

GENERAL NOTES:

EXCAVATION:

- 1. CONTRACTOR TO EXCAVATE TO DEPTHS AS SHOWN ON DRAWINGS.
2. CONTRACTOR TO REMOVE ALL FILL FROM JOB SITE UPON COMPLETION OF FINAL GRADING.
3. CONTRACTOR TO EXCAVATE TO A MINIMUM OF 3'-6" BELOW FINAL GRADE.
4. ALL EXCAVATION TO BE DONE IN ACCORDANCE WITH CIVIL ENGINEERING DRAWINGS. CONTRACTOR TO REPORT ALL DEVIATIONS FROM DOCUMENTS TO OWNER BEFORE BEGINNING ANY FURTHER WORK.
5. ALL WORK TO BE DONE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.
6. ALL SOIL BEARING TO BE 3000 P.S.F. IF POOR SOIL CONDITIONS ARE DISCOVERED, CONTRACTOR IS TO NOTIFY GENERAL CONTRACTOR PRIOR TO ANY ADDITIONAL WORK.
7. BACKFILL WITH COMPACTED CRUSHED STONE AT ALL STAIRS, UNDER ALL DRIVEWAYS AND WALKS, AND AT GARAGE FLOOR SLAB.
8. DO NOT BACKFILL FOUNDATION WALLS UNTIL CONCRETE HAS FULLY CURED. PROVIDE BRACING AS REQUIRED TO FOUNDATION WALLS DURING BACKFILL.

CONCRETE AND DRAIN TILE:

- 1. ALL CONCRETE TO BE MIXED AND PLACED IN ACCORDANCE WITH A.C.I. STANDARDS.
2. CONTRACTOR TO NOTIFY LOCAL BUILDING DEPARTMENT PRIOR TO ANY CONCRETE INSTALLATION AT A TIME PRIOR TO CONCRETE INSTALLATION AS REQUIRED BY THAT AUTHORITY.
3. ALL REINFORCING BARS TO BE A.S.T.M. GRADE 40 WITH ALL SPLICES AT 2'-0".
4. PROTECT CONCRETE AND SOIL FROM FREEZING. DO NOT USE ANY ADHESIVES WITHOUT CONSENT OF THE GENERAL CONTRACTOR.
5. ALL FOOTINGS TO BE INSTALLED ON VIRGIN SOIL. REMOVE ALL LOOSE SOIL PRIOR TO INSTALLATION.
6. NOT USED
7. NOT USED
8. ALL CONCRETE TO BE A MINIMUM OF 3000 P.S.I.
9. WORK SHALL BE POURED CONTINUOUSLY WHENEVER POSSIBLE.
10. NO CONCRETE IS TO BE POURED INTO STANDING WATER OR FROZEN GROUND.
11. INTERIOR FLAT-WORK TO RECEIVE SMOOTH TROWEL FINISH.
12. PROVIDE CONTROL JOINTS RADIATING OUT FROM ALL INTERIOR STEEL COLUMNS AND AS REQUIRED IN ALL LARGE POUR BASEMENT, GARAGE AND DRIVEWAY SLABS.

DOOR AND WINDOW:

- 1. ALL WINDOWS TO BE DOUBLE-GLAZED CLAD.
2. ALL EXTERIOR WINDOWS AND DOORS TO BE FULLY WEATHER-STRIPPED AND INSULATED.
3. PROVIDE DEAD BOLTS AT ALL EXTERIOR DOORS. (KEYED ALIKE)
4. INSTALL WINDOWS AND DOORS PER MANUFACTURER'S REQUIREMENTS. ALL DAMAGED WINDOWS TO BE REPAIRED PRIOR TO TURN-OVER TO OWNER.
5. PROVIDE SAFETY GLAZING FOR WINDOWS WITHIN 2'-0" OF A DOOR.

FLASHING:

- 1. INSTALL FLASHING AND SHEET METAL IN COMPLIANCE WITH THE PROVISIONS CONTAINED IN ARCHITECTURAL SHEET METAL MANUAL BY S.M.A.C.N.A.
2. ALL EXPOSED FLASHING SHALL BE COLORED ALUMINUM
3. PROVIDE AND INSTALL FLASHINGS AT ALL ROOF-TO-WALL CONDITIONS, PROJECTIONS OF WOOD BEAMS, EXTERIOR OPENINGS OF ALL TYPES, AND WHERE REQUIRED TO PROVIDE WATERTIGHT CONSTRUCTION, WEATHERPROOF PERFORMANCE, INCLUDING BUT NOT LIMITED TO THOSE FLASHINGS GRAPHICALLY INDICATED ON THESE PLANS.

CARPENTRY:

- 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
2. ALL WALLS AND BEARING PARTITIONS SHALL HAVE DOUBLE TOP PLATES.
3. ALL EXTERIOR HEADERS TO BE (2) 2" x 12" MINIMUM WITH 1/2" PLYWOOD SPACERS. PROVIDE DOUBLE CRIPPLE UNDER ALL OPENINGS LARGER THAN 6'-0".
4. PROVIDE BLOCKING FOR BATHROOM ACCESSORIES, CLOSET RODS, STAIR RAILS, CABINETS, SINKS, ETC..
5. PROVIDE DOUBLE FLOOR JOISTS UNDER ALL PARALLEL PARTITIONS AND AROUND STAIR OPENINGS, CHIMNEYS, SKYLIGHTS AND ANY OTHER OPENINGS IN FLOOR DECK.
6. PROVIDE TREATED WOOD SILL PLATES ON TOP OF FOUNDATIONS. INSTALL PORTLAND NON-SHRINK GROUT AT ALL VOIDS AND LET CURE PRIOR TO CONSTRUCTION.
7. ALL PLYWOOD SUBFLOORING TO BE 3/4" THICK TONGUE AND GROOVE FIR PLYWOOD GLUED AND NAILED. REPLACE ALL PLYWOOD DAMAGED BY WEATHER.
8. ALL PLYWOOD ROOF SHEATHING TO BE NAILED AS SPECIFIED BY THE AMERICAN PLYWOOD ASSOCIATION. REPLACE ALL DELAMINATED PLYWOOD PRIOR TO ROOFING.
9. PROVIDE "TYVEK" OR EQUAL INFILTRATION BARRIER LAPPED AND TAPED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
10. CARPENTRY CONTRACTOR TO FURNISH ALL HANGERS, FASTENERS AND NAILS AS REQUIRED. ALL EXTERIOR NAILS AND TRIM TO BE GALVANIZED.
11. CARPENTRY CONTRACTOR TO CLEAN AND SCRAP ALL DEBRIS ON A DAILY BASIS AND PLACE IN DUMPSTER.
12. NOT USED
13. NOT USED
14. ALL DOOR AND WINDOW HEADERS TO BE MINIMUM (2) 2" x 12" WITH 1/2" PLYWOOD SPACERS AND SPIKED.
15. ALL HANGERS TO BE HEAVY DUTY "TECO" OR EQUAL.
16. NO STUDS OR JOISTS TO BE NOTCHED - DRILLED ONLY.
17. LUMBER TAKE OFF IS THE RESPONSIBILITY OF GENERAL CONTRACTOR AND SHOULD BE COORDINATED WITH THE CARPENTER CONTRACTOR PRIOR TO SUBMITTING BIDS.

- 18. THE ROOF STRUCTURE DESIGN IS BASED ON CROSS SECTIONS AND NOTES SHOWN ON DRAWINGS. WHERE COLLAR TIES ARE SHOWN, THERE LOCATION SHOULD BE MIN. OF 1/3 THE DISTANCE BETWEEN THE ROOF PEAK AND CEILING JOISTS.
19. AT ALL HIP ROOFS THE COLLAR TIES SHOULD BE TURNED PERPENDICULAR TO HIP RAFTERS AND 2 x 4 STIFF BACKS SHOULD BE ADDED.
20. AT ALL TRAY CEILINGS OR RAISED CEILINGS 2 x 4 KICKERS SHOULD BE ADDED AT 4' O.C. BETWEEN LOWER CEILING JOISTS AND UPPER CEILING JOISTS.
21. ALL EXTERIOR CORNERS AT 45 DEGREES TO BE NAILED.
22. ALL HIP AND VALLEY RAFTERS SHOULD BE CONTINUOUS MEMBERS
23. ALL 45 DEGREE INTERIOR AND EXTERIOR CORNERS SHOULD HAVE CONTINUOUS WRAPPED WOOD BLOCKING FOR DRYWALL CORNER BEAD NAILER.
24. ALL EXPOSED HIPS AND VALLEYS TO HAVE RIPPED 2 x CORNER FOR DRYWALL NAIL.
25. PROVIDE 2 x 4 STIFF BACKS AT 8'-0" O.C. AT ALL CEILING JOISTS.
26. OSB SHEATHING IS NOT ALLOWED FOR FLOOR AND ROOF CONSTRUCTION.

INSULATION:

- 1. ALL EXTERIOR STUD WALLS AND HOUSE/GARAGE WALLS SHALL BE INSULATED INSULATION OF THICKNESS AND/OR R-VALUE AS SHOWN ON THE WALL SECTIONS OR NOTED ON FLOOR PLANS:
2. ALL RIM JOIST AND BOX JOIST SPACES BETWEEN TOP OF FOUNDATION WALL AND ROOF LINE SHALL BE INSULATED WITH SAME MATERIALS USED FOR EXTERIOR WALLS.
3. ALL GAPS AND SPACES AROUND EXTERIOR DOOR AND WINDOW FRAMES AND ALL HOLES PENETRATING INTO UNHEATED SPACES SHALL RECEIVE TIGHTLY PACKED LOOSE FIBERGLASS INSULATION OR SPRAY FOAM.
4. PROVIDE 2" THICK RIGID INSULATION FOR ALL ATTIC ACCESS PANELS IN INSULATED WALLS AND CEILINGS.
5. PROVIDE INSTALLER'S CERTIFICATE SETTING FORTH THE TYPE AND R-VALUE OF ALL BLOW-IN INSULATION.
6. PROVIDE 1-1/2" THICK MINIMUM AIR SPACE IN ROOF RAFTERS. USE VENT CHUTES AS REQUIRED TO MAINTAIN AIR SPACE.
7. PROVIDE VAPOR BARRIER ON WARM SIDE OF ALL CEILING INSULATION.

DRYWALL:

- 1. PROVIDE 1/2" DRYWALL, U.N.O.
2. ALL DRYWALL TO BE GLUED AND SCREWED. PROVIDE THREE (3) SANDED TAPE COATS.
3. BATHROOM SHOWER AREAS TO RECEIVE "DUROCK" OR EQUAL. BATHROOM TUB AREAS (WITHOUT SHOWER) TO RECEIVE GREEN BOARD. LAVATORY AREAS TO RECEIVE GREEN BOARD 2'-0" ABOVE COUNTER HEIGHT. REMAINING BATHROOM AREAS TO RECEIVE STANDARD DRYWALL.
4. PROVIDE A MINIMUM OF 100 SQUARE FEET OF 5/8" TYPE "X" DRYWALL ABOVE ALL FURNACES AND WATER HEATERS.
5. PROVIDE METAL CORNER BEADS AT ALL CORNERS, INCLUDING ALL ANGLED CORNERS. PROVIDE GLUED AND SANDED PLASTIC CORNER BEADS AT ALL INTERIOR ANGLED CORNERS IN CEILING WHERE A TAPED JOINT WOULD NOT BE IN-LINE AND TRUE.
6. FIRE STOP AT THE UNDERSIDE OF ALL STAIRS.
7. ALL ENCLOSED ACCESSIBLE SPACES UNDER STAIRS MUST HAVE WALLS AND SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 5/8" TYPE "X" DRYWALL.
8. ALL ATTIC FURNACE ROOMS SHALL BE ENCLOSED WITH 5/8" TYPE "X" DRYWALL.

H.V.A.C.:

- 1. ALL FURNACES TO BE 90% EFFICIENCY, U.N.O.
2. CONTRACTOR TO COORDINATE LOCATIONS OF ALL SUPPLY AND RETURN REGISTERS WITH OWNER PRIOR TO INSTALLATION.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES AND AS PER A.S.H.R.A.E. STANDARDS.
4. ALL DUCTWORK IN UNHEATED AREAS TO BE INSULATED.
5. PROVIDE DAMPERS AS REQUIRED TO BALANCE SYSTEM UPON COMPLETION OF INSTALLATION AND TO ZONE AREAS OF RESIDENCE.
6. H.V.A.C. CONTRACTOR TO BALANCE SYSTEM UPON COMPLETION OF WORK.
7. H.V.A.C. CONTRACTOR TO PROVIDE COMBUSTION AIR FOR ALL HOUSE MECHANICAL / EQUIPMENT ROOMS.
8. CONTRACTOR TO PROVIDE HUMIDIFIER AND ELECTRIC AIR CLEANER AT ALL FURNACES.
9. ALL HOT AND COLD AIR RETURNS/SUPPLIES MUST BE IN SHEET METAL.

PLUMBING:

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE ILLINOIS PLUMBING CODE (LATEST ADDITION) AS AMENDED BY LOCAL MUNICIPALITIES AND ALL OTHER GOVERNING CODES, ORDINANCES AND PRACTICES.
2. PROVIDE 24" AIR CHAMBERS AT ALL RISERS AND 12" AIR CHAMBERS AT ALL FIXTURES.
3. PROVIDE SHUT-OFFS AT ALL FIXTURES.
4. PROVIDE CLEANOUTS WHERE WASTE LINE LEAVES BUILDING AND AT LOCATIONS OF CHANGE IN DIRECTION.
5. ALL VENT STACKS THROUGH ROOF ARE TO BE FLASHED WITH LEAD.
6. PLUMBING CONTRACTOR TO PROVIDE GAS PIPING TO ALL APPLIANCES, FIREPLACES, ETC.
7. PROVIDE SOLID CONNECTIONS TO ALL SHOWER BASES.
8. PROVIDE COLD WATER SUPPLY LINE WITH SHUT-OFF VALVE TO ALL REFRIGERATORS.
9. NOT USED.
10. GROUT SOLID ALL SHOWER BASES.
11. ALL WATER LINES TO BE RUN IN COPPER - NO PVC
12. PROVIDE OVERHEAD PLUMBING.

ELECTRICAL:

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES AND ALL REQUIREMENTS OF COMMONWEALTH EDISON COMPANY.
2. PROVIDE 3/4" THICK PLYWOOD BEHIND ALL ELECTRICAL PANELS.
3. ALL INTERIOR RECEPTACLES SHALL BE THREE-PRONG GROUNDED TYPE.
4. ELECTRICAL CONTRACTOR TO VERIFY 200 AMP ELECTRIC SERVICE WITH A 40 SLOT PANEL WITH MAIN DISCONNECT EXISTS
5. ALL OUTLETS TO BE INSTALLED AT 12" A.F.F. EXCEPT AT COUNTERTOPS.
6. NOT USED
7. NOT USED
8. ALL CLOSET LIGHTS TO BE FLUORESCENT TYPE U.L. RATED.
9. SMOKE DETECTORS TO BE 110 VOLT/BATTERY BACKUP WIRED IN SERIES. (ONE EA LEVEL AND IN EA BEDROOM)
10. ALL ELECTRIC TO BE RUN IN CONDUIT.
11. ELECTRICIAN TO PROVIDE JUMPER CABLE AROUND WATER METER AND BETWEEN HOT AND COLD WATER PIPES SERVING WATER HEATER.
12. ALL OUTLETS IN BATHROOMS SHALL BE GFI PROTECTED PER SEC. NEC.
13. NOT USED
14. ALL CLOSETS WITH LIGHTS, EXCEPT WALK-IN CLOSETS, SHALL HAVE RECESSED LIGHTS OR FLUORESCENT LIGHTS PER NEC.
15. ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE, 15- AND 20-AMPERE RECEPTACLE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER PER SEC. 210-12.B, NEC.

DESIGN LOADS:

- FLOOR JOISTS: 40 LB. LIVE LOAD + 10 LB. DEAD LOAD
-- CEILING JOISTS: 20 LB. LIVE LOAD + 10 LB. DEAD LOAD
-- ROOF RAFTERS: 30 LB. LIVE LOAD + 10 LB. DEAD LOAD

LUMBER SPECIFICATIONS

Table with columns: SIZE, LENGTHS, SPECIES, GRADE, FB, E. Lists lumber specifications for various sizes and species like Canadian SPF and American Doug Fir.

GENERAL NOTES:

- 1. GENERAL CONTRACTOR IS TO NOTIFY ARCHITECT IN WRITING OF ANY CHANGES AND DISCREPANCIES IN THE ARCHITECTURAL DRAWINGS PRIOR TO BIDDING AND COMMENCEMENT OF WORK.
2. GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ADDITIONAL INFORMATION THAT THE CONTRACTOR FEELS IS REQUIRED TO SUBMIT A COMPLETE AND ACCURATE BID.
3. GENERAL CONTRACTOR IS TO BID PROJECT AS A COMPLETE PROJECT IF ADDITIONAL INFORMATION IS NEEDED FOR BIDDING PROCESS THE CONTRACTOR IS TO NOTIFY ARCHITECT PRIOR TO SUBMITTING BIDS.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES NOTED ON TITLE SHEET (REGARDLESS OF ANY NOTES TO THE CONTRARY)
5. DO NOT SCALE DRAWINGS.
6. VILLAGE APPROVED PLANS SHALL BE ON SITE FOR ALL INSPECTIONS.

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA:

Table with columns: GROUND SNOW LOAD, WIND SPEED (MPH), SEISMIC WEATHERING DESIGN CATEGORY, FROST LINE DEPTH, TERMITES. Values include 30, 90/3 SECOND WIND, B, SEVERE, 42", MODERATE.

Table with columns: WINTER DESIGN TEMP, ICE BARRIER UNDERLAYMENT REQUIRED, FLOOD HAZARDS, AIR FREEZING INDEX, MEAN ANNUAL TEMP. Values include -10° F, YES, REFER TO LOCAL, 1635, 48.7° F.

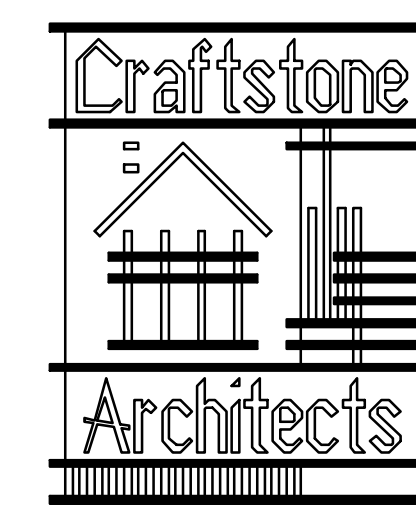
CITY OF NAPERVILLE RECOGNIZES CLAY (CL) SOILS WITH A BEARING CAPACITY OF 1,500 P.S.F. AS A DEFAULT FOR DESIGN CRITERIA.

COMPRESSIVE STRENGTH OF CONCRETE @28 DAYS:

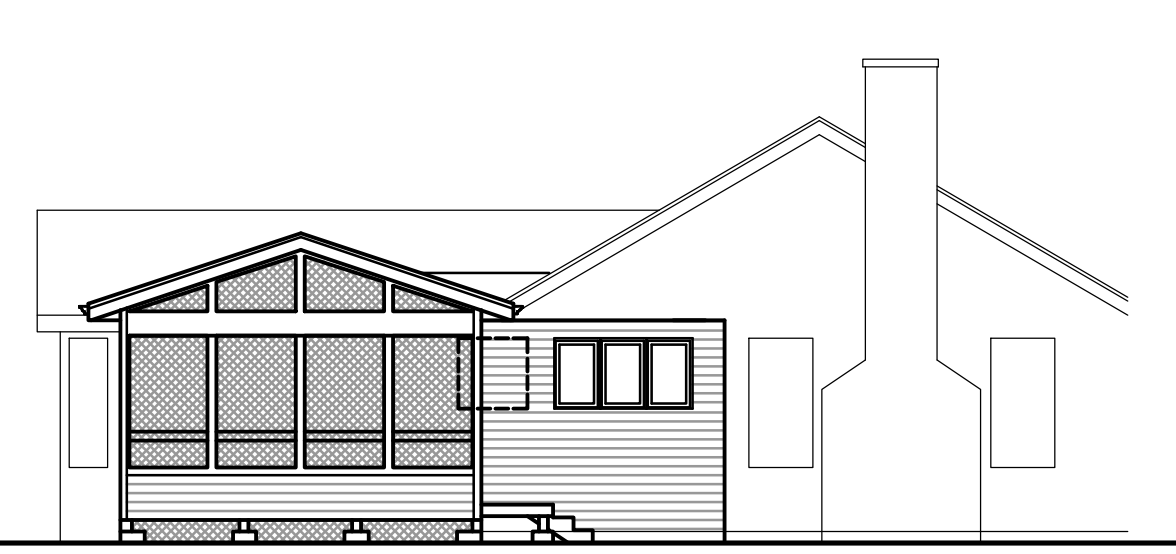
Table with columns: TYPE OR LOCATION OF CONCRETE CONSTRUCTION, COMPRESSIVE STRENGTH. Values include 2,500 PSI for basements, 3,500 PSI for vertical concrete, and 3,500 PSI for slabs.

LEGAL DESCRIPTION: SEE SURVEY OR CIVIL ENGINEERING DRAWINGS

NAPERVILLE HEIGHT TABLE. Includes diagrams and tables for line segments and columns with descriptions and values.



Wivell Porch Addition at 415 Riverbluff Circle Naperville, IL 60540



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LEGEND section containing ELECTRICAL SYMBOLS, ABBREVIATIONS, MECHANICAL/PLUMBING SYMBOLS, and STRUCTURAL SYMBOLS. Includes symbols for cable/jack, light fixtures, phone jacks, detectors, fans, and various abbreviations like 1ST, 2ND, BSMT, etc.

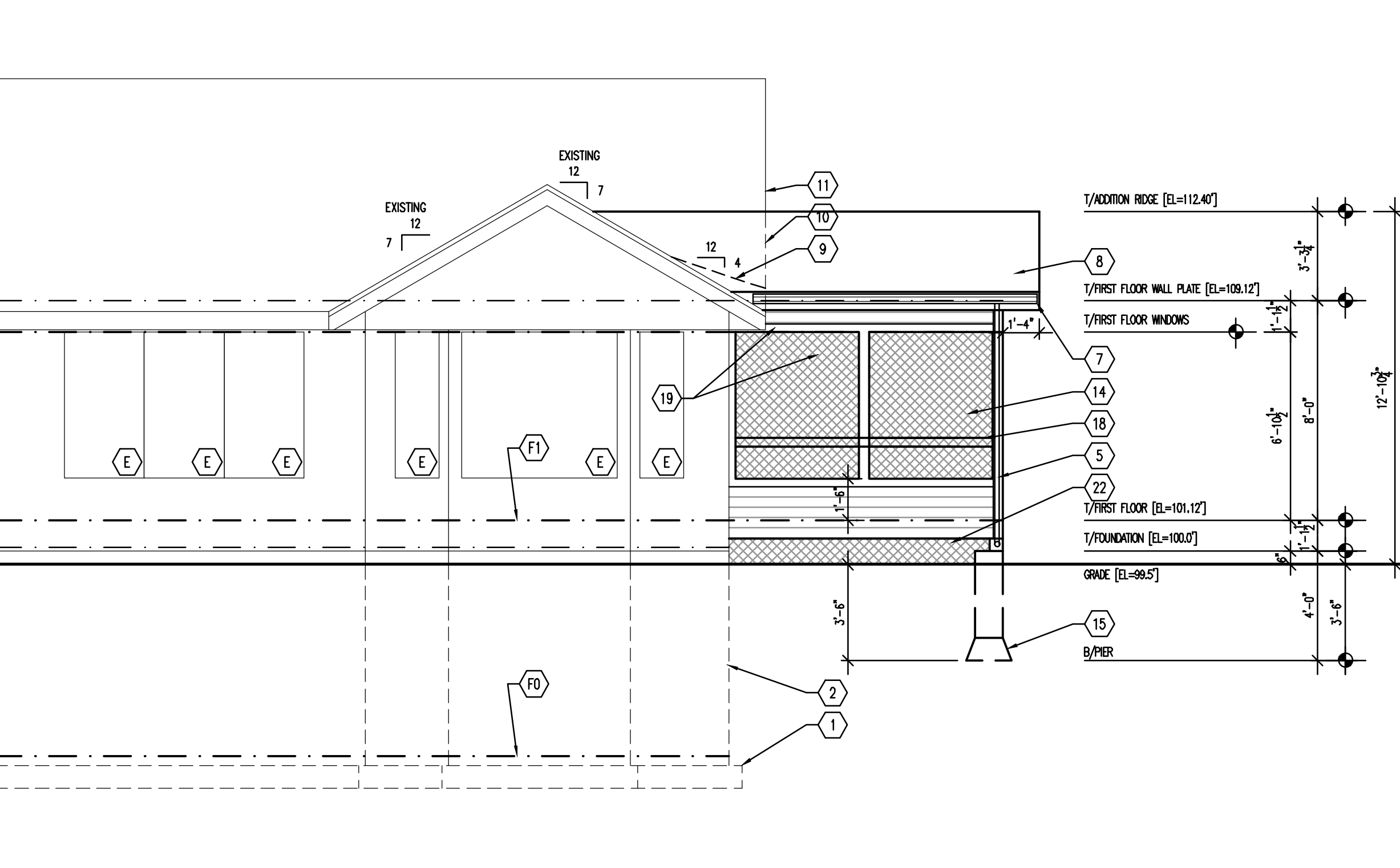
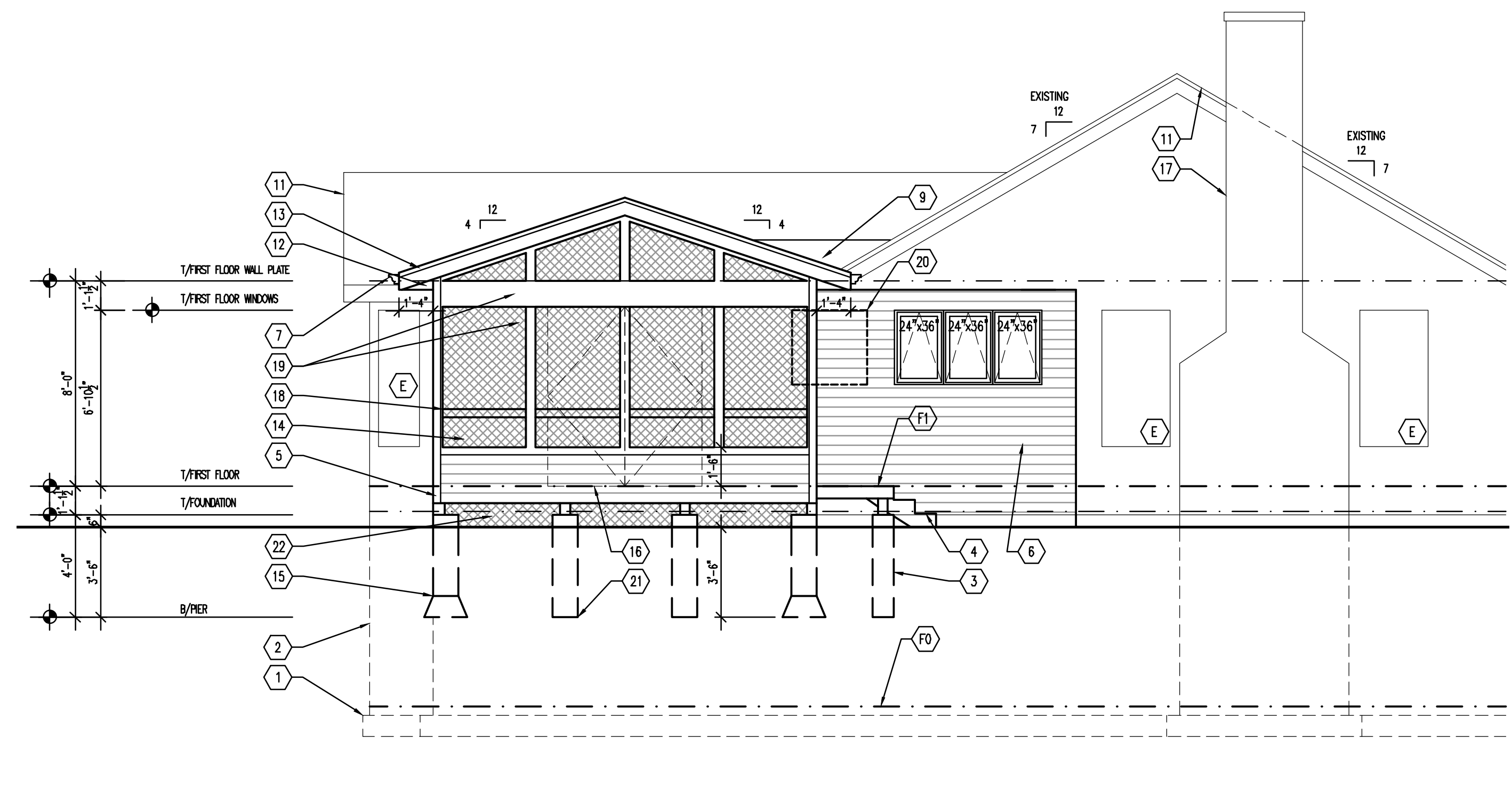
INDEX OF DRAWINGS table with columns: A0.10, A1.10, A2.20, A3.10 and corresponding drawing titles like TITLE SHEET - INDEX OF DRAWINGS - GENERAL NOTES, EXTERIOR ELEVATIONS - FOUNDATION PLAN - ROOF PLAN, etc.

CODES for NAPERVILLE, ILLINOIS table listing various building codes and their effective dates from 2012 to 2012.

ZONING REQUIREMENTS table with columns: ZONING USE, REQUIRED, ACTUAL. Lists requirements for front yard setback, corner yard setback, etc.

CERTIFICATION OF THE DRAWINGS. BY SIGNING AND SEALING THESE DRAWINGS, I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH THE ACCESSIBILITY STANDARDS OF THE STATE OF ILLINOIS AND COMPLY WITH THE ORDINANCES OF THE CITY OF NAPERVILLE, ILLINOIS

Right margin containing professional information for Craftstone Architects, Inc., including address, phone, fax, website, and a vertical title 'TITLE SHEET - INDEX OF DRAWINGS - GENERAL NOTES'. Also includes a seal area and drawing details like 'DRAWN BY: EAO', 'PROJECT NUMBER: 160214', and 'SHEET NUMBER: A0.10 OF 4 SHEETS'.



- EXTERIOR ELEVATION KEYNOTE LEGEND:**
- 1 EXISTING FOOTING TO REMAIN
  - 2 EXISTING FOUNDATION TO REMAIN
  - 3 10" DIA x 42" BELOW GRADE CONCRETE PIER
  - 4 WOOD LANDING WITH STEPS TO GRADE (NO RAILING REQUIRED)
  - 5 1/4" CONTINUOUS CORNER BOARD (MATCH EXISTING)
  - 6 PATCH EXISTING HORIZONTAL SIDING AS REQUIRED (MATCH EXISTING STYLE, MATERIAL, EXPOSURE)
  - 7 ALUMINUM GUTTERS & DOWNSPOUTS
  - 8 ASPHALT SHINGLES, PATCH AS REQUIRED @ EXISTING
  - 9 SADDLE AS REQUIRED (SADDLE MAY NOT BE NEEDED)
  - 10 LINE OF ROOF BEHIND
  - 11 LINE OF ROOF BEYOND
  - 12 ALUMINUM ROOF RETURN (HOLD FLUSH TO WALL)
  - 13 1/2 ON 1/8 ALUMINUM WRAPPED ROOF FINE
  - 14 INSECT SCREEN IN 1/2 CEDAR FRAMING & SCREENED IN PLACE (FIELD BUILT - VERIFY EXACT SIZE IN FIELD)
  - 15 12" DIA x 42" BELOW GRADE CONCRETE PIER (BELL TO 20')
  - 16 LINE OF 72"x80" DOOR BEYOND (TEMPERED GLASS)
  - 17 LINE OF EXISTING CHIMNEY
  - 18 2x2 CEDAR GUARD RAIL @ 36" H
  - 19 1x TRIM OVER TREATED FRAMING (MATCH EXISTING)
  - 20 PATCH FRAMED WALL AS REQUIRED
  - 21 12" DIA x 42" BELOW GRADE CONCRETE PIER
  - 22 WOOD LATTICE OVER INSECT SCREENING ON WOOD POSTS
- E EXISTING      FD BASEMENT FLOOR LINE  
 F FIXED          F1 FIRST FLOOR LINE  
 T TEMPERED

ISSUANCE

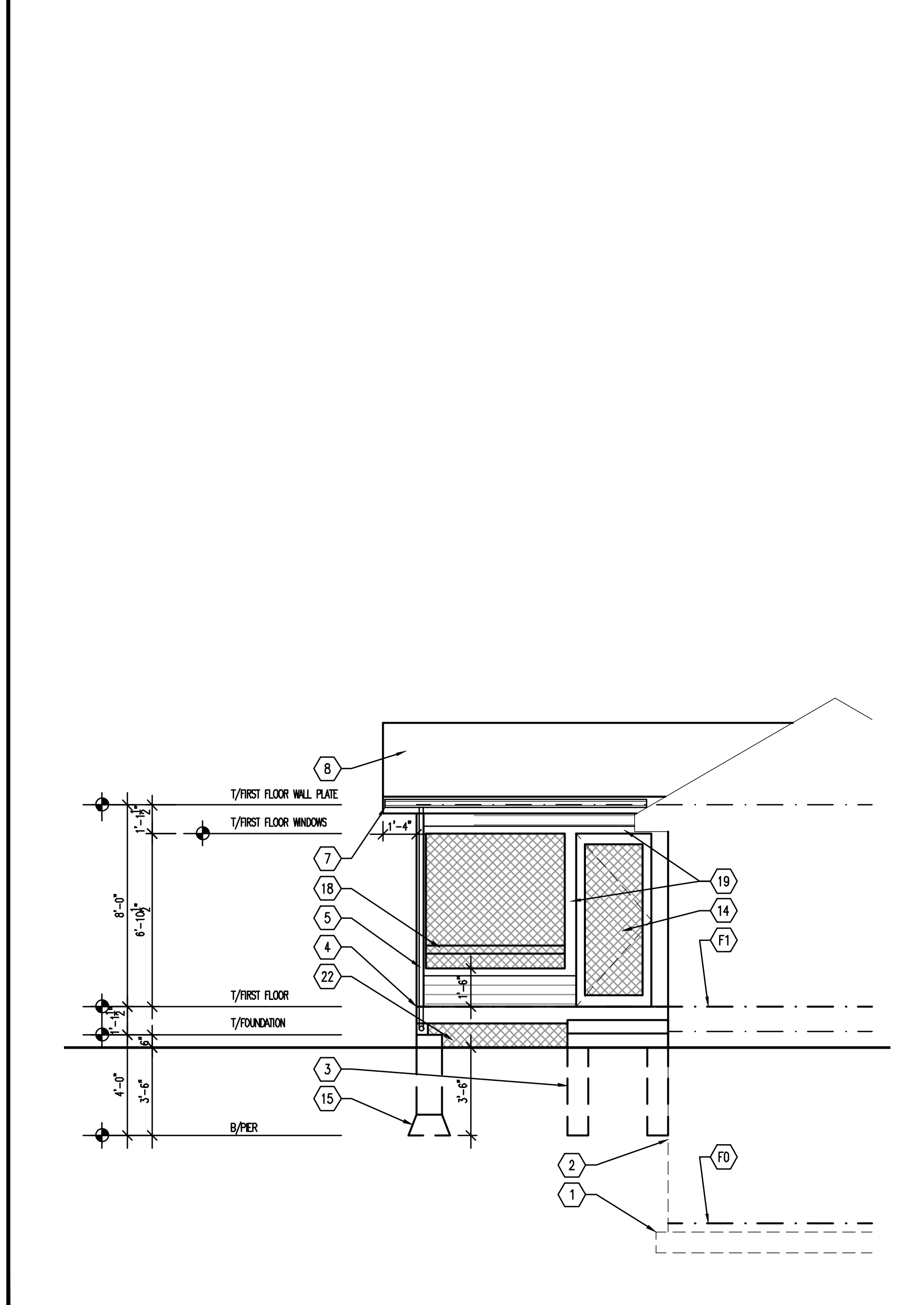
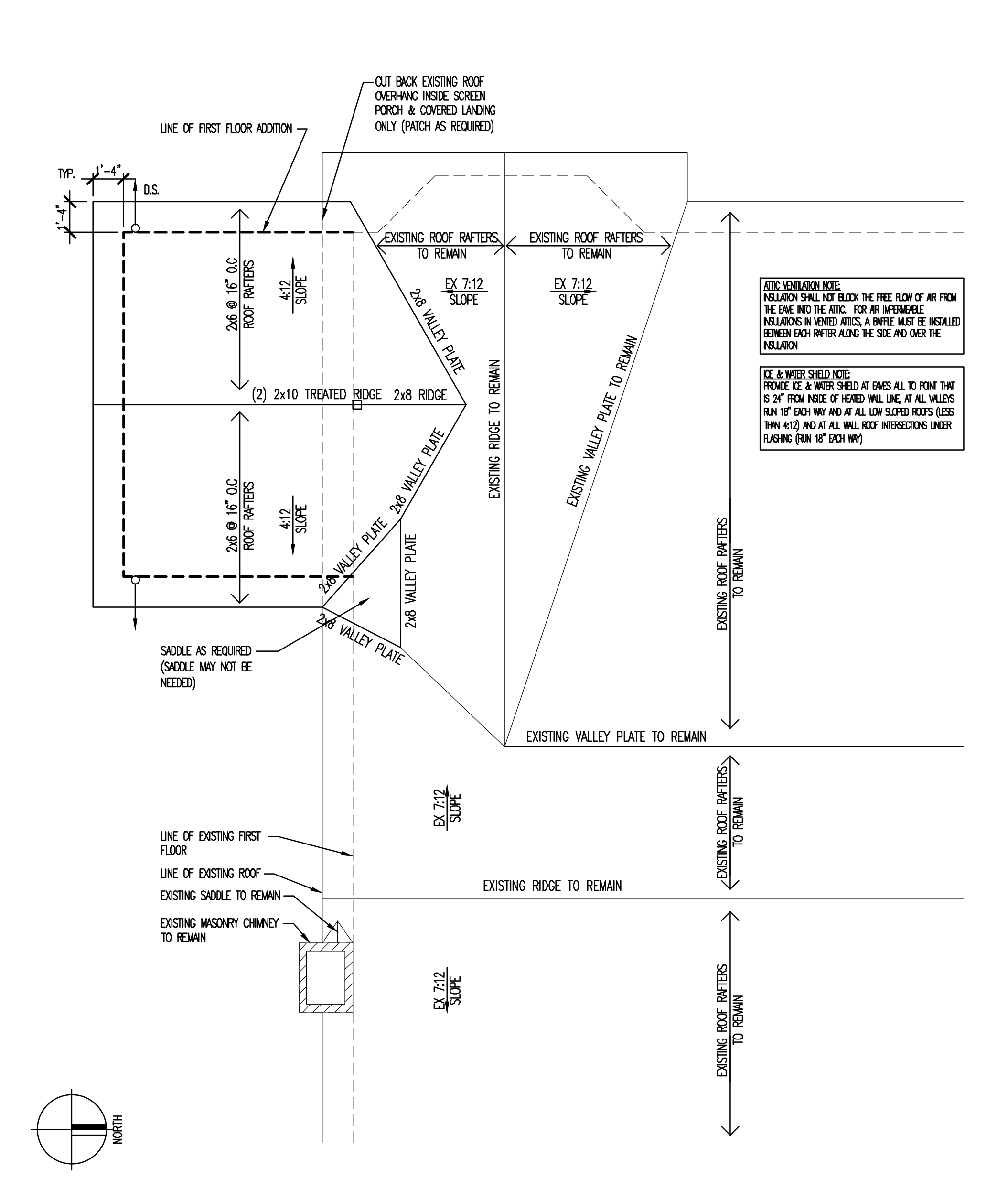
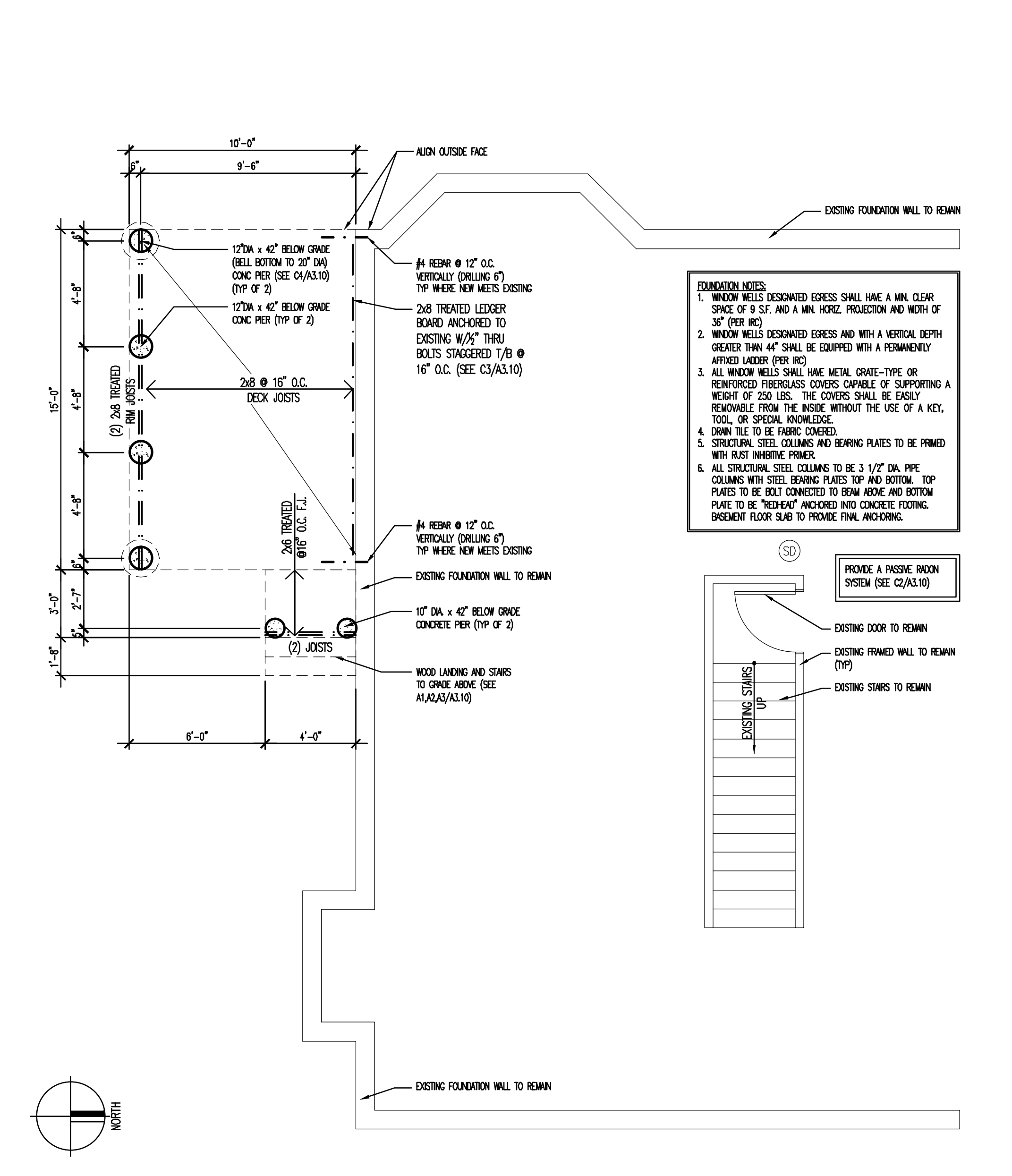
DATE 09-13-2017 PERMIT-BID

Seal

DATED 11-30-2018  
EXPIRES

C1 LEFT SIDE ELEVATION  
A1.10 1/4"=1'-0"

C3 REAR ELEVATION  
A1.10 1/4"=1'-0"

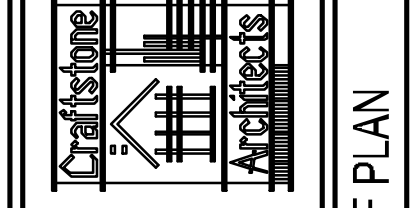


A1 FOUNDATION PLAN  
A1.10 1/4"=1'-0"

A2 ROOF PLAN  
A1.10 1/4"=1'-0"

A4 LEFT ELEVATION  
A1.10 1/4"=1'-0"

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**Wivell Porch - Addition**  
415 River Bluff Circle Naperville, IL  
for  
Ron & Judith Wivell  
1514 Weldon Court, Naperville, IL  
Phone: (630) 363-8600

EXTERIOR ELEVATIONS - FOUNDATION PLAN - ROOF PLAN

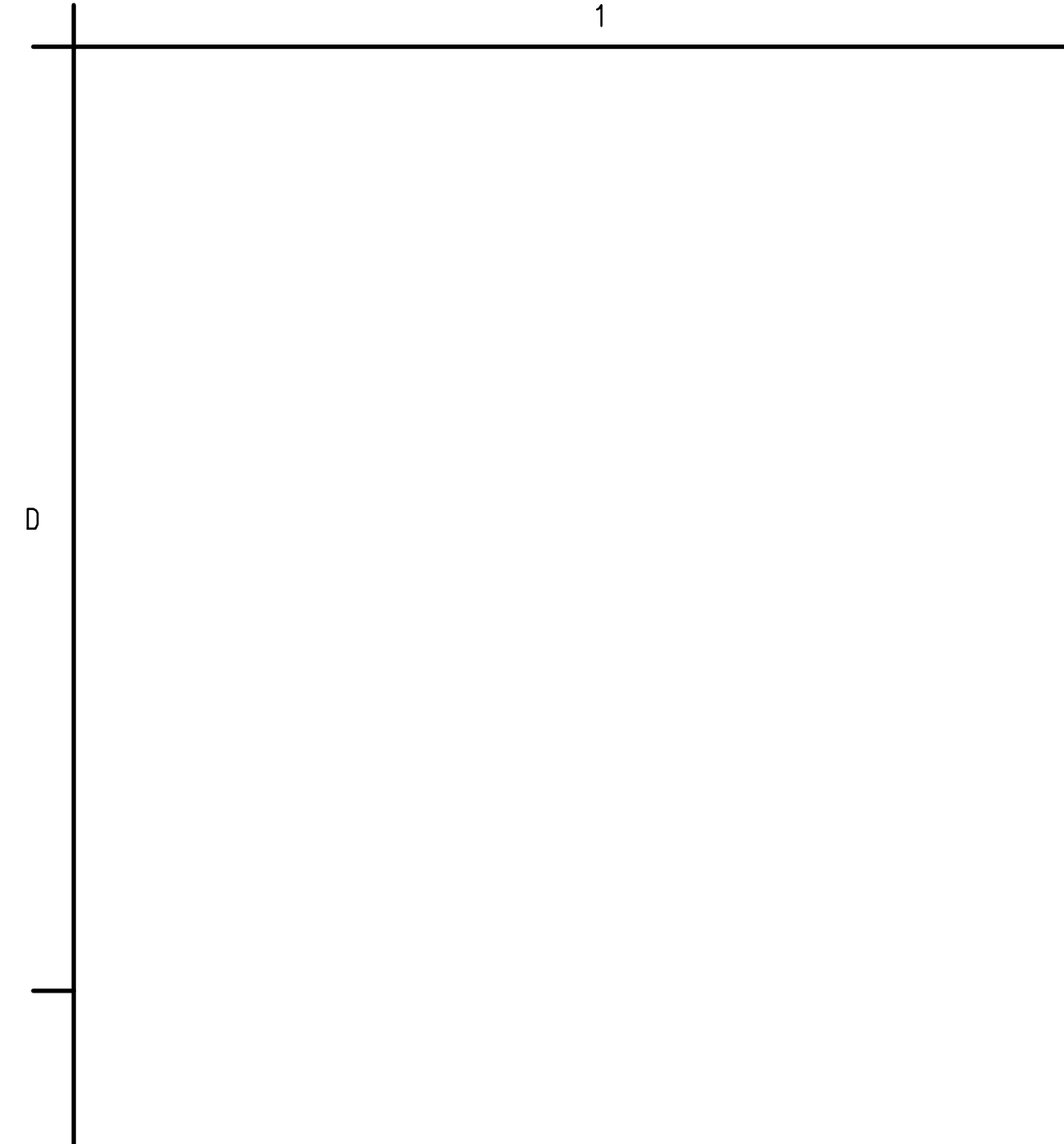
DRAWN BY: EAO  
CHECKED BY: MAB

PROJECT NUMBER: 160214

SHEET NUMBER: A1.10

OF 4 SHEETS  
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**THE PASSIVE RADON REDUCTION SYSTEM**

VENT EXHAUST TO DISCHARGE AT LEAST 12" ABOVE THE HIGHEST ROOF OR CORNER EAVE AND AT LEAST 24" ABOVE ANY OPENINGS INTO THE CONDITIONED SPACES OF THE BUILDING AND BE AT LEAST 10' FROM ANY WINDOW AND OTHER OPENINGS.

FLASHING

VENT PIPE SHALL BE ACCESSIBLE FOR OPTIONAL FAN INSTALLATION THRU ATTIC.

PROVIDE ELECTRICAL CIRCUIT TO A SINGLE OUTLET IN AN APPROVED BOX FOR FUTURE SMO OR SSD SYSTEM. SEE NOTE 3 TO RIGHT.

RUN VENT PIPE AS STRAIGHT, VERTICALLY, AS PRACTICAL. IF BENDS ARE REQUIRED, TRY TO DO AT 45 DEG ANGLES, BUT IN NO CASE, LESS THAN 1/4" TO 1/2" SLOPE UPWARD TOWARDS ROOF TO ALLOW POSITIVE VENTING TO EXTERIOR. VENT PIPE TO BE CONCEALED BY INTERIOR WALLS AT LIVING SPACES.

PROVIDE A VISIBLE AND AUDIBLE WARNING SYSTEM AT INTERIOR PARTITION TO ALERT THE BUILDING OCCUPANT IF THERE IS A LOSS OF PRESSURE OR AIR FLOW IN THE VENT PIPE.

3" DIA SCHEDULE 40 PVC VENT PIPE

SUPPORT STRAP

ALL EXPOSED AND CONCEALED VENT PIPES SHALL BE CONSPICUOUSLY IDENTIFIED WITH AT LEAST ONE LABEL THAT READS "RADON REDUCTION SYSTEM" ON EACH FLOOR AND IN ACCESSIBLE ATTIC.

PROVIDE 3" SCHED 40 PVC 5' MIN OF PERFORMED PIPE EXTENDING EACH HORIZONTAL OPENING OF "T" AND UNDER VAPOR BARRIER.

FOUL IN PLACE CONCRETE SLAB (SEE TYP WALL SECTION)

6 MIL VAPOR BARRIER OVERLAP SEAMS 12" AND TAPE

4" (MIN) GRAVEL FILL

PVC T-FITTING TO SUPPORT VENT PIPE

NOTE 1: ALL OPENINGS, GAPS, & JOINTS IN FLOOR & WALL ASSEMBLIES IN CONTACT WITH THE SOIL OR GAPS AROUND PIPES, TOILETS, BATHUBS, OR DRAINS PENETRATING THESE ASSEMBLIES SHALL BE FILLED OR CLOSED WITH MATERIALS THAT PROVIDE A PERMANENT AIR-TIGHT SEAL. SEAL LARGE OPENINGS WITH NON-SHRINK MORTAR, GROUTS, OR EXPANDING FOAM MATERIALS. SEAL SMALLER GAPS OR JOINTS WITH AN ELASTOMERIC JOINT SEALANT, AS DEFINED IN ASTM C920-07. ALL SUMP/VECTOR FIT COUPLERS TO BE SEALED.

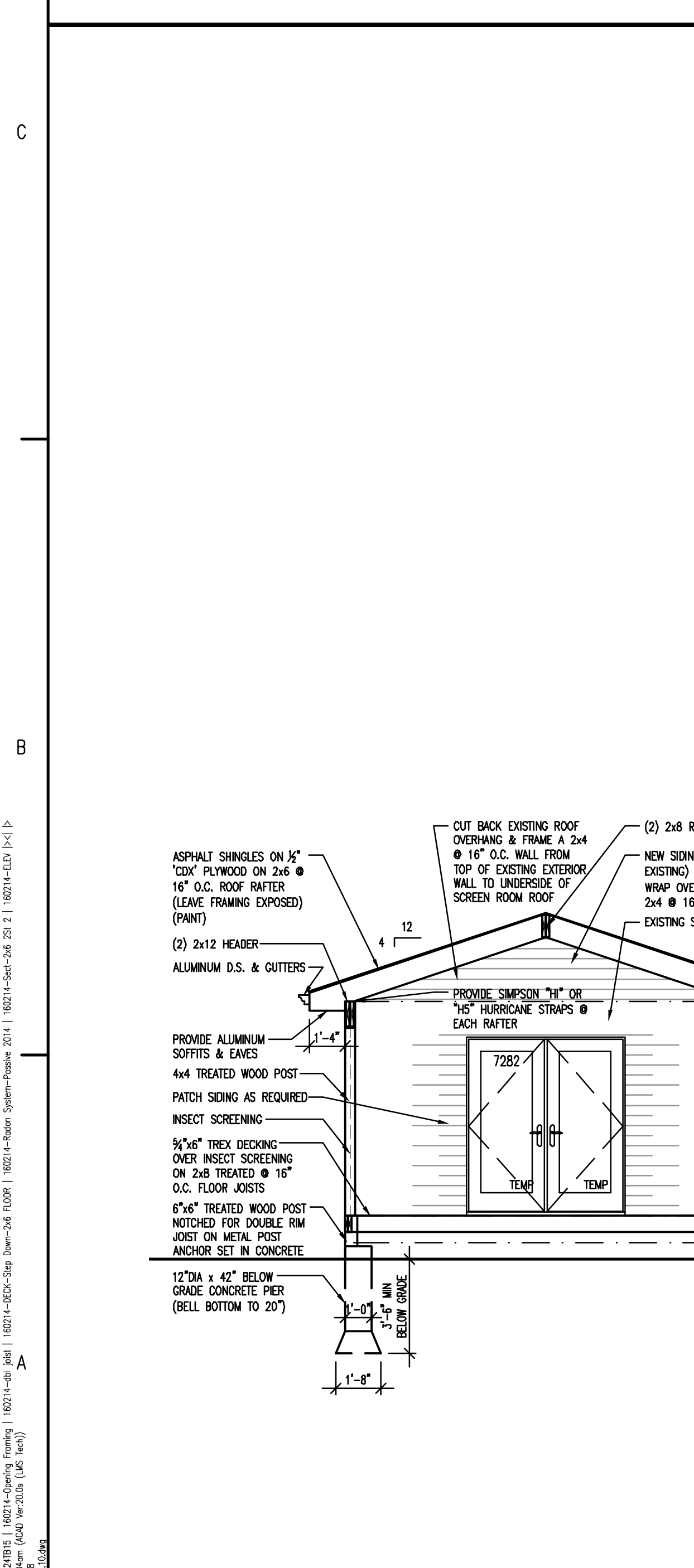
NOTE 2: CONDENSATE DRAINS SHALL BE TRAPPED OR ROLLED THROUGH NON-PERFORATED PIPE TO DRAUGHT GRADE.

NOTE 3: ACCESS AREA AT ATTIC APPLIANCE SHOULD HAVE 36" CLEAR HEIGHT AND THE OUTLET SHALL BE WITHIN 6' OF THIS ACCESS AREA.

DECK GENERAL NOTES:

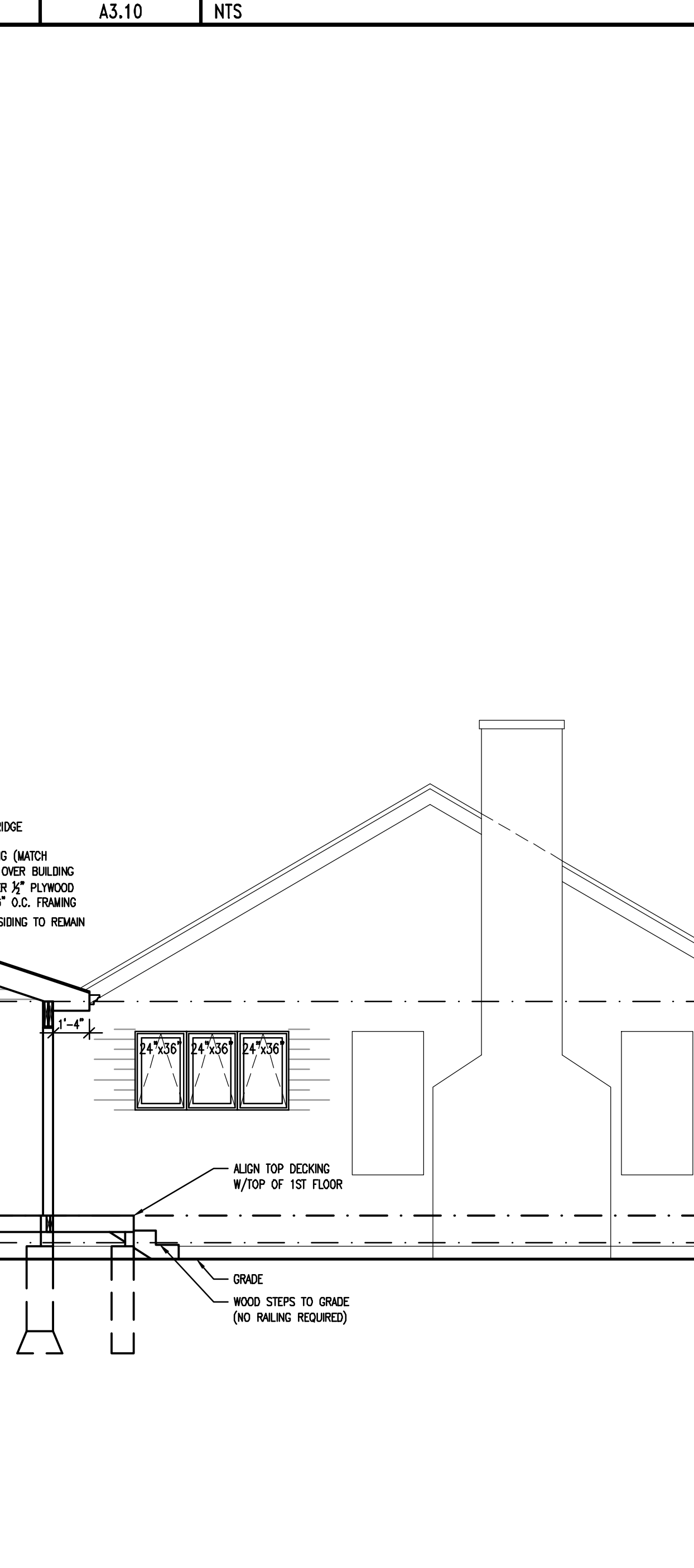
1. PROVIDE 2x10 LEDGER BOARD AT HOUSE WITH METAL FLASHING BEHIND AND EXTEND UP BEHIND SIDING. APPLY SILICONE CAULK BETWEEN LEDGER AND FLASHING.
2. NOT USED
3. PIER BOTTOMS TO BE TIGHTLY COMPACTED UNDISTURBED SOIL WITH NO STANDING WATER.
4. ALL CONNECTORS (NAILS, SCREWS, BOLTS, HANGERS, ETC.) ARE TO BE GALVANIZED & APPROVED FOR USE WITH TREATED LUMBER.

C2 PASSIVE RADON SYSTEM  
A3.10 NTS

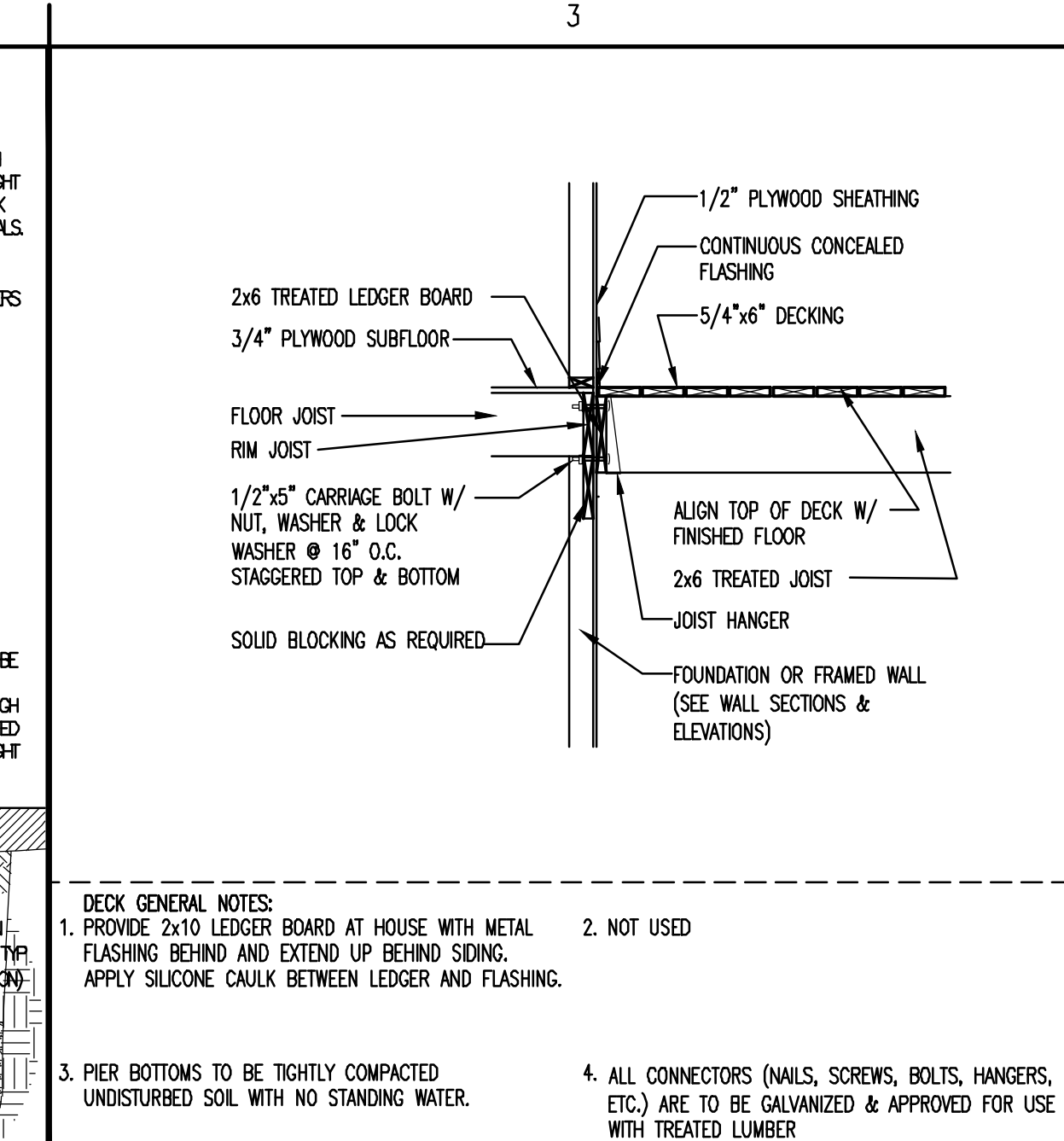


A1 BUILDING SECTION  
A3.10 1/4"=1'-0"

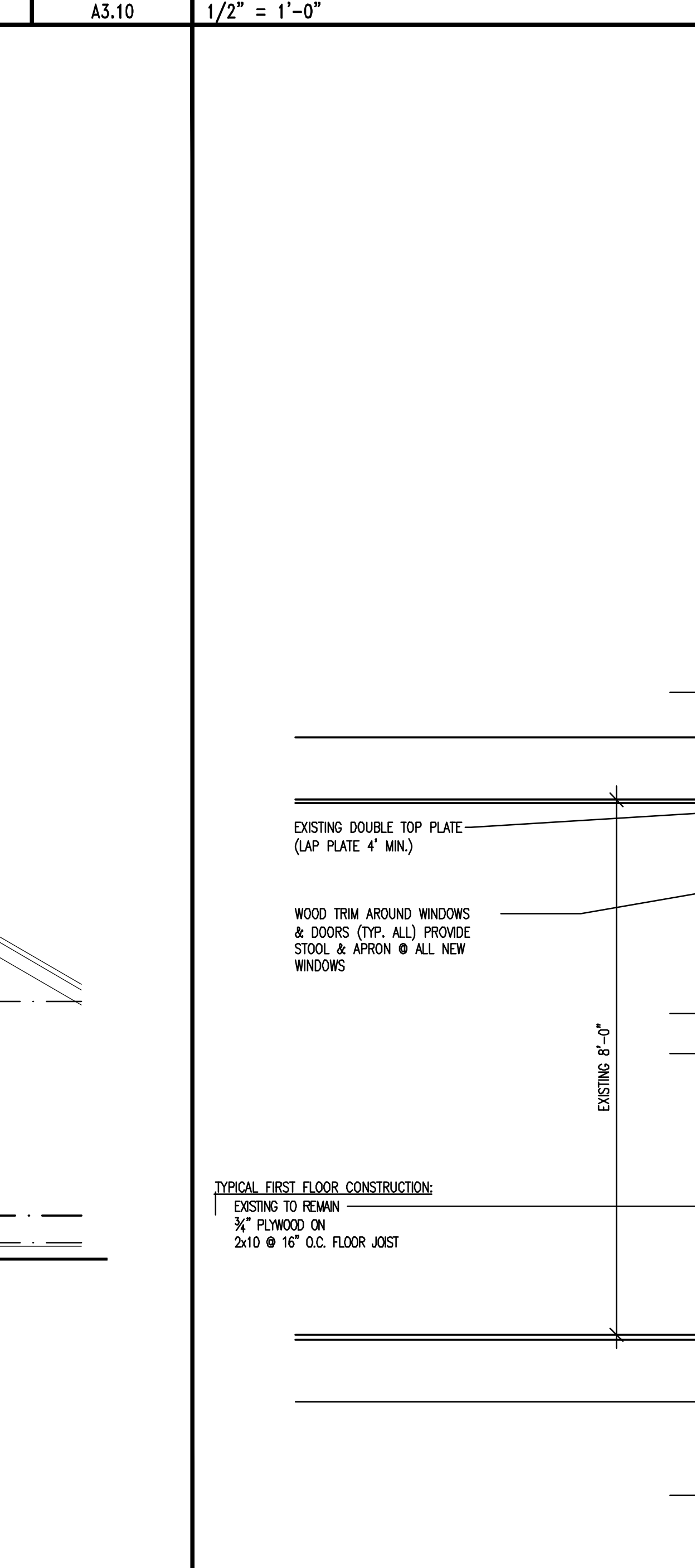
C3 DECK DETAIL  
A3.10 1/2"=1'-0"



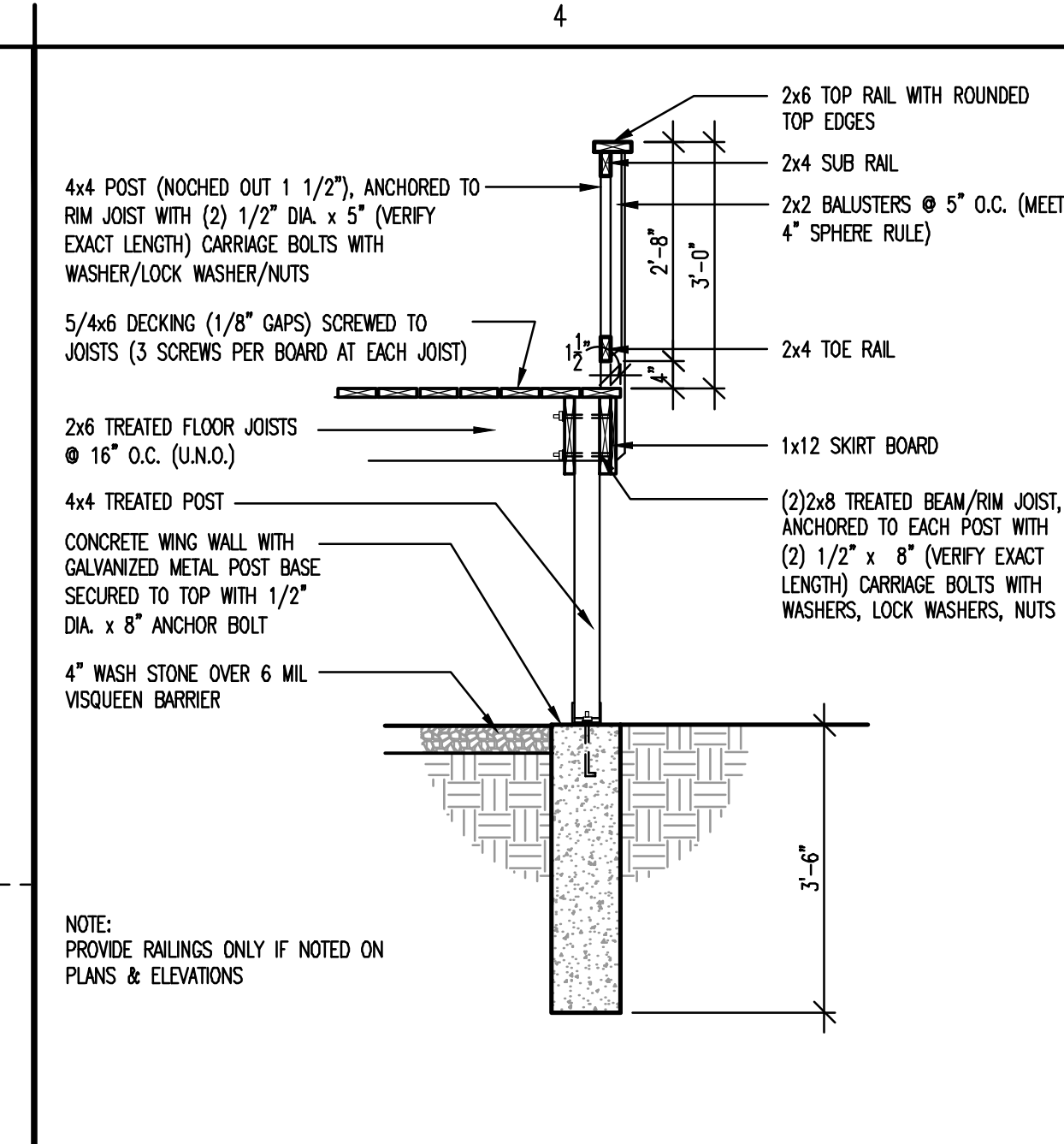
A3 WALL SECTION  
A3.10 3/4"=1'-0"



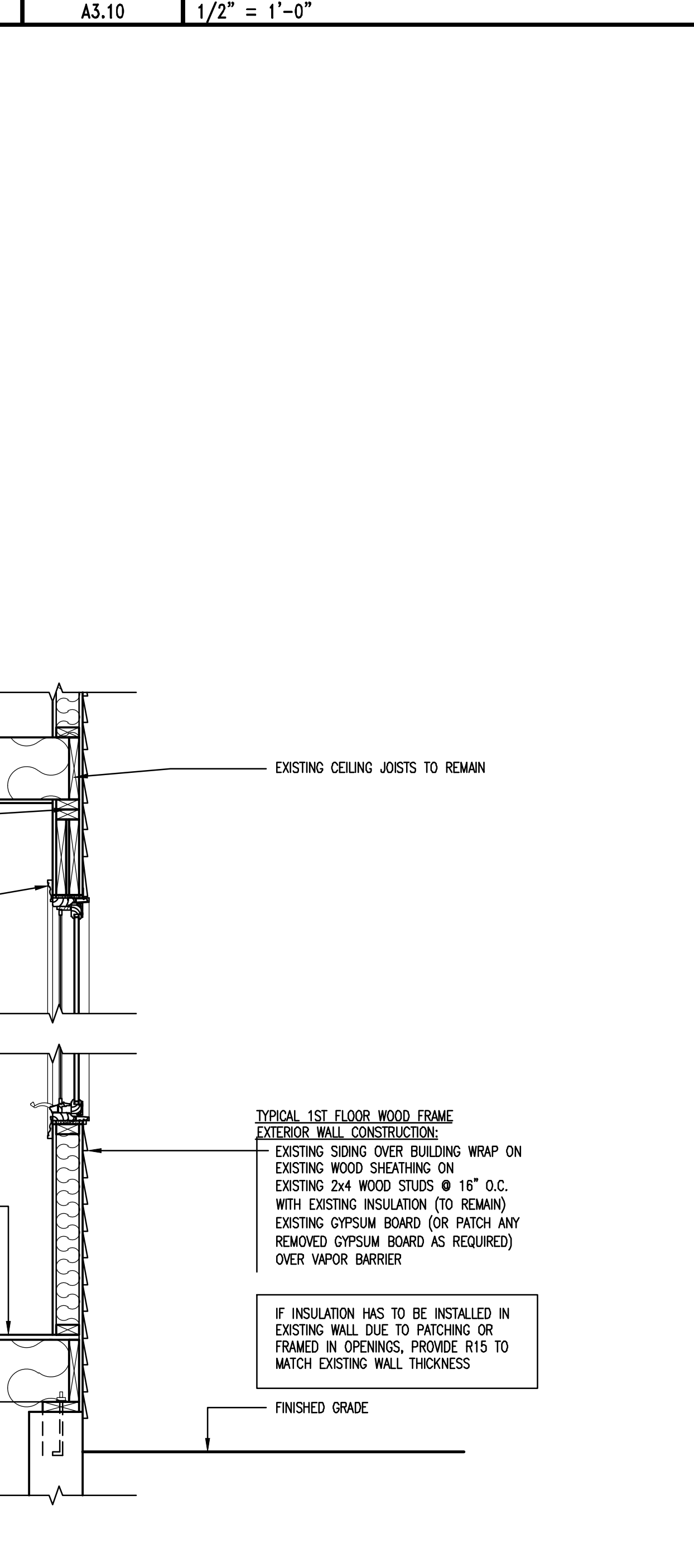
C4 DECK DETAIL  
A3.10 1/2"=1'-0"



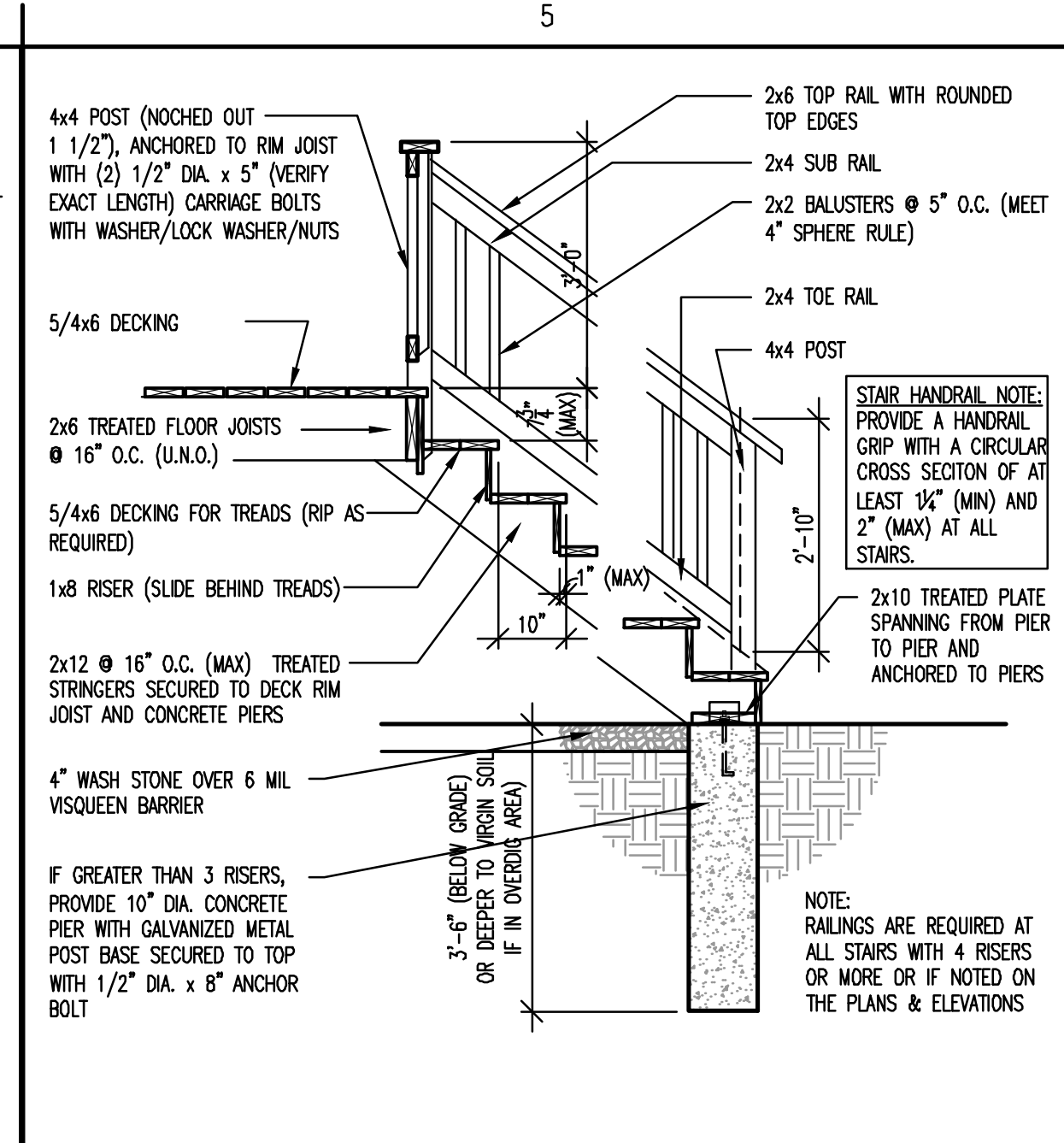
A5 FRAMING DETAIL  
A3.10 1"=1'-0"



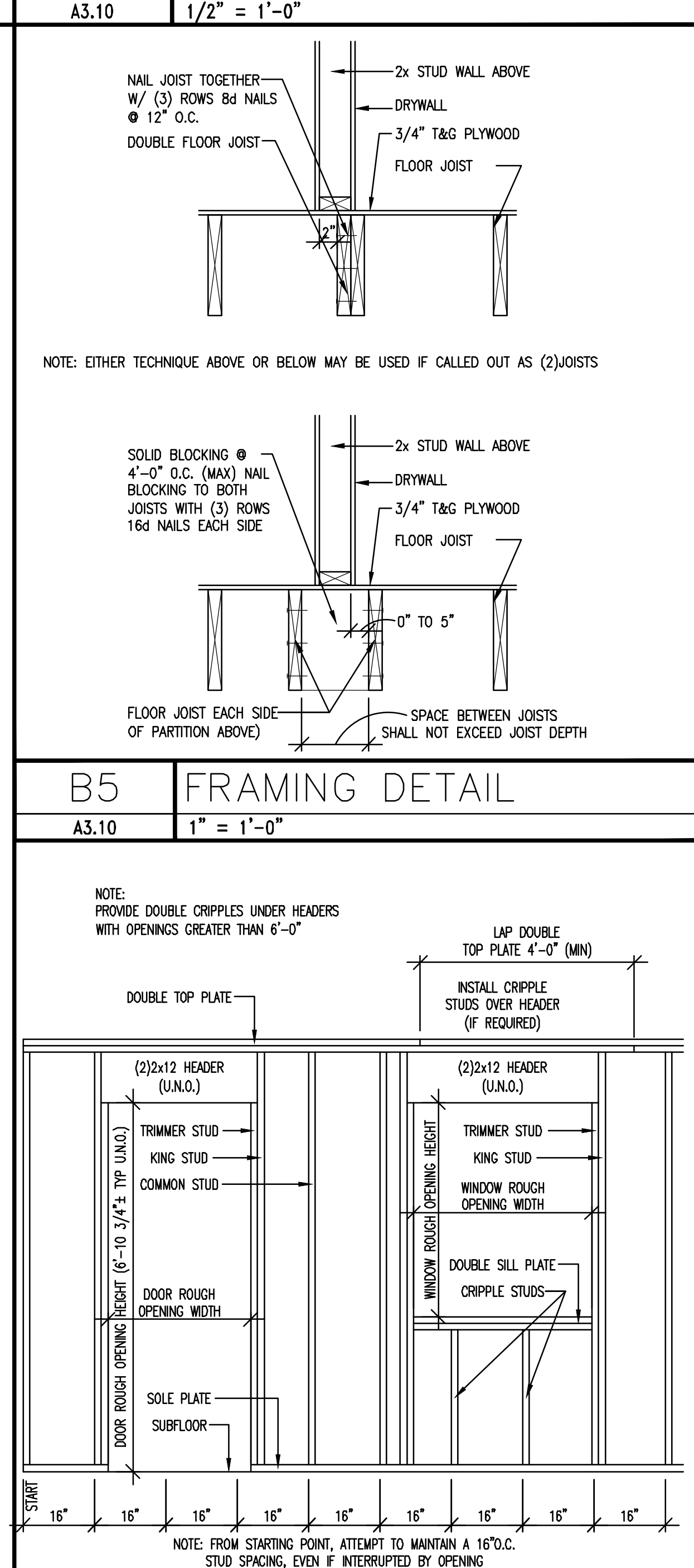
B5 FRAMING DETAIL  
A3.10 1"=1'-0"



A5 FRAMING DETAIL  
A3.10 1"=1'-0"



B5 FRAMING DETAIL  
A3.10 1"=1'-0"



A5 FRAMING DETAIL  
A3.10 1"=1'-0"

160214-A-3.10.DWG

ISSUANCE

09-13-2017 PERMIT-BID

DATE

Seal

DATED 11-30-2018  
EXPIRES

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for  
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DETAILS & SECTIONS

DRAWN BY:  
EAO

CHECKED BY:  
MAB

PROJECT NUMBER:  
160214

SHEET NUMBER:  
A3.10

OF 4 SHEETS

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