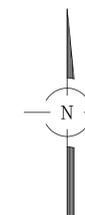


FINAL PLAT OF RESUBDIVISION RESUBDIVISION OF LOTS 2 & 3 OF CITYGATE CENTRE SUBDIVISION NAPERVILLE, ILLINOIS

A SUBDIVISION OF PART OF SECTION 3, TOWNSHIP 38 NORTH, RANGE 9
EAST OF THE THIRD PRINCIPAL MERIDIAN IN DUPAGE COUNTY, ILLINOIS

P.L.N.
07-03-103-017-0000
07-03-103-018-0000

THIS PLAT HAS BEEN SUBMITTED FOR
RECORDING BY AND RETURN TO:
NAME: NAPERVILLE CITY CLERK
ADDRESS: 400 S. EAGLE STREET
NAPERVILLE, IL 60540



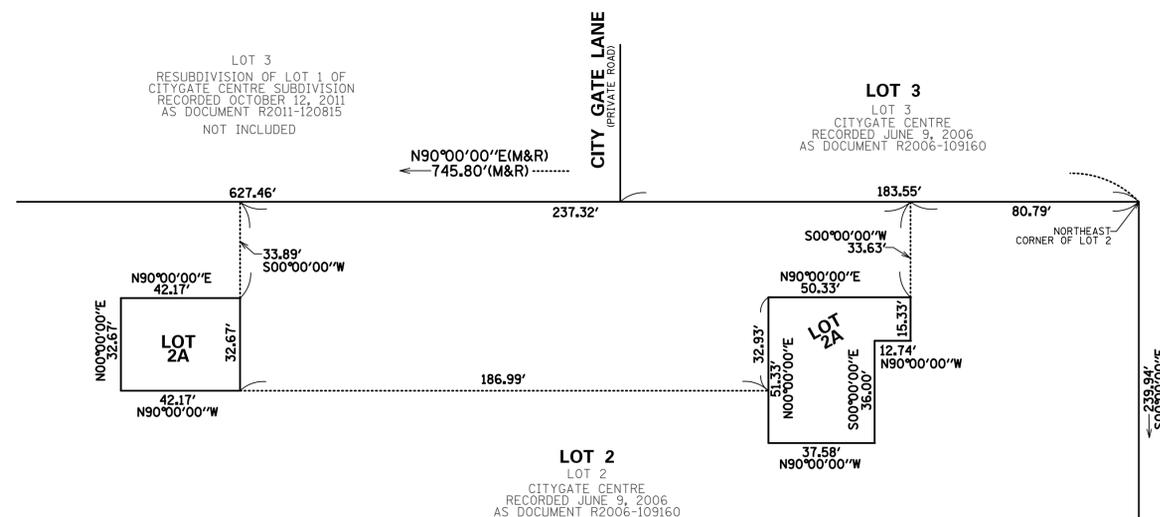
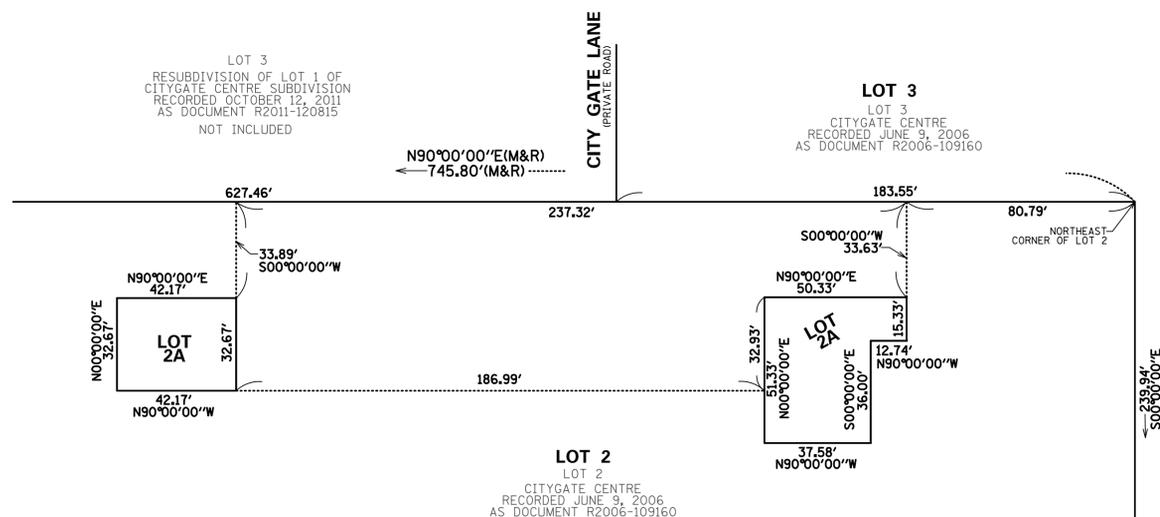
SCALE 1" = 30'
0 30 60

BASIS OF BEARINGS:
TRUE NORTH BASED ON GEODETIC
OBSERVATION IL EAST ZONE

LEGEND	
(M)	MEASURED
(R)	RECORDED

LEVEL 1
FROM ELEVATION 723.00' TO 737.75'

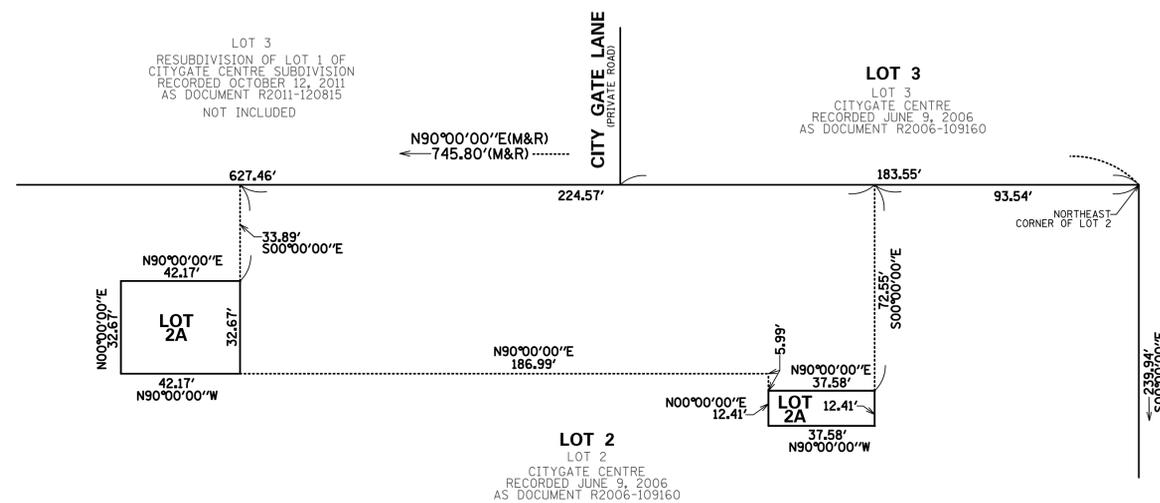
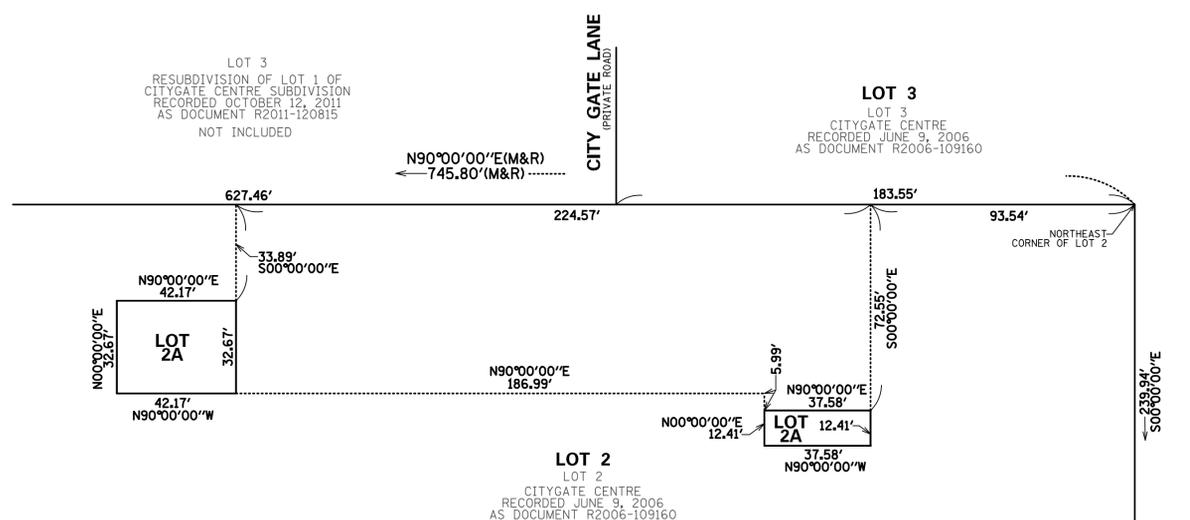
LEVEL 2
FROM ELEVATION 737.50' TO 749.50'



SEE SHEET 5 FOR BENCHMARK INFORMATION

LEVEL 3
FROM ELEVATION 749.50' TO 761.25'

LEVEL 4
FROM ELEVATION 761.25' TO 773.00'



CITY PROJECT NUMBER 20-1000011
FINAL PLAT OF RESUBDIVISION
**RESUBDIVISION OF LOTS 2 & 3 OF
CITYGATE CENTRE SUBDIVISION**

PREPARED FOR:
Kimley-Horn

© 2016 KIMLEY-HORN AND ASSOCIATES, INC.
1001 WARRENVILLE ROAD, SUITE 350,
LISLE, IL 60532
PHONE: 630-487-5550
WWW.KIMLEY-HORN.COM

FOR REVIEW
PURPOSES ONLY

REVISIONS:
03/06/2020



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

DATE: 02/03/2020
JOB NO: 4246.12
FILENAME: 4246.12SUB-01
SHEET 2 OF 6

FINAL PLAT OF RESUBDIVISION

RESUBDIVISION OF LOTS 2 & 3 OF
CITYGATE CENTRE SUBDIVISION

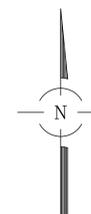
NAPERVILLE, ILLINOIS

A SUBDIVISION OF PART OF SECTION 3, TOWNSHIP 38 NORTH, RANGE 9
EAST OF THE THIRD PRINCIPAL MERIDIAN IN DUPAGE COUNTY, ILLINOIS

P.I.N.:
07-03-103-017-0000
07-03-103-016-0000

THIS PLAT HAS BEEN SUBMITTED FOR
RECORDING BY AND RETURN TO:

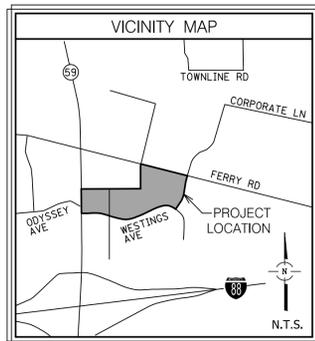
NAME: NAPERVILLE CITY CLERK
ADDRESS: 400 S. EAGLE STREET
NAPERVILLE, IL 60540



BASIS OF BEARINGS:
TRUE NORTH BASED ON GEODETIC
OBSERVATION 1L EAST ZONE

LEGEND

IM	MEASURED
IR	RECORD



LEVEL 5

FROM ELEVATION 773.00' TO 797.00'

SEE SHEET 5 FOR BENCHMARK INFORMATION

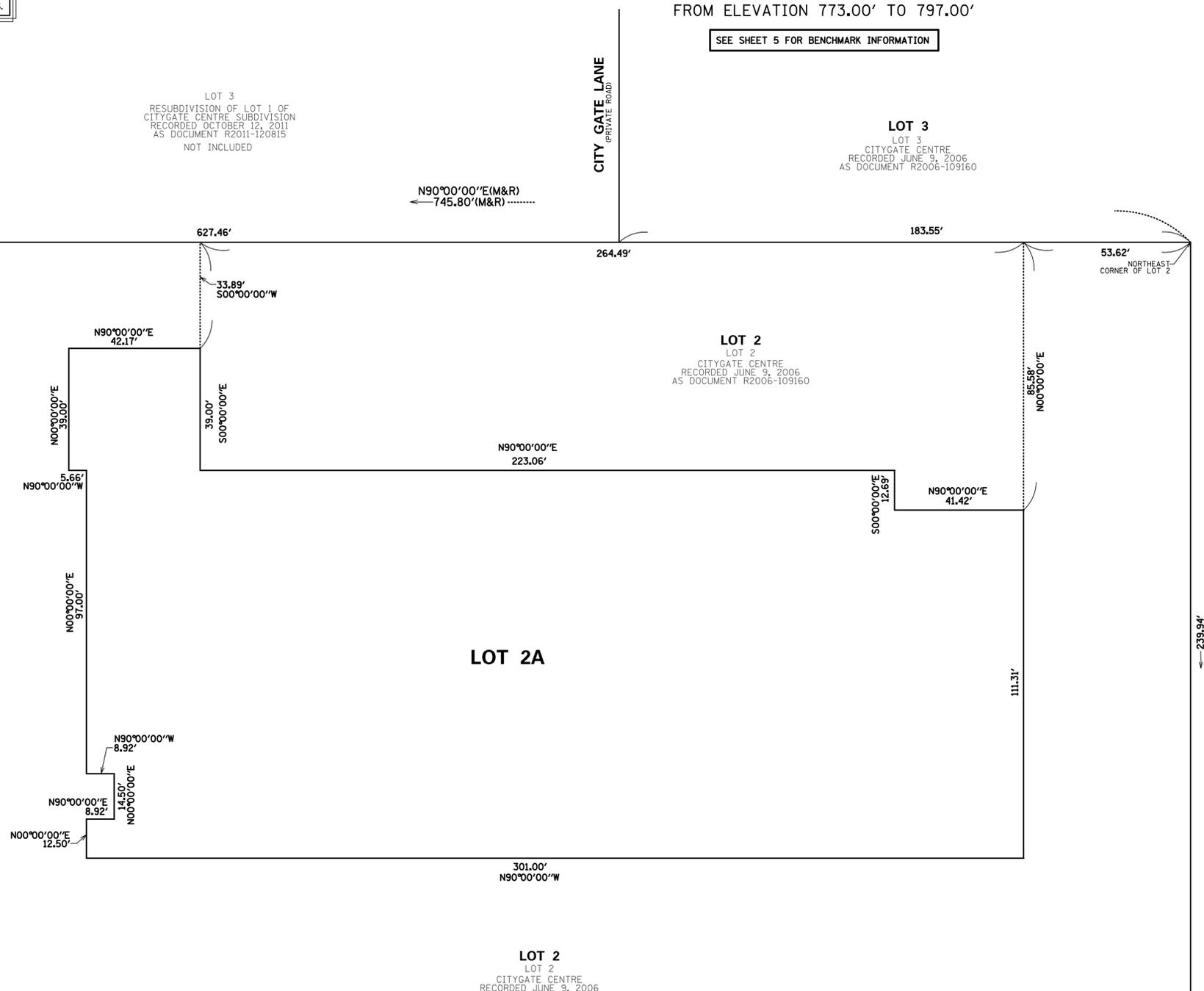
LOT 3
RESUBDIVISION OF LOT 1 OF
CITYGATE CENTRE SUBDIVISION
RECORDED OCTOBER 12, 2011
AS DOCUMENT R2011-120815
NOT INCLUDED

LOT 3
LOT 3
CITYGATE CENTRE
RECORDED JUNE 9, 2006
AS DOCUMENT R2006-109160

LOT 2
LOT 2
CITYGATE CENTRE
RECORDED JUNE 9, 2006
AS DOCUMENT R2006-109160

LOT 2A

LOT 2
LOT 2
CITYGATE CENTRE
RECORDED JUNE 9, 2006
AS DOCUMENT R2006-109160



CITY PROJECT NUMBER 20-1000011
FINAL PLAT OF RESUBDIVISION
RESUBDIVISION OF LOTS 2 & 3 OF
CITYGATE CENTRE SUBDIVISION

PREPARED FOR:
Kimley»Horn

© 2016 KIMLEY-HORN AND ASSOCIATES, INC.
1001 WARRENVILLE ROAD, SUITE 350,
LISLE, IL 60532
PHONE: 630-487-5550
WWW.KIMLEY-HORN.COM

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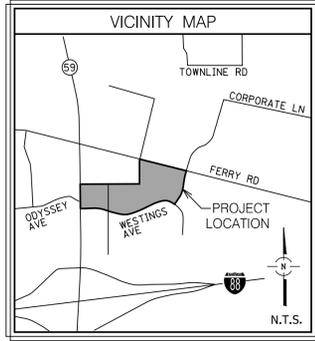
REVISIONS:
03/06/2020



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

DATE: 02/03/2020
JOB NO: 4246.12
FILENAME: 4246.12SUB-01
SHEET 3 OF 6



FINAL PLAT OF RESUBDIVISION RESUBDIVISION OF LOTS 2 & 3 OF CITYGATE CENTRE SUBDIVISION NAPERVILLE, ILLINOIS

A SUBDIVISION OF PART OF SECTION 3, TOWNSHIP 38 NORTH, RANGE 9
EAST OF THE THIRD PRINCIPAL MERIDIAN IN DUPAGE COUNTY, ILLINOIS

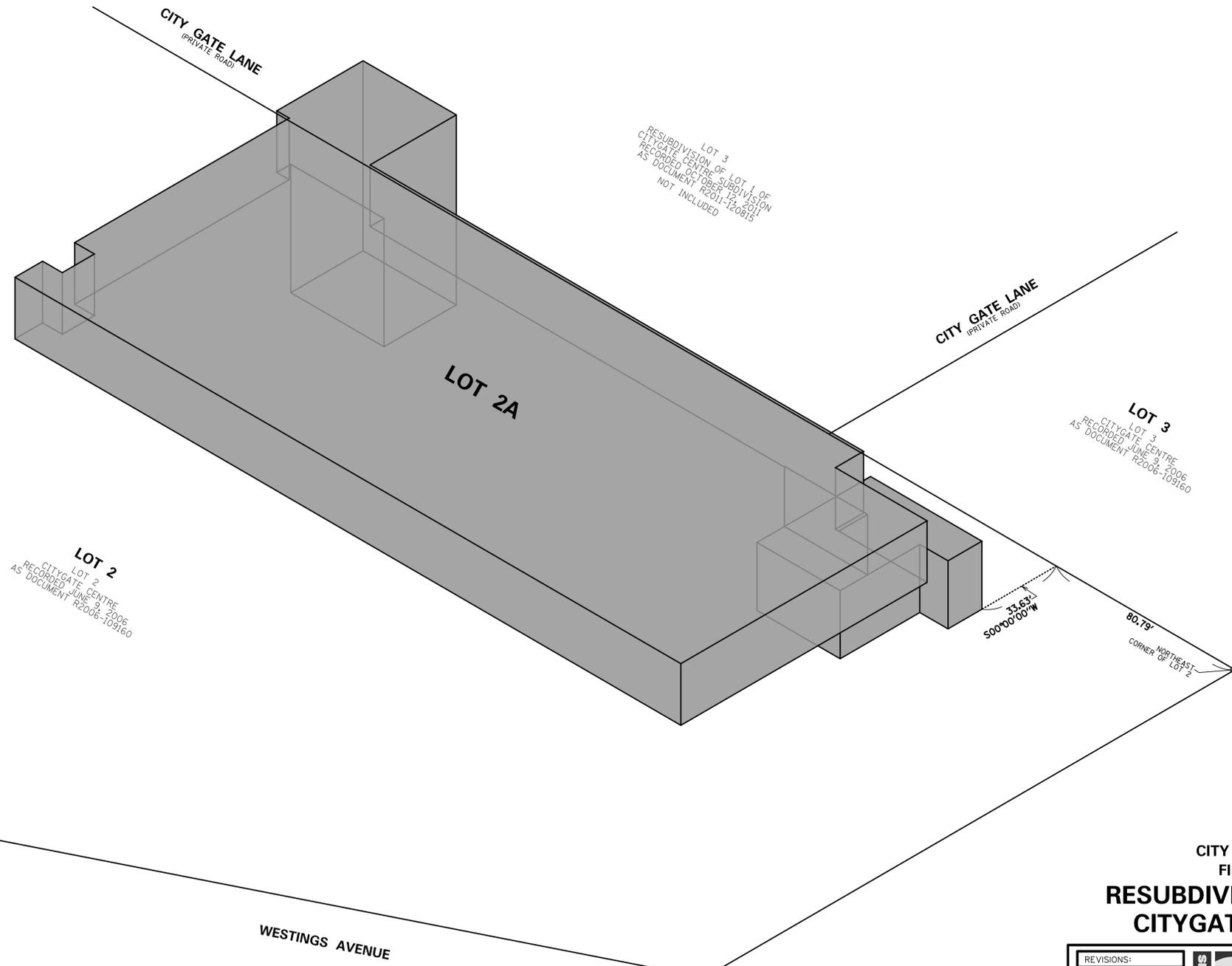
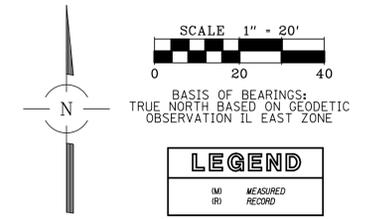
ISOMETRIC VIEW
FROM ELEVATION 723.00' TO 797.00'

SEE SHEET 5 FOR BENCHMARK INFORMATION

P.I.N.:
07-03-103-017-0000
07-03-103-018-0000

THIS PLAT HAS BEEN SUBMITTED FOR
RECORDING BY AND RETURN TO:

NAME: NAPERVILLE CITY CLERK
ADDRESS: 400 S. EAGLE STREET
NAPERVILLE, IL 60540



LOT 2
CITYGATE CENTRE
RECORDED JUNE 9, 2006
AS DOCUMENT R2006-109160

LOT 3
RESUBDIVISION OF LOT 1 OF
CITYGATE CENTRE SUBDIVISION
RECORDED OCTOBER 12, 2011
AS DOCUMENT R2011-120815
NOT INCLUDED

LOT 3
CITYGATE CENTRE
RECORDED JUNE 9, 2006
AS DOCUMENT R2006-109160

CITY PROJECT NUMBER 20-10000011
FINAL PLAT OF RESUBDIVISION
**RESUBDIVISION OF LOTS 2 & 3 OF
CITYGATE CENTRE SUBDIVISION**

PREPARED FOR:
Kimley»Horn
© 2016 KIMLEY-HORN AND ASSOCIATES, INC.
1001 WARRENVILLE ROAD, SUITE 350,
LISE, IL 60532
PHONE: 630-487-5550
WWW.KIMLEY-HORN.COM

FOR REVIEW
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REVISIONS:
03/06/2020



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

DATE: 02/03/2020
JOB NO: 4246.12
FILENAME: 4246.12SUB-01
SHEET: 4 OF 6

FINAL PLAT OF RESUBDIVISION RESUBDIVISION OF LOTS 2 & 3 OF CITYGATE CENTRE SUBDIVISION NAPERVILLE, ILLINOIS

A SUBDIVISION OF PART OF SECTION 3, TOWNSHIP 38 NORTH, RANGE 9
EAST OF THE THIRD PRINCIPAL MERIDIAN IN DUPAGE COUNTY, ILLINOIS

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF _____) SS

THIS IS TO CERTIFY THAT _____ IS THE OWNER OF THE PROPERTY DESCRIBED ABOVE AND AS SUCH OWNER, HAS CAUSED THE SAME TO BE PLATTED AS SHOWN HEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH AND AS ALLOWED AND PROVIDED BY STATUTES, AND SAID OWNER, DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE AFORESAID.

DATED AT _____, ILLINOIS, THIS _____ DAY OF _____, 20____.

By: _____

TITLE: _____

ATTEST: _____

TITLE: _____

NOTARY CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF _____) SS

I, _____, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT, _____ OF SAID OWNER, WHO ARE PERSONALLY

KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FORGOING INSTRUMENT AS SUCH _____ AND _____ RESPECTFULLY, APPEARED BEFORE ME THIS DAY IN PERSON AND JOINTLY AND SEVERALLY ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID OWNER FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL
THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC: _____

PRINTED NAME: _____

MY COMMISSION EXPIRES ON _____, _____, 20____.

SCHOOL DISTRICT BOUNDARY STATEMENT

THE UNDERSIGNED, BEING DULY SWORN, UPON HIS/HER OATH DEPOSES AND STATES AS FOLLOWS:

1. THAT _____ IS THE OWNER OF THE PROPERTY LEGALLY DESCRIBED ON THE PLAT OF SUBDIVISION, WHICH HAS BEEN SUBMITTED TO THE CITY OF NAPERVILLE FOR APPROVAL, WHICH LEGAL DESCRIPTION IS INCORPORATED HEREIN BY REFERENCE; AND
2. TO THE BEST OF THE OWNER'S KNOWLEDGE, THE SCHOOL DISTRICT IN WHICH TRACT, PARCEL LOT OR BLOCK OF THE PROPOSED SUBDIVISION LIES IS:

INDIAN PRAIRIE SCHOOL DISTRICT 204
780 SHORELINE DRIVE
AURORA, ILLINOIS 60504

OWNER: _____

By: _____

OWNER'S REPRESENTATIVE _____

PRINT NAME _____

SUBSCRIBED AND SWORN BEFORE ME THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC _____

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF _____) SS

THIS IS TO CERTIFY THAT _____ IS THE OWNER OF THE PROPERTY DESCRIBED ABOVE AND AS SUCH OWNER, HAS CAUSED THE SAME TO BE PLATTED AS SHOWN HEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH AND AS ALLOWED AND PROVIDED BY STATUTES, AND SAID OWNER, DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE AFORESAID.

DATED AT _____, ILLINOIS, THIS _____ DAY OF _____, 20____.

By: _____

TITLE: _____

ATTEST: _____

TITLE: _____

NOTARY CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF _____) SS

I, _____, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT, _____ OF SAID OWNER, WHO ARE PERSONALLY

KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FORGOING INSTRUMENT AS SUCH _____ AND _____ RESPECTFULLY, APPEARED BEFORE ME THIS DAY IN PERSON AND JOINTLY AND SEVERALLY ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID OWNER FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL
THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC: _____

PRINTED NAME: _____

MY COMMISSION EXPIRES ON _____, _____, 20____.

SCHOOL DISTRICT BOUNDARY STATEMENT

THE UNDERSIGNED, BEING DULY SWORN, UPON HIS/HER OATH DEPOSES AND STATES AS FOLLOWS:

1. THAT _____ IS THE OWNER OF THE PROPERTY LEGALLY DESCRIBED ON THE PLAT OF SUBDIVISION, WHICH HAS BEEN SUBMITTED TO THE CITY OF NAPERVILLE FOR APPROVAL, WHICH LEGAL DESCRIPTION IS INCORPORATED HEREIN BY REFERENCE; AND
2. TO THE BEST OF THE OWNER'S KNOWLEDGE, THE SCHOOL DISTRICT IN WHICH TRACT, PARCEL LOT OR BLOCK OF THE PROPOSED SUBDIVISION LIES IS:

INDIAN PRAIRIE SCHOOL DISTRICT 204
780 SHORELINE DRIVE
AURORA, ILLINOIS 60504

OWNER: _____

By: _____

OWNER'S REPRESENTATIVE _____

PRINT NAME _____

SUBSCRIBED AND SWORN BEFORE ME THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC _____

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF _____) SS

THIS IS TO CERTIFY THAT _____ IS THE OWNER OF THE PROPERTY DESCRIBED ABOVE AND AS SUCH OWNER, HAS CAUSED THE SAME TO BE PLATTED AS SHOWN HEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH AND AS ALLOWED AND PROVIDED BY STATUTES, AND SAID OWNER, DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE AFORESAID.

DATED AT _____, ILLINOIS, THIS _____ DAY OF _____, 20____.

By: _____

TITLE: _____

ATTEST: _____

TITLE: _____

NOTARY CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF _____) SS

I, _____, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT, _____ OF SAID OWNER, WHO ARE PERSONALLY

KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FORGOING INSTRUMENT AS SUCH _____ AND _____ RESPECTFULLY, APPEARED BEFORE ME THIS DAY IN PERSON AND JOINTLY AND SEVERALLY ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID OWNER FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL
THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC: _____

PRINTED NAME: _____

MY COMMISSION EXPIRES ON _____, _____, 20____.

SCHOOL DISTRICT BOUNDARY STATEMENT

THE UNDERSIGNED, BEING DULY SWORN, UPON HIS/HER OATH DEPOSES AND STATES AS FOLLOWS:

1. THAT _____ IS THE OWNER OF THE PROPERTY LEGALLY DESCRIBED ON THE PLAT OF SUBDIVISION, WHICH HAS BEEN SUBMITTED TO THE CITY OF NAPERVILLE FOR APPROVAL, WHICH LEGAL DESCRIPTION IS INCORPORATED HEREIN BY REFERENCE; AND
2. TO THE BEST OF THE OWNER'S KNOWLEDGE, THE SCHOOL DISTRICT IN WHICH TRACT, PARCEL LOT OR BLOCK OF THE PROPOSED SUBDIVISION LIES IS:

INDIAN PRAIRIE SCHOOL DISTRICT 204
780 SHORELINE DRIVE
AURORA, ILLINOIS 60504

OWNER: _____

By: _____

OWNER'S REPRESENTATIVE _____

PRINT NAME _____

SUBSCRIBED AND SWORN BEFORE ME THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC _____

CITY PROJECT NUMBER 20-10000011
FINAL PLAT OF RESUBDIVISION
**RESUBDIVISION OF LOTS 2 & 3 OF
CITYGATE CENTRE SUBDIVISION**

PREPARED FOR:
Kimley»Horn

© 2016 KIMLEY-HORN AND ASSOCIATES, INC.
1001 WARRENVILLE ROAD, SUITE 350,
JULIE, IL 60532
PHONE: 630-487-5550
WWW.KIMLEY-HORN.COM

FOR REVIEW
PURPOSES ONLY

REVISIONS:
03/06/2020



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

DATE: 02/03/2020
JOB NO: 4246.12
FILENAME: 4246.12SUB-01
SHEET 5 OF 6

FINAL PLAT OF RESUBDIVISION RESUBDIVISION OF LOTS 2 & 3 OF CITYGATE CENTRE SUBDIVISION NAPERVILLE, ILLINOIS

A SUBDIVISION OF PART OF SECTION 3, TOWNSHIP 38 NORTH, RANGE 9
EAST OF THE THIRD PRINCIPAL MERIDIAN IN DUPAGE COUNTY, ILLINOIS

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

THIS PLAT HAS BEEN APPROVED AND ACCEPTED BY THE MAYOR AND CITY COUNCIL OF THE
CITY OF NAPERVILLE, ILLINOIS, AT A MEETING HELD

ON THE ____ DAY OF _____, 20____.

CITY OF NAPERVILLE

MAYOR _____

CITY CLERK _____

CITY TREASURER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

I, TREASURER FOR THE CITY OF NAPERVILLE, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO
DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED
INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED
IN THE ANNEXED PLAT.

DATED AT NAPERVILLE, ILLINOIS, THIS ____ DAY OF _____, 20____.

CITY TREASURER/DIRECTOR, FINANCE DEPARTMENT _____

NOTE REGARDING CITY OF NAPERVILLE REQUIRED LAND-CASH DONATION: AN ESTIMATED LUMP
SUM LAND-CASH PAYMENT FOR THE PROPERTY SHOWN HEREON WAS MADE PRIOR TO RECORDED
THIS FINAL PLAT OF SUBDIVISION (OR FINAL PLANNED UNIT DEVELOPMENT PLAT) PER
SECTION 7-3-545.2.1 OF THE NAPERVILLE MUNICIPAL CODE. ADJUSTMENTS TO THE ESTIMATED
LUMP SUM AMOUNT SHALL BE MADE AT TIME OF ISSUANCE OF EACH BUILDING PERMIT WITHIN
THE PLATTED AREA PER SECTION 7-3-545.2.1.1 OF THE NAPERVILLE MUNICIPAL CODE.

PUBLIC UTILITIES AND DRAINAGE EASEMENT PROVISIONS:

EASEMENTS ARE HEREBY RESERVED FOR AND GRANTED TO THE CITY OF NAPERVILLE, ILLINOIS
("CITY") AND TO THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE OR CONTRACT
WITH THE CITY, OR OTHERWISE AUTHORIZED BY THE CITY, INCLUDING BUT NOT LIMITED TO
ILLINOIS BELL TELEPHONE COMPANY DBA AT&T ILLINOIS, NICOR GAS COMPANY, AND THEIR
SUCCESSORS AND ASSIGNS OVER, UPON, UNDER AND THROUGH ALL OF THE AREAS MARKED "PUBLIC
UTILITIES AND DRAINAGE EASEMENTS" OR ("P&D") ON THE PLAT FOR THE PERPETUAL RIGHT,
PRIVILEGE AND AUTHORITY TO INSTALL, SURVEY, CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT,
MAINTAIN, AND OPERATE VARIOUS UTILITY TRANSMISSION AND DISTRIBUTION SYSTEMS, COMMUNITY
ANTENNAE TELEVISION SYSTEMS AND INCLUDING STORM AND/OR SANITARY SEWERS, TOGETHER WITH
ANY AND ALL NECESSARY MANHOLES, CATCHBASINS, CONNECTIONS, APPLIANCES AND OTHER
STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID CITY, OVER, UPON,
UNDER AND THROUGH SAID INDICATED EASEMENTS, TOGETHER WITH THE RIGHT OF ACCESS ACROSS
THE PROPERTY FOR NECESSARY PERSONNEL AND EQUIPMENT TO DO ANY OF THE ABOVE WORK.

THE RIGHT IS ALSO GRANTED TO TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS ON THE
EASEMENT THAT INTERFERE WITH THE OPERATION OF THE SEWERS OR OTHER UTILITIES. NO
PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENT, BUT SAME MAY BE USED FOR
GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE
WITH THE AFORESAID USES OR RIGHTS. WHERE AN EASEMENT IS GRANTED BOTH FOR SEWERS AND
OTHER UTILITIES, THE OTHER UTILITY INSTALLATION SHALL BE SUBJECT TO THE ORDINANCES OF
THE CITY OF NAPERVILLE.

EASEMENTS ARE HEREBY RESERVED AND GRANTED TO THE CITY OF NAPERVILLE AND OTHER
GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OF THE LAND SUBDIVIDED HEREBY OVER THE
ENTIRE EASEMENT AREA FOR INGRESS, EGRESS AND THE PERFORMANCE OF MUNICIPAL AND OTHER
GOVERNMENTAL SERVICES, INCLUDING BUT NOT LIMITED TO, WATER, STORM AND SANITARY SEWER
SERVICE AND MAINTENANCE.

THERE IS HEREBY RESERVED FOR AND GRANTED TO THE CITY AN EASEMENT FOR RIGHT OF ACCESS
ON, OVER, ALONG AND ACROSS THE PROPERTY DESCRIBED HEREIN FOR THE LIMITED PURPOSE OF
READING, EXAMINING, INSPECTING, INSTALLING, OPERATING, MAINTAINING, EXCHANGING, REMOVING,
REPAIRING, TESTING, AND/OR REPLACING CITY OWNED UTILITY EQUIPMENT AND METERS WHICH
SERVE SAID PROPERTY, INCLUDING NECESSARY PERSONNEL AND EQUIPMENT TO DO ANY OF THE
ABOVE WORK.

POST CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP) EASEMENT PROVISION:

A POST CONSTRUCTION BEST MANAGEMENT PRACTICES EASEMENT IS HEREBY RESERVED FOR AND
GRANTED BY THE OWNER OF THE SUBJECT PROPERTY TO THE CITY OF NAPERVILLE, ITS AGENTS,
SUCCESSORS AND ASSIGNS OR ANY OTHER GOVERNMENTAL ENTITY HAVING JURISDICTION OVER
BEST MANAGEMENT PRACTICES FOR THE TREATMENT OF STORMWATER RUNOFF WITHIN THOSE
AREAS OF THE SUBJECT PROPERTY DESIGNATED AND DEFINED ON THIS PLAT AS "POST
CONSTRUCTION BEST MANAGEMENT PRACTICES EASEMENTS" OR ("PCBMP"), NO BUILDINGS,
STRUCTURES, EARTHEN FILL, OR OBSTRUCTIONS THAT WOULD MODIFY THE FLOW OF STORMWATER
OR INTERFERE WITH THE FUNCTION OF THE POST CONSTRUCTION BEST MANAGEMENT PRACTICES
SHALL BE UNDERTAKEN BY OWNER WITHOUT THE CONSENT OF THE CITY OF NAPERVILLE.

THE GRANT OF SAID PCBMP TO THE CITY OF NAPERVILLE SHALL INCLUDE THE RIGHT, PRIVILEGE,
AND AUTHORITY TO ENFORCE AND EFFECT COMPLIANCE BY OWNER, OWNER'S SUCCESSORS AND
ASSIGNS IN MAINTAINING, REPAIRING, REPLACING, AND REVEGETATING THE COMPONENT PARTS OF
THE POST CONSTRUCTION BEST MANAGEMENT PRACTICES INCLUDING BUT NOT LIMITED TO
CONTAINMENT BERMS, BIO-TREATMENT SWALES, DRYWELLS, INLETS, STORM DRAINS, AND NATIVE
VEGETATION. MAINTENANCE FUNCTIONS BY OWNER MAY INCLUDE PERIODIC TRIMMING, CLEARING OF
OBSTRUCTIONS, REMOVAL OF INVASIVE SPECIES, AND REPLANTING OF NATIVE PLANT
COMMUNITIES.

IN THE EVENT ANY OWNER FAILS TO MAINTAIN THE PCBMP FACILITY AS REQUIRED, THE CITY OF
NAPERVILLE OR OTHER GOVERNMENTAL ENTITY HAVING JURISDICTION OVER DRAINAGE OR PCBMP'S
SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO ENTER THE PROPERTY TO PERFORM
MAINTENANCE, REPAIR, CONSTRUCTION, OR RECONSTRUCTION NECESSARY TO MAINTAIN THE POST
CONSTRUCTION BEST MANAGEMENT PRACTICES ON SAID EASEMENT AREAS.

IN THE EVENT THE CITY OF NAPERVILLE SHALL BE REQUIRED TO PERFORM, OR HAVE PERFORMED
ON ITS BEHALF, ANY WORK TO OR UPON THE PCBMP EASEMENT, THE ACTUAL COST TOGETHER
WITH AN ADDITIONAL SUM OF TEN (10) PERCENT OF SAID COST AND ALL ATTORNEYS' FEES, SHALL
CONSTITUTE A LIEN AGAINST THE PROPERTY, WHICH LIEN MAY BE FORECLOSED BY AN ACTION
BROUGHT IN A COURT OF COMPETENT JURISDICTION BY OR ON BEHALF OF THE CITY OR SUCH
GOVERNMENTAL AGENCY.

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

I, _____, COUNTY CLERK OF DU PAGE COUNTY, ILLINOIS, DO HEREBY
CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES, NO
UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND
INCLUDED IN THE ANNEXED PLAT. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL
STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT WHEATON, ILLINOIS,

THIS ____ DAY OF _____, A.D. 20____.

COUNTY CLERK _____

RECORDER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

THIS INSTRUMENT NO. _____ WAS FILED FOR RECORD IN THE RECORDER'S
OFFICE OF DUPAGE COUNTY, ILLINOIS, AFORESAID ON THIS ____ DAY OF _____,
A.D. ____ , AT ____ O'CLOCK.

RECORDER OF DEEDS _____

SURFACE WATER DRAINAGE STATEMENT

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT
BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR THAT
IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN
MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR
DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS
WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES
SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF
THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS ____ DAY OF _____, 20____.

SIGNATURE _____
ILLINOIS REGISTERED PROFESSIONAL ENGINEER

STATE REGISTRATION NUMBER _____

REGISTRATION EXPIRATION DATE _____

OWNER: _____

BY: _____

OWNER'S REPRESENTATIVE _____
PRINT NAME

SOURCE BENCHMARKS:

DUPAGE COUNTY 2006 GEODETIC SURVEY MONUMENT:
BENCHMARK: NAPERVILLE 208
PID: A43753
STATION IS LOCATED ALONG THE WEST SIDE OF RAYMOND DRIVE, NORTH OF
THE INTERSECTION WITH DIERH ROAD. STATION IS 36.15 FEET WEST OF THE
CENTERLINE OF RAYMOND DRIVE, 583.0 FEET NORTH OF THE CENTERLINE OF
DIERH ROAD. MONUMENT IS AN ALUMINUM ROD 0.5 FEET ABOVE ROAD SURFACE
AND 2.2 FEET BELOW THE LID.
ELEVATION = 706.12 NAVD88

BENCHMARK: 0122
PID: D43291
STATION IS LOCATED ALONG THE WEST SIDE OF THE ILLINOIS PRAIRIE PATH,
SOUTH OF THE INTERSECTION WITH FERRY ROAD. STATION IS 14.0 FEET
SOUTH OF THE CENTERLINE OF FERRY ROAD AND 26.0 FEET WEST OF THE
WEST WALL ALONG THE BICYCLE TRAIL OVERPASS. MONUMENT IS A 3/8 INCH
BRASS DISK ON THE EAST SIDE OF THE CONCRETE BASE FOR TOWER #3017,
2.0 FEET ABOVE PATH SURFACE LEVEL.
ELEVATION = 723.85 NAVD88

SITE BENCHMARK #1:
SOUTHEAST TAG BOLT OF FIRE HYDRANT ON SOUTH SIDE OF WESTINGS
AVENUE AND +/-16' SOUTH OF THE TOP OF CURB NEAR THE CENTER OF THE
NORTH PROPERTY LINE.
ELEVATION = 717.44 NAVD88

SITE BENCHMARK #3:
SOUTHEAST BOLT OF THE SECOND FIRE HYDRANT ON NORTH SIDE OF WESTINGS
AVENUE AND WEST OF COMFORT DRIVE.
ELEVATION = 721.99 NAVD88

SITE BENCHMARK #4:
SOUTHEAST TAG BOLT OF FIRE HYDRANT AT THE SOUTHEAST CORNER OF THE
EAST/WEST DIRECTION OF CITY GATE LANE.
ELEVATION = 724.48 NAVD88

SITE BENCHMARK #5:
SOUTHEAST TAG BOLT OF FIRE HYDRANT ON THE SOUTH SIDE OF THE
EAST/WEST DIRECTION OF CITY GATE LANE SOUTH OF BUILDING NUMBER 2155.
ELEVATION = 724.49 NAVD88

SITE BENCHMARK #6:
SOUTHEAST TAG BOLT OF FIRE HYDRANT ON THE SOUTH SIDE OF THE
EAST/WEST DIRECTION OF CITY GATE LANE BETWEEN BUILDING NUMBERS 2135
AND 2139.
ELEVATION = 724.60 NAVD88

SITE BENCHMARK #7:
SOUTHWEST TAG BOLT OF FIRE HYDRANT AT THE NORTHWEST CORNER OF THE
NORTH/SOUTH DIRECTION OF CITY GATE LANE AND WESTINGS AVENUE.
ELEVATION 720.97 NAVD88

PROPERTY DESCRIPTION:

LOTS 2 AND 3 OF CITYGATE CENTRE, BEING A SUBDIVISION OF SECTION 3, TOWNSHIP
38 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT
THEREOF RECORDED JUNE 9, 2006 AS DOCUMENT NO. R2006-109160, DUPAGE COUNTY,
ILLINOIS.

ACCESS CONTROL COVENANT

THERE IS A PERMANENT ACCESS CONTROL COVENANT OVER THE UNDERLYING LOTS 1 & 2 PER
THE FINAL PLAT OF SUBDIVISION CITY GATE CENTRE RECORDED JUNE 9, 2006 AS DOCUMENT
NUMBER R2006-109160

"DIRECT VEHICULAR ACCESS SHALL NOT BE ALLOWED FROM ILLINOIS ROUTE 59 ONTO LOTS 1
AND 2 AS SHOWN ON PLAT HEREON DRAWN. THIS ACCESS CONTROL COVENANT SHALL BE
PERMANENT."

THE ILLINOIS DEPARTMENT OF TRANSPORTATION CERTIFICATE HAS BEEN OMITTED AT THE
DIRECTION OF CLIENT'S ATTORNEY SINCE NO NEW ACCESS IS PROPOSED OR REQUESTED FOR
THIS PROJECT AND PER THE ABOVE COVENANT.

THE DUPAGE COUNTY HIGHWAY ENGINEERING CERTIFICATE HAS BEEN OMITTED AT THE
DIRECTION OF CLIENT'S ATTORNEY SINCE NO NEW ACCESS IS PROPOSED OR REQUESTED FOR
THIS PROJECT TO AND FROM FERRY ROAD.

SURVEYORS AUTHORIZATION CERTIFICATE

I, JERRY P. CHRISTOPH, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. _____ 035-3540
DO HEREBY AUTHORIZE THE CITY OF NAPERVILLE OR THEIR AGENT TO FILE WITH THE DU PAGE
COUNTY RECORDER'S OFFICE THE PLAT OF RESUBDIVISION OF LOTS 2 & 3 OF CITYGATE CENTRE
SUBDIVISION, BEING A SUBDIVISION OF PART OF SECTION 3, TOWNSHIP 38 NORTH, RANGE 9, EAST
OF THE THIRD PRINCIPAL MERIDIAN, ALL IN DU PAGE COUNTY, ILLINOIS.

JERRY P. CHRISTOPH
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. _____ 035-3540

MY LICENSE EXPIRES ON _____ NOVEMBER 30, 2020

SPACECO, INC., PROFESSIONAL DESIGN FIRM NO. _____ 184-001157

THIS DESIGN FIRM NUMBER EXPIRES _____ APRIL 30, 2021

STATE OF ILLINOIS)
COUNTY OF COOK) SS

WE DECLARE THAT THE ABOVE DESCRIBED PROPERTY WAS SURVEYED AND SUBDIVIDED BY
SPACECO, INC., AN ILLINOIS PROFESSIONAL DESIGN FIRM, NUMBER 184-001157, AND THAT
THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY. ALL DISTANCES
ARE SHOWN IN FEET AND DECIMALS THEREOF.

SAID PROPERTY CONTAINS 533,633 SQUARE FEET OR 12.251 ACRES, MORE OR LESS.

WE FURTHER DECLARE THAT THE LAND IS WITHIN THE CITY OF NAPERVILLE WHICH HAS
ADOPTED A CITY COMPREHENSIVE PLAN AND MAP AND IS EXERCISING THE SPECIAL POWERS
AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE AS AMENDED.

WE FURTHER DECLARE, BASED UPON A REVIEW OF THE DUPAGE COUNTY REGULATORY FLOOD
MAP (RFM) COMMUNITY PANEL/MAP NUMBER 17043C0702H WITH AN EFFECTIVE DATE
DECEMBER 16, 2004. IT IS OUR CONSIDERED OPINION THAT THIS PROPERTY LIES WITHIN
"ZONE X" AREA AS IDENTIFIED BY SAID REGULATORY FLOOD MAP.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR
A BOUNDARY SURVEY, AS APPLICABLE TO PLATS OF SUBDIVISION.

GIVEN UNDER OUR HAND AND SEAL THIS ____ DAY OF _____, 20 ____ IN
ROSEMONT, ILLINOIS.

JERRY P. CHRISTOPH, I.P.L.S., No. 035-3540
LICENSE EXPIRES: 11-30-2020
johr1stoph@spacecoinc.com

(VALID ONLY IF EMBOSSED SEAL AFFIXED)

CITY PROJECT NUMBER 20-10000011 FINAL PLAT OF RESUBDIVISION RESUBDIVISION OF LOTS 2 & 3 OF CITYGATE CENTRE SUBDIVISION

PREPARED FOR:
Kimley»Horn

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1001 WARRENVILLE ROAD, SUITE 350,
Lisle, IL 60532
PHONE: 630-487-5550
WWW.KIMLEY-HORN.COM

FOR REVIEW
PURPOSES ONLY

REVISIONS:
03/06/2020



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

DATE: 02/03/2020
JOB NO: 4246.12
FILENAME: 4246.12SUB-01
SHEET 6 OF 6