

WASH-U NAPERVILLE

PRELIMINARY PLAN SET

1 150 E OGDEN AVENUE

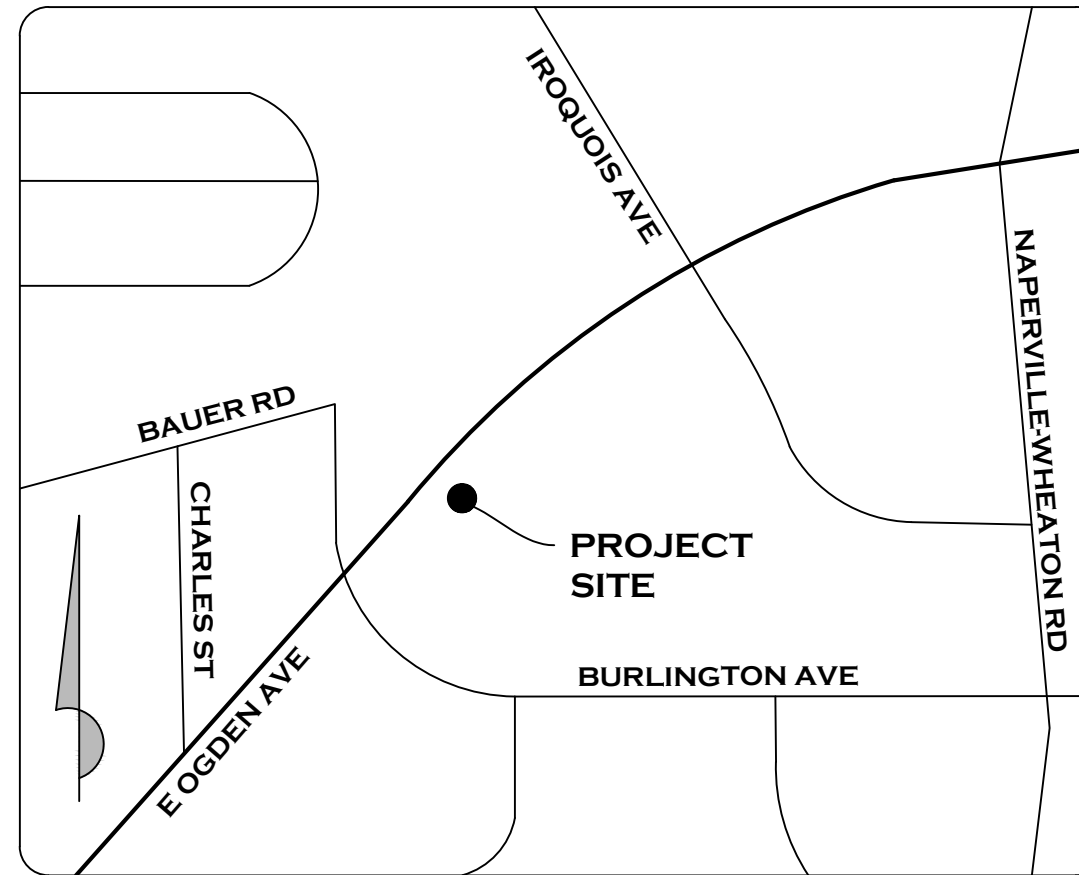
NAPERVILLE, DUPAGE COUNTY, ILLINOIS

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MeritCorp

MASTER NOTES

- ALL ITEMS OF THIS PROJECT SHALL BE GOVERNED BY SPECIFICATIONS INCLUDED IN THE DOCUMENTS LISTED BELOW:
 - "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" PREPARED BY THE DEPARTMENT OF TRANSPORTATION OF THE STATE OF ILLINOIS AND ADOPTED BY SAID DEPARTMENT (LATEST REVISION) AND HEREINAFTER REFERRED TO AS THE "STANDARD SPECIFICATIONS"
 - "SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS" ADOPTED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION.
 - "ILLINOIS URBAN MANUAL" (LATEST REVISION) BY ASSOCIATION OF ILLINOIS SOIL & WATER CONSERVATION DISTRICTS.
 - "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", BY ILLINOIS ENVIRONMENTAL PROTECTION AGENCY.
 - "ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS & HIGHWAYS" BY ILLINOIS DEPARTMENT OF TRANSPORTATION.
 - "ILLINOIS ACCESSIBILITY CODE", (LATEST EDITION).
 - "DESIGN MANUAL FOR PUBLIC IMPROVEMENTS, MUNICIPAL CODE OF NAPERVILLE, ILLINOIS", (LATEST EDITION).
 - "CITY OF NAPERVILLE STANDARD CONSTRUCTION PLAN NOTES FOR DEVELOPMENT PROJECTS", (LATEST EDITION).
- PRIOR TO BID, THE CONTRACTOR SHALL VERIFY CONFORMANCE BETWEEN PLANS AND THE ABOVE REFERENCED CODES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BID.
- IN THE EVENT OF A CONFLICT BETWEEN THESE VARIOUS STANDARDS, MUNICIPAL STANDARDS SHALL APPLY.
- ALL TRAFFIC CONTROL AND OTHER ADVISORY SIGNS NEEDED FOR CONSTRUCTION ARE TO BE FURNISHED BY THE CONTRACTOR IN ACCORDANCE WITH SECTION 107 OF THE STANDARD SPECIFICATIONS.
- ALL WORK PERFORMED SHALL COMPLY WITH ALL APPLICABLE RULES AND REGULATIONS OF OSHA.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING JULIE 1-800-892-0123 AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS. ALL UTILITIES MUST BE STAKED/LOCATED BEFORE CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE MUNICIPALITY PUBLIC WORKS DEPARTMENT 630.420.6095 A MINIMUM OF 48 HOURS BEFORE CONSTRUCTION ACTIVITIES. A 48-HOUR NOTICE MUST BE PROVIDED FOR INSPECTIONS AND TESTS. CITY STAFF MUST OPERATE ALL WATERMAIN VALVES AND HYDRANTS ONLY.
- THE CONTRACTOR SHALL PROTECT AND PRESERVE ALL SURVEYING MONUMENTS UNTIL THE OWNER, THEIR AGENT OR A LICENSED SURVEYOR HAS WITNESSED OR OTHERWISE REFERENCED THEIR LOCATIONS.
- THE CONTRACTOR SHALL BE AWARE OF POTENTIAL CONFLICTS WITH EXISTING UTILITIES AS MAY BE INDICATED ON THE PLANS. THESE AREAS SHALL BE EXCAVATED TO DETERMINE ELEVATIONS BEFORE BEGINNING CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.
- SAWING OF REMOVAL ITEMS AS NOTED IN THE PLANS OR AS REQUIRED BY THE ENGINEER SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT OF THE ITEM BEING REMOVED AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- ALL ROAD SIGNS, STREET SIGNS AND TRAFFIC SIGNS WHICH NEED TO BE RELOCATED OR MOVED DUE TO CONSTRUCTION SHALL BE TAKEN DOWN AND STORED BY THE CONTRACTOR AT HIS OWN EXPENSE EXCEPT THOSE WHICH THE PERMIT AGENCY SHALL REQUIRE TO BE TEMPORARILY RESET UNTIL COMPLETION OF CONSTRUCTION OPERATIONS. AFTER COMPLETION OF THE WORK, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, RESET ALL SAID SIGNS AT THE LOCATIONS DESIGNATED BY THE PERMIT AGENCY ENGINEER.
- THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE OWNER'S ENGINEER AT A COST TO BE BORNE BY THE CONTRACTOR THAT DESTROYED THE STAKES.
- THE CONTRACTOR SHALL INDEMNIFY AND SAVE HARMLESS THE OWNER, THE PERMIT AGENCY AND ITS OFFICERS, EMPLOYEES, AND AGENTS, AND THE OWNER'S ENGINEERS, FROM AND AGAINST ALL LOSSES, CLAIMS, DEMANDS, PAYMENTS, SUITS, ACTIONS, RECOVERIES AND JUDGMENT OF EVERY NATURE AND DESCRIPTION BROUGHT OR RECOVERED AGAINST THEM, BY REASON OF ANY ACT OR OMISSION OF SAID CONTRACTOR, HIS AGENTS OR EMPLOYEES, IN THE EXECUTION OF THE WORK OR IN THE GUARDING OF IT.
- BURNING ON THE SITE IS NOT PERMITTED.



VICINITY MAP
(NOT TO SCALE)

SYMBOL LEGEND

PROPOSED		EXISTING
---	PROPERTY LINE	---
---	BUILDING SETBACK LINE	---
---	EASEMENT LINE	---
---	DEPRESSED CURB	---
—C—	STORM SEWER	—C—
—<—	SANITARY SEWER	—<—
—W—	WATER MAIN	—W—
—G—	GAS LINE	—G—
—E—	ELECTRIC LINE	—E—
—T—	TELEPHONE LINE	—T—
—OH—	OVERHEAD WIRES	—OH—
—	FENCE LINE	—
—	SILT FENCE	—
—	GRADING CONTOUR	—
●	MANHOLE	●
■	STORM CURB FRAME & GRATE	■
○	STORM MANHOLE	○
○	STORM CATCH BASIN	○
○	STORM FLARED END SECTION	○
○	SANITARY MANHOLE	○
○	VALVE VAULT	○
○	FIRE HYDRANT	○
○	BUFFALO BOX	○
○	GAS VALVE	○
□	ELECTRIC STRUCTURE	□
□	TRANSFORMER	□
□	POWER POLE	□
□	PEDESTAL	□
□	TRAFFIC SIGNAL MANHOLE	□
→	DRAINAGE FLOW ARROW	→
→	OVERFLOW ROUTE	→
→	AIR CONDITIONER	→
○	SINGLE POLE SIGN	○
○	DOUBLE POLE SIGN	○
○	STREET LIGHT	○
○	BOLLARD	○
○	CLEAN OUT	○
○	DOWN SPOUT	○
○	TREE	○
▨	EROSION CONTROL BLANKET	
▨	FINAL STABILIZATION (SEED)	
▨	CONCRETE SIDEWALK	
▨	NEW HEAVY DUTY ASPHALT PAVEMENT	
▨	STANDARD DUTY ASPHALT PAVEMENT	
▨	DETECTABLE WARNINGS	

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DATE: 07/13/2018
DESCRIPTION: ISSUED FOR REVIEW
08/08/2018 REVISED PER CITY (08-03-18)

MeritCorp
ENGINEERING - PLANNING - SURVEYING - ENVIRONMENTAL

3697 Darlene Ct.
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Office 630.554.6655
www.meritcorp.com

50 North Brockway, Suite 3-9
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Office 847.496.4170
Lic. No. 184-005860

WASH-U NAPERVILLE
1 150 E OGDEN AVE
NAPERVILLE, ILLINOIS

PRELIMINARY PLAN SET

COVER SHEET

PROJECT TEAM

DEVELOPER / OPERATOR	CAR WASH DEVELOPMENT, LLC P.O. BOX 1364 ELMHURST, ILLINOIS 60126
CIVIL ENGINEER	MeritCorp Group, LLC 3697 DARLENE COURT AURORA, ILLINOIS 60504 Ph.(630)554.6655

NOTE

- DETAILS AND NOTES WITHIN THESE PLANS, ALONG WITH NOTATIONS TO SUPPLEMENT SAME ARE CRUCIAL TO THE PROPER CONSTRUCTION OF THE DESIGN CONTAINED HEREIN.
- CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIMSELF WITH ALL CONDITIONS PRIOR TO ENGAGING IN A CONTRACT TO PERFORM WORK AS PROPOSED HEREIN.
- PLANS ARE NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL OF THE ENGINEER.

SITE BENCHMARKS

- SOURCE BENCHMARK:**
NAPERVILLE BENCHMARK STATION NO. 703
ELEVATION = 780.31'
- SITE BENCHMARK #1:** NORTHWESTERLY UPPER FLANGE BOLT ON FIRE HYDRANT SHOWN ON SHEET 2
ELEVATION = 620.98' (NAVD 88 DATUM)
- SITE BENCHMARK #2:** NORTHWESTERLY UPPER FLANGE BOLT ON FIRE HYDRANT SHOWN ON SHEET 2.
ELEVATION = 623.41' (NAVD 88 DATUM)

ABBREVIATIONS

AGG.	AGGREGATE GRAVEL	F-F	FACE TO FACE	R	RADIUS
ALT.	ALTERNATE	FES	FLARED END SECTION	RCP	REINFORCED CONCRETE PIPE
B.A.M.	BIT. AGG. MIXTURE	F/F	FINISHED FLOOR	R.O.W.	RIGHT OF WAY
B-B	BACK TO BACK	FL	FLOW LINE	R.D.	ROOF DRAIN
BB	BUFFALO BOX	FG	FINISHED GRADE	SAN	SANITARY
BC	BACK OF CURB	HW	HEADWALL	STM	STORM MANHOLE
BT	BITUMINOUS CONCRETE	HH	HAND HOLE	STW	STORM
BM	BENCHMARK	H.W.	HIGH WATER LEVEL	STA.	STATION
B.O.	BY OTHERS	HYD	HYDRANT	ST	SQUARE FOOT
B/P	BOTTOM OF PIPE	INL	INLET	ST	SQUARE YARD
B/W	BOTTOM OF WALL	INV	INVERT	TBR	TO BE REMOVED
CB	CATCH BASIN	IP	IRON PIPE	1/C	TOP OF CURB
CAV	CABLE TELEVISION	MAX	MAXIMUM	1/F	TOP OF FOUNDATION
CE	COMM. ED.	M.E.	MATCH EXISTING	1/P	TOP OF PIPE
CL	CENTER LINE	MIN	MINIMUM	1/W	TOP OF WALL
CMP	CORRUGATED METAL PIPE	MIN	MINIMUM	TRANS	TRANSFORMER
CS	CENTER OF STROPE	N.W.L.	NORMAL WATER LEVEL	V.V.	VALVE VAULT
C.O.	CLEAN OUT	PC	PEDESTAL	W.M.	WATER MAIN
CONC.	CONCRETE	PC	POINT OF CURVE		
DIA.	DIAMETER	PCC	POINT OF COMPOUND CURVE		
D.I.W.M.	DUCTILE IRON WATER MAIN	PI	POINT OF INTERSECTION		
D.S.	DOWN SPOUT	PRC	POINT OF REVERSE CURVE		
E/P	EDGE OF PAVEMENT	PT	POINT OF TANGENCY		
E-E	EDGE TO EDGE	PV	POINT OF VERTICAL CURVE		
ELEV.	ELEVATION	PVI	POINT OF VERTICAL INTERSECTION		
ES	EDGE OF STRIPE	PVT	POINT OF VERTICAL TANGENCY		
EW	EDGE OF WALK	PL	PROPERTY LINE		
EX.	EXISTING	PP	POWER POLE		
		PVC	POLYVINYL CHLORIDE PIPE		

PROJECT NO. M18085

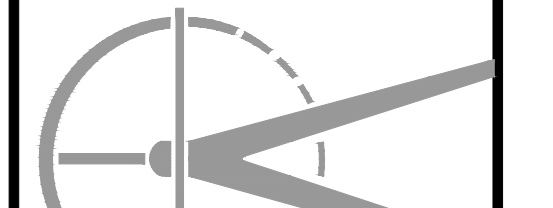
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SHEET NO. 1 / 6

DATE: 07/13/2018
DESCRIPTION: ISSUED FOR REVIEW
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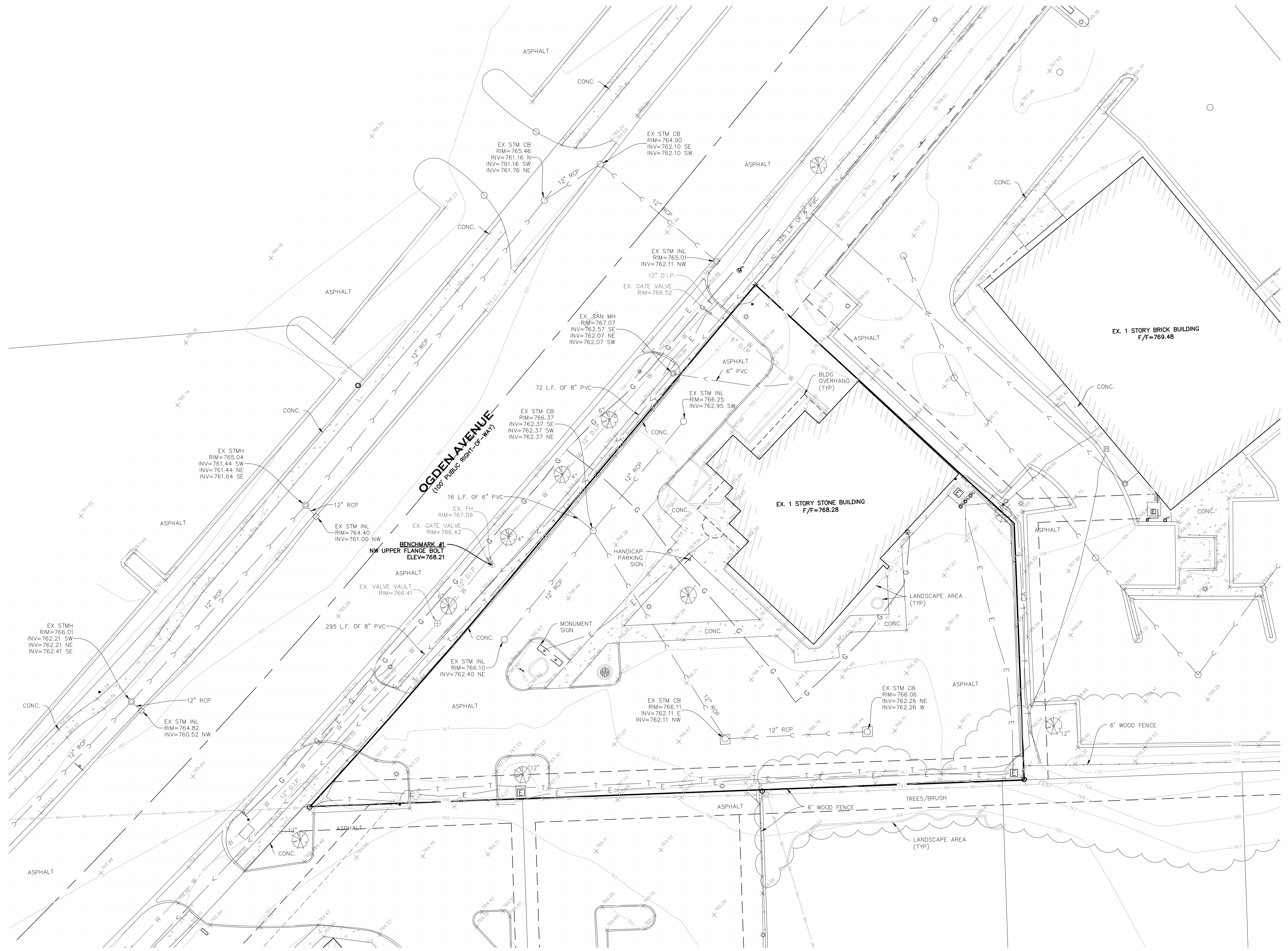
WASH-U NAPERVILLE
1150 E OGDEN AVE
NAPERVILLE, ILLINOIS
PRELIMINARY PLAN SET
EXISTING CONDITION PLAN

PROJECT NO. M18085

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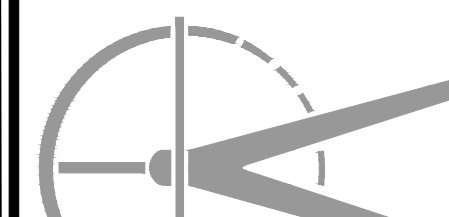
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SHEET NO. 2 / 6



DATE: 07/13/2018
DESCRIPTION: WASH-U CAR WASH
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NOTES

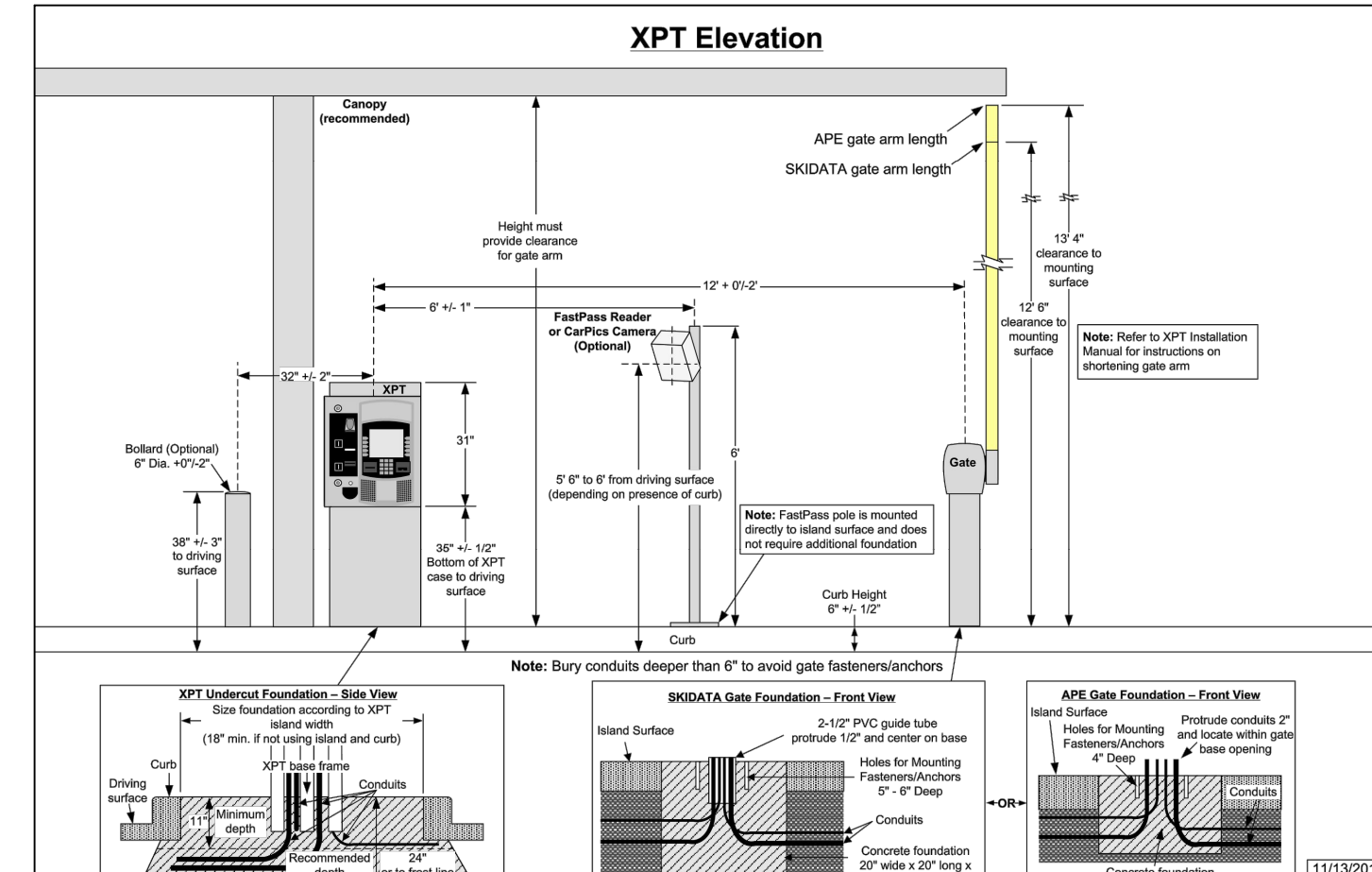
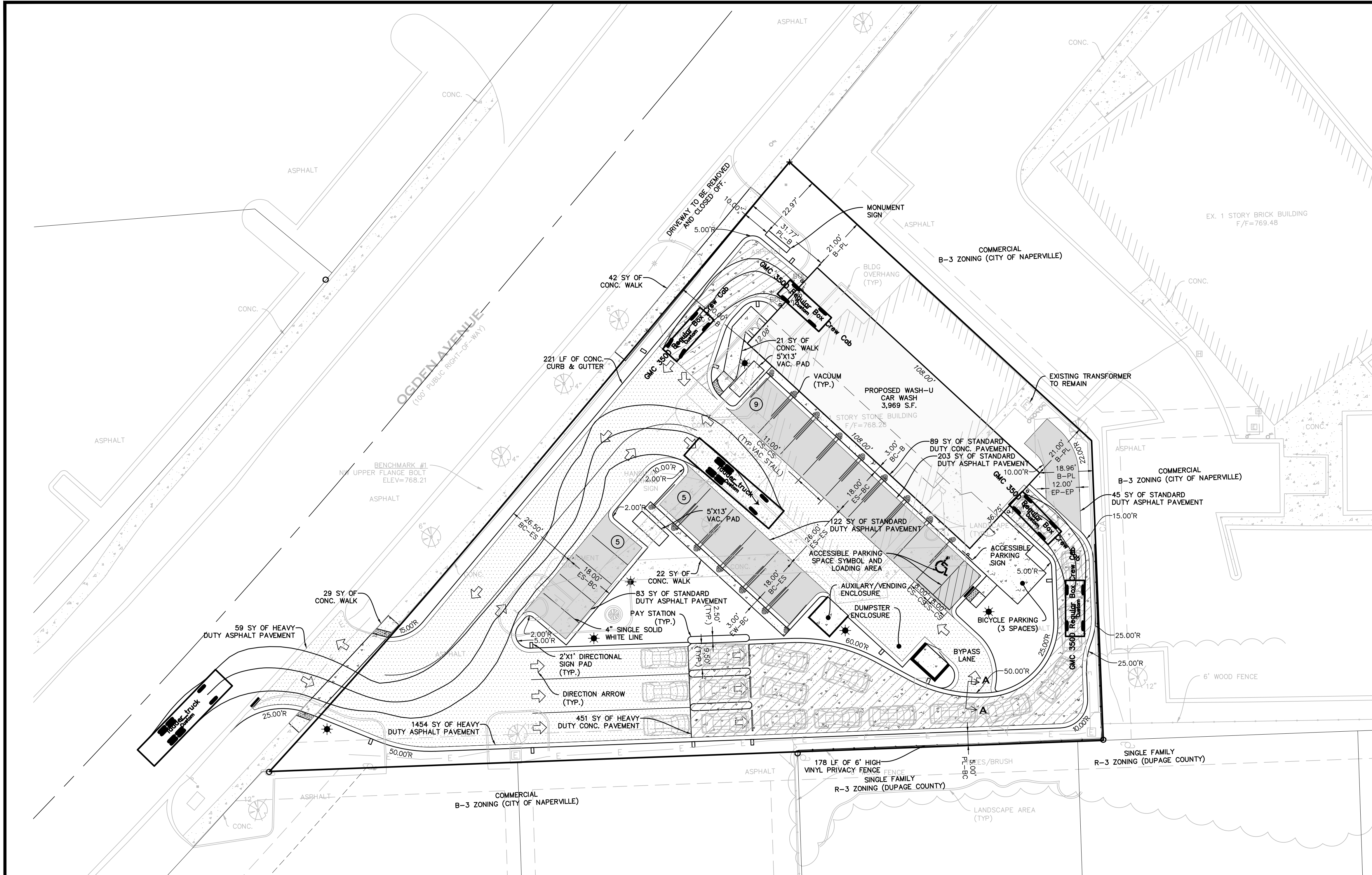
- EXISTING BUILDING AND PARKING LOT TO BE DEMOLISHED.
- EXISTING NORTHEAST DRIVE TO BE REMOVED AND CLOSED OFF.
- STORMWATER DETENTION IS NOT REQUIRED FOR THIS PROJECT.

LEGEND

- [Pattern] HEAVY DUTY ASPHALT PAVEMENT (SEE DETAILS ON THIS SHEET)
- [Pattern] STANDARD DUTY ASPHALT PAVEMENT (SEE DETAILS ON THIS SHEET)
- [Pattern] STANDARD DUTY CONCRETE PAVEMENT (SEE DETAILS ON THIS SHEET)
- [Pattern] HEAVY DUTY CONCRETE PAVEMENT (SEE DETAILS ON THIS SHEET)
- PL PROPERTY LINE
- ES EDGE OF STRIPE
- CS CENTER OF STRIPE
- B BUILDING
- BC BACK OF CURB
- EW EDGE OF WALK
- R RADIUS

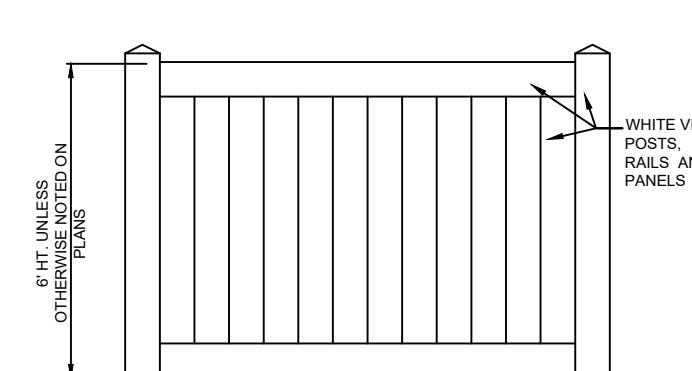
SITE DATA TABLE

DEVELOPER	CAR WASH DEVELOPMENT, LLC. P.O. BOX 1364 ELMHURST, ILLINOIS 60126
SITE PLAN DESIGNER/ CIVIL ENGINEER	MERITCORP GROUP, LLC. 3697 DARLENE COURT AURORA, IL 60504
PROPOSED USE:	CAR WASH
EXISTING ZONING:	B3 GENERAL COMMERCIAL DISTRICT
PROPOSED ZONING:	B3 GENERAL COMMERCIAL DISTRICT
MAXIMUM F.A.R.:	0.325
SETBACKS:	REAR YARD SETBACK OF 15 FT; MAJOR ARTERIAL SETBACK OF 70 FT FROM THE CENTERLINE OR 20 FT FROM THE EDGE OF THE R.O.W.
AISLE WIDTH:	26 FT TWO-WAY 15 FT ONE-WAY
PARKING STALL:	9 FT WIDE X 18 FT LENGTH
OFF-STREET PARKING REQUIREMENT:	MIN. OF 40 FT FROM ANY DRIVE-THROUGH FACILITY TO ANY RESIDENTIAL AREA
PARKING CALCULATIONS:	
REQUIRED PARKING	= 3.3 SPACES/1000 SF OF OFFICE
SQUARE FOOTAGE OF OFFICE	= 431
TOTAL REQUIRED PARKING	= 2 SPACES
SPACES PROVIDED	= 6 SPACES (INCLUDES 1 ACCESSIBLE SPACE)
VACUUM SPACES	= 15 SPACES
REQUIRED VEHICLE STACKING:	= 10 SPACES ENTERING & 2 SPACES EXITING CAR WASH
PROPOSED VEHICLE STACKING:	= 18 SPACES ENTERING & 2 SPACES EXITING CAR WASH
EXISTING SITE AREA	= 36,888 SF
EXISTING PERVIOUS AREA	= 5,923 SF
EXISTING IMPERVIOUS AREA	= 30,965 SF
PERVIOUS / IMPERVIOUS PERCENTAGE	= 16.1%
PROPOSED SITE AREA	= 36,888 SF
PROPOSED PERVIOUS AREA	= 11,156 SF
PROPOSED IMPERVIOUS AREA	= 25,732 SF (NET NEW IMPERVIOUS AREA INCREASE LESS THAN 2,500 SF. PCBMPs ARE NOT REQUIRED.)
PERVIOUS / IMPERVIOUS PERCENTAGE	= 30.2%

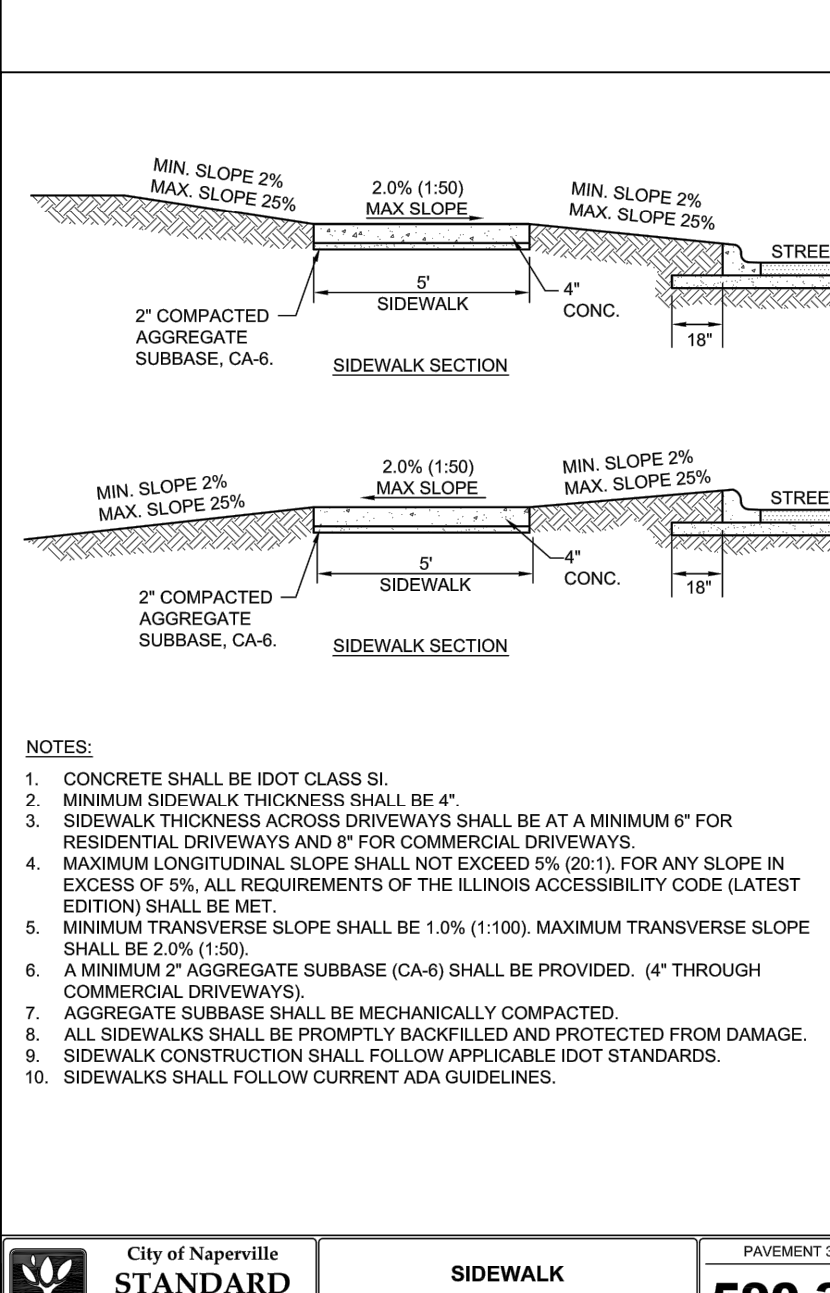
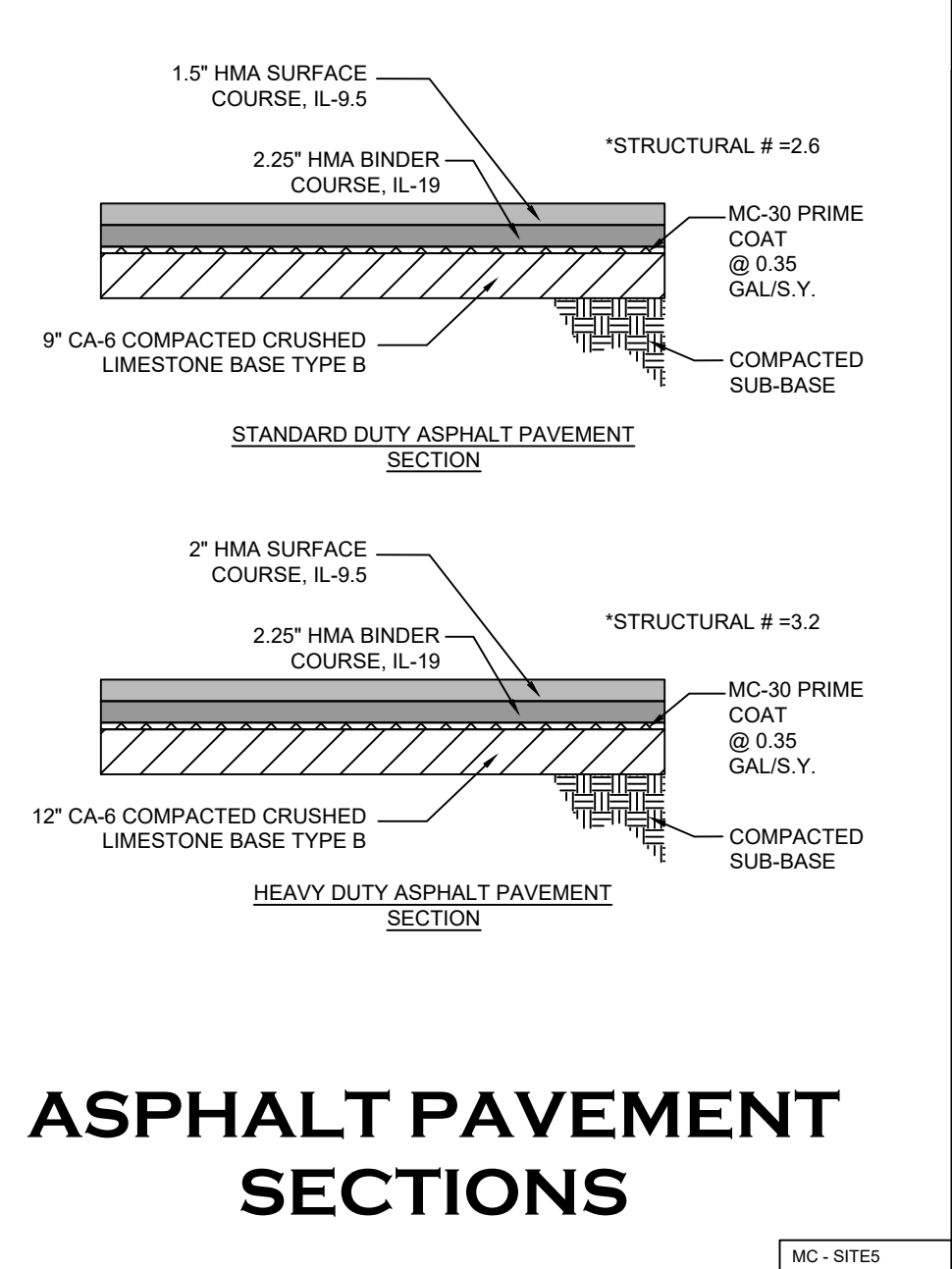


NOTE:
1. FOOTINGS AND FOUNDATION TO BE DESIGNED BY OTHERS.
2. COORDINATE WITH OWNER FOR MATERIAL COLOR, SPECIFICATIONS AND CONSTRUCTION REQUIREMENTS.

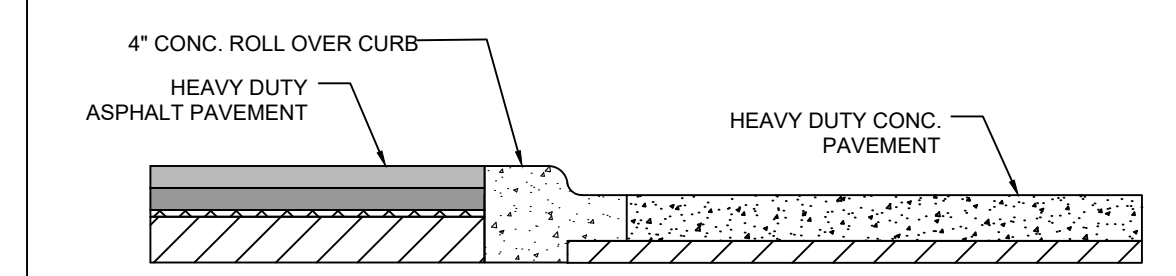
TRASH ENCLOSURE DETAIL



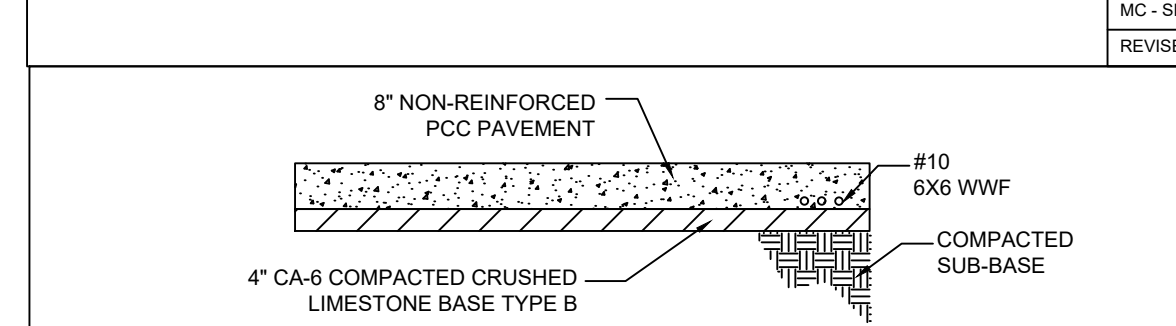
NOTE: SEE ARCHITECTURAL PLANS FOR MATERIAL SPECIFICATIONS AND CONSTRUCTION DETAILS.



- NOTES:
- CONCRETE SHALL BE IDOT CLASS S1.
 - MINIMUM SIDEWALK THICKNESS SHALL BE 4"
 - SIDEWALK THICKNESS ACROSS DRIVEWAYS SHALL BE AT A MINIMUM 6" FOR RESIDENTIAL DRIVEWAYS AND 8" FOR COMMERCIAL DRIVEWAYS.
 - MAXIMUM LONGITUDINAL SLOPE SHALL NOT EXCEED 2% (2:100) FOR ANY SLOPE IN EXCESS OF 2%. ALL REQUIREMENTS OF THE ILLINOIS ACCESSIBILITY CODE (LATEST EDITION) SHALL BE MET.
 - MINIMUM TRANSVERSE SLOPE SHALL BE 1.0% (1:100). MAXIMUM TRANSVERSE SLOPE SHALL BE 2.0% (2:100).
 - A MINIMUM 2" AGGREGATE SUBBASE (CA-6) SHALL BE PROVIDED. (4" THROUGH COMMERCIAL DRIVEWAYS).
 - AGGREGATE SUBBASE SHALL BE MECHANICALLY COMPACTED.
 - ALL SIDEWALKS SHALL BE PROMPTLY BACKFILLED AND PROTECTED FROM DAMAGE.
 - SIDEWALK CONSTRUCTION SHALL FOLLOW APPLICABLE IDOT STANDARDS.
 - SIDEWALKS SHALL FOLLOW CURRENT ADA GUIDELINES.



CROSS SECTION A-A



HEAVY DUTY CONCRETE PAVEMENT

WASH-U NAPERVILLE
1150 E OGDEN AVE
NAPERVILLE, ILLINOIS
PRELIMINARY PLAN SET
PRELIMINARY SITE PLAN

PROJECT NO. M18085

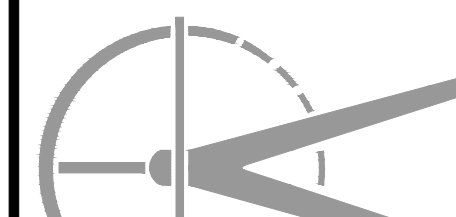
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SHEET NO. 3 / 6

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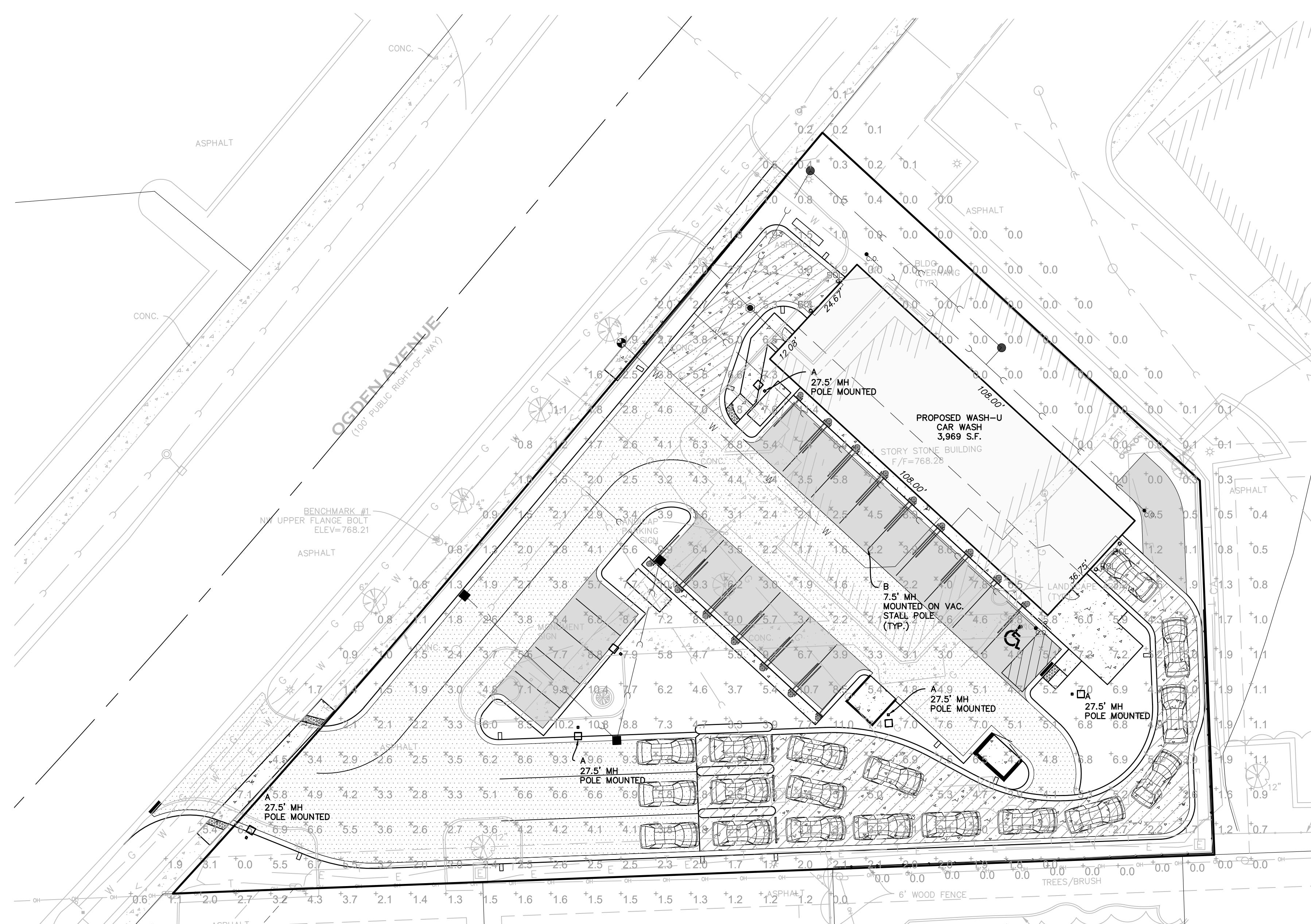


NOTES

1. FOR POLE MOUNTED FIXTURES, THE MOUNTING HEIGHT IS DETERMINED BY THE HEIGHT OF THE POLE PLUS 2.5' FOR THE CONCRETE BASE. ALL POLES ARE 25' MAXIMUM HEIGHT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED FITTINGS FOR EACH MOUNTING TYPE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE ELECTRIC ROUTING, SIZING AND CONTROLS DESIGNED FOR THE SITE LIGHTING.
4. ALL PHOTOMETRIC INTENSITIES SHOWN ARE BASED ON IES MODELS PROVIDED BY TSS INC.

KEYMAP

- D = LUMINAIRE LABEL
- 27.5' MH = MOUNTING HEIGHT
- ◻ POLE MOUNTED = MOUNTING TYPE
- HS = HOUSESIDE SHIELD



Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	3.5 fc	11.4 fc	0.0 fc	N/A	N/A
Vehicle Area	X	4.8 fc	11.4 fc	1.6 fc	7.1:1	2.9:1
Property Line		1.4 fc	NA	NA	NA	NA

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□	A	6					1	300WP-IES	32293	0.8	0
•	B	16			22W		1	LED T8 22W 6ft 2017-7-9, IES2002.1 ES	2594.1	0.8	21.2

CERTIFICATION

TO THE BEST OF OUR KNOWLEDGE, THIS PLAN CONFORMS TO THE STANDARDS FOR EXTERIOR LIGHTING SET FORTH IN CHAPTER 14 OF THE CITY OF NAPERVILLE CODE OF ORDINANCES

DESIGNER: MeritCorp Group, LLC _____

PROPERTY OWNER/AGENT: _____

LED BENDABLE TUBE LIGHT FOR VACUUM AREAS

8FTVL - 8FT LED BENDABLE TUBE LIGHT (20W) - \$89.00
 6FTVL - 6FT LED BENDABLE TUBE LIGHT (22W) - \$99.00
 1X12B - 12" LONG PRIMARY POWER CORD (ONE CORD WILL RUN 15 CONNECTED LIGHTS) \$9.00

Bendable LED light fixture that provides a crisp white light that can be mounted on curved vacuum areas.
 IP67 waterproof
 Multiple units can be directly connected together with no jumper cables - PLUG & PLAY
 UL and DLC listed
 2 year limited warranty
 Unique V-Shape dual LED nose for better lighting coverage.
 Available in two sizes 6ft (20W) and 8ft (22W) - connected up to 15 units off one power zone.
 NO POWER SUPPLY NEEDED

Kelvin: 5000K
 Lumens: 7,400 per 20W fixture - 2,840 per 22W fixture
 18W@20WATT (8FT) and 22 WATT (6FT)

3 mounting clips with necessary screws to drill into your existing arch included.

300 WATT LED HIGH OUTPUT PARKING LOT LIGHT
 REPLACES 1000 WATT METAL HALIDE

Features

- IP67 waterproof, wet location.
- Gives a crisp and bright lighting area that is great for surveillance camera recordings.
- Photocell control is optional (see below)

Specifications

Dimensions	25.3" L X 15.9" W X 3.4" H
Voltage	110VAC ~ 240VAC
Watts	300W
Construction	Aluminum housing with polycarbonate lens
Mounting	Pole mount or optional wall mount adapter (see step 1 next page)
Kelvin	6500 K
Lumens	38,000

Item	Description	Lumens	Watts	Kelvin	Price
300WLB	300 WATT LED parking lot light with 3.36" diameter opening for round pole mount	38,000	300W	6500K	\$425.00
WMAM	St. St. Flat Wall mount adapter				\$30.00
LEDP5	Photo Eye				\$24.99

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www.tssw.com | 618.566.427.0070

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WASH-U NAPERVILLE
 1150 E OGDEN AVE
 NAPERVILLE, ILLINOIS

PRELIMINARY PLAN SET

PHOTOMETRIC PLAN

PROJECT NO. M18085

DRAWN BY: YL

CHECKED BY: TDR

SHEET NO. 5 / 6

