

FINAL ENGINEERING PLANS
222 SOUTH MILL STREET
NAPERVILLE, ILLINOIS 60540

LEGEND

PROPOSED	EXISTING	DESCRIPTIONS
		BOUNDARY PROPERTY LINE
		PROPERTY LINE
		RIGHT-OF-WAY
		UNDERLYING PROPERTY LINE
		CENTER LINE
		EASEMENT LINE
		SETBACK LINE
		SECTION LINE
		INDEX (MAJOR) CONTOUR
		INTERMEDIATE (MINOR) CONTOUR
		EXISTING FENCE LINE
		EXISTING WOOD FENCE LINE
		CURB
		EDGE OF PAVEMENT
		EDGE OF GRAVEL
		PAVEMENT SHOULDER
		STORM PIPE
		DOWNSPOUT SERVICE LINE
		WATER LINE
		SANITARY SEWER LINE
		PROPOSED FORCEMAIN
		GAS LINE
		OVERHEAD WIRE
		ELECTRIC LINE
		CABLE LINE
		FIBER OPTIC LINE
		TELEPHONE LINE
		GUIDE RAIL
		TREELINE
		PROPOSED TRENCH BACKFILL
		PROPOSED CONCRETE
		PROPOSED PAVEMENT
		PROPOSED RIPRAP
		PROPOSED STRIPING
		BUILDING
		PROPOSED SLOPE LABEL
		PROPOSED SPOT ELEVATION
		TOP OF WALL ELEVATION
		BOTTOM OF WALL ELEVATION
		TOP OF CURB ELEVATION
		FLOWLINE ELEVATION
		SANITARY MANHOLE
		CLEANOUT
		FLARED END SECTION
		STORM MANHOLE
		STORM CATCH BASIN (ROUND LID)
		STORM CATCH BASIN (CURB LID)
		STORM CURB INLET
		STORM INLET (CIRCULAR)
		STORM INLET (SQUARE)
		STORM BEEHIVE INLET
		STORM DRAIN OR DOWNSPOUT
		WATER VALVE VAULT
		WATER VALVE BOX
		FIRE HYDRANT
		ELECTRIC CONTROL CABINET (ABOVE GRADE)
		ELECTRIC HANDHOLE
		TRANSFORMER
		ELECTRIC METER
		LIGHT STANDARD
		UTILITY POLE
		TRAFFIC MANHOLE
		TELEPHONE PULL BOX (FLUSH WITH GRADE)
		TELEPHONE BOX/CABINET (ABOVE GRADE)
		CABLE MANHOLE
		FIBER OPTIC BOX/CABINET (ABOVE GRADE)
		FIBER OPTIC MANHOLE
		GAS LINE MARKER
		MANHOLE (UNKNOWN)

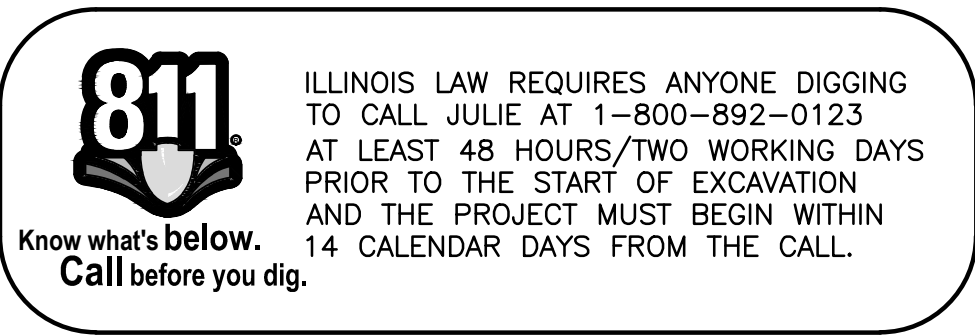
REFERENCE

- EXISTING CONDITIONS ARE BASED UPON FIELD OBSERVATIONS MADE ON MAY 14, 2025 BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. (CEC).
- FIELD DATUM: US SURVEY FOOT, CITY OF NAPERVILLE DATUM NAVD 88.
- UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON FIELD OBSERVATIONS, ATLAS MAPS PROVIDED BY THE CITY OF NAPERVILLE AND THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE OR CONTRACT WITH THE CITY OF NAPERVILLE.



SITE MAP

NOT TO SCALE



PROJECT TEAM

OWNER

LAKEWEST CUSTOM HOMES, LTD.
1309 NORTH LOOMIS STREET
NAPERVILLE, ILLINOIS 60563
PH: (630) 292-1754
CONTACT: DAN JURJOVEC

CIVIL ENGINEER

CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
1230 EAST DIEHL ROAD, SUITE 200
NAPERVILLE, ILLINOIS 60563
PH: (630) 963-6026
FX: (630) 963-6027
CONTACT: JIM CANEFF, P.E.

ARCHITECT

DERRICK ARCHITECTURE
506 SOUTH GABLES BOULEVARD
WHEATON, ILLINOIS 60187
PH: (847) 606-6460
CONTACT: CHRISTOPHER DERRICK

LANDSCAPE ARCHITECT

WESTWOOD LANDSCAPE CONTRACTORS
1N617 ARBOR AVENUE
WEST CHICAGO, IL 60185
PH: (630) 231-6090
CONTACT: CRAIG HERNAN

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C000	COVER SHEET
C001	SITE SPECIFICATIONS - 1
C002	SITE SPECIFICATIONS - 2
C003	SITE SPECIFICATIONS - 3
C100	EXISTING CONDITIONS
C101	DEMOLITION PLAN
C200	DIMENSION PLAN
C300	GRADING PLAN
C400	UTILITY PLAN - 1
C401	UTILITY PLAN - 2
C800	DETAILS - 1
C801	DETAILS - 2
C802	DETAILS - 3

BENCHMARKS:

REFERENCE BENCHMARK:

- NAPERVILLE STATION #1505: BERNSTEN 3D TOP SECURITY MONUMENT IN 6" PVC PIPE WITH BMAC 6 ALUMINUM ACCESS COVER AT THE NORTHEAST CORNER OF WASHINGTON STREET AND AURORA AVENUE.
ELEVATION=672.24 (NAVD88)
- NAPERVILLE STATION #1007: BERNSTEN 3D TOP SECURITY MONUMENT IN 6" PVC PIPE WITH BMAC 6 ALUMINUM ACCESS COVER AT THE SOUTHEAST CORNER OF CHARLES STREET AND CHESHIRE LANE.
ELEVATION=733.69 (NAVD88)

SITE BENCHMARKS:

- CROSS CUT IN TOP OF CURB ALONG THE SOUTH CURBLINE OF JACKSON AVENUE. SAID CROSS IS 12± FEET WEST OF THE SOUTHWEST CORNER OF THE SUBJECT SITE.
NORTHING= 1,859,549.08
EASTING = 1,032,805.30
ELEVATION=683.20
- CROSS CUT IN PUBLIC SIDEWALK ALONG THE SOUTH CURBLINE OF JACKSON AVENUE. SAID CROSS IS 40± FEET EAST AND 31± FEET SOUTH OF THE CENTER OF INTERSECTION OF JACKSON AVENUE AND MILL STREET.
NORTHING= 1,859,536.34
EASTING = 1,033,021.68
ELEVATION=681.05
- CROSS CUT IN PUBLIC SIDEWALK ALONG THE EAST CURBLINE OF MILL STREET. SAID CROSS IS 27± FEET EAST AND 67± FEET NORTH OF THE CENTER OF INTERSECTION OF JACKSON AVENUE AND MILL STREET.
NORTHING= 1,859,635.04
EASTING = 1,033,011.41
ELEVATION=684.49

STATE OF ILLINOIS
COUNTY OF DUPAGE }SS

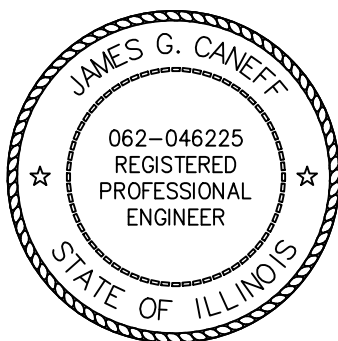
I, JAMES G. CANEFF, AN ILLINOIS PROFESSIONAL ENGINEER, HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC., ILLINOIS LICENSED PROFESSIONAL DESIGN FIRM NO. 184.004002; LICENSE EXPIRES APRIL 30, 2025, UNDER MY PERSONAL DIRECTION FOR THE EXCLUSIVE USE OF THE CLIENT NOTED BELOW. REPRODUCTION OR USE BY THIRD PARTIES IS STRICTLY PROHIBITED WITHOUT THE WRITTEN PERMISSION OF THE UNDERSIGNED.

GIVEN UNDER MY HAND AND SEAL THIS 16TH DAY OF DECEMBER, 2025.

James G. Caneff

ILLINOIS LICENSED PROFESSIONAL ENGINEER NO. 46225
REGISTRATION VALID THROUGH NOVEMBER 30, 2027
(NOT VALID WITHOUT ORIGINAL SIGNATURE)

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*HAND SIGNATURE ON FILE



COVER SHEET

DATE:	JULY 22, 2025	DRAWN BY:	MEG/AB
DWG SCALE:	NOT TO SCALE	CHECKED BY:	JGC
PROJECT NO.:	347-491	APPROVED BY:	*JGC

DRAWING NO.:

C000

SHEET 1 OF 13

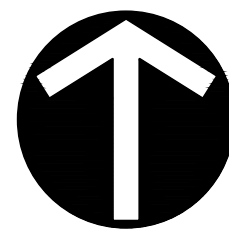
CITY PROJECT NO. DEV-0114-2025

P: \340-000\347-491\ -CADD\ Dwg\ CVO1\347491-CVO1-C001.dwg\ C002} LS: {12/16/2025 - abasha) - LP: 12/16/2025 12:12 PM

TO HAVE AN EXISTING SERVICE DISCONNECTED CALL THE CITY DISPATCH OFFICE AT 630-420-6187. PLEASE ALLOW AT LEAST 24 HOURS' NOTICE. METERS AND METER SEALS ARE TO BE REMOVED ONLY BY DPU-E PERSONNEL. THE LOCATION AND TYPE OF NEW OR REPLACEMENT METER RELATED EQUIPMENT MUST BE PRE-APPROVED IN WRITING BY DPU-E. AN ELECTRIC SERVICE MUST BE INSPECTED BY THE DEVELOPMENT SERVICES TEAM ELECTRICAL INSPECTOR PRIOR TO CONNECTION.

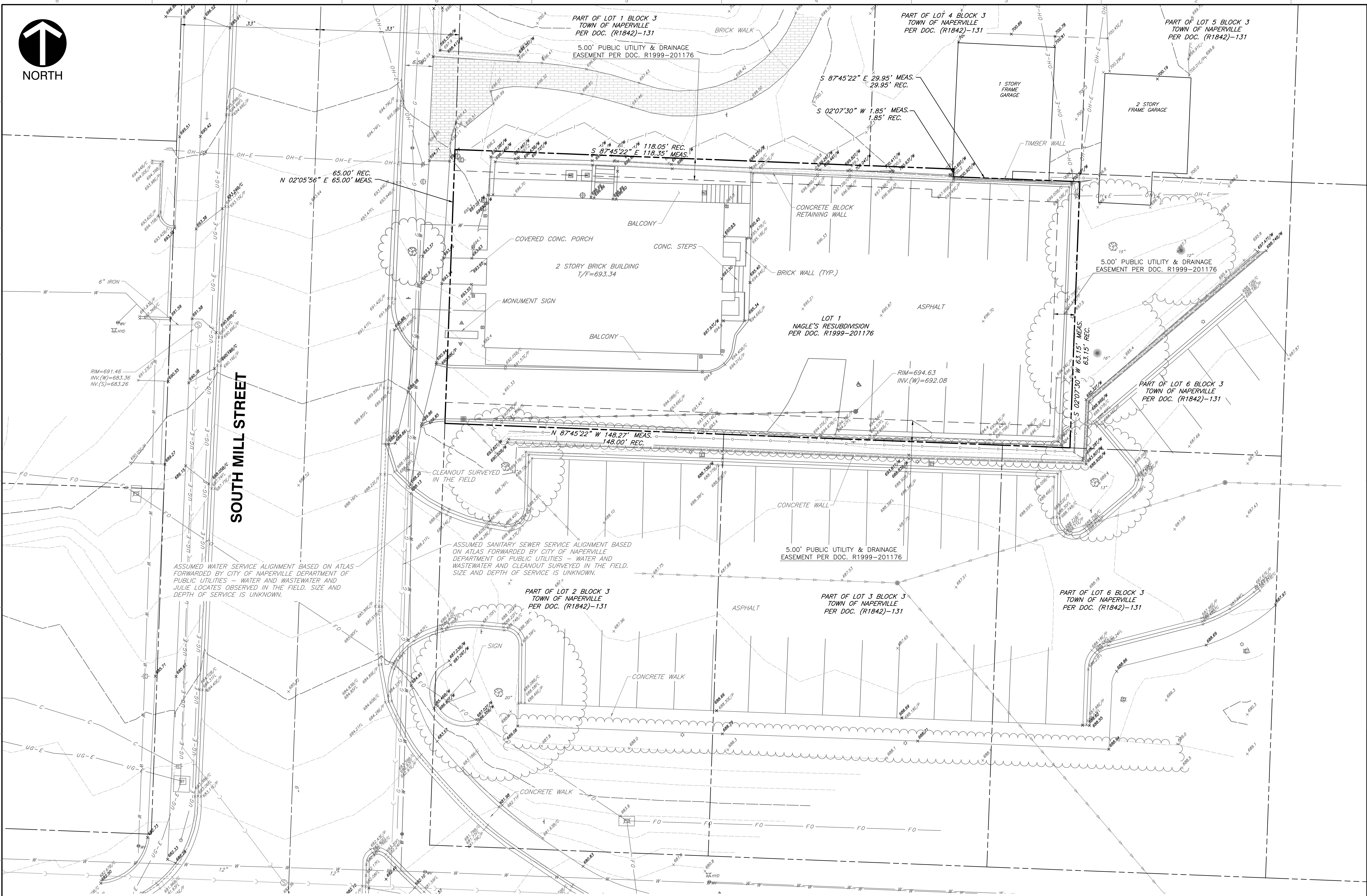
I. The sanitary forcemain shall be tested a minimum of one (1) hour at 1.5 times the shut off head of the pump, 2.5 times the operating pressure, or 20 psi, whichever is greatest. Allowable leakage shall be in accordance with section 41-2.14C of the Standard Specifications for Water and Sewer Construction.

SHEET 4 OF 15



NORTH

SOUTH MILL STREET



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NO.	DATE	DESCRIPTION
1	11/19/2025	BUILDING LAYOUT AND CITY REVIEW (08/14/2025)
2	12/16/2025	NO REVISIONS THIS SHEET

1230 East Diehl Road
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Ph: 630.963.6026
www.cecinc.com



Civil & Environmental
Consultants, Inc.

LAKEWEST CUSTOM HOMES, LTD.
222 SOUTH MILL STREET
NAPERVILLE, ILLINOIS 60540

EXISTING CONDITIONS

DATE:	JULY 22, 2025	DRAWN BY:	MEG/AB
DWG SCALE:	1" = 10'	CHECKED BY:	JGC
PROJECT NO:	347-491	APPROVED BY:	JGC

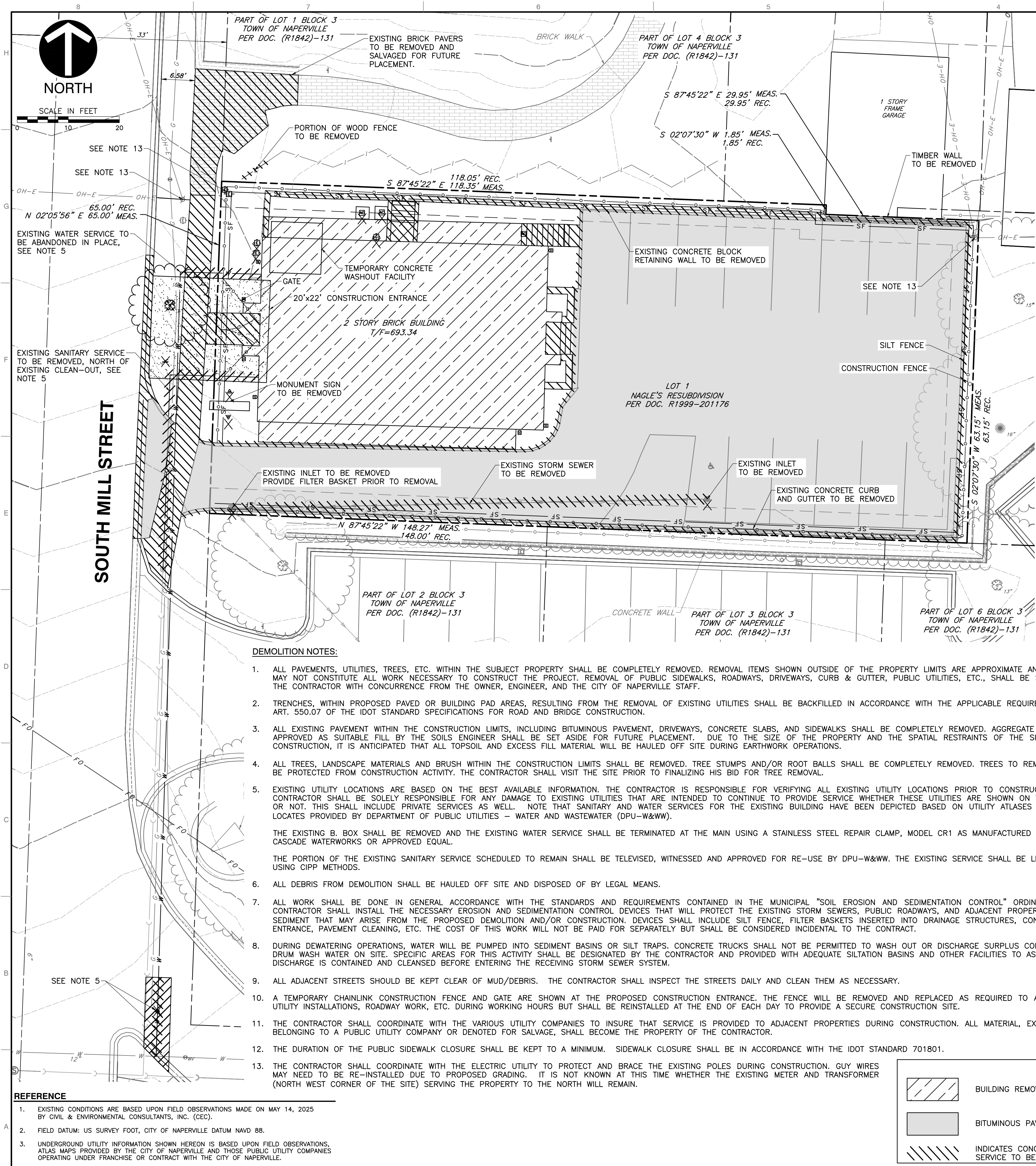
DRAWING NO.:

C100



SHEET 5 OF 13

15:10-0001-147-491-0000 (Imp) (CIVIL) (NAPERVILLE) (C101) (15/10/2025 - 00:00:00) - (P) 12/16/2025 12:13 PM



DEMOLITION NOTES:

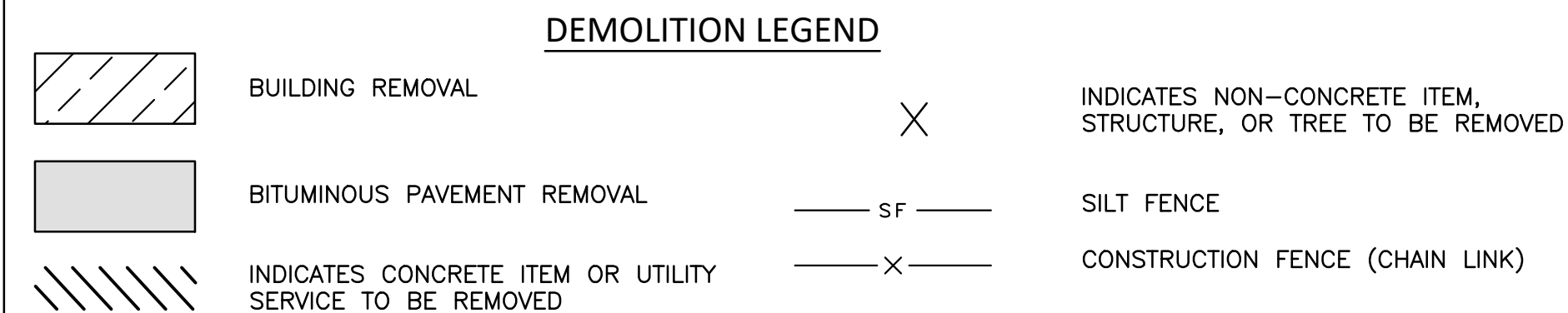
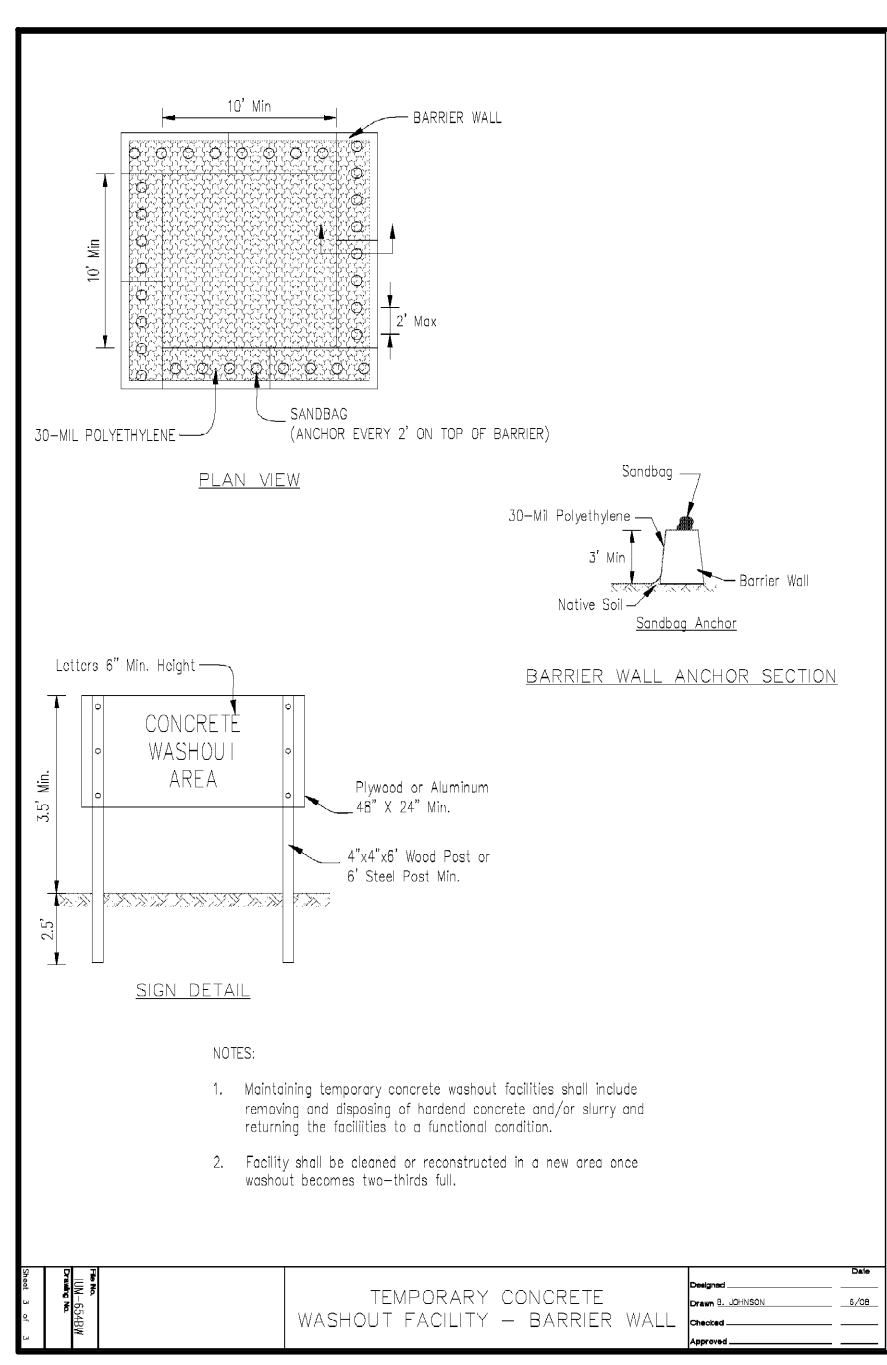
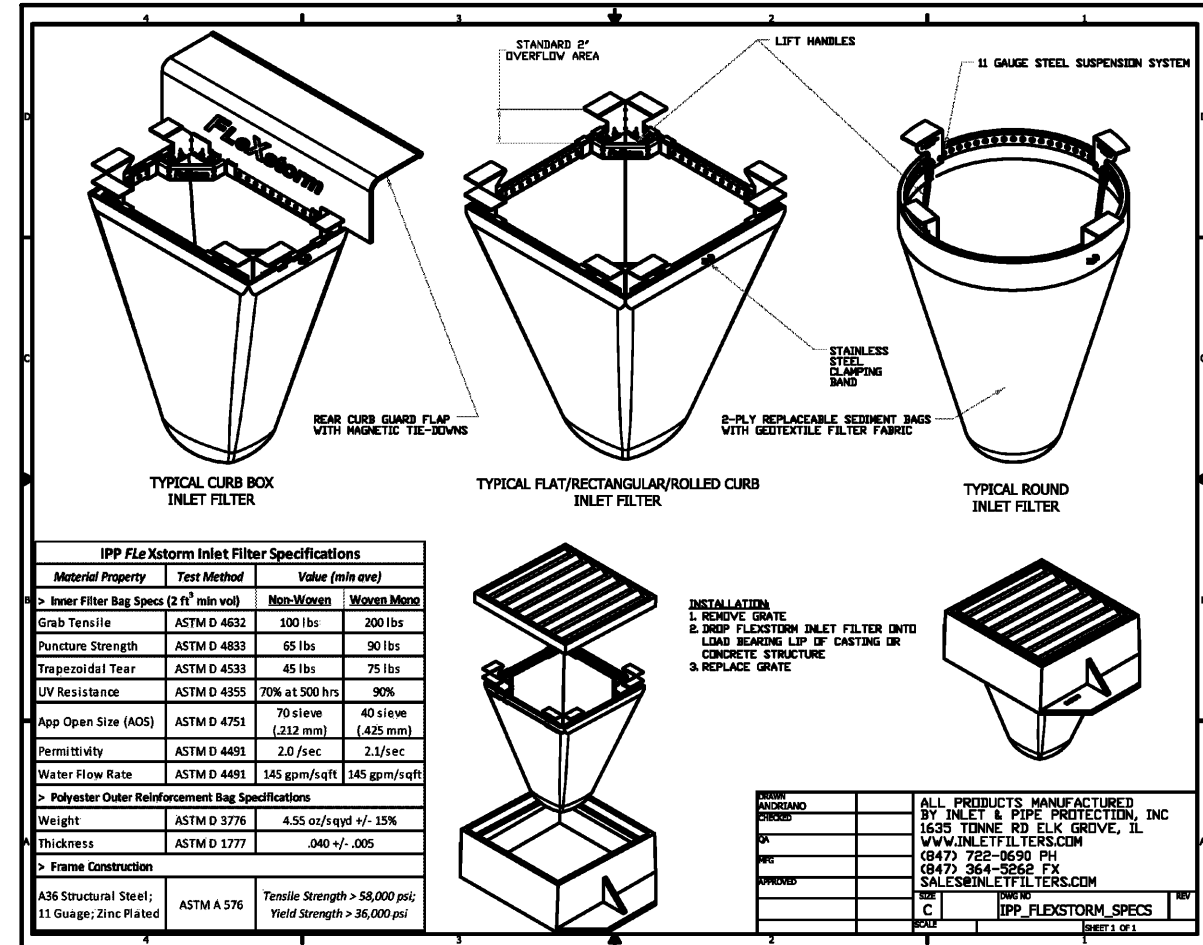
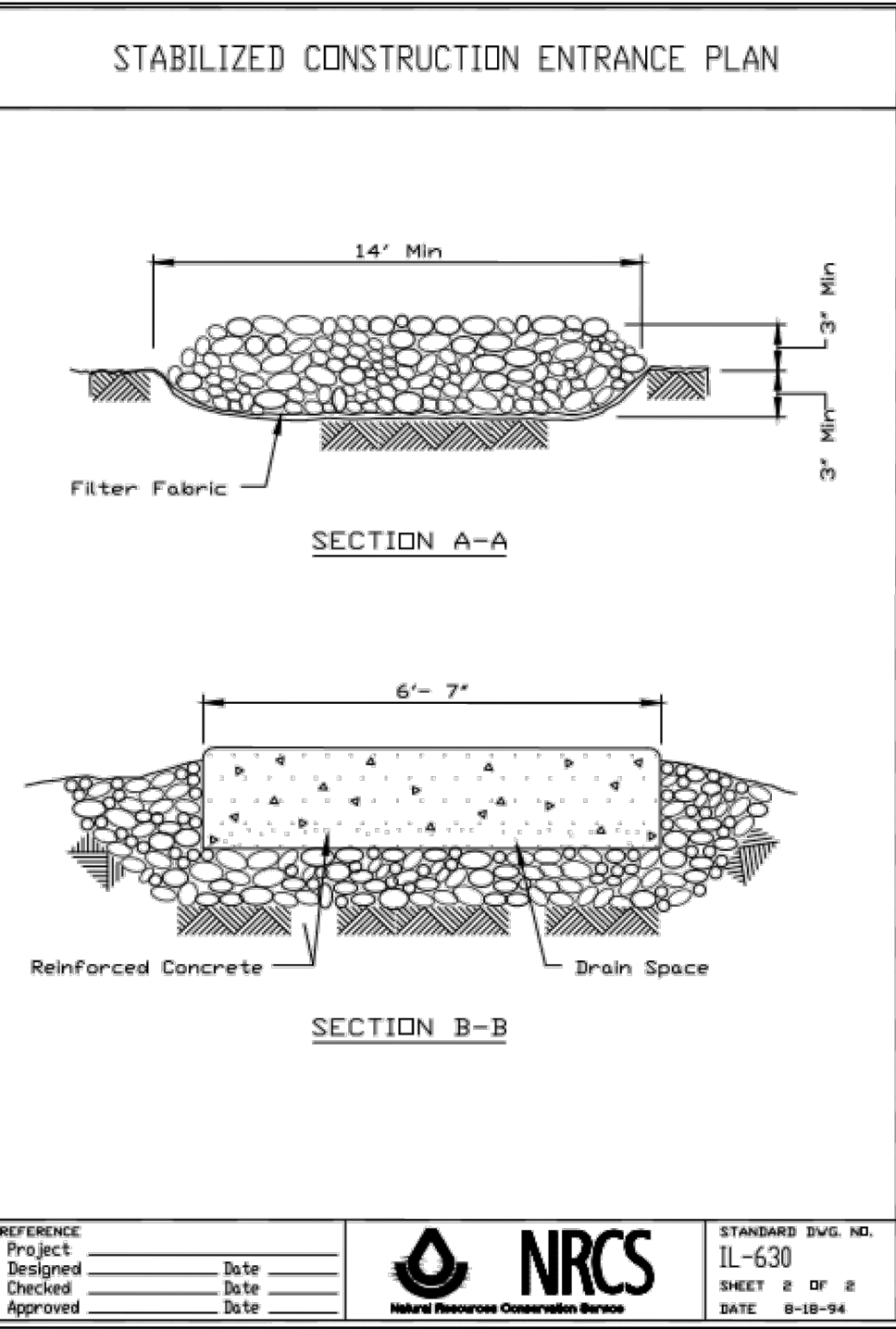
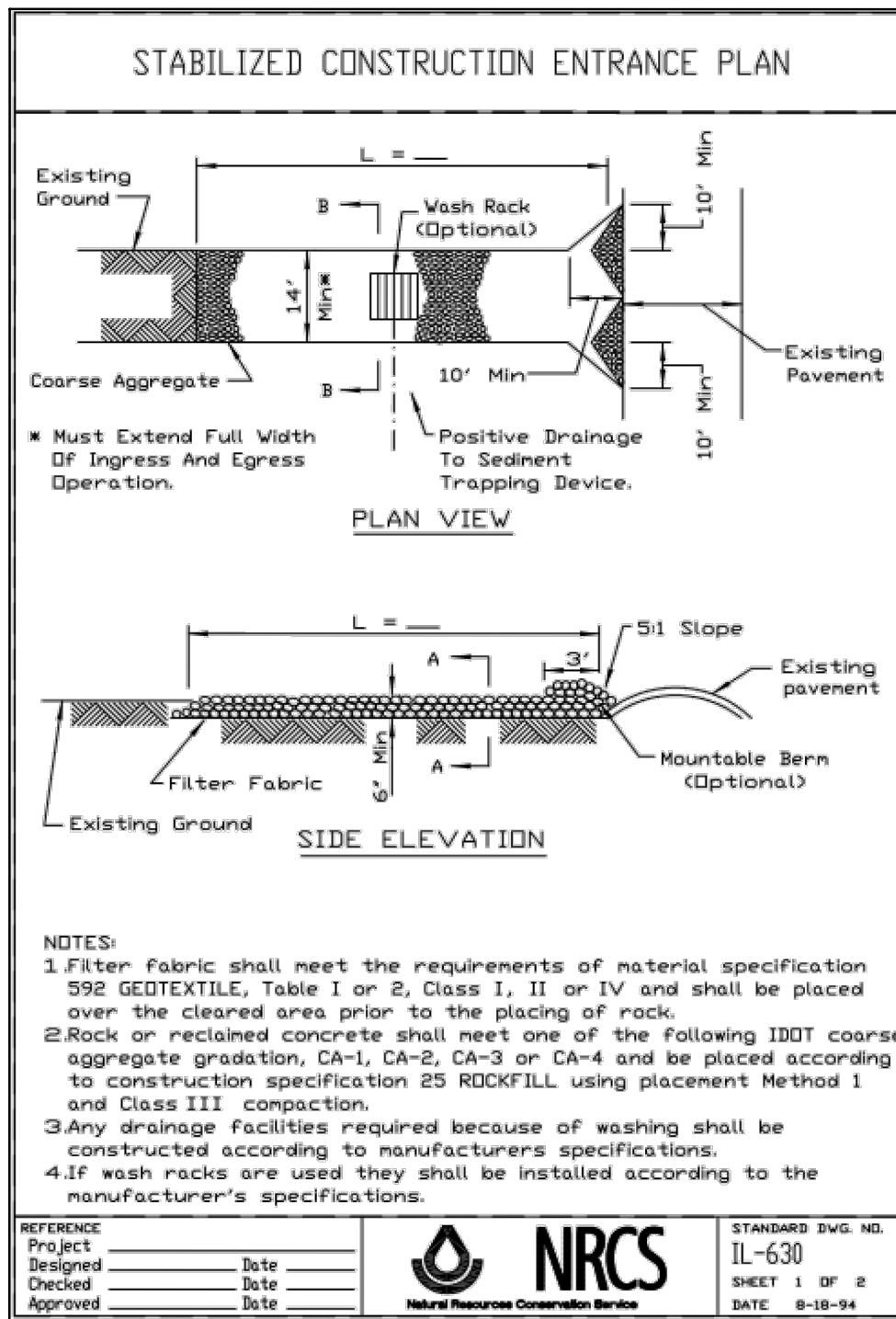
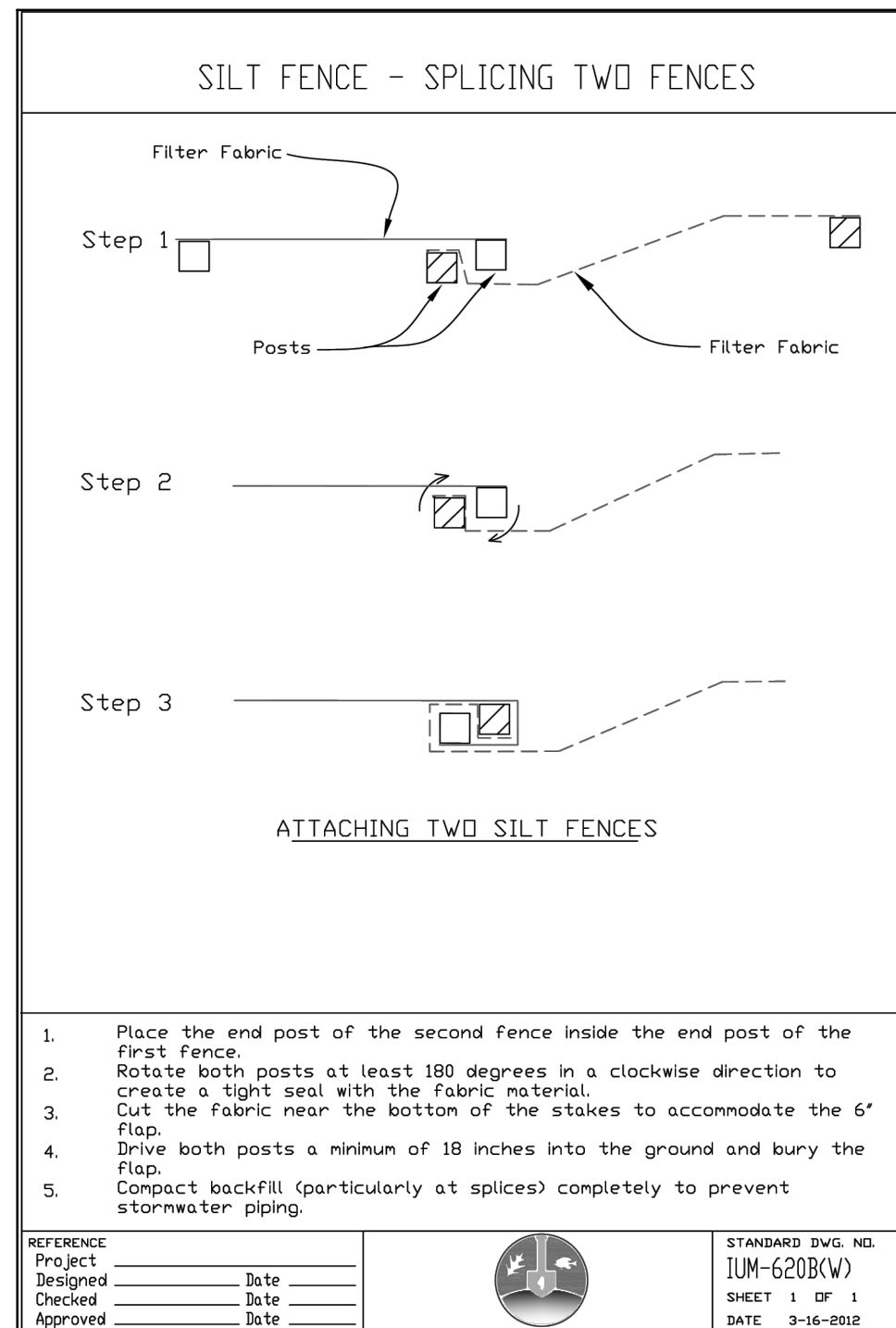
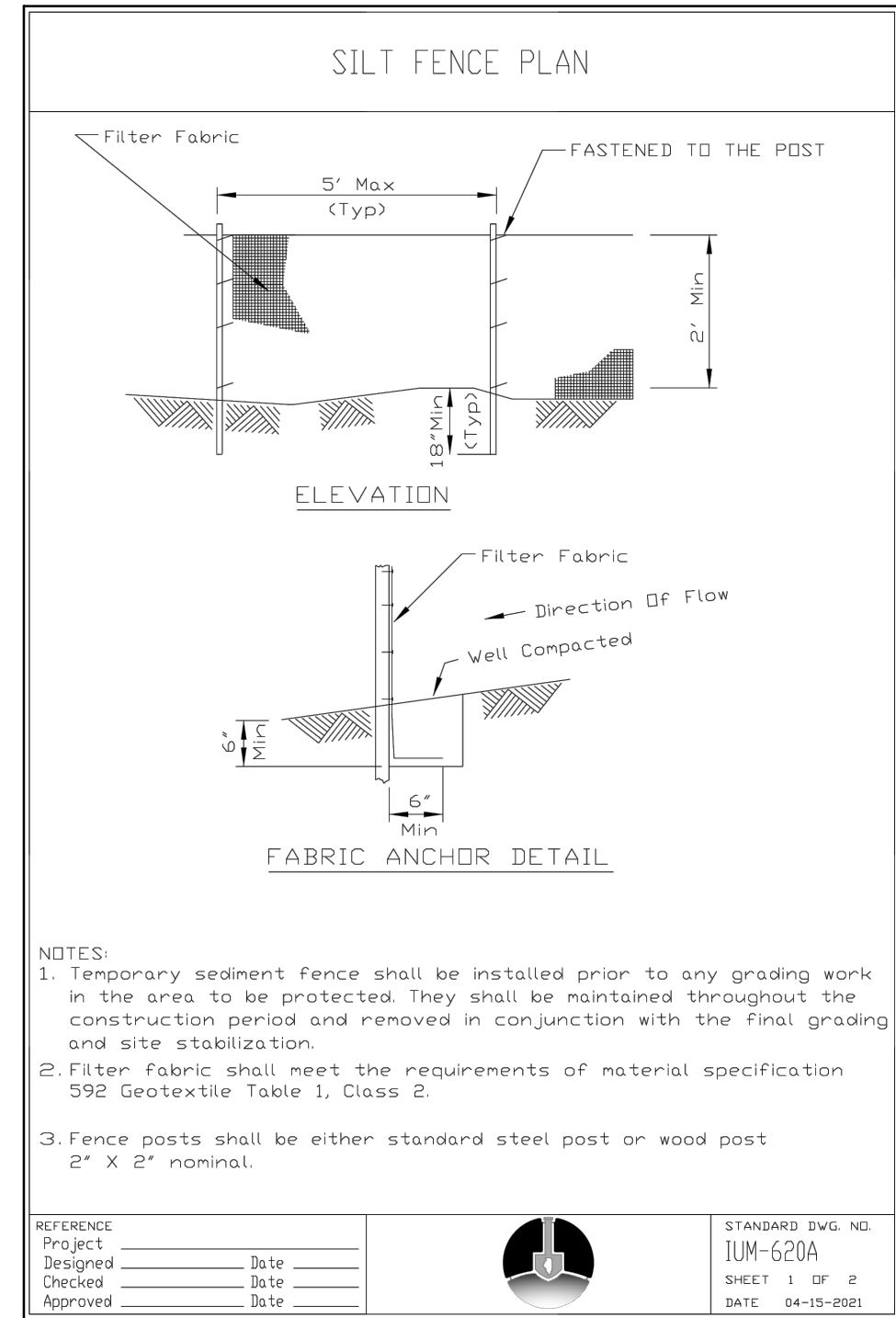
1. ALL PAVEMENTS, UTILITIES, TREES, ETC. WITHIN THE SUBJECT PROPERTY SHALL BE COMPLETELY REMOVED. REMOVAL ITEMS SHOWN OUTSIDE OF THE PROPERTY LIMITS ARE APPROXIMATE AND MAY OR MAY NOT CONSTITUTE ALL WORK NECESSARY TO CONSTRUCT THE PROJECT. REMOVAL OF PUBLIC SIDEWALKS, ROADWAYS, DRIVEWAYS, CURB & GUTTER, PUBLIC UTILITIES, ETC., SHALL BE STAGED BY THE CONTRACTOR WITH CONCURRENCE FROM THE OWNER, ENGINEER, AND THE CITY OF NAPERVILLE STAFF.
2. TRENCHES, WITHIN PROPOSED PAVED OR BUILDING PAD AREAS, RESULTING FROM THE REMOVAL OF EXISTING UTILITIES SHALL BE BACKFILLED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF ART. 550.07 OF THE IDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
3. ALL EXISTING PAVEMENT WITHIN THE CONSTRUCTION LIMITS, INCLUDING BITUMINOUS PAVEMENT, DRIVEWAYS, CONCRETE SLABS, AND SIDEWALKS SHALL BE COMPLETELY REMOVED. AGGREGATE MATERIALS APPROVED AS SUITABLE FILL BY THE SOILS ENGINEER SHALL BE SET ASIDE FOR FUTURE PLACEMENT. DUE TO THE SIZE OF THE PROPERTY AND THE SPATIAL RESTRAINTS OF THE SITE DURING CONSTRUCTION, IT IS ANTICIPATED THAT ALL TOPSOIL AND EXCESS FILL MATERIAL WILL BE HAULED OFF SITE DURING EARTHWORK OPERATIONS.
4. ALL TREES, LANDSCAPE MATERIALS AND BRUSH WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED. TREE STUMPS AND/OR ROOT BALLS SHALL BE COMPLETELY REMOVED. TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO FINALIZING HIS BID FOR TREE REMOVAL.
5. EXISTING UTILITY LOCATIONS ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL INSTALL THE NECESSARY EROSION AND SEDIMENTATION CONTROL DEVICES THAT WILL PROTECT THE EXISTING STORM SEWERS, PUBLIC ROADWAYS, AND ADJACENT PROPERTIES FROM SEDIMENT THAT MAY ARISE FROM THE PROPOSED DEMOLITION AND/OR CONSTRUCTION. DEVICES SHALL INCLUDE SILT FENCE, FILTER BASKETS INSERTED INTO DRAINAGE STRUCTURES, CONSTRUCTION ENTRANCE, PAVEMENT CLEANING, ETC. THE COST OF THIS WORK WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.

THE EXISTING B. BOX SHALL BE REMOVED AND THE EXISTING WATER SERVICE SHALL BE TERMINATED AT THE MAIN USING A STAINLESS STEEL REPAIR CLAMP, MODEL CR1 AS MANUFACTURED BY CASCADE WATERWORKS OR APPROVED EQUAL.

THE PORTION OF THE EXISTING SANITARY SERVICE SCHEDULED TO REMAIN SHALL BE TELEVISED, WITNESSED AND APPROVED FOR RE-USE BY DPU-W&WW. THE EXISTING SERVICE SHALL BE LINED USING CIPP METHODS.
6. ALL DEBRIS FROM DEMOLITION SHALL BE HAULED OFF SITE AND DISPOSED OF BY LEGAL MEANS.
7. ALL WORK SHALL BE DONE IN GENERAL ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS CONTAINED IN THE MUNICIPAL "SOIL EROSION AND SEDIMENTATION CONTROL" ORDINANCE. THE CONTRACTOR SHALL INSTALL THE NECESSARY EROSION AND SEDIMENTATION CONTROL DEVICES THAT WILL PROTECT THE EXISTING STORM SEWERS, PUBLIC ROADWAYS, AND ADJACENT PROPERTIES FROM SEDIMENT THAT MAY ARISE FROM THE PROPOSED DEMOLITION AND/OR CONSTRUCTION. DEVICES SHALL INCLUDE SILT FENCE, FILTER BASKETS INSERTED INTO DRAINAGE STRUCTURES, CONSTRUCTION ENTRANCE, PAVEMENT CLEANING, ETC. THE COST OF THIS WORK WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
8. DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO SEDIMENT BASINS OR SILT TRAPS. CONCRETE TRUCKS SHALL NOT BE PERMITTED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DIRT WASH WATER ON SITE. SPECIFIC AREAS FOR THIS ACTIVITY SHALL BE DESIGNATED BY THE CONTRACTOR AND PROVIDED WITH ADEQUATE SITUATION BASINS AND OTHER FACILITIES TO ASSURE THAT DISCHARGE IS CONTAINED AND CLEANSED BEFORE ENTERING THE RECEIVING STORM SEWER SYSTEM.
9. ALL ADJACENT STREETS SHOULD BE KEPT CLEAR OF MUD/DEBRIS. THE CONTRACTOR SHALL INSPECT THE STREETS DAILY AND CLEAN THEM AS NECESSARY.
10. A TEMPORARY CHAINLINK CONSTRUCTION FENCE AND GATE ARE SHOWN AT THE PROPOSED CONSTRUCTION ENTRANCE. THE FENCE WILL BE REMOVED AND REPLACED AS REQUIRED TO ALLOW FOR UTILITY INSTALLATIONS, ROADWAY WORK, ETC. DURING WORKING HOURS BUT SHALL BE REINSTALLED AT THE END OF EACH DAY TO PROVIDE A SECURE CONSTRUCTION SITE.
11. THE CONTRACTOR SHALL COORDINATE WITH THE VARIOUS UTILITY COMPANIES TO INSURE THAT SERVICE IS PROVIDED TO ADJACENT PROPERTIES DURING CONSTRUCTION. ALL MATERIAL, EXCEPT THAT BELONGING TO A PUBLIC UTILITY COMPANY OR DENOTED FOR SALVAGE, SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
12. THE DURATION OF THE PUBLIC SIDEWALK CLOSURE SHALL BE KEPT TO A MINIMUM. SIDEWALK CLOSURE SHALL BE IN ACCORDANCE WITH THE IDOT STANDARD 701801.
13. THE CONTRACTOR SHALL COORDINATE WITH THE ELECTRIC UTILITY TO PROTECT AND BRACE THE EXISTING POLES DURING CONSTRUCTION. GUY WIRES MAY NEED TO BE RE-INSTALLED DUE TO PROPOSED GRADING. IT IS NOT KNOWN AT THIS TIME WHETHER THE EXISTING METER AND TRANSFORMER (NORTH WEST CORNER OF THE SITE) SERVING THE PROPERTY TO THE NORTH WILL REMAIN.

REFERENCE

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NO.	DATE	DESCRIPTION
1.	11/10/2025	BUILDING LAYOUT AND CITY REVIEW (08/10/2025)
2.	12/16/2025	NO REVISIONS THIS SHEET

1230 East Diehl Road
Suite 200
Naperville, IL 60563
Ph: 630.963.6026
www.ccecinc.com

Civil & Environmental
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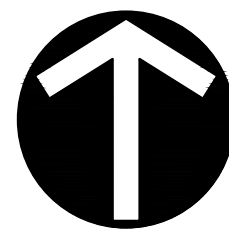
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222 SOUTH MILL STREET
NAPERVILLE, ILLINOIS 60540

ME/AB
JGC
347-491
JGC

DEMOLITION PLAN

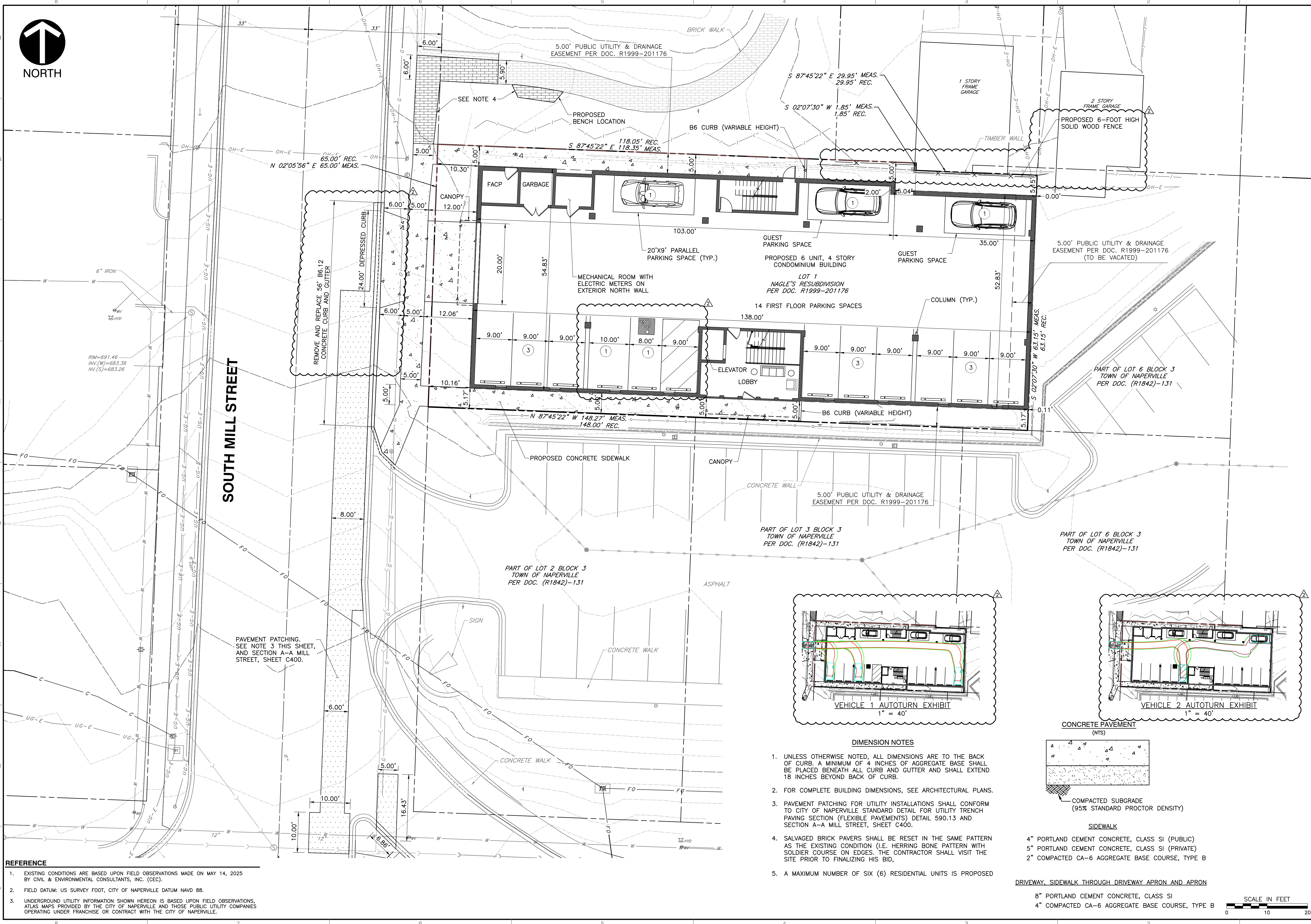
DRAWING NO.:
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SHEET 6 OF 13

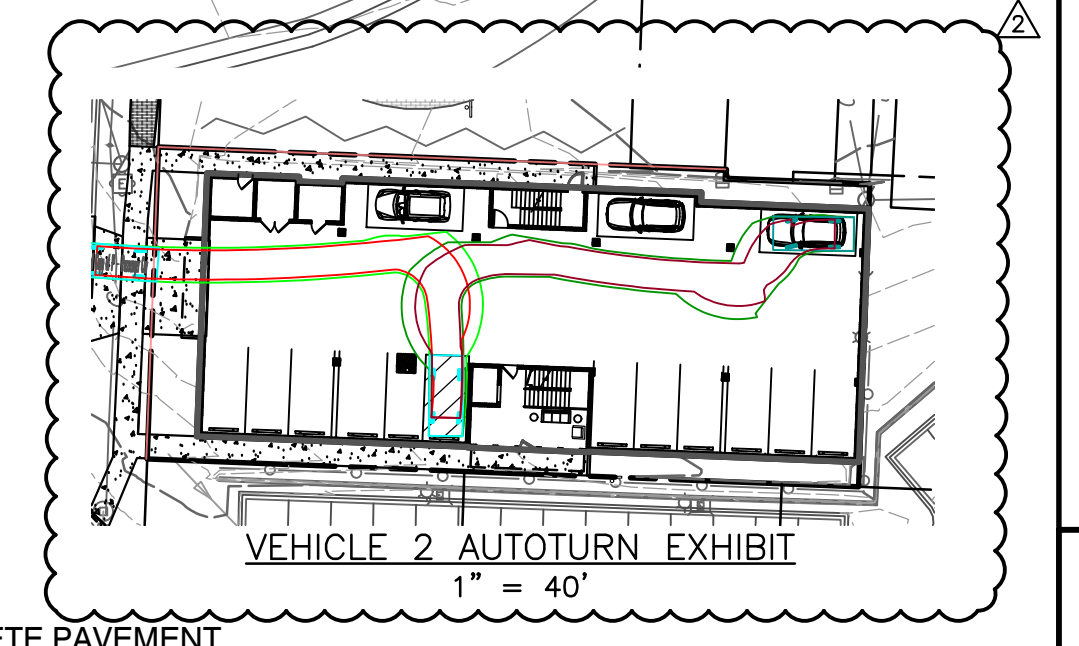
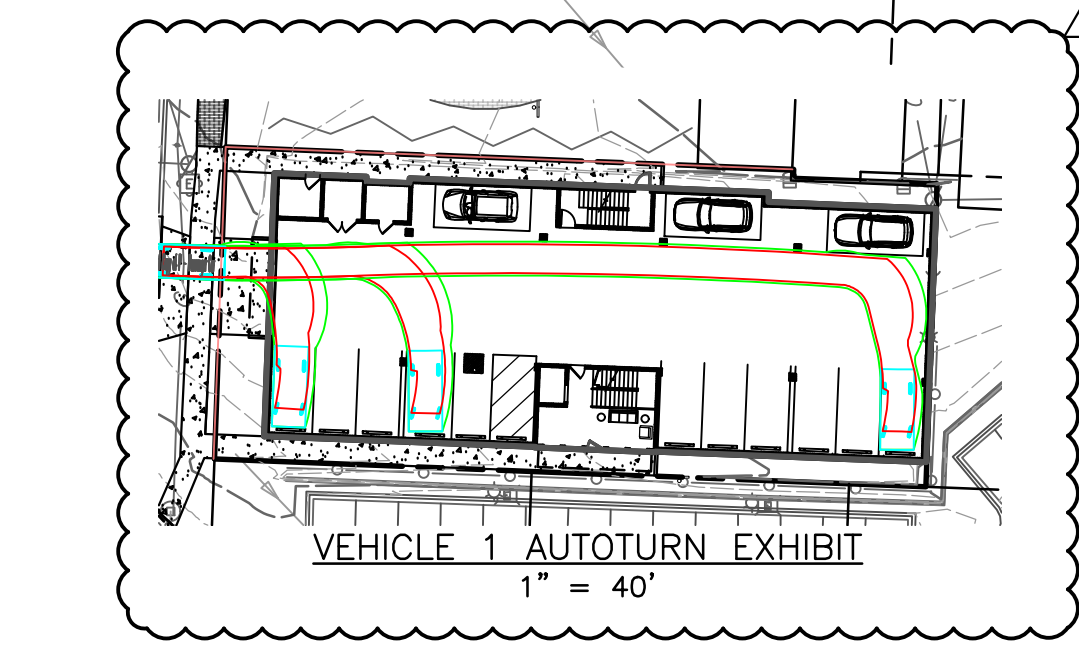


NORTH

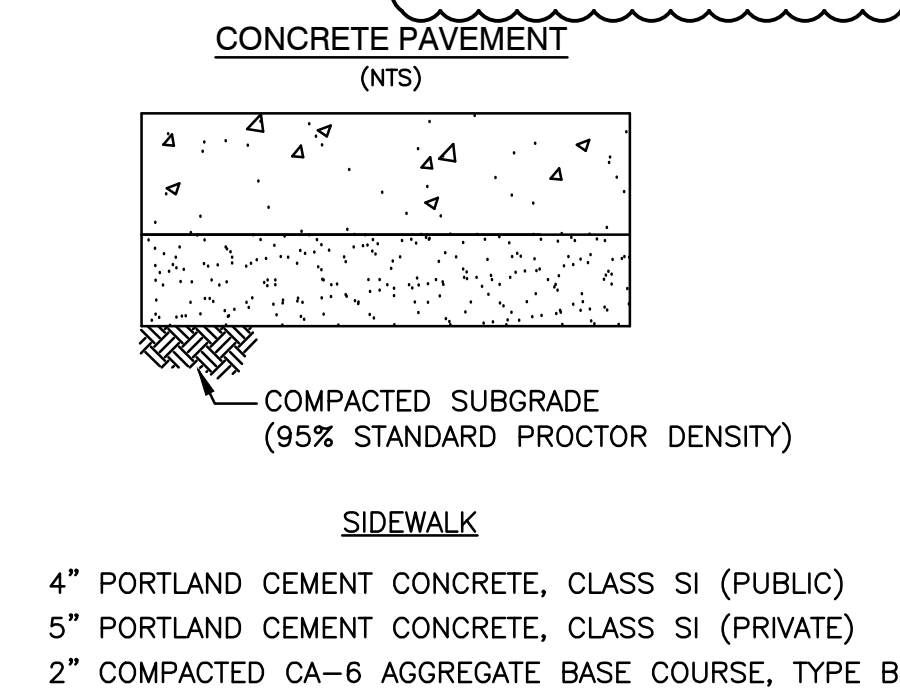
SOUTH MILL STREET



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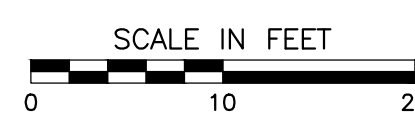


- DIMENSION NOTES**
- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO THE BACK OF CURB. A MINIMUM OF 4 INCHES OF AGGREGATE BASE SHALL BE PLACED BENEATH ALL CURB AND GUTTER AND SHALL EXTEND 18 INCHES BEYOND BACK OF CURB.
 - FOR COMPLETE BUILDING DIMENSIONS, SEE ARCHITECTURAL PLANS.
 - PAVEMENT PATCHING FOR UTILITY INSTALLATIONS SHALL CONFORM TO CITY OF NAPERVILLE STANDARD DETAIL FOR UTILITY TRENCH PAVING SECTION (FLEXIBLE PAVEMENTS) DETAIL 590.13 AND SECTION A-A MILL STREET, SHEET C400.
 - SALVAGED BRICK PAVERS SHALL BE RESET IN THE SAME PATTERN AS THE EXISTING CONDITION (I.E. HERRING BONE PATTERN WITH SOLDIER COURSE ON EDGES). THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO FINALIZING HIS BID.
 - A MAXIMUM NUMBER OF SIX (6) RESIDENTIAL UNITS IS PROPOSED



DRIVEWAY, SIDEWALK THROUGH DRIVEWAY APRON AND APRON

8" PORTLAND CEMENT CONCRETE, CLASS SI
4" COMPACTED CA-6 AGGREGATE BASE COURSE, TYPE B



REVISION RECORD	
NO.	DATE
1	11/19/2025
2	12/16/2025

DIMENSION PLAN	
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DRAWN BY:	JGC
CHECKED BY:	JGC
PROJECT NO.:	347-491
APPROVED BY:	JGC

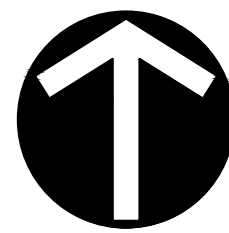
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C200

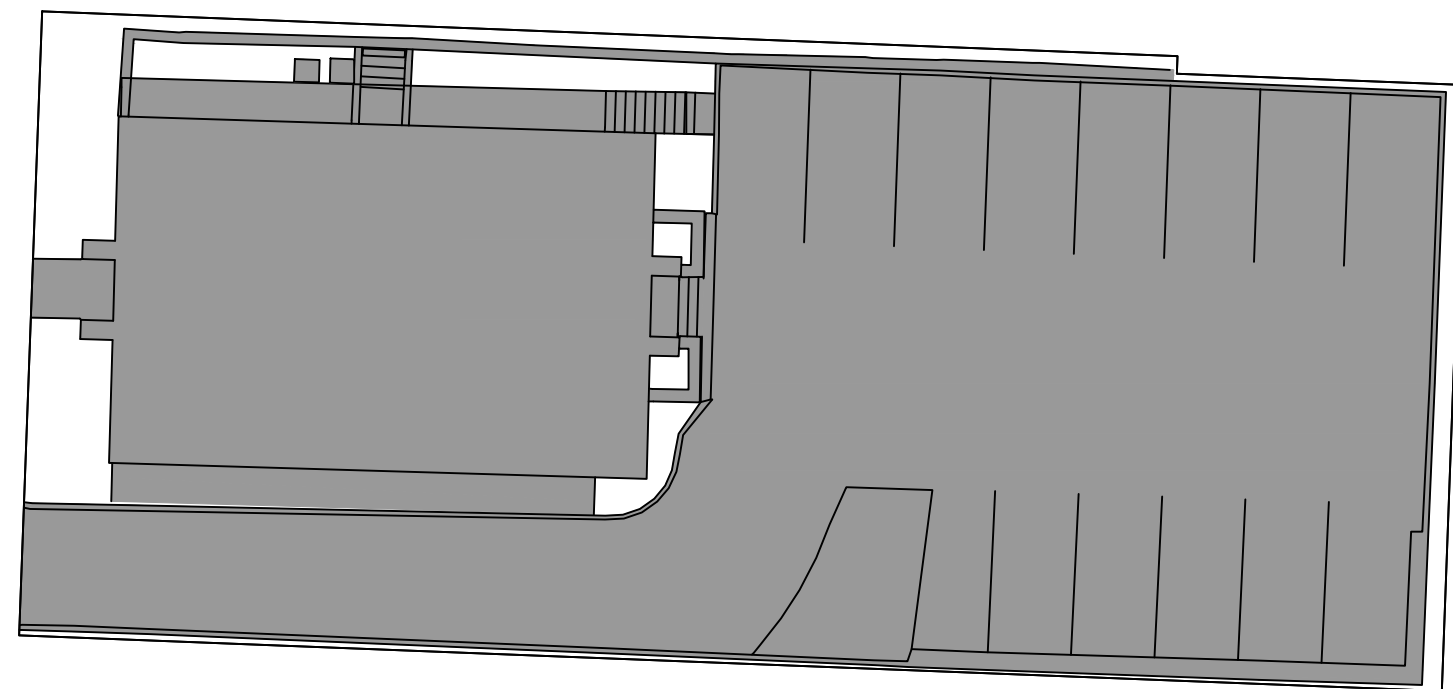
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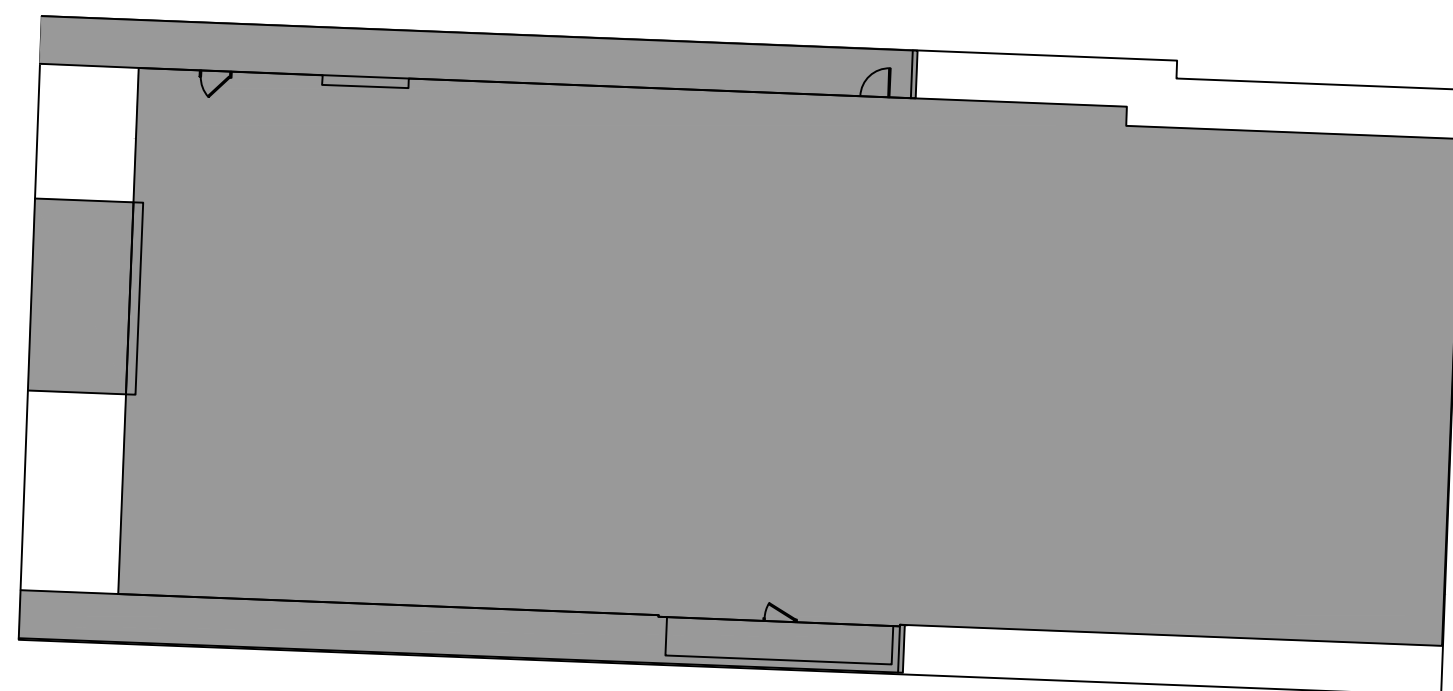
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NORTH



EXISTING IMPERVIOUS/PERVIOUS CONDITIONS
1" = 20'



PROPOSED IMPERVIOUS/PERVIOUS CONDITIONS
1" = 20'

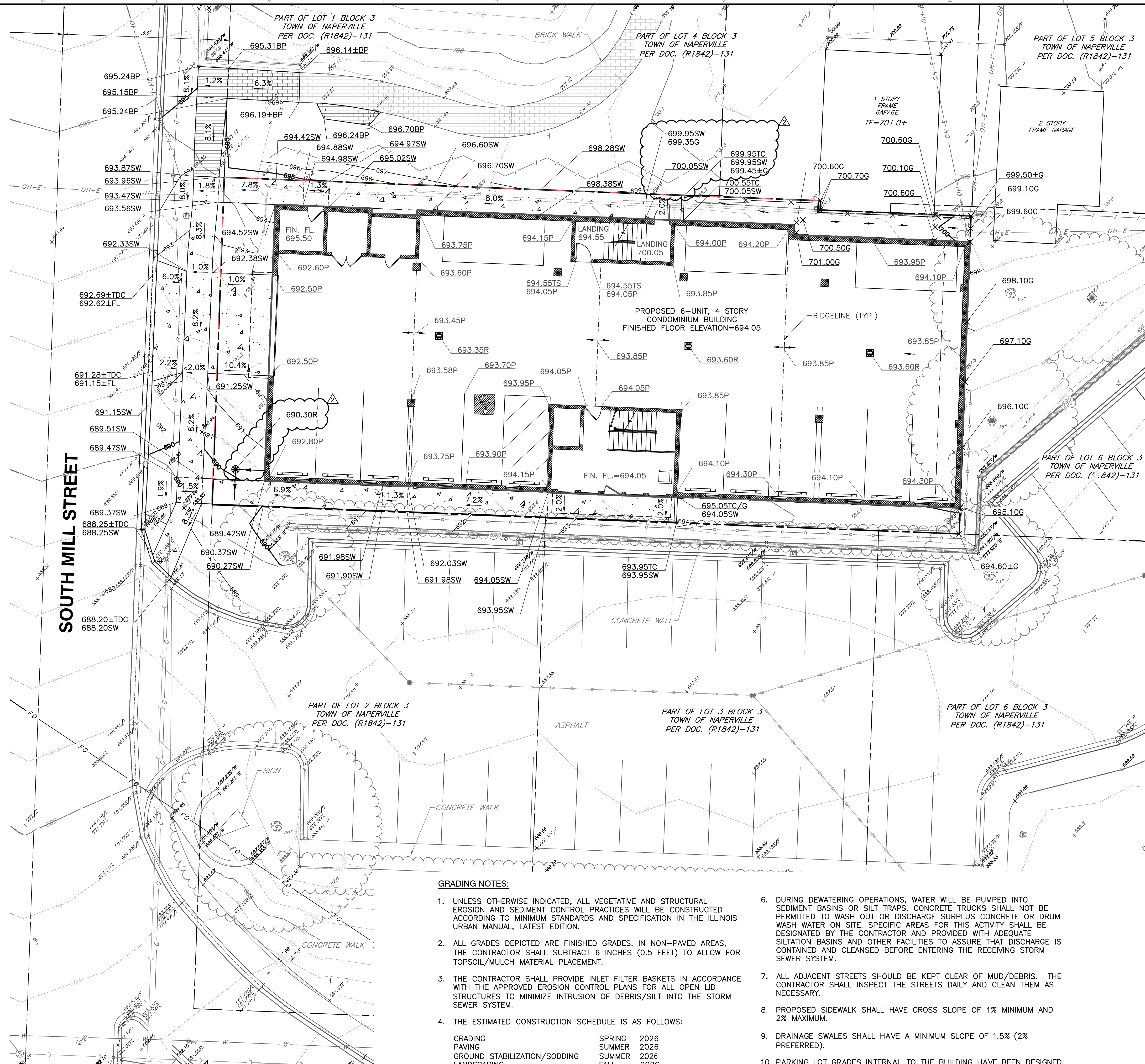
PERVIOUS/IMPERVIOUS CALCULATIONS

	IMPERVIOUS AREA	PERVIOUS AREA	PROJECT AREA
EXISTING	8,536 S.F.	1,047 S.F.	9,583 S.F.
PROPOSED	8,619 S.F.	964 S.F.	9,583 S.F.
NET DIFFERENCE	83 S.F.	-83 S.F.	0 S.F.

THE NET IMPERVIOUS AREA DIFFERENCE IS LESS THAN 2,500 S.F., THEREFOR NO BEST MANAGEMENT PRACTICES ARE REQUIRED.

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GRADING NOTES:

- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATION IN THE ILLINOIS URBAN MANUAL, LATEST EDITION.
- ALL GRADES DEPICTED ARE FINISHED GRADES. IN NON-PAVED AREAS, THE CONTRACTOR SHALL SUBTRACT 6 INCHES (0.5 FEET) TO ALLOW FOR TOPSOIL/MULCH MATERIAL PLACEMENT.
- THE CONTRACTOR SHALL PROVIDE INLET FILTER BASKETS IN ACCORDANCE WITH THE APPROVED EROSION CONTROL PLANS FOR ALL OPEN LID STRUCTURES TO MINIMIZE INTRUSION OF DEBRIS/SILT INTO THE STORM SEWER SYSTEM.
- THE ESTIMATED CONSTRUCTION SCHEDULE IS AS FOLLOWS:

GRADING	SPRING 2026
PAVING	SUMMER 2026
GROUND STABILIZATION/SODDING	SUMMER 2026
LANDSCAPING	FALL 2026
- DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO SEDIMENT BASINS OR SILT TRAPS. CONCRETE TRUCKS SHALL NOT BE PERMITTED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON SITE. SPECIFIC AREAS FOR THIS ACTIVITY SHALL BE DESIGNATED BY THE CONTRACTOR AND PROVIDED WITH ADEQUATE SILTATION BASINS AND OTHER FACILITIES TO ASSURE THAT DISCHARGE IS CONTAINED AND CLEANSED BEFORE ENTERING THE RECEIVING STORM SEWER SYSTEM.
- ALL ADJACENT STREETS SHOULD BE KEPT CLEAR OF MUD/DEBRIS. THE CONTRACTOR SHALL INSPECT THE STREETS DAILY AND CLEAN THEM AS NECESSARY.
- PROPOSED SIDEWALK SHALL HAVE CROSS SLOPE OF 1% MINIMUM AND 2% MAXIMUM.
- DRAINAGE SWALES SHALL HAVE A MINIMUM SLOPE OF 1.5% (2% PREFERRED).
- PARKING LOT GRADES INTERNAL TO THE BUILDING HAVE BEEN DESIGNED SO THAT FINISHED FLOOR ELEVATIONS COULD BE ESTABLISHED. THE FOUNDATION SHALL BE STEPPED OR BRICK LEDGES PROVIDED SO THAT THE TOP OF FOUNDATION ELEVATION IS A MINIMUM SIX (6) INCHES ABOVE THE PROPOSED GRADES AT THE BUILDING'S EXTERIOR PERIMETER.

LANDSCAPE MATERIALS SHALL BE INSTALLED AS SOON AS POSSIBLE TO STABILIZE SITE.

- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE CITY OF NAPERVILLE.

SCALE IN FEET
0 10 20

REVISION RECORD

NO.	DATE	DESCRIPTION
1	11/19/2025	BUILDING LAYOUT AND CITY REVIEW (08/14/2025)
2	12/16/2025	CHANGES PER CITY REVIEW DATED 12/04/2025

1230 East Diehl Road
Suite 200
Naperville, IL 60563
Ph: 630.963.6026
www.cecinc.com



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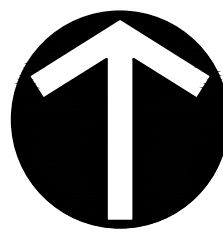
LAKEWEST CUSTOM HOMES, LTD.
222 SOUTH MILL STREET
NAPERVILLE, ILLINOIS 60540

GRADING PLAN

DATE:	JULY 22, 2025	DRAWN BY:	MEG/AB
DWG SCALE:	1" = 10'	CHECKED BY:	JGC
PROJECT NO.:	347-491	APPROVED BY:	JGC

DRAWING NO.:
C300

SHEET 8 OF 13

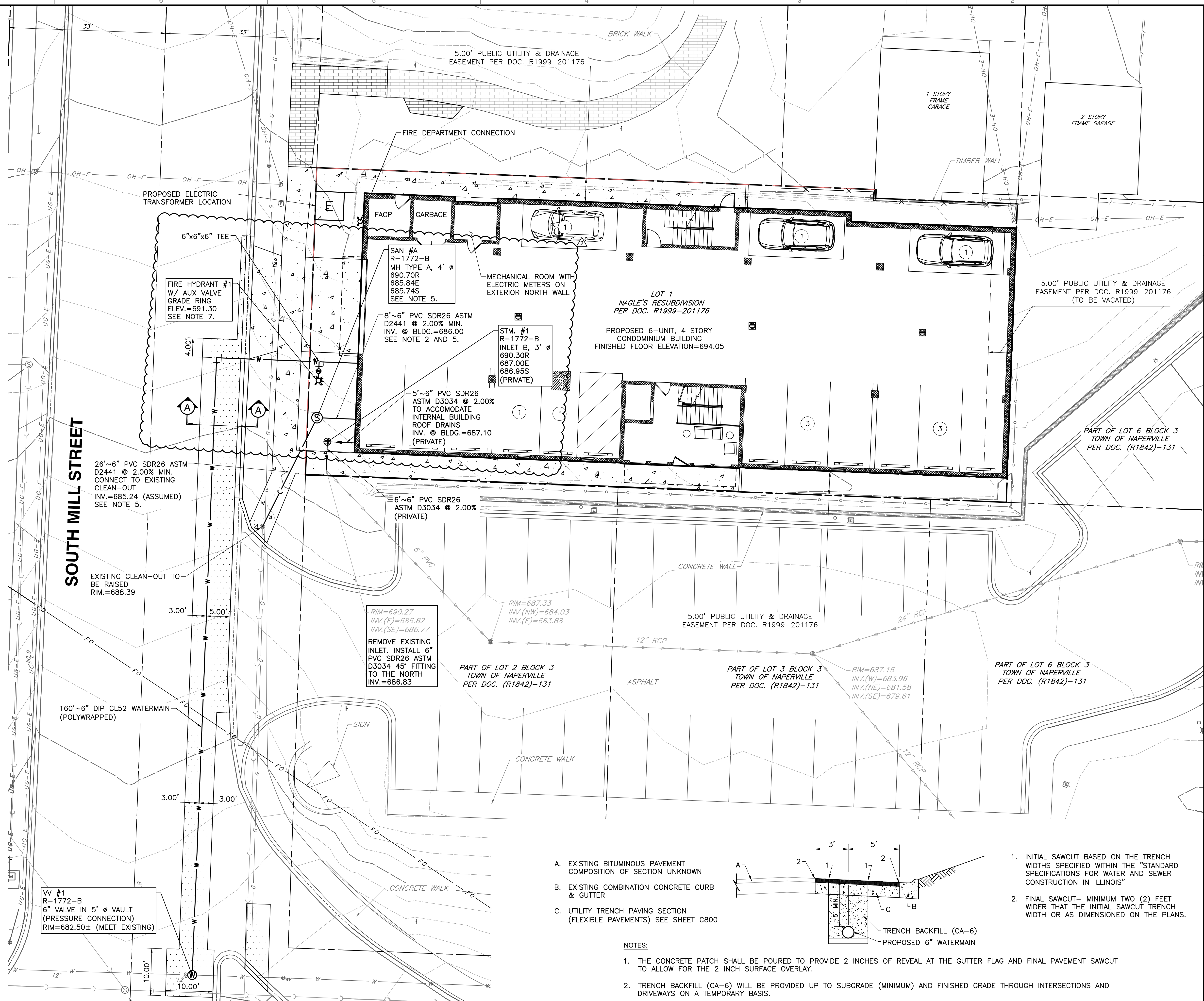


UTILITY NOTES

- ALL PROPOSED UTILITY CROSSINGS WITH EXISTING UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
- THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITY/SERVICE EXTENSIONS 5 FEET OUTSIDE THE BUILDING ENVELOPE. PIPE LENGTH CALL-OUTS HAVE BEEN DENOTED FROM THE FACE OF THE BUILDING.
- THE CONTRACTOR SHALL PROVIDE FILTER BASKETS FOR ALL OPEN LID STRUCTURES WITHIN THE CONSTRUCTION ZONE TO MINIMIZE INTRUSION OF DEBRIS/SILT INTO THE STORM SEWER SYSTEM.
- ALL CASTINGS SHALL BE SHOP PAINTED WITH ASPHALTIC BASE PAINT.
- THE EXISTING SANITARY SEWER SERVICE SOUTH OF THE CLEANOUT IS ASSUMED BASED ON AN ATLAS RECEIVED FROM CITY OF NAPERVILLE DEPARTMENT OF PUBLIC UTILITIES - WATER AND WASTEWATER. EXISTING DEPTH AND DIAMETER ARE NOT KNOWN. THE PROPOSED SANITARY SERVICE SHALL BE 6" PVC SDR 26 ASTM D2441 WITH D3139 JOINTS @ 1.00% MINIMUM. THE CONTRACTOR SHALL VERIFY THE DEPTH AND DIAMETER PRIOR TO ORDERING THE PROPOSED SANITARY MANHOLE. HE/SHE SHALL ALSO TELEVIEW THE REMAINING SERVICE SOUTH OF THE CLEANOUT AND RECEIVE APPROVAL FROM DPU-W&WW PRIOR TO REUSE. IF THE SERVICE IS NOT BEING REUSED, IT SHALL BE TERMINATED AT THE MAIN USING A STAINLESS STEEL REPAIR CLAMP, MODEL CR1 AS MANUFACTURED BY CASCADE WATERWORKS OR APPROVED EQUAL. IF THE SERVICE IS TO REMAIN, IT SHALL BE LINED USING CIPP METHODS.
- ALL DPU-E OWNED PRIMARY/SECONDARY CABLE AND EQUIPMENT (TRANSFORMERS, SWITCHES, ETC.) MUST BE INSTALLED INSIDE OF A PUBLIC UTILITY EASEMENT.
- THE 6" WATER SERVICE ENTERING THE BUILDING WILL SPLIT INTO A 4" FIRE SERVICE AND A 2" DOMESTIC SERVICE WITH 2" METER. VERIFY INTERNAL SIZING WITH THE APPROVED ARCHITECTURAL PLANS. THE CONTRACTOR SHALL INSURE THAT THE FIRE HYDRANT AUXILIARY VALVE IS INSTALLED NORTH OF THE NORTH EDGE OF DRIVEWAY.

REFERENCE

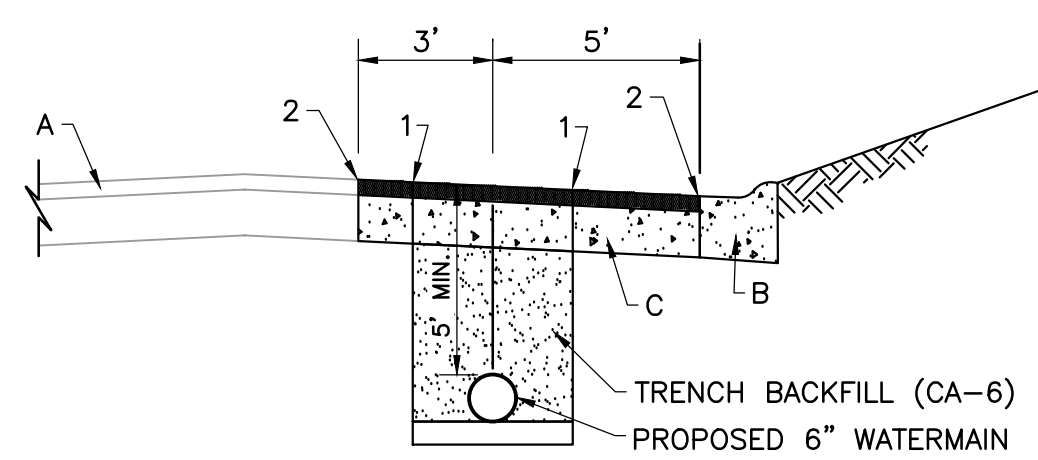
- EXISTING CONDITIONS ARE BASED UPON FIELD OBSERVATIONS MADE ON MAY 14, 2025 BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. (CEC).
- FIELD DATUM: US SURVEY FOOT, CITY OF NAPERVILLE DATUM NAVD 88.
- UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON FIELD OBSERVATIONS, ATLAS MAPS PROVIDED BY THE CITY OF NAPERVILLE AND THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE OR CONTRACT WITH THE CITY OF NAPERVILLE.



- A. EXISTING BITUMINOUS PAVEMENT COMPOSITION OF SECTION UNKNOWN
- B. EXISTING COMBINATION CONCRETE CURB & GUTTER
- C. UTILITY TRENCH PAVING SECTION (FLEXIBLE PAVEMENTS) SEE SHEET C800

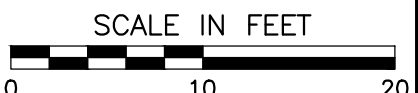
NOTES:

- THE CONCRETE PATCH SHALL BE POURED TO PROVIDE 2 INCHES OF REVEAL AT THE GUTTER FLAG AND FINAL PAVEMENT SAWCUT TO ALLOW FOR THE 2 INCH SURFACE OVERLAY.
- TRENCH BACKFILL (CA-6) WILL BE PROVIDED UP TO SUBGRADE (MINIMUM) AND FINISHED GRADE THROUGH INTERSECTIONS AND DRIVEWAYS ON A TEMPORARY BASIS.



- INITIAL SAWCUT BASED ON THE TRENCH WIDTHS SPECIFIED WITHIN THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS"
- FINAL SAWCUT- MINIMUM TWO (2) FEET WIDER THAN THE INITIAL SAWCUT TRENCH WIDTH OR AS DIMENSIONED ON THE PLANS.

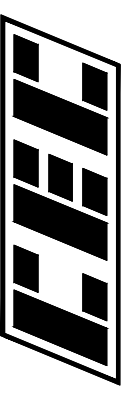
SECTION A-A - SOUTH MILL STREET
(N.T.S.)



REVISION RECORD

NO.	DATE	DESCRIPTION
1	11/19/2025	BUILDING LAYOUT AND CITY REVIEW (09/14/2025)
2	12/16/2025	CHANGES PER CITY REVIEW DATED 12/09/2025

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LAKEWEST CUSTOM HOMES, LTD.
222 SOUTH MILL STREET
NAPERVILLE, ILLINOIS 60540

UTILITY PLAN - 1

DATE:	JULY 22, 2025	DRAWN BY:	MEG/AB
DWG SCALE:	1" = 10'	CHECKED BY:	JGC
PROJECT NO:	347-491	APPROVED BY:	JGC

DRAWING NO.:
C400

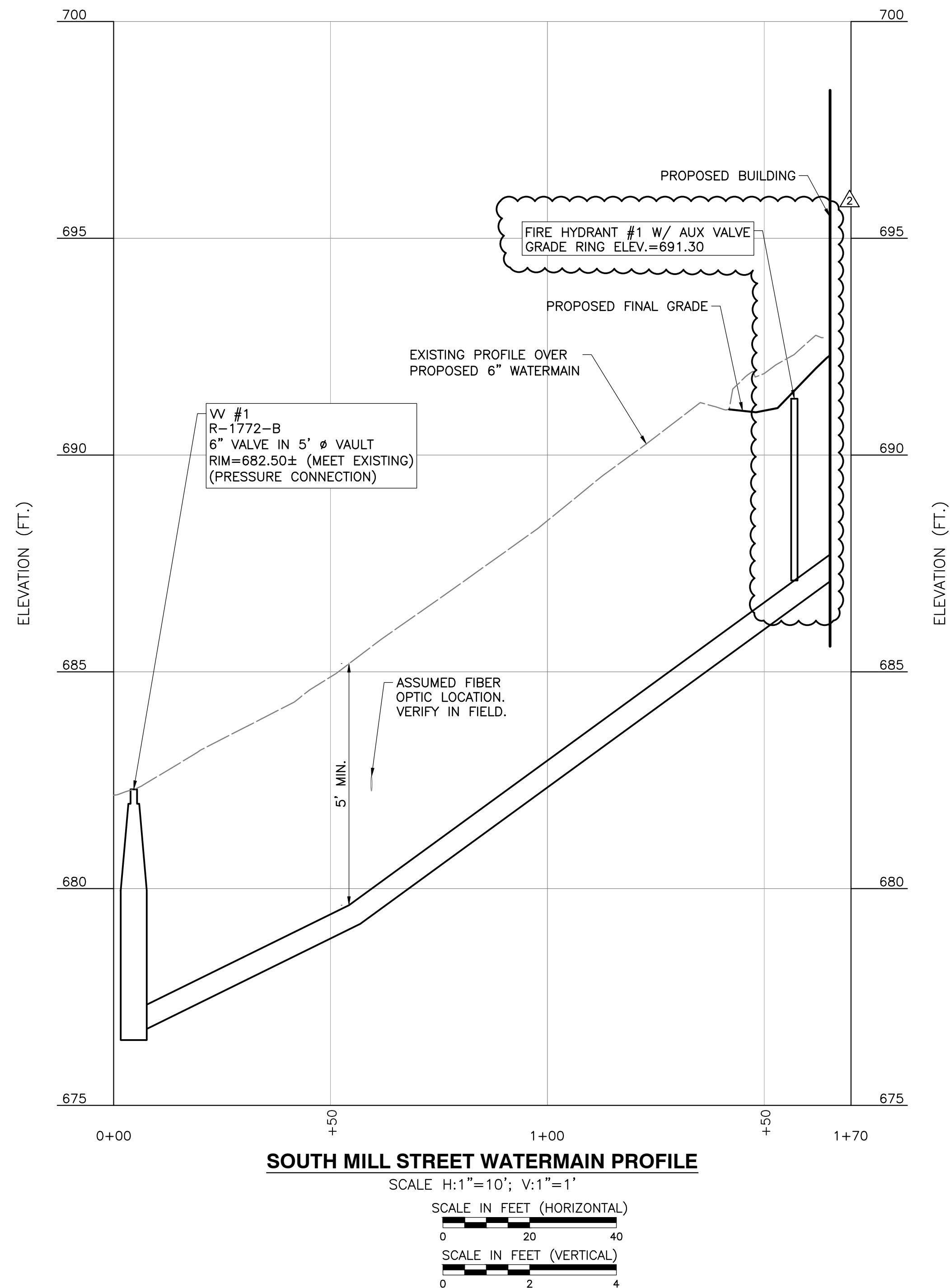
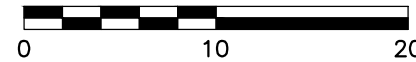


SOUTH MILL STREET

160'~6" DIP CL52 WATERMAIN
(POLYWRAPPED)

WV #1
R-1772-B
6" VALVE IN 5' Ø VAULT
(PRESSURE CONNECTION)
RIM=682.50± (MEET EXISTING)

SCALE IN FEET



SOUTH MILL STREET WATERMAIN PROFILE

SCALE H:1"=10'; V:1"=1'

SCALE IN FEET (HORIZONTAL)

SCALE IN FEET (VERTICAL)

SCALE IN FEET (VERTICAL)

0 2 4

REFERENCE

1. EXISTING CONDITIONS ARE BASED UPON FIELD OBSERVATIONS MADE ON MAY 14, 2025 BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. (CEC).
2. FIELD DATUM: US SURVEY FOOT, CITY OF NAPERVILLE DATUM NAVD 88.
3. UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON FIELD OBSERVATIONS, ATLAS MAPS PROVIDED BY THE CITY OF NAPERVILLE AND THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE OR CONTRACT WITH THE CITY OF NAPERVILLE.

REVISION RECORD			DESCRIPTION
NO	DATE		BUILDING LAYOUT AND CITY REVIEW (09/12/2025)
1	11/19/2025		
	12/18/2025		CHANGES PER CITY REVIEW DATED 12/08/2025

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222 SOUTH MILL STREET
NAPERVILLE, ILLINOIS 60540**

UTILITY PLAN - 2

DRAWING NO.:

C401

SHEET 10 OF 13

