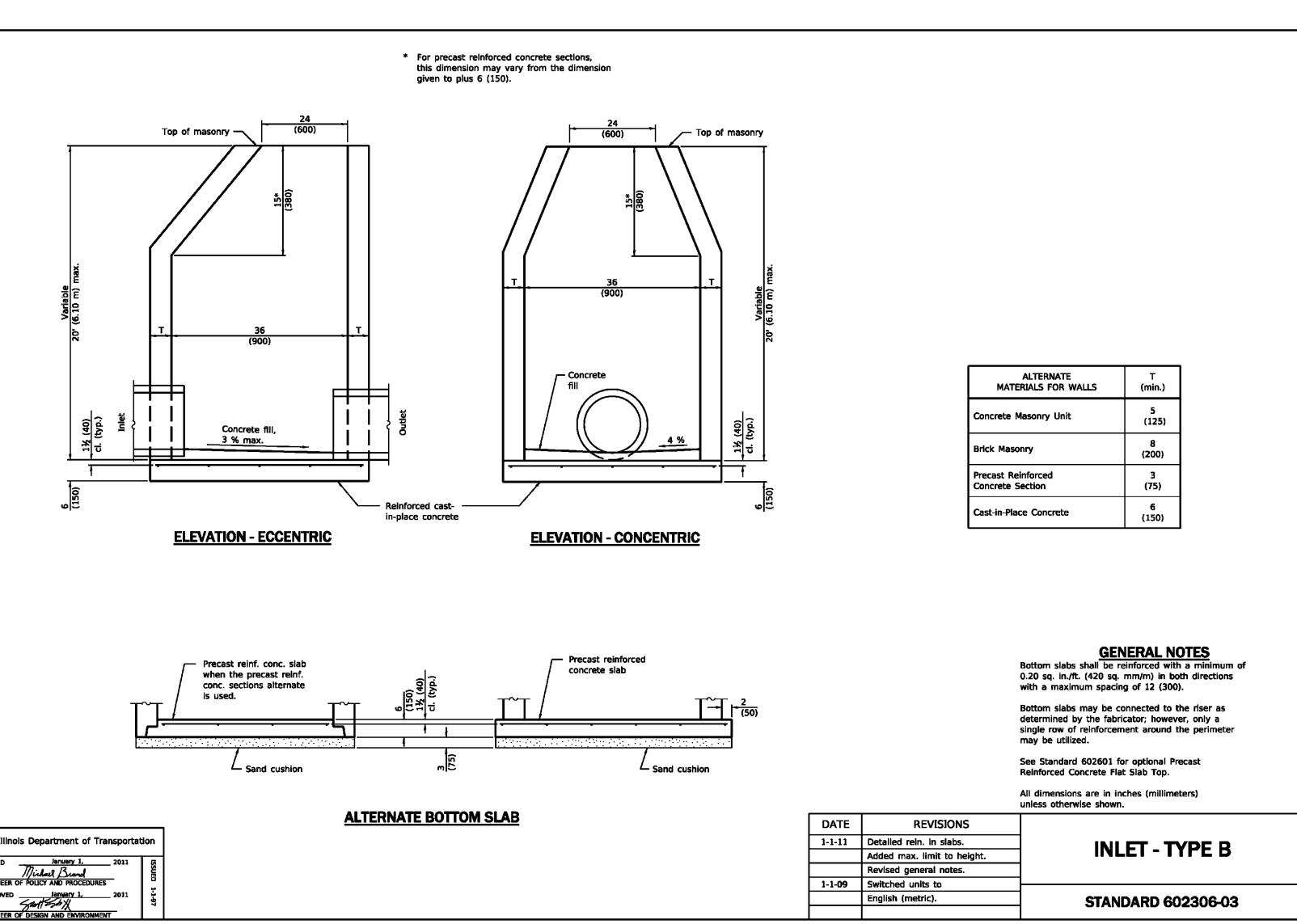




NORTH

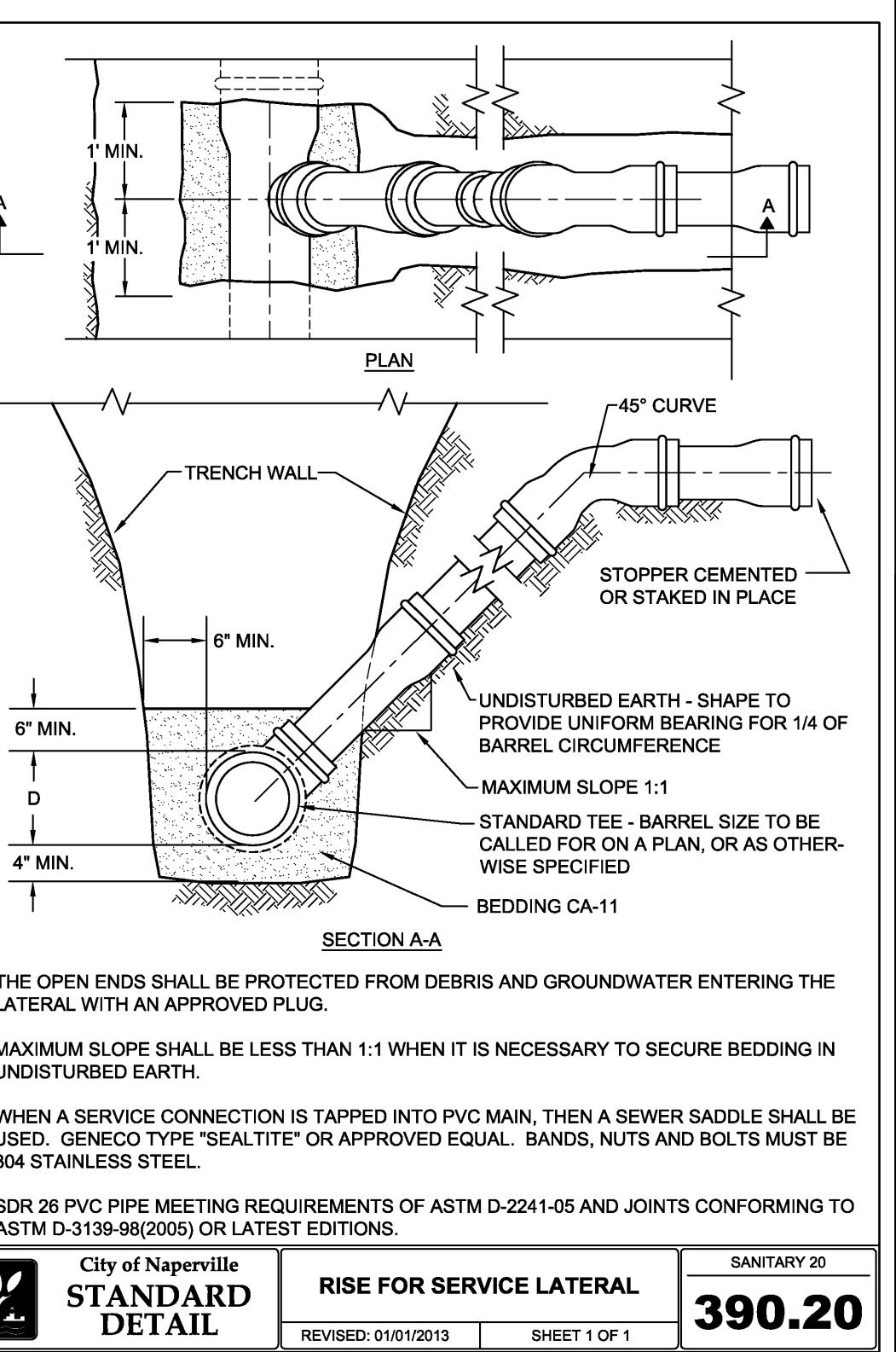
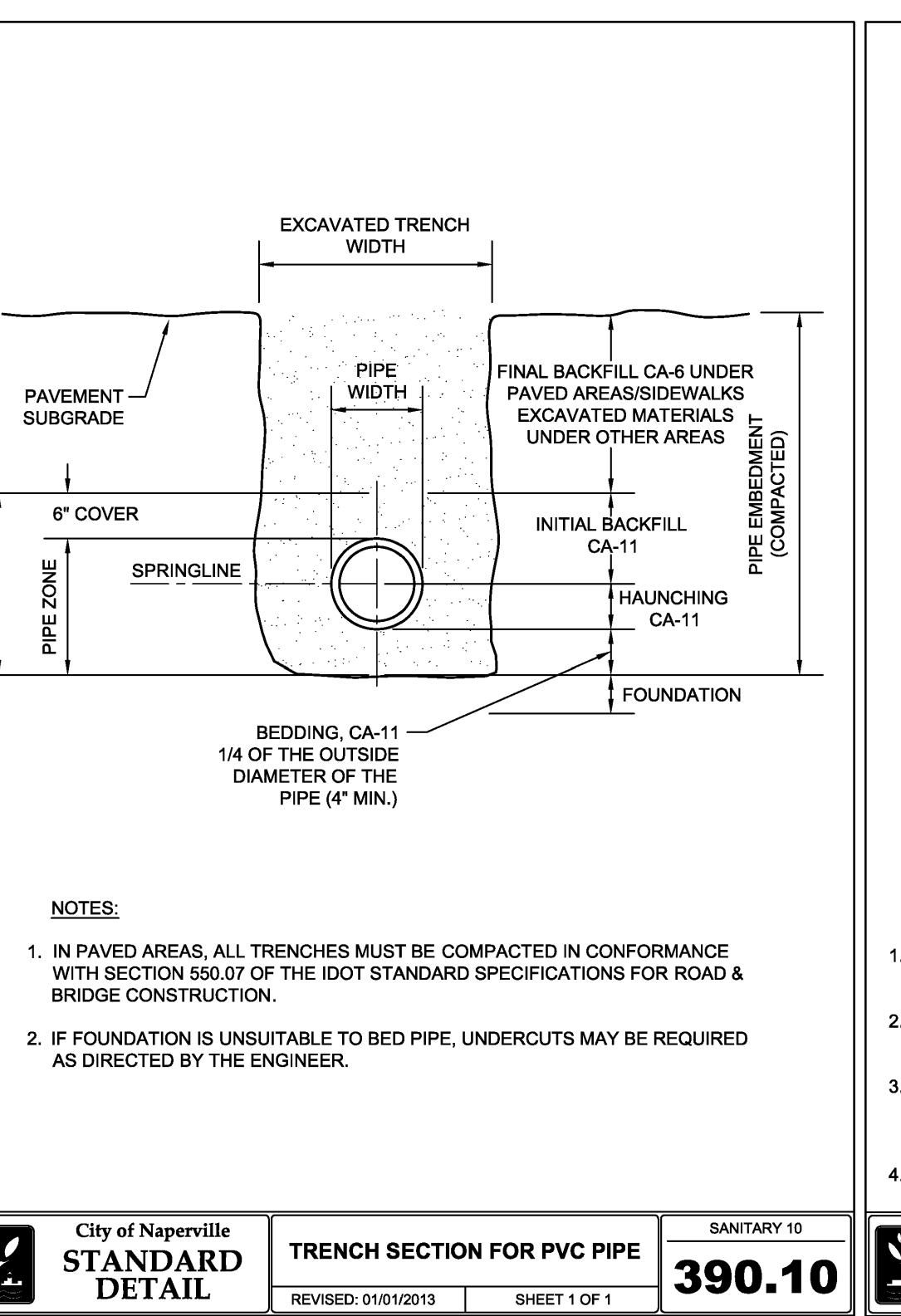
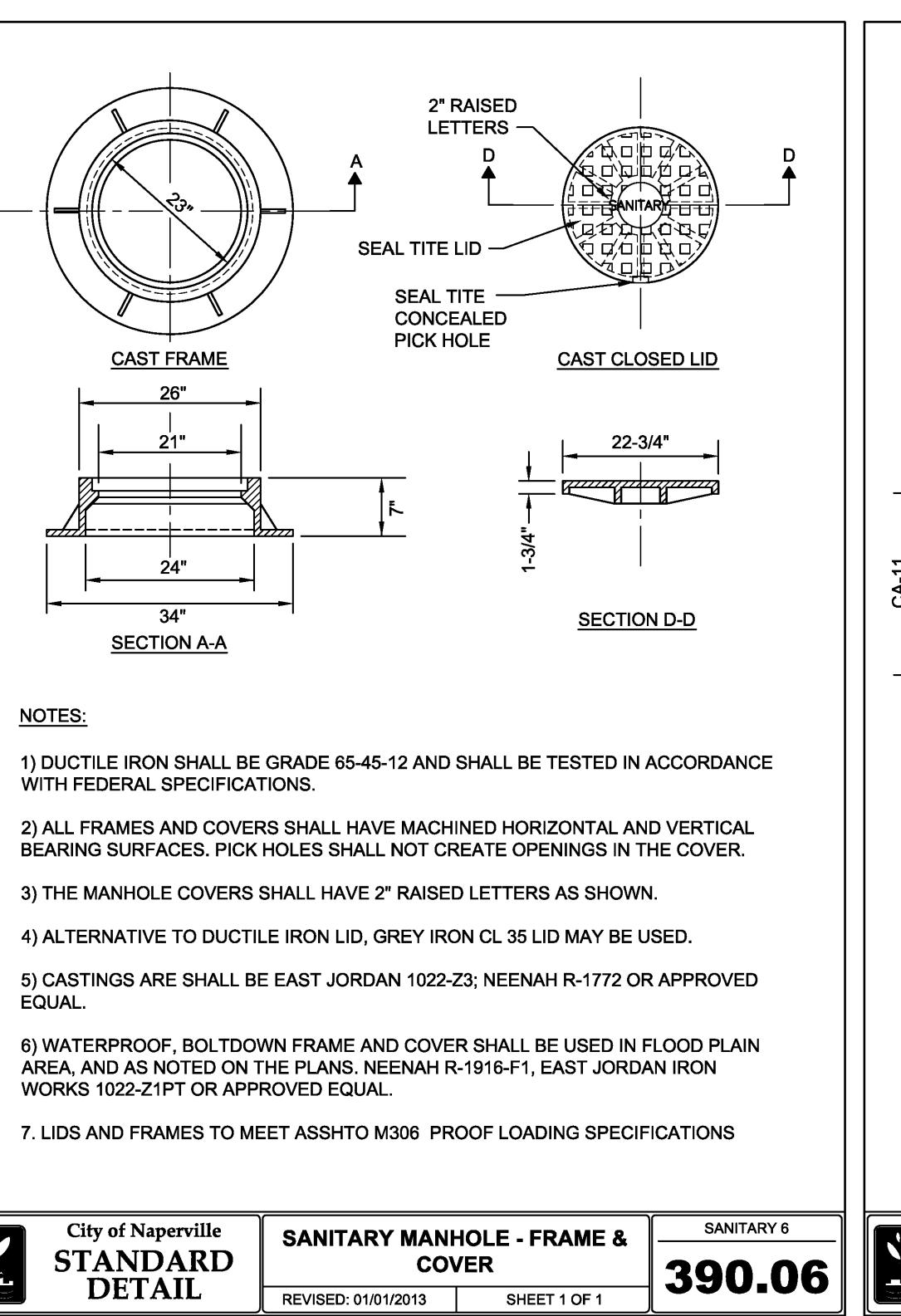
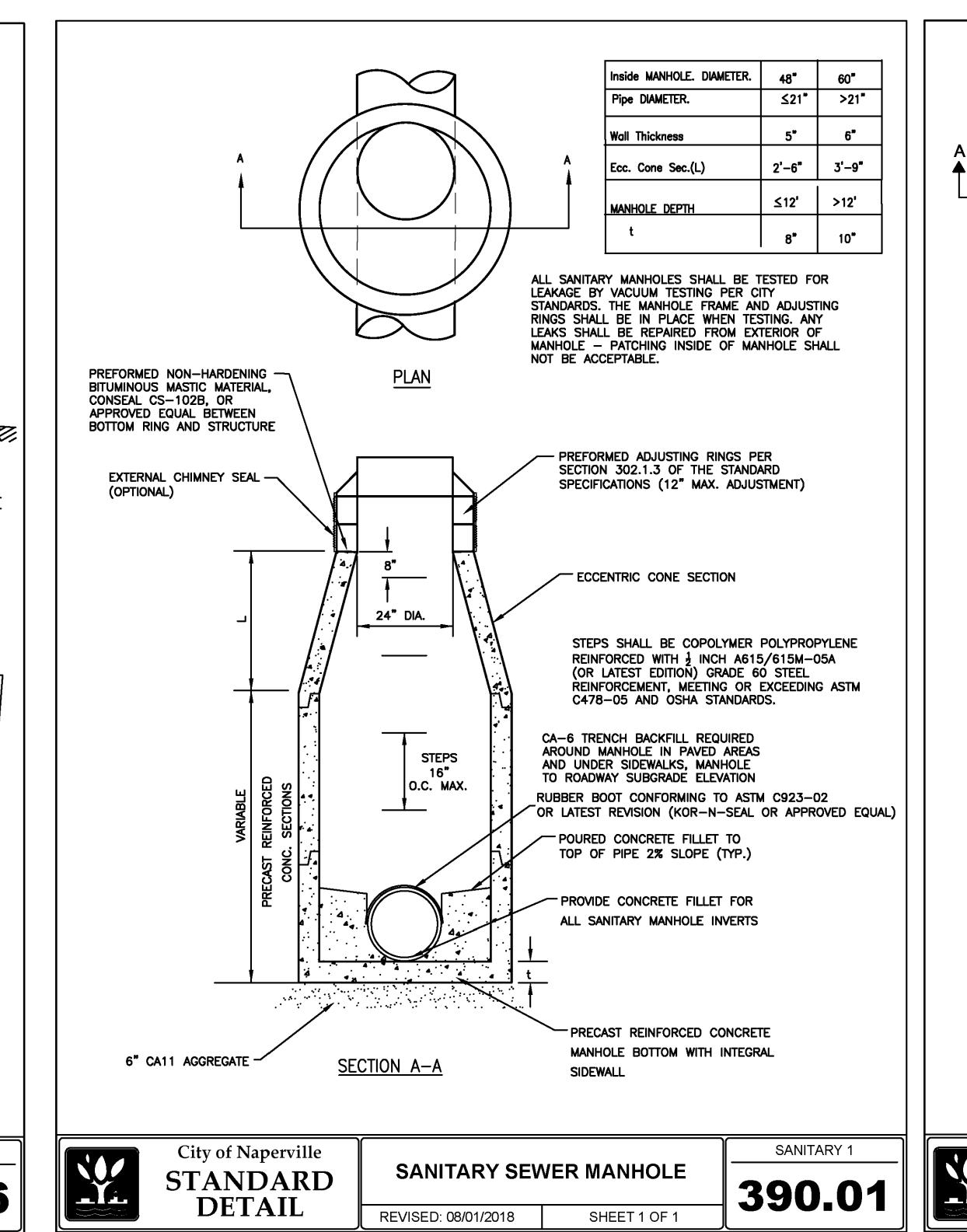
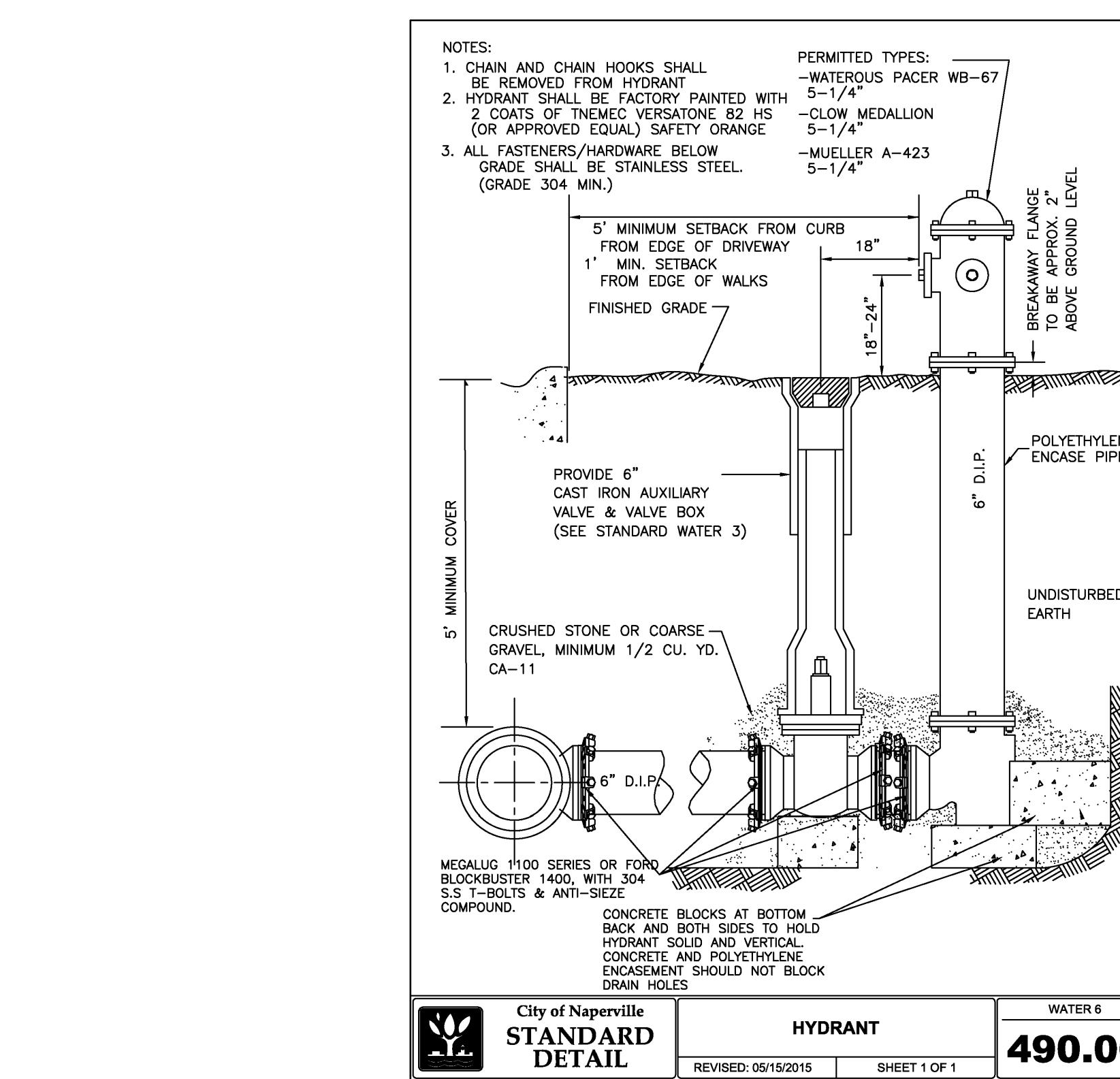


REVISION RECORD	
NO.	DATE
1	11/16/2025 10/16/2025 Changes per City Review dated 10/16/2025
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	
21	
22	
23	
24	
25	
26	
27	
28	
29	
30	
31	
32	
33	
34	
35	
36	
37	
38	
39	
40	
41	
42	
43	
44	
45	
46	
47	
48	
49	
50	
51	
52	
53	
54	
55	
56	
57	
58	
59	
60	
61	
62	
63	
64	
65	
66	
67	
68	
69	
70	
71	
72	
73	
74	
75	
76	
77	
78	
79	
80	
81	
82	
83	
84	
85	
86	
87	
88	
89	
90	
91	
92	
93	
94	
95	
96	
97	
98	
99	
100	
101	
102	
103	
104	
105	
106	
107	
108	
109	
110	
111	
112	
113	
114	
115	
116	
117	
118	
119	
120	
121	
122	
123	
124	
125	
126	
127	
128	
129	
130	
131	
132	
133	
134	
135	
136	
137	
138	
139	
140	
141	
142	
143	
144	
145	
146	
147	
148	
149	
150	
151	
152	
153	
154	
155	
156	
157	
158	
159	
160	
161	
162	
163	
164	
165	
166	
167	
168	
169	
170	
171	
172	
173	
174	
175	
176	
177	
178	
179	
180	
181	
182	
183	
184	
185	
186	
187	
188	
189	
190	
191	
192	
193	
194	
195	
196	
197	
198	
199	
200	
201	
202	
203	
204	
205	
206	
207	
208	
209	
210	
211	
212	
213	
214	
215	
216	
217	
218	
219	
220	
221	
222	
223	
224	
225	
226	
227	
228	
229	
230	
231	
232	
233	
234	
235	
236	
237	
238	
239	
240	
241	
242	
243	
244	
245	
246	
247	
248	
249	
250	
251	
252	
253	
254	
255	
256	
257	
258	
259	
260	
261	
262	
263	
264	
265	
266	
267	
268	
269	
270	
271	
272	
273	
274	
275	
276	
277	
278	
279	
280	
281	
282	
283	
284	
285	
286	
287	
288	
289	
290	
291	
292	
293	
294	
295	
296	
297	
298	
299	
300	
301	
302	
303	
304	
305	
306	
307	
308	
309	
310	
311	
312	
313	
314	
315	
316	
317	
318	
319	
320	
321	
322	
323	
324	
325	
326	
327	
328	
329	
330	
331	
332	</



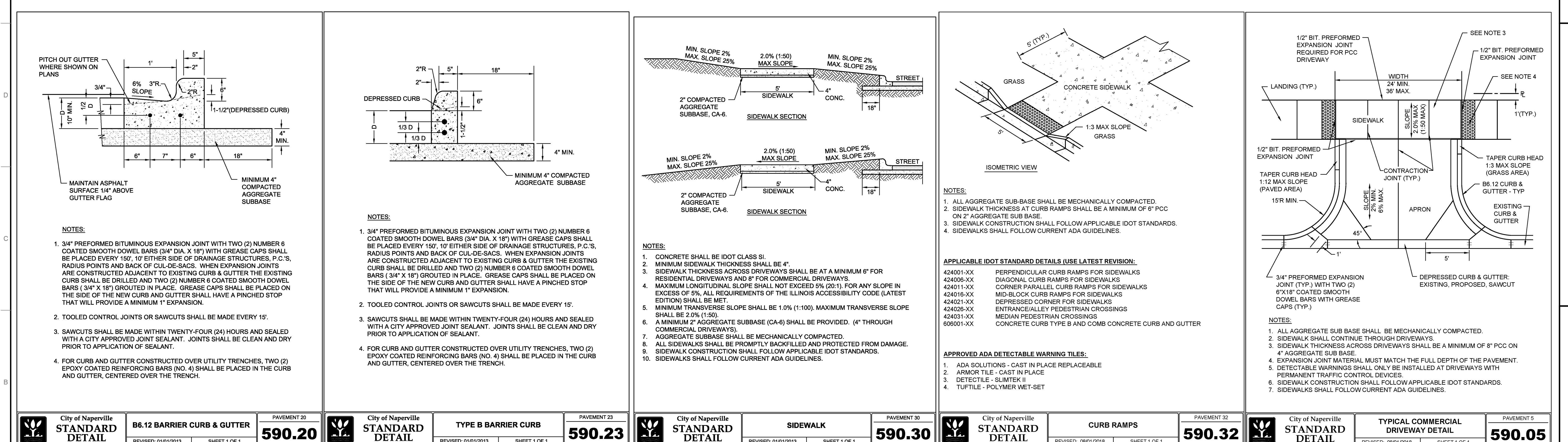
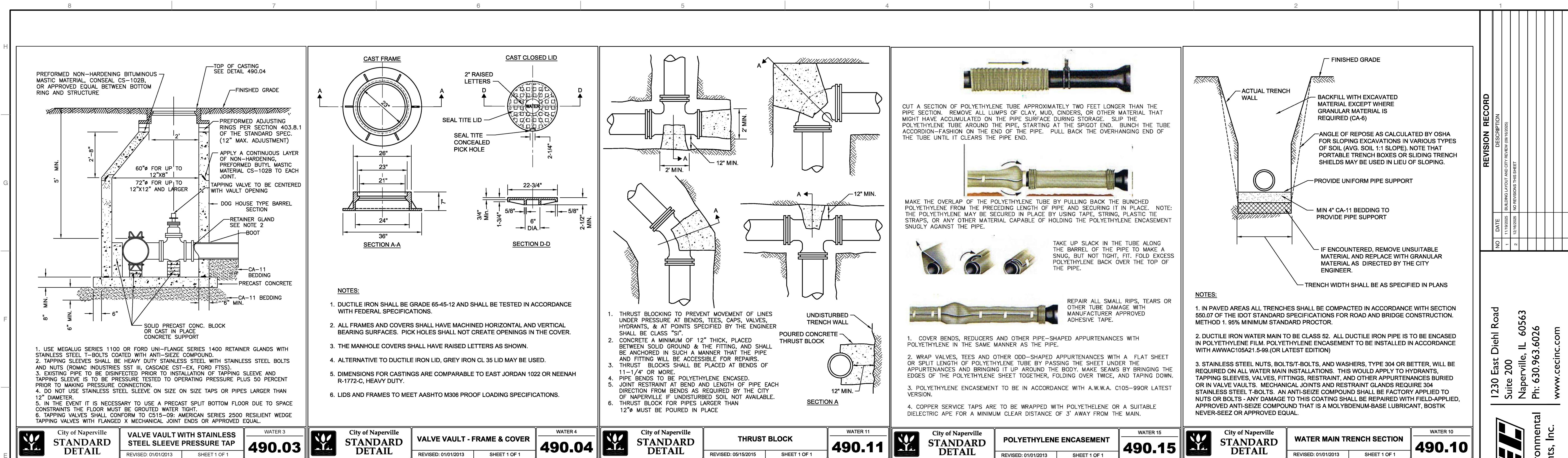
**Civil & Environmental
Consultants, Inc.**

1230 East Diehl Road
Suite 200
Naperville, IL 605
Ph: 630.963.6026
www.cecinc.com



DETAILS - 1

DRAWING NO.:		C800	
HEET	11	OF	13
DATE:		JULY 22	
DWG SCALE:		NOT TO SCALE	
PROJECT NO.:			
APPROVED BY:			



DETAILS - 2

LAKWEST CUSTOM HOMES, LTD.
222 SOUTH MILL STREET
NAPERVILLE, ILLINOIS 60540

C801

12 OF 13

DRAWING NO.:
C801

1 OF 13

