

PRELIMINARY ENGINEERING PLANS
FOR
THE RESIDENCES AT NAPER AND PLANK
NAPERVILLE, IL

PROJECT TEAM

OWNER/DEVELOPER

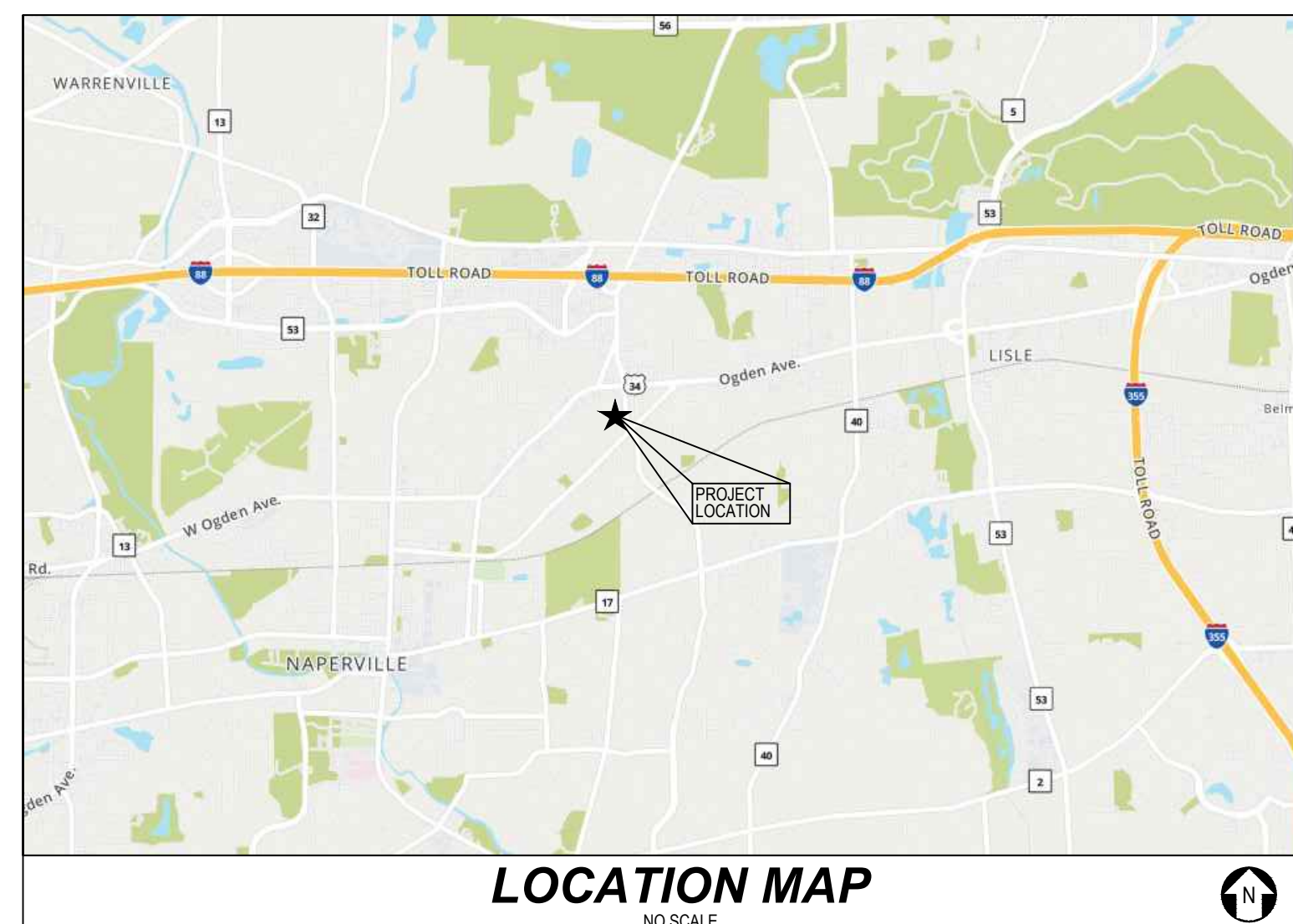
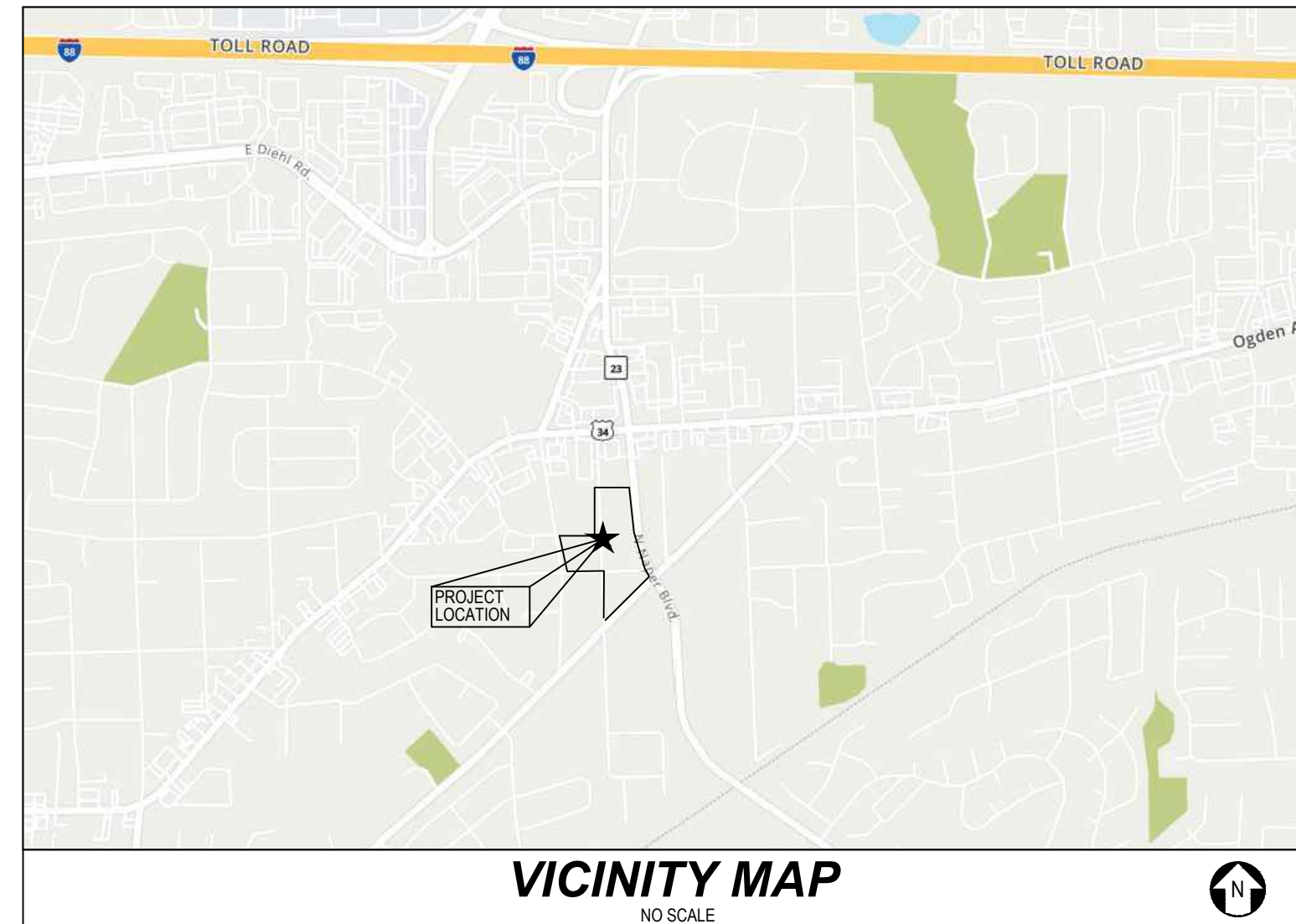
Lincoln Property Company
120 N. LaSalle Street, Suite 2900
Chicago, IL 60602
847-208-0915
Contact: Zack Grabijas, PE

ENGINEER

V3 Companies, Ltd.
7325 Janes Avenue
Woodridge, Illinois 60517
630 724 9200
Project Manager: Dan Free
dfree@v3co.com
Project Engineer: Tom Kunschke
tkunschke@v3co.com
Design Engineer: Noah Brackenbury
nbrackenbury@v3co.com

LANDSCAPE ARCHITECT

BSB Design
220 N. Smith Street, Suite 210
Palatine, IL 60067
847-705-2200
Contact: Terry Smith




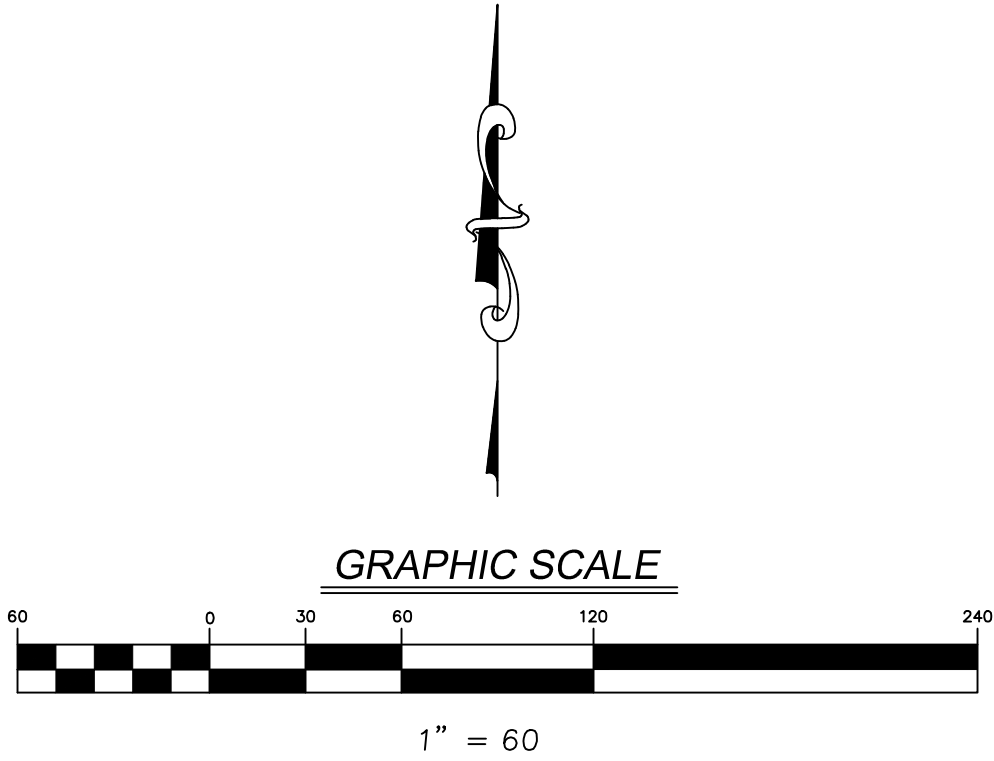
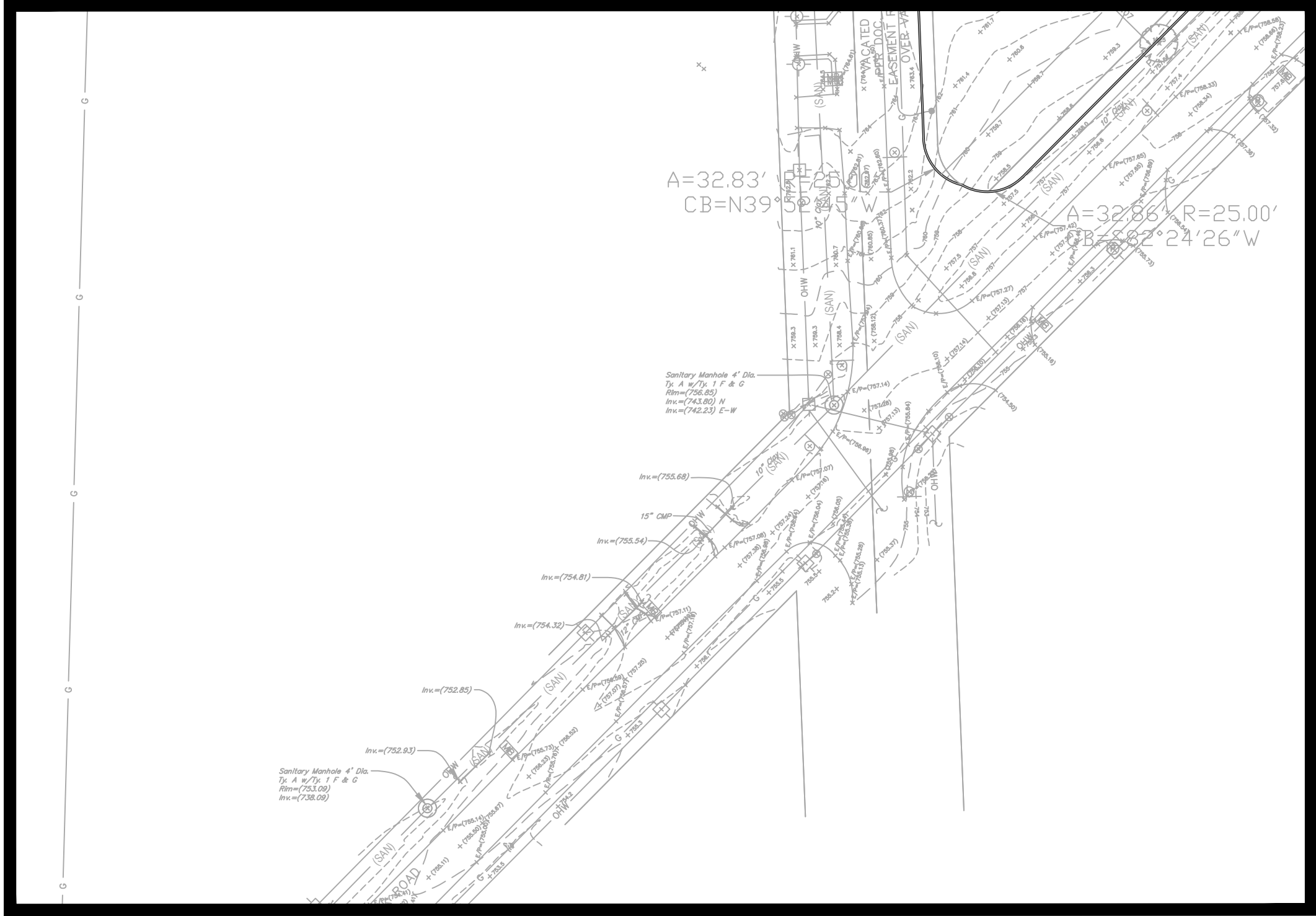
INDEX


CIVIL ENGINEERING PLANS

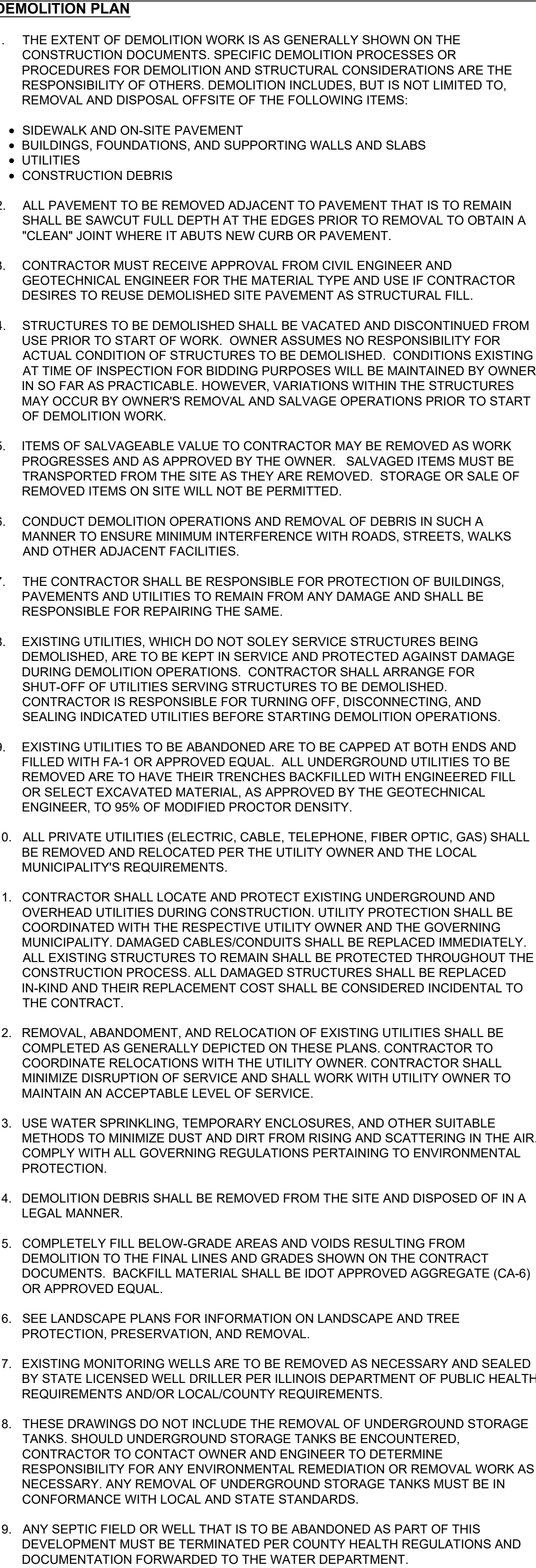
C0.0	TITLE SHEET
C1.0	EXISTING CONDITIONS PLAN
C2.0	PRELIMINARY DEMOLITION PLAN
C2.1	PRELIMINARY LAYOUT AND PAVING PLAN
C3.0	PRELIMINARY GRADING PLAN
C4.0	PRELIMINARY UTILITY PLAN
C4.1	PRELIMINARY UTILITY PLAN




<div></div> <div>7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone www.v3co.com</div>	TITLE SHEET		PROJECT NO.: 241072	ORIGINAL ISSUE DATE: 10-24-2024			REVISIONS					
	THE RESIDENCES AT NAPERVILLE NAPER AND PLANK			PROJECT MANAGER:	DF							
				DESIGNED BY:		NB						
				DRAWN BY:		KS						
DRAWING NO.												
C0.0												



<div></div> <div>7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone www.v3co.com</div>		EXISTING CONDITIONS PLAN		PROJECT NO.: 241072		ORIGINAL ISSUE DATE: 10-24-2024		REVISIONS		
						NO.	DATE	DESCRIPTION	NO.	DATE
		THE RESIDENCES AT NAPERVILLE NAPER AND PLANK		PROJECT MANAGER: DF		1	11-04-24	ISSUED FOR CITY REVIEW		
						2	02-26-25	REVISED PER CITY REVIEW		
						3	04-11-25	REVISED PER CITY REVIEW		
						4	05-20-25	REVISED PER CITY REVIEW		
		DRAWN BY: KS		DESIGNED BY: NB						
DRAWING NO. C1.0		IL								



<div></div> <div>7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone www.v3co.com</div>	<div>DEMOLITION PLAN</div> <div>THE RESIDENCES AT</div> <div>NAPER AND PLANK</div> <div>NAPERVILLE</div>	PROJECT NO.: 241072	ORIGINAL ISSUE DATE: 10-24-2024				REVISIONS	
		PROJECT MANAGER: DF	NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
		DESIGNED BY: NB	1	11-04-24	ISSUED FOR CITY REVIEW			
			2	02-26-25	REVISED PER CITY REVIEW			
			3	04-11-25	REVISED PER CITY REVIEW			
			4	05-20-25	REVISED PER CITY REVIEW			
		DRAWN BY:						
DRAWING NO.		C2.0						

PAVING LEGEND

BITUMINOUS PAVEMENT (LIGHT DUTY)(SN = 2.50)

2" BITUMINOUS CONCRETE SURFACE COURSE
2" HOT MIX ASPHALT BINDER COURSE
8" COMPACTED AGGREGATE BASE COURSE,
TYPE B, CA-6, GRADE 8 OR 9

BITUMINOUS PAVEMENT (PUBLIC ROADWAY)(SN = 3.00)

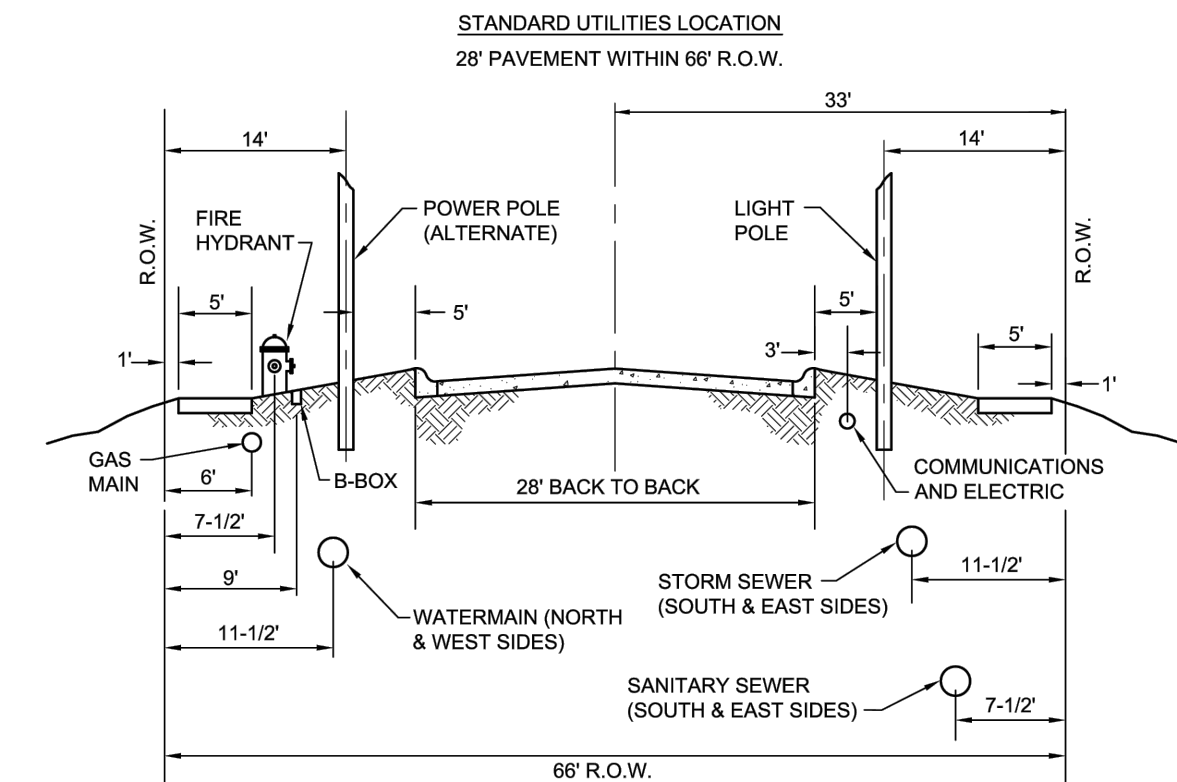
2" BITUMINOUS CONCRETE SURFACE COURSE
3.5" HOT MIX ASPHALT BINDER COURSE
8" COMPACTED AGGREGATE BASE COURSE,
TYPE B, CA-6, GRADE 8 OR 9

CONCRETE PAVEMENT (SN = 3.52)

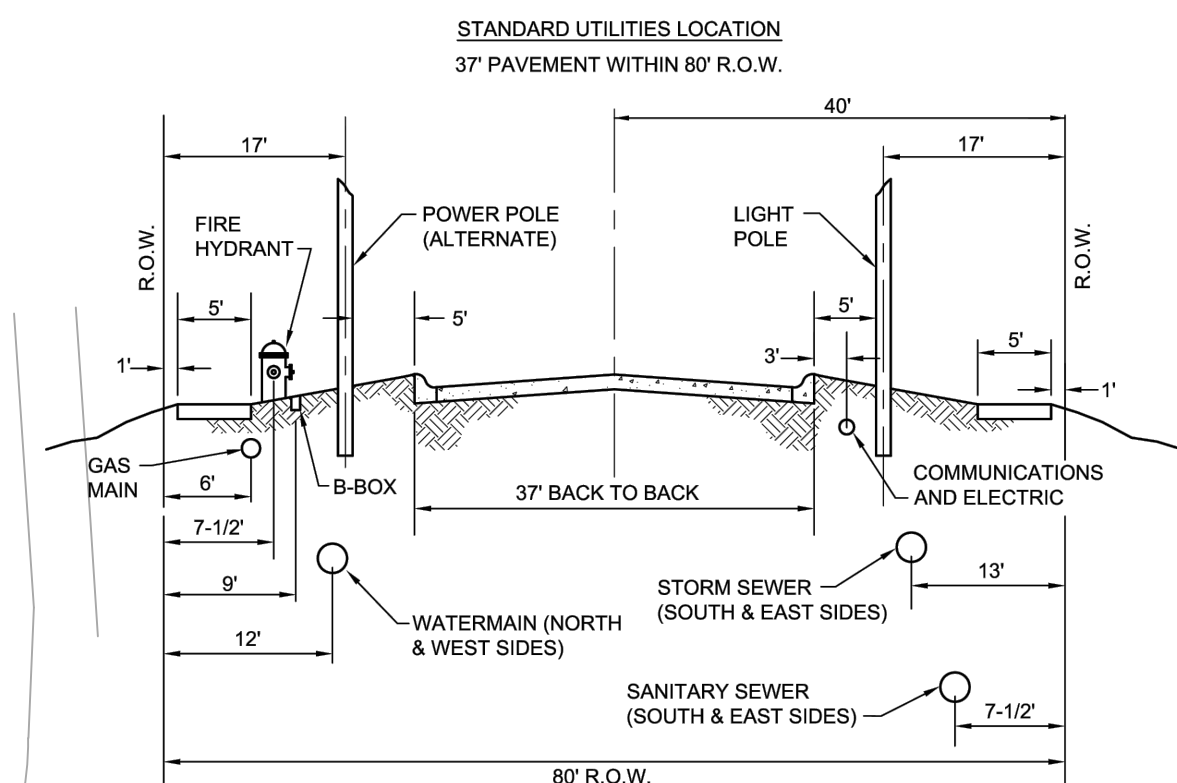
6" P.C. CONCRETE PAVEMENT
W/ W6.5XW4 WELDED WIRE FABRIC
4" COMPACTED AGGREGATE BASE COURSE
TYPE B, CA-6, GRADE 8 OR 9

CONCRETE SIDEWALK (SN = 2.26)

4" P.C. CONCRETE PAVEMENT
2" COMPACTED AGGREGATE BASE COURSE
TYPE B, CA-6, GRADE 8 OR 9



City of Naperville
STANDARD ROADWAY SECTION
REVISID: 01/01/2013
SHEET 2 OF 4
PAVEMENT 1
590.01



City of Naperville
STANDARD ROADWAY SECTION
REVISID: 01/01/2013
SHEET 3 OF 4
PAVEMENT 1
590.01

NOTES:

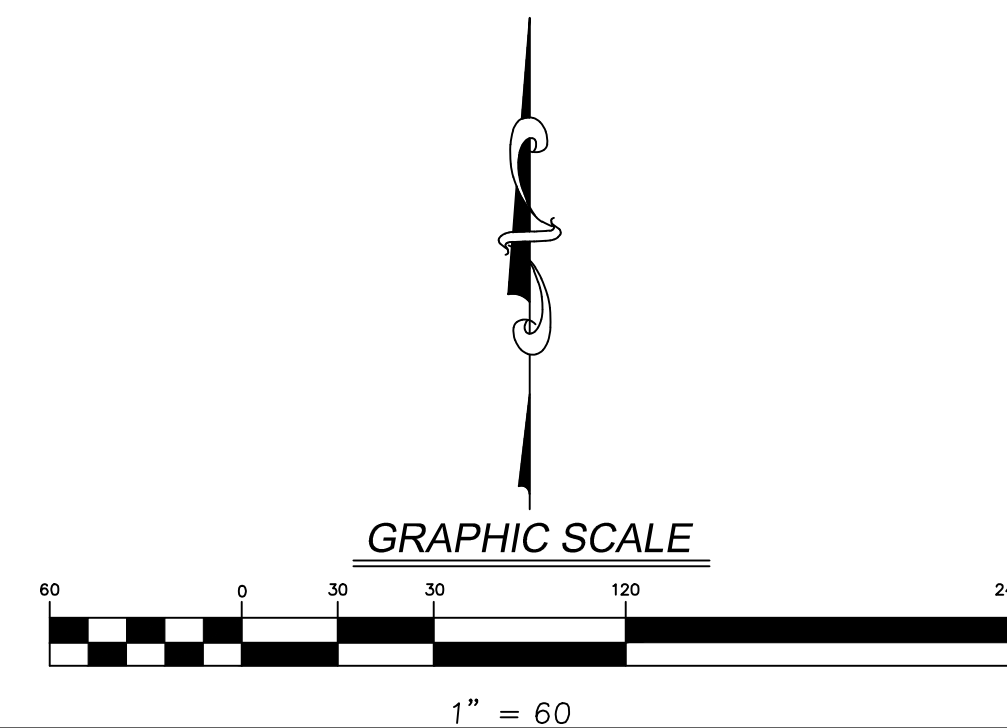
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED YELLOW UNLESS OTHERWISE NOTED.
- BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER SHALL BE B6.12 UNLESS OTHERWISE NOTED.
- DRIVEWAYS AND PARKING AREAS TO BE 4" ASPHALT OVER 8" CA6 (SN = 2.50).
- BURLINGTON AND TUTHILL ROADS TO BE 5.5" ASPHALT OVER 8" CA6 (SN = 3.00).

SITE DATA

LOT1
AREA = 1.52 AC(66,155 SF)
3 TOWNHOME BUILDINGS - 15 UNITS
PARKING
REQUIRED: 2 PARKING SPACES PER DWELLING UNIT PLUS 0.25 GUESTS
PARKING SPACES (34)
PROVIDED: 60 PARKING SPACES
30 GARAGE SPACES, 30 DRIVEWAY SPACES

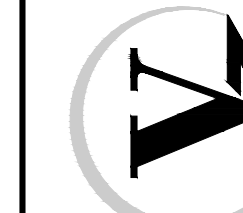
LOT2
AREA = 6.56 AC(285,743 SF)
4 TOWNHOME BUILDINGS - 19 UNITS
PARKING
REQUIRED: 2 PARKING SPACES PER DWELLING UNIT PLUS 0.25 GUESTS
PARKING SPACES (43)
PROVIDED: 76 PARKING SPACES
38 GARAGE SPACES, 38 DRIVEWAY SPACES

10 ROWHOME BUILDINGS - 56 UNITS
PARKING
REQUIRED: 2 PARKING SPACES PER DWELLING UNIT PLUS 0.25 GUESTS
PARKING SPACES (128)
PROVIDED: 138 PARKING SPACES
112 GARAGE SPACES, 26 STREET SPACES



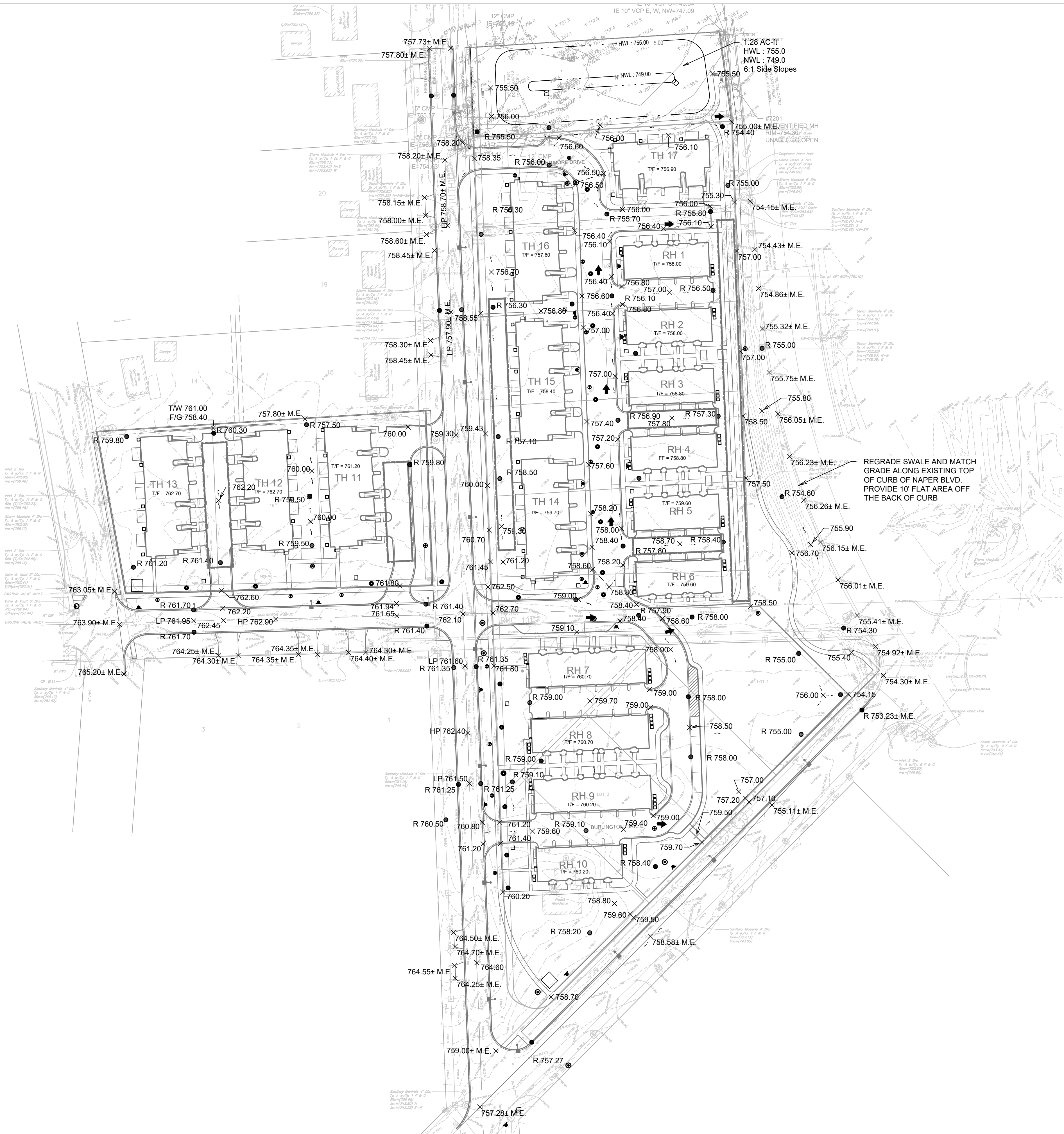
PRELIMINARY LAYOUT AND PAVING PLAN THE RESIDENCES AT NAPERVILLE NAPER AND PLANK

7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
www.v3co.com




DRAWING NO.

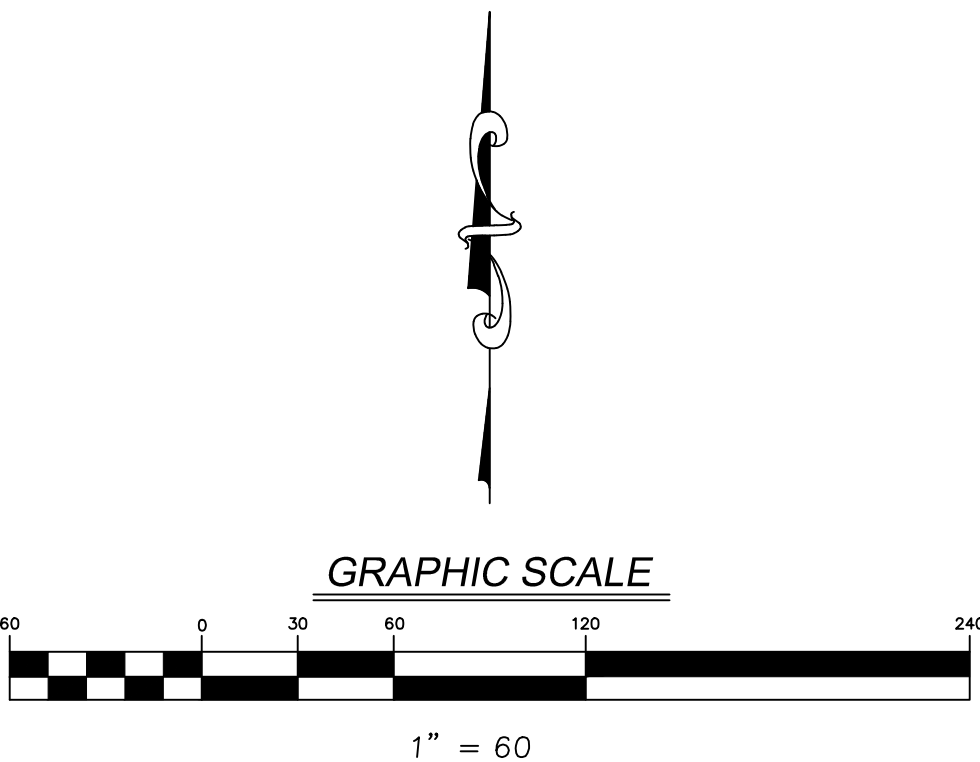
C2.1



- NOTES:
1. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
 2. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. SUBTRACT TOPSOIL THICKNESS OR PAVEMENT SECTION TO ESTABLISH SUBGRADE ELEVATIONS.
 3. PROVIDE 1.50% CROSS SLOPE AND 4.00% MAXIMUM LONGITUDINAL SLOPE ON ALL SIDEWALKS AND PEDESTRIAN PATHS UNLESS OTHERWISE INDICATED. PLEASE NOTE THAT THE ILLINOIS ACCESSIBILITY CODE REQUIRES A MAXIMUM CONSTRUCTED CROSS SLOPE OF 2.00% AND LONGITUDINAL SLOPE OF 5.00%.

DETENTION SUMMARY:			
TOTAL SITE AREA: 8.08 AC			
DETENTION VOLUME REQUIRED: 3.64 AC-FT			
DETENTION VOLUME PROVIDED: 3.675 AC-FT			
- 0.696 AC-FT IN WESTERN PARCEL CHAMBERS			
- 1.699 AC-FT IN EASTERN PARCEL CHAMBERS			
- 1.280 AC-FT IN DETENTION POND			
POST-CONSTRUCTION BEST MANAGEMENT PRACTICE SUMMARY:			
BMP VOLUME REQUIRED: 0.470 AC-FT			
BMP VOLUME PROVIDED IN UNDERGROUND CHAMBERS: 0.470 AC-FT			

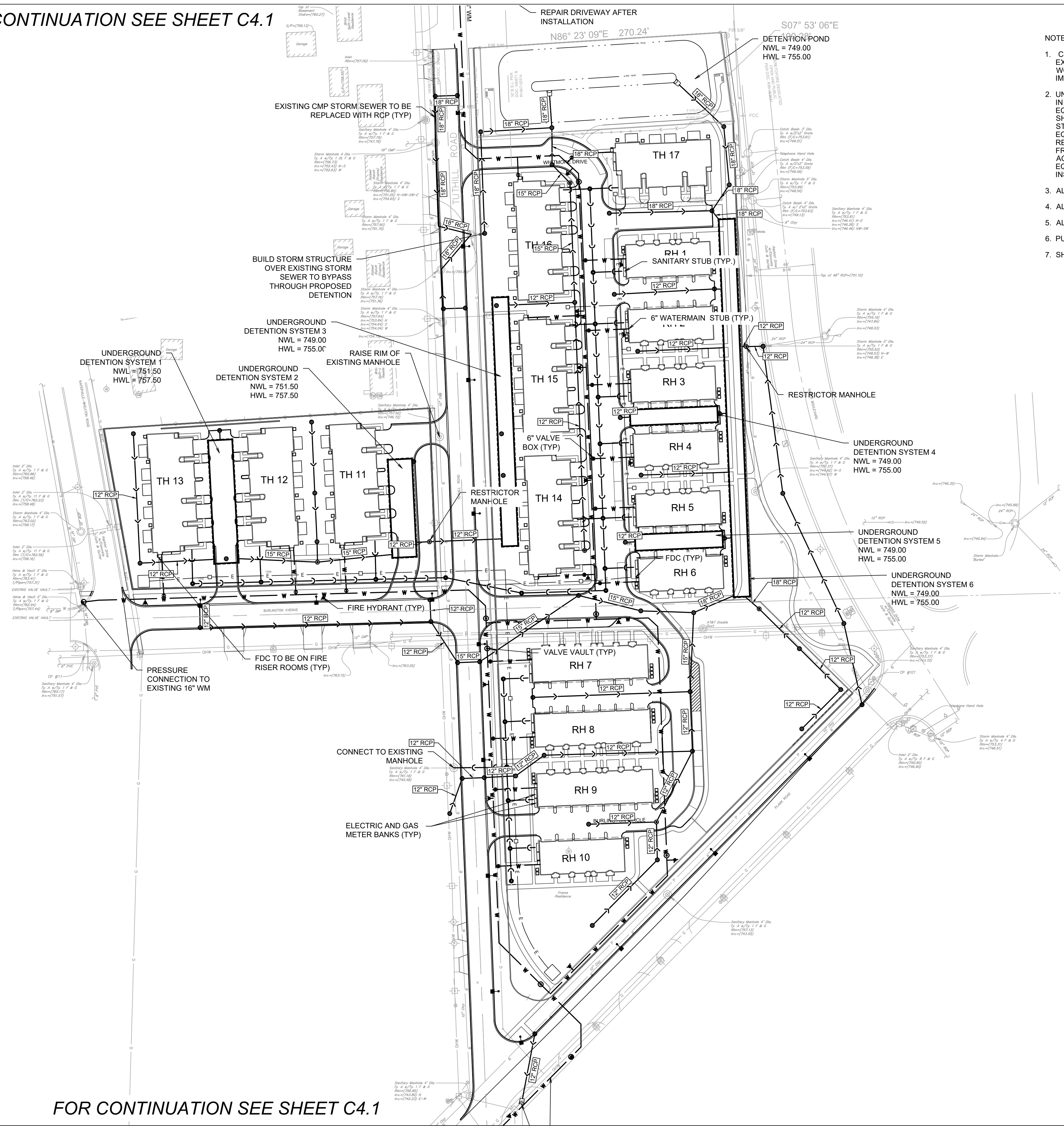
<div></div> <div>7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone www.v3co.com</div>	<div>PRELIMINARY GRADING PLAN</div> <div>THE RESIDENCES AT</div> <div>NAPERVILLE NAPER AND PLANK</div>		DRAWING NO. <div>C3.0</div>		ORIGINAL ISSUE DATE: 10-24-2024						REVISIONS							
					PROJECT NO.: 241072		NO.		DATE		DESCRIPTION		NO.		DATE		DESCRIPTION	
					PROJECT MANAGER: DF		1		11-04-24		ISSUED FOR CITY REVIEW							
							2		02-26-25		REVISED PER CITY REVIEW							
					DESIGNED BY: NB		3		04-11-25		REVISED PER CITY REVIEW							
							4		05-20-25		REVISED PER CITY REVIEW							
					DRAWN BY:													



GRAPHIC SCALE

1" = 60'

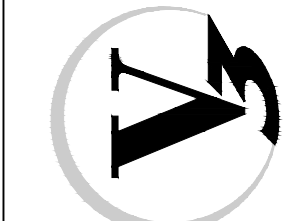
FOR CONTINUATION SEE SHEET C4.1



- NOTES:
- CONTRACTOR TO FIELD VERIFY LOCATION, INVERT, AND SIZE OF ALL EXISTING UTILITIES PRIOR TO ORDERING MATERIALS OR BEGINNING UTILITY WORK. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
 - UNLESS INDICATED OTHERWISE, FRAME AND OPEN LID STORM STRUCTURES IN PAVEMENT SHALL BE NEENAH R-2502 WITH TYPE D LID OR APPROVED EQUAL, AND FRAME AND CLOSED LID STORM STRUCTURES IN PAVEMENT SHALL BE NEENAH R-1772 OR APPROVED EQUAL. FRAME AND OPEN LID STORM STRUCTURES IN OPEN SPACE SHALL BE R-4340-B OR APPROVED EQUAL. ALL FRAME AND GRATES SHALL CONFORM TO LOCAL MUNICIPALITY REQUIREMENTS. FRAME AND CLOSED LID STORM STRUCTURES LOCATED WITHIN AN ACCESSIBLE ROUTE SHALL BE "NEENAH R-1772 WITH TYPE C LID (OR EQUIVALENT) WITH PERMA-GRIP SURFACE. DRILL 1 - 1" DIAMETER LIFT HOLE INSTEAD OF A STANDARD PICK HOLE."
 - ALL WATER SERVICES TO BE 6" DIP COMBINED FIRE AND DOMESTIC
 - ALL SANITARY SERVICES FROM INDIVIDUAL BUILDINGS TO BE 6" PVC SDR 26.
 - ALL DOWNSPOUT CONNECTIONS TO BE 4" PVC SDR 26.
 - PUBLIC WATERMAIN TO BE 8" DIP CL 52 WITH CEMENT LINING.
 - SHARED/PUBLIC SANITARY SEWER TO BE 8" PVC SDR 26.

PRELIMINARY UTILITY PLAN
THE RESIDENCES AT
NAPERVILLE NAPER AND PLANK

7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
www.v3co.com



DRAWING NO.

C4.0

REVISIONS

ORIGINAL ISSUE DATE: 10-24-2024

PROJECT NO.: 241072

PROJECT MANAGER: DF

DESIGNED BY: NB

DRAWN BY: IL

KS

NO.

DATE

DESCRIPTION

NO.

DATE

DESCRIPTION

NO.

DATE

DESCRIPTION

NO.

DATE

DESCRIPTION

NO.

DATE

DESCRIPTION

NO.

DATE

DESCRIPTION

NO.

DATE

DESCRIPTION

NO.

DATE

DESCRIPTION

NO.

DATE

DESCRIPTION

NO.

DATE

DESCRIPTION

NO.

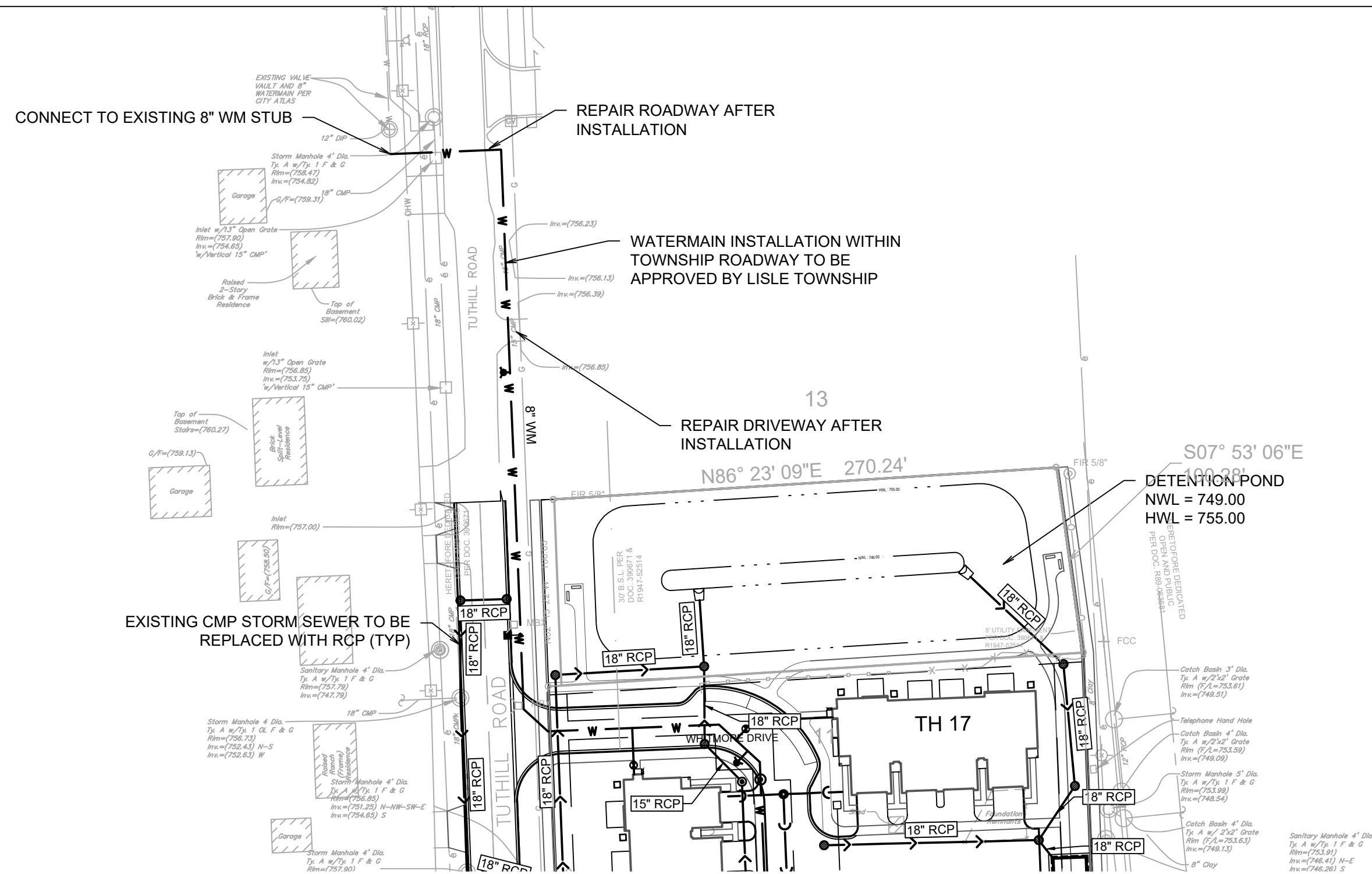
DATE

DESCRIPTION

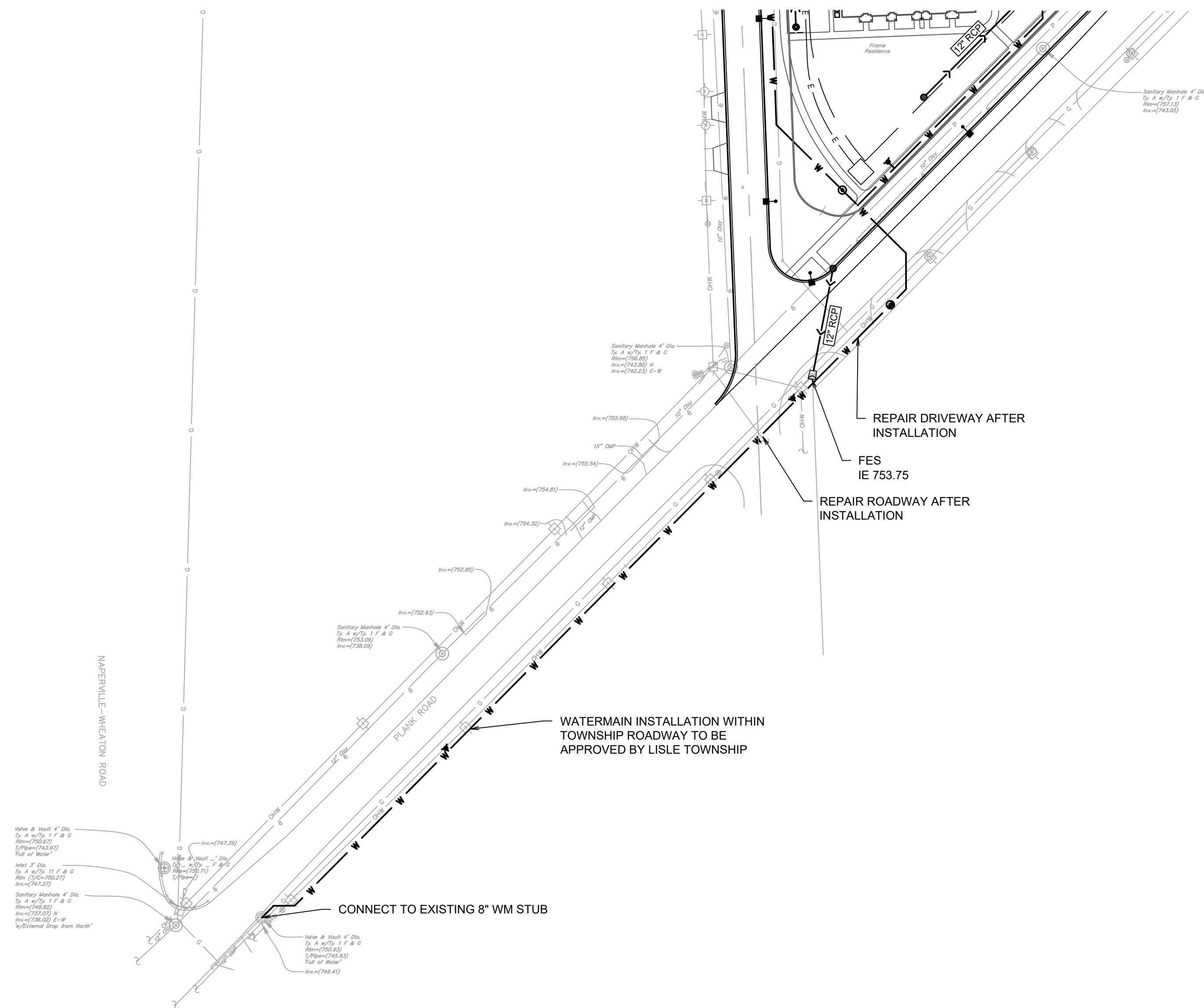
NO.

DATE

DESCRIPTION



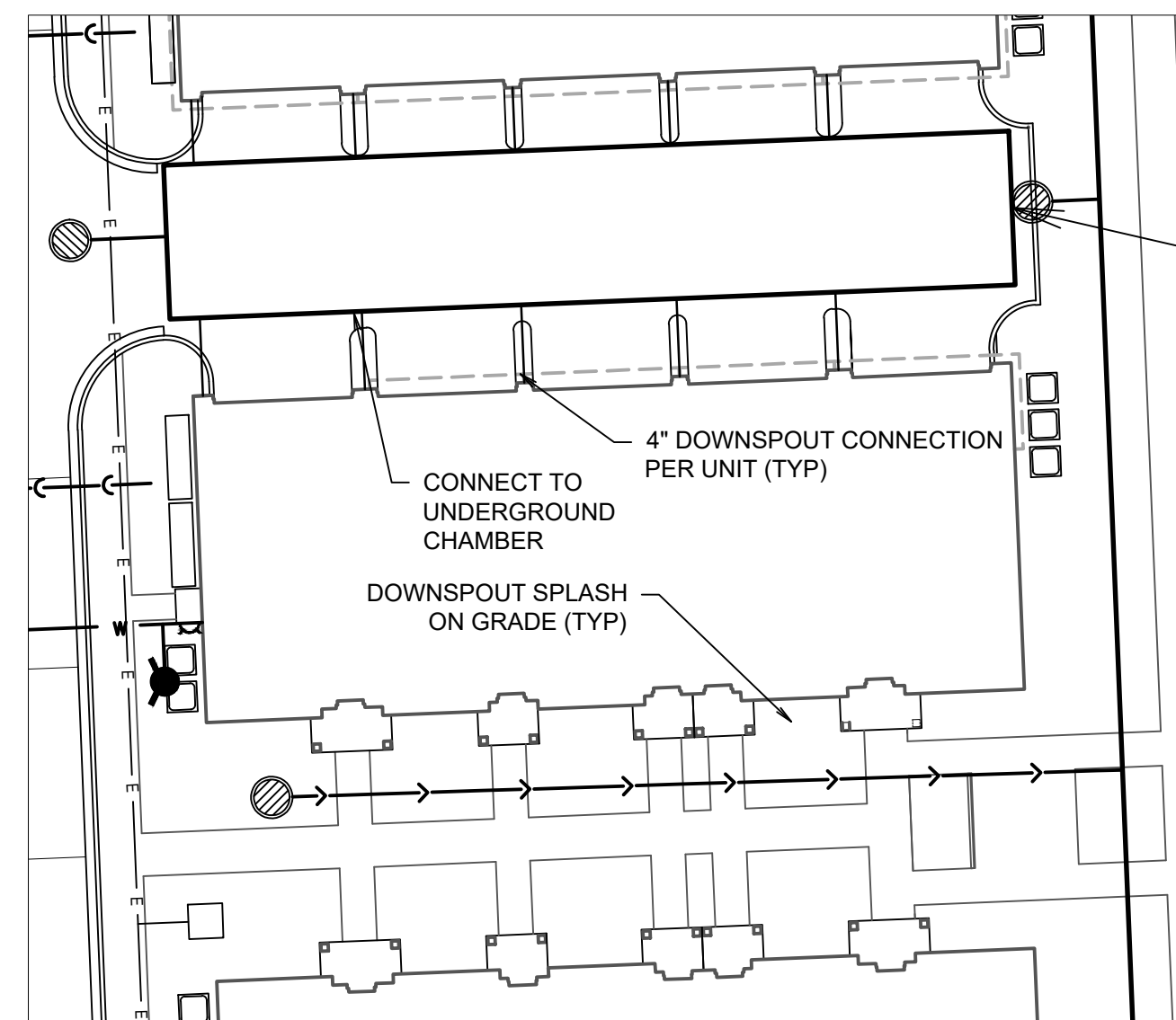
FOR CONTINUATION SEE SHEET C4.0



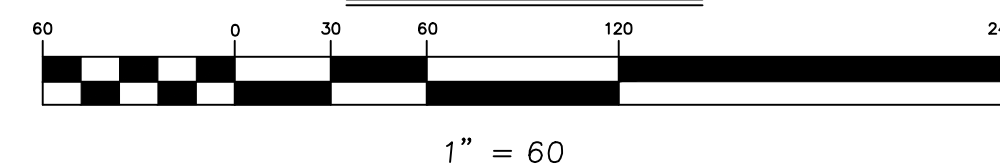
NOTES:

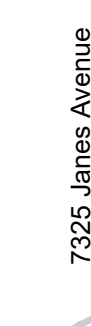
1. CONTRACTOR TO FIELD VERIFY LOCATION, INVERT, AND SIZE OF ALL EXISTING UTILITIES PRIOR TO ORDERING MATERIALS OR BEGINNING UTILITY WORK. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
2. UNLESS INDICATED OTHERWISE, FRAME AND OPEN LID STORM STRUCTURES IN PAVEMENT SHALL BE NEENAH R-2502 WITH TYPE D LID OR APPROVED EQUAL, AND FRAME AND CLOSED LID STORM STRUCTURES IN PAVEMENT SHALL BE NEENAH R-1772 OR APPROVED EQUAL. FRAME AND OPEN LID STORM STRUCTURES IN OPEN SPACE SHALL BE R-4340-B OR APPROVED EQUAL. ALL FRAME AND GRATES SHALL CONFORM TO LOCAL MUNICIPALITY REQUIREMENTS. FRAME AND CLOSED LID STORM STRUCTURES LOCATED WITHIN AN ACCESSIBLE ROUTE SHALL BE "NEENAH R-1772 WITH TYPE C LID (OR EQUIVALENT) WITH PERMA-GRIP SURFACE. DRILL 1 - 1" DIAMETER LIFT HOLE INSTEAD OF A STANDARD PICK HOLE."
3. ALL WATER SERVICES TO BE 6" DIP COMBINED FIRE AND DOMESTIC
4. ALL SANITARY SERVICES FROM INDIVIDUAL BUILDINGS TO BE 6" PVC SDR 26.
5. ALL DOWNSPOUT CONNECTIONS TO BE 4" PVC SDR 26.
6. PUBLIC WATERMAIN TO BE 8" DIP CL 52 WITH CEMENT LINING.
7. SHARED/PUBLIC SANITARY SEWER TO BE 8" PVC SDR 26.

TYPICAL DOWNSPOUT PLAN



GRAPHIC SCALE



<div><div>7325 Janes Avenue Woodridge, IL 60517 630.724.9200 phone www.v3co.com</div></div>	PRELIMINARY UTILITY PLAN		PROJECT NO.: 241072		ORIGINAL ISSUE DATE: 10-24-2024				REVISIONS	
					PROJECT MANAGER: DF					
	THE RESIDENCES AT NAPERVILLE NAPER AND PLANK		DESIGNED BY: NB		NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
			DRAWN BY: KS		1	11-04-24	ISSUED FOR CITY REVIEW			
					2	02-26-25	REVISED PER CITY REVIEW			
					3	04-11-25	REVISED PER CITY REVIEW			
					4	05-20-25	REVISED PER CITY REVIEW			

DRAWING NO.

C.4.1