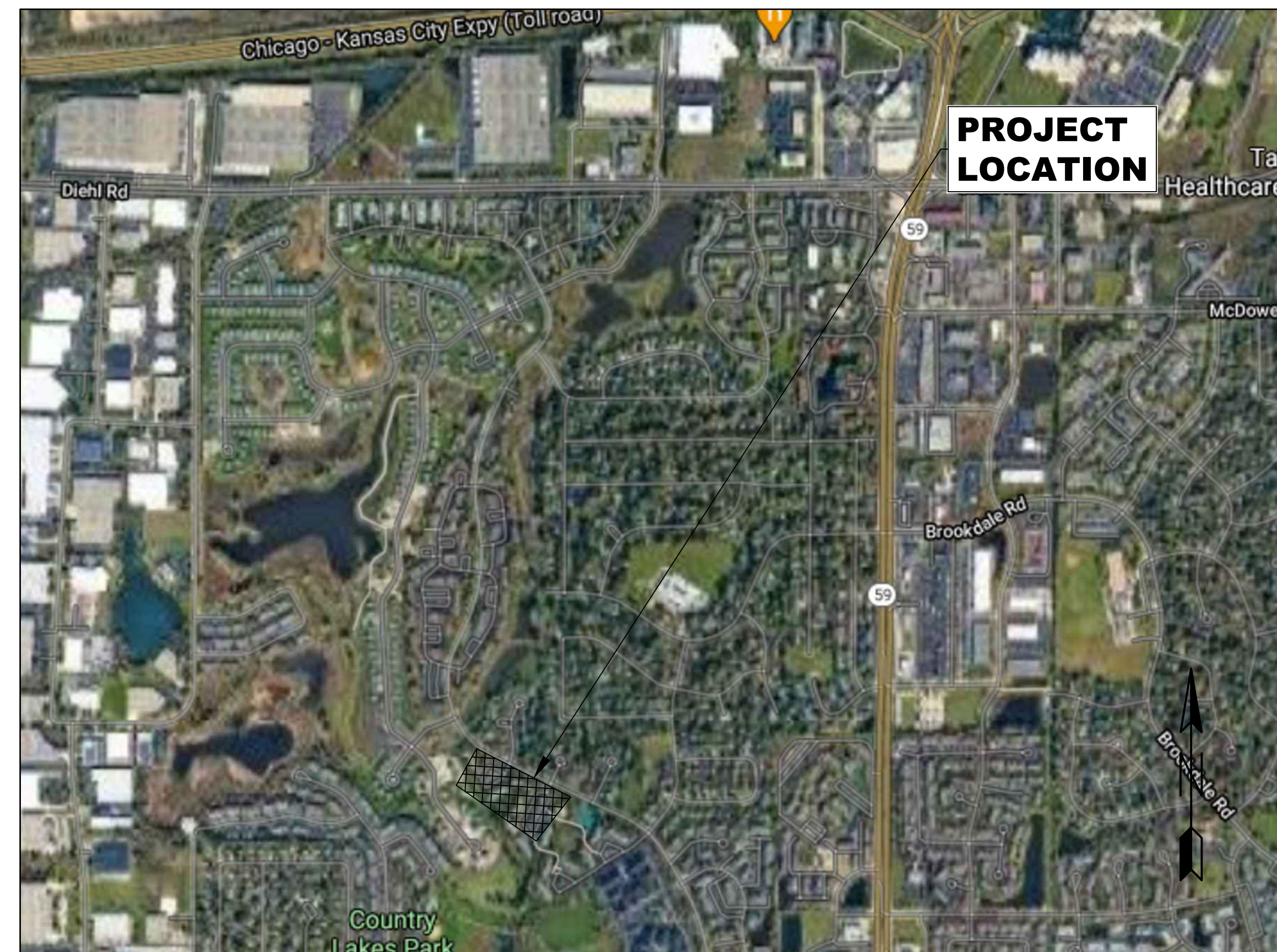


FAIRWAYS OF NAPERVILLE

970 FAIRWAY DRIVE
 NAPERVILLE, IL 60563
 JOB NO. W20130.000
 OCTOBER 9TH, 2020
 SUBMITTAL

INDEX TO DRAWINGS

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| C-2.0 | GENERAL NOTES |
| C-3.0 : C-3.2 | PROPOSED CONDITIONS PLAN |
| C-4.0 | PROPOSED RE-STRIPING PLAN |



PREPARED FOR:
ANSONIA PROPERTY MANAGEMENT, LLC
 815 W. VAN BUREN, SUITE 550
 CHICAGO, IL 60607
 (312)-818-2188

PROPOSED NEW IMPERVIOUS: 200 SF

LOCATION MAP



ENGINEERING
 RESOURCE ASSOCIATES

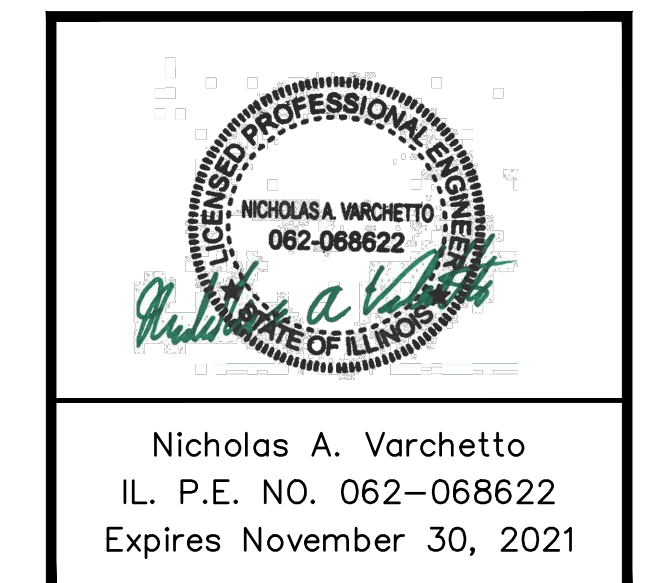
2416 GALEN DRIVE
 CHAMPAIGN, ILLINOIS 61821
 PHONE (217) 351-6268
 FAX (217) 355-1902

35701 WEST AVENUE, SUITE 150
 WARRENVILLE, ILLINOIS 60555
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 FAX (630) 393-2152

10 S. RIVERSIDE PLAZA, SUITE 875
 CHICAGO, ILLINOIS 60606
 PHONE (312) 474-7841
 FAX (312) 474-6099

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF THE SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THESE LOT IMPROVEMENTS OR ANY PART THEREOF, OR THAT IF SUCH WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE OWNER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES, SO THAT THE DEVELOPMENT SHALL NOT ADVERSELY INCREASE FLOOD ELEVATIONS OR DECREASE FLOOD CONVEYANCE CAPACITY UPSTREAM OR DOWNSTREAM OF THE PROJECT AREA.

Engineer: *Nicholas A. Varchetto*
 Seal:



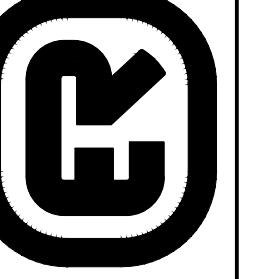
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 www.enrconsultants.com



ANSONIA PROPERTY MANAGEMENT LLC

FAIRWAYS OF NAPERVILLE
 970 FAIRWAY DRIVE
 NAPERVILLE, IL 60563
 PROJECT W20130.00

DATE	10-20-2020
PROJECT #	W20130.00
PROF. DESIGN #	184.001186
DRAWN BY	ASH
CHECKED BY	NAV

DESCRIPTION:	6:\PROJECTS\Ansonia Property Management LLC\W20130.00 Fairways of Naperville.dwg
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COVER

C-1.0
 SHEET

GENERAL NOTES:

- AT LEAST TWO WORKING DAYS PRIOR TO THE COMMENCEMENT OF ALL PHASES OF WORK, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING:
CITY OF NAPERVILLE : (630) 420-6111
ENGINEERING RESOURCE ASSOCIATES: (630) 393-3060
- UTILITY INFORMATION IS BASED UPON FIELD MEASUREMENTS AND BEST AVAILABLE RECORDS. FIELD DATA IS LIMITED TO THAT WHICH IS VISIBLE AND CAN BE MEASURED. THIS DOES NOT PRECLUDE THE EXISTENCE OF OTHER UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL NOTIFY J.U.L.I.E. (800) 892-0123, 48 HOURS PRIOR TO ANY EXCAVATION WORK TO DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES.
- EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FOLLOWING DOCUMENTS:
 - IDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN THE STATE OF ILLINOIS", LATEST EDITION.
 - "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS"
 - "THE DUPAGE COUNTY COUNTYWIDE STORMWATER & FLOODPLAIN ORDINANCE"
 - ILLINOIS URBAN MANUAL, LATEST EDITION
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNS AND WARNING DEVICES TO INFORM AND PROTECT THE PUBLIC. "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS", AS ADOPTED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION, LATEST EDITION, SHALL BE CONSULTED. APPROPRIATE CONTROL METHODS SHOULD BE APPLIED TO THE SPECIFIC SITUATIONS AND TYPES OF CONSTRUCTION OPERATIONS BEING PERFORMED.
- THE CONTRACTOR SHALL ESTABLISH THE NECESSARY PERFORMANCE BONDS REQUIRED. PERMITS SHALL BE OBTAINED FROM ALL OUTSIDE GOVERNMENTAL AGENCIES HAVING JURISDICTION PRIOR TO INITIATION OF CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR HAVING THE MOST RECENT SET OF "APPROVED" FINAL ENGINEERING PLANS WITH THE LATEST REVISION DATE ON THE JOB SITE PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR IS TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION AND WILL BE RESPONSIBLE FOR ANY DAMAGE TO THE SAME. EXISTING UTILITIES ARE TO BE POTHOLED AND HAND DUG AT LOCATIONS OF POTENTIAL CONFLICTS TO VERIFY ELEVATIONS.
- CONTRACTOR SHALL RESTORE OFF-SITE SURFACES TO ORIGINAL CONDITION IF DAMAGED BY CONSTRUCTION.
- THE ENGINEER WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES OF CONSTRUCTION. THE ENGINEER WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO PERFORM OR FURNISH THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE ENGINEER WARRANTS THE DESIGN, RECOMMENDATIONS, AND SPECIFICATIONS TO HAVE BEEN PROMULGATED ON CONDITIONS GENERALLY ENCOUNTERED WITHIN THE INDUSTRY. THE ENGINEER ASSUMES NO RESPONSIBILITY WHATSOEVER, WITH RESPECT TO THE DESIGN RECOMMENDATIONS AND SPECIFICATIONS, FOR COMPLEX OR UNUSUAL SOIL CONDITIONS ENCOUNTERED ON THE PROJECT. IT SHALL BE THE OWNER'S/BIDDER'S RESPONSIBILITY TO ASCERTAIN THE EXACT NATURE OF SUBSURFACE CONDITIONS PRIOR TO THE CONSTRUCTION OF THE IMPROVEMENT.
- AT LEAST 2 WEEKS BEFORE COMMENCEMENT OF ANY WORK ACTIVITIES, THE CONTRACTOR WILL BE REQUIRED TO ATTEND AN ON-SITE PRECONSTRUCTION CONFERENCE. AT THIS CONFERENCE, THE CONTRACTOR WILL BE REQUIRED TO FURNISH AND DISCUSS INCLUDING BUT NOT LIMITED TO THE FOLLOWING: 1) WRITTEN PROGRESS SCHEDULE AND BEGINNING OF WORK 2) NAMES OF PROJECT MANAGER, FIELD SUPERINTENDENT AND THE NAME AND PHONE NUMBER OF A RESPONSIBLE INDIVIDUAL WHO CAN BE REACHED 24 HOURS A DAY.
- THE CONTRACTOR SHALL PROVIDE A FULL AND COMPLETE CIVIL ENGINEERING RECORD DRAWING PLAN SET IN HARD COPY AND AUTOCAD AT THE COMPLETION OF THE PROJECT. THE RECORD DRAWINGS SHALL INCLUDE ANY CHANGES FROM THE ORIGINAL CIVIL ENGINEERING PLANS. CURRENT ELEVATIONS SHALL BE SHOWN FOR THE FOLLOWING, AT A MINIMUM: 1) ALL UTILITY INFORMATION, INCLUDING RIMS AND INVERTS 2) GRADE INFLECTION POINTS WITH PERIODIC GRADES SHOTS IN LEVEL AREAS 3) BUILDING CORNERS 4) FOUNDATION SHOTS
- DUST CONTROL WILL BE IN ACCORDANCE WITH IDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN THE STATE OF ILLINOIS", LATEST EDITION, SECTION 107.36.
- ANY DEWATERING NECESSARY FOR THE INSTALLATION OF THE IMPROVEMENTS AS SHOWN ON THE PLANS SHALL BE THE CONTRACTORS RESPONSIBILITY. THE COST FOR DEWATERING SHALL BE INCLUDED IN THE INSTALLATION OF THE IMPROVEMENTS.
- ANY POOR SOILS ENCOUNTERED UNDER AREAS TO BE PAVED SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.

- THE CONTRACTOR SHALL TAKE CARE TO PROTECT ADJACENT LAND TO THE PROJECT BY NOT DISTURBING THE SOIL BY DRIVING VEHICLES ON IT.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGE TO PLANT MATERIAL OR SOILS OUTSIDE THE CONSTRUCTION LIMITS.
- ANY REMOVAL ITEMS SHALL BE PROPERLY DISPOSED OF IN ACCORDANCE WITH THE SPECIFICATIONS.
- ALL TREES ARE DESIGNATED TO BE SAVED SHALL BE PROTECTED IN ACCORDANCE WITH THE PROVISIONS OF ARTICLE 201.5 OF THE STANDARD SPECIFICATION AND SPECIAL PROVISIONS AND THE VILLAGE OF GLEN ELLYN'S TREE PRESERVATION REQUIREMENTS AS OUTLINED IN THE VILLAGE'S MUNICIPAL CODE. IN CASES OF CONFLICT, THE REQUIREMENTS OF THE VILLAGE OF GLEN ELLYN WILL TAKE PRECEDENCE.

TRAFFIC CONTROL AND MAINTENANCE:

- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL SIGNS, BARRICADES, FLAGGERS, AND OTHER TRAFFIC CONTROL DEVICES AS REQUIRED TO PERFORM THE WORK. ALL TRAFFIC CONTROL MEASURES SHALL MEET THE REQUIREMENTS OF THE ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITION, THE STANDARD SPECIFICATIONS FOR TRAFFIC CONTROL ITEMS, LATEST EDITION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNS AND WARNING DEVICES TO INFORM AND PROTECT THE PUBLIC. "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS", AS ADOPTED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION, LATEST EDITION, SHALL BE CONSULTED. APPROPRIATE CONTROL METHODS SHOULD BE APPLIED TO THE SPECIFIC SITUATIONS AND TYPES OF CONSTRUCTION OPERATIONS BEING PERFORMED.

GRADING:

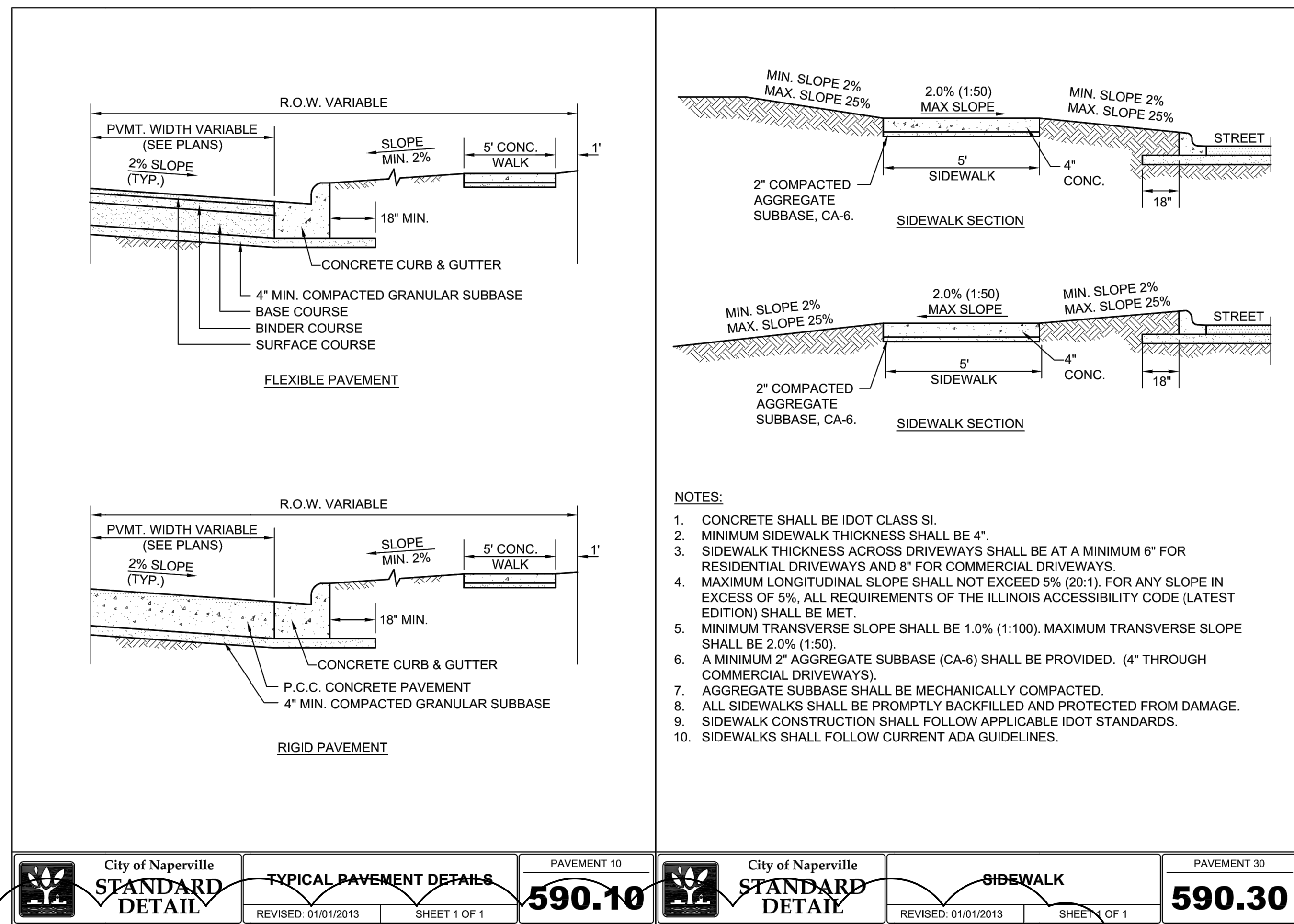
- FINISHED SURFACES TO BE SMOOTH AND EVEN WITH NO ABRUPT OR AWKWARD CHANGES IN GRADE. PAVING AND SEED AREAS ARE TO MEET FLUSH AND SMOOTH.
- NEW PAVEMENT TO MATCH EXISTING PAVEMENT SMOOTH AND FLUSH.
- CONTRACTOR SHALL RESTORE (WITH SEED AND MULCH) ALL AREAS DISTURBED AS A RESULT OF CONSTRUCTION ACTIVITY. TOPSOIL AND SEEDING RESTORATION OUTSIDE OF CONSTRUCTION LIMITS WILL BE AT CONTRACTOR'S EXPENSE.
- THE OWNER RESERVES THE RIGHT TO MAKE MINOR ADJUSTMENTS IN LINES AND GRADES AS THE WORK PROGRESSES WHENEVER SUCH CHANGES ARE CONSIDERED NECESSARY TO BETTER ACCOMPLISH THE INTENT OF THE DRAWINGS OR TO OBTAIN A CLOSER BALANCE BETWEEN CUT AND FILL. ALL ADJUSTMENTS NEED TO BE APPROVED BY THE ENGINEER AND THE VILLAGE OF NAPERVILLE.
- CONTRACTOR TO INSTALL EROSION CONTROL MEASURES AS REQUIRED TO ELIMINATE SEDIMENTATION INTO NON-CONSTRUCTION AREAS.
- EROSION BLANKET ARE TO BE PLACED ON ALL SLOPES GRADED 3:1 OR GREATER.

RESTORATION:

- RESTORATION SHALL INCLUDE TOPSOIL, SEEDING, FERTILIZER, MULCH AND THE NECESSARY CARE TO OBTAIN AN ACCEPTABLE STAND OF GRASS.
- TOPSOIL SHALL BE STOCKPILED AND RESPAED ON ALL DISTURBED AREAS AS PART OF EARTHWORK, SITE ACCESS AREAS, AND ANY OTHER AREAS DISTURBED BY CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL EQUIPMENT NECESSARY FOR ESTABLISHMENT OF TURF, INCLUDING WATERING EQUIPMENT, WATER, AND HOSES.

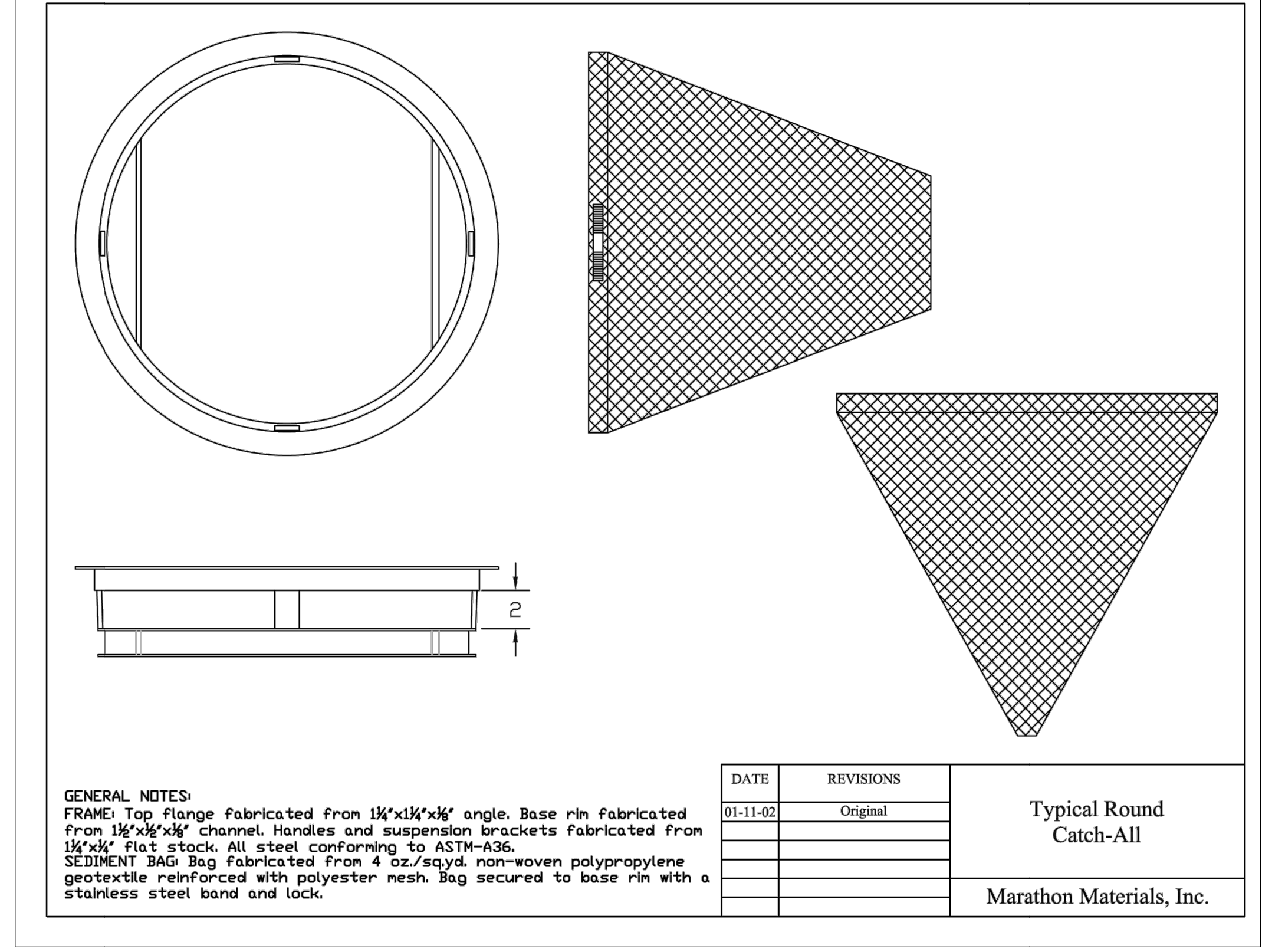
PAVEMENT:

- IDOT STANDARD SPECS AND HIGHWAY STANDARDS SHALL BE FOLLOWED (3/4" EXPANSION JOINTS IN SIDEWALKS AT NO GREATER THAN 100' INTERVALS; 15' (ADJACENT PCC) AND 25' (ADJACENT HMA) CONTRACTION JOINT SPACING WITH JOINTS SAWED AT T/3 AND SEALED; EXPANSION JOINTS 5' ON EITHER SIDE OF DRAINAGE CASTINGS, AT PC/PT, AND OTHER PLAN LOCATIONS BY ENGINEER.
- PRIOR TO PLACING ANY PAVEMENT MATERIAL, THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY PREPARING AND COMPACTING THE SUBGRADE. THE PAVEMENT BASE COURSE SHALL BE PROOF-ROLLED WITH A FULLY-LOADED DUMP TRUCK. THE ENGINEER SHALL BE NOTIFIED AT LEAST 24 HOURS BEFORE PROOF-ROLLING. ADDITIONAL PROOF-ROLLS MAY BE NECESSARY TO VERIFY THAT ANY UNSTABLE AREAS HAVE BEEN REPAIRED. NO PAVEMENT MATERIAL IS TO BE PLACED ON A WET OR SOFT SUBGRADE. DEVELOPER'S/OWNER'S MATERIAL TESTING AGENT AND VILLAGE ENGINEER OR VILLAGE AGENT SHALL ALSO WITNESS PROCEDURE TO MAKE AND CERTIFY REPAIRS IN WRITING. PROOF ROLLING SHALL BE INCIDENTAL TO PLACEMENT OF PAVEMENT MATERIAL.
- ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAWCUT TO A NEAT EDGE ALONG LIMITS OF PROPOSED REMOVAL BEFORE REMOVAL OPERATIONS BEGIN. ALL SAW CUTTING SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.



- NOTES:**
- CONCRETE SHALL BE IDOT CLASS S1
 - MINIMUM SIDEWALK THICKNESS SHALL BE 4"
 - SIDEWALK THICKNESS ACROSS DRIVEWAYS SHALL BE AT A MINIMUM 6" FOR RESIDENTIAL DRIVEWAYS AND 8" FOR COMMERCIAL DRIVEWAYS
 - MAXIMUM LONGITUDINAL SLOPE SHALL NOT EXCEED 5% (20:1). FOR ANY SLOPE IN EXCESS OF 5%, ALL REQUIREMENTS OF THE ILLINOIS ACCESSIBILITY CODE (LATEST EDITION) SHALL BE MET.
 - MINIMUM TRANSVERSE SLOPE SHALL BE 1.0% (1:100). MAXIMUM TRANSVERSE SLOPE SHALL BE 2.0% (1:50)
 - A MINIMUM 2" AGGREGATE SUBBASE (CA-6) SHALL BE PROVIDED. (4" THROUGH COMMERCIAL DRIVEWAYS)
 - AGGREGATE SUBBASE SHALL BE MECHANICALLY COMPACTED.
 - ALL SIDEWALKS SHALL BE PROMPTLY BACKFILLED AND PROTECTED FROM DAMAGE.
 - SIDEWALK CONSTRUCTION SHALL FOLLOW APPLICABLE IDOT STANDARDS.
 - SIDEWALKS SHALL FOLLOW CURRENT ADA GUIDELINES.

STANDARD DETAIL TYPICAL PAVEMENT DETAILS REVISED: 01/01/2013 SHEET 1 OF 1 590.10	STANDARD DETAIL SIDEWALK REVISED: 01/01/2013 SHEET 1 OF 1 590.30
---	---



DATE	REVISIONS
01-11-02	Original

Typical Round Catch-All
Marathon Materials, Inc.

LEGEND	
EXISTING	PROPOSED
CURB & GUTTER	
BARRIER CURB	
EDGE OF PAVEMENT	
SANITARY SEWER	
STORM SEWER	
DRAIN TILE	
UNDERDRAIN	
SILT FENCE	
CABLE	
ELECTRIC	
GAS	
TELEPHONE	
WATER	
OVERHEAD WIRE	
MANHOLE	
CATCH BASIN	
INLET	
FLARED END SECTION (FES)	
METAL (FES)	
REMOVE STRUCTURE	
VALVE VAULT	
VALVE & BOX	
BUFFALO BOX	
HYDRANT	
GAS VALVE	
HANDHOLE	
INLET FILTER BASKET	
UTILITY PEDESTAL	
UTILITY POLE	
UTILITY POLE LIGHT	
STREET LIGHT	
STREET LIGHT CONTROLLER	
BORING LOCATION	
MAIL BOX	
SIGN	
FENCE	
REMOVE TREE	
TREE(DECIDUOUS)	
SIDEWALK REMOVE & REPLACE	
DRIVEWAY REMOVE & REPLACE	

DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
11/23/20	ASH	PER CITY COMMENTS			

DRAWN BY: C.F.
CHECKED BY: J.G.
APPROVED BY: J.G.

ENGINEERING RESOURCE ASSOCIATES, INC.
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10 S. RIVERSIDE PLAZA,
SUITE 1800
CHICAGO, ILLINOIS 60606
PHONE (312) 683-0110

ANSONIA PROPERTY MANAGEMENT, LLC

PROPOSED CONDITIONS PLAN THE FAIRWAYS OF NAPERVILLE 900-1030 FAIRWAY DRIVE NAPERVILLE, ILLINOIS

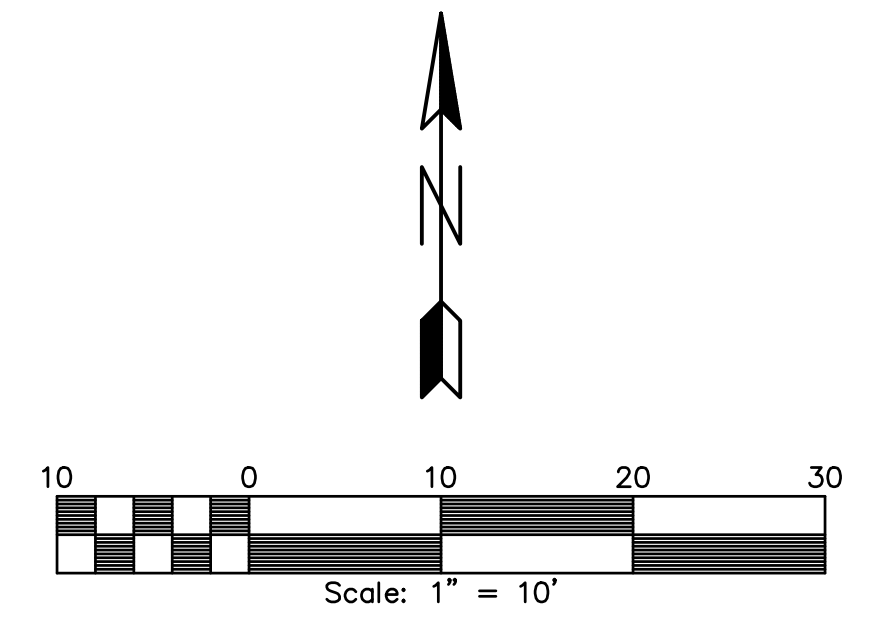
PROFESSIONAL DESIGN FIRM NUMBER: 184.001186

SCALE: 1"=10'
DATE: 10/20/2020
JOB NO: W20130.00
SHEET 20 OF 6

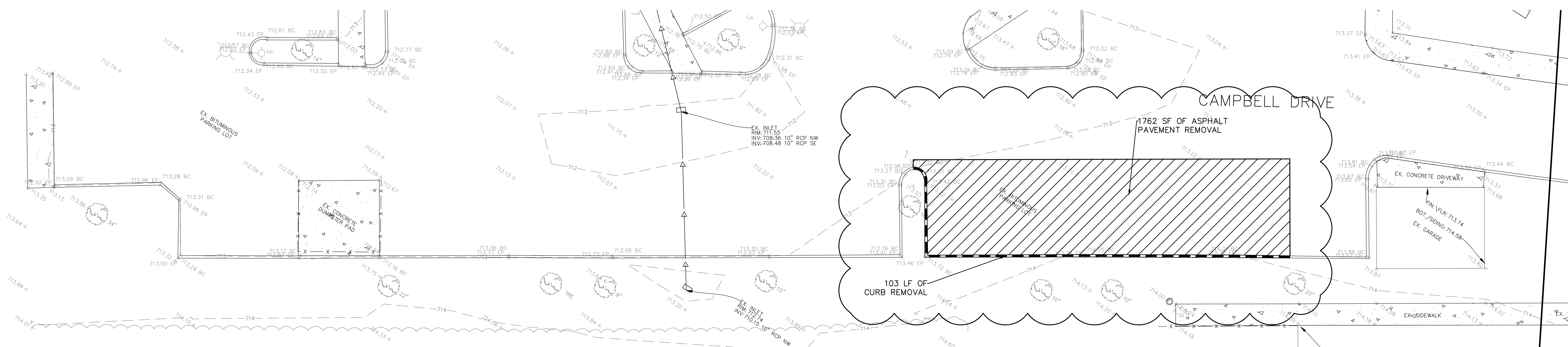
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EXISTING GRADE	+XXXXXX
EXISTING CONTOUR	XXX
PROPOSED GRADE	+XXXXXX
PROPOSED CONTOUR	XXX
PROPOSED FLOW	---
SILT FENCE	-XX-XX-
CONSTRUCTION SAFETY FENCE	-X-X-

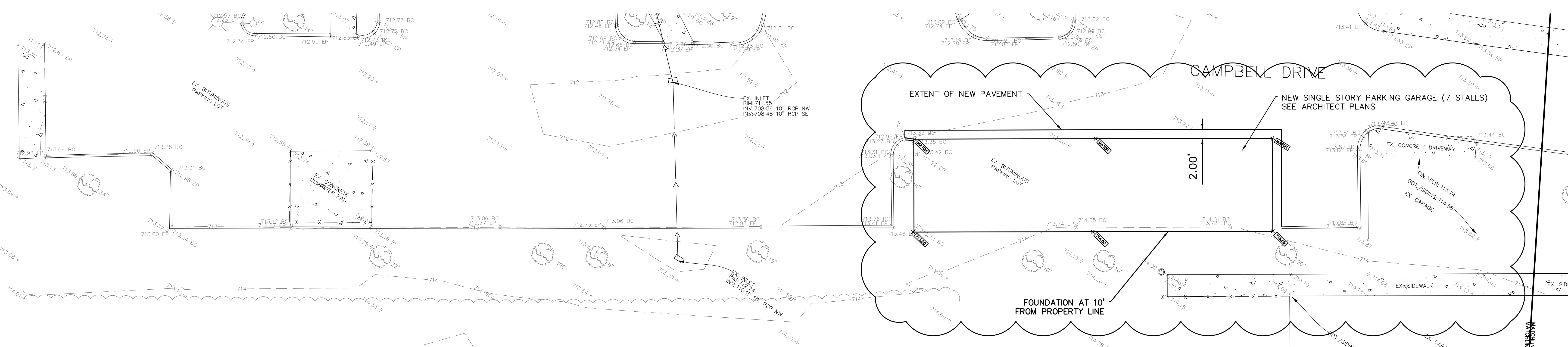
KEY:
T/F = TOP OF FOUNDATION
P.T.F. = PROPOSED TOP OF FOUNDATION



NOTES:
1) STORM INLETS ADJACENT TO PROPOSED GARAGES ARE TO BE PROTECTED FROM CONSTRUCTION DEBRIS AND SEDIMENT WITH INLET FILTER BASKETS.



REMOVAL PLAN



PROPOSED PLAN

REVISIONS:		DATE	BY	DESCRIPTION
		11/23/20	ASH	PER CITY COMMENTS

DRAWN BY: C.F.
CHECKED BY: J.G.
APPROVED BY: J.G.

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SUITE 1800
CHICAGO, ILLINOIS 60606
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ANSONIA PROPERTY MANAGEMENT, LLC

PROFESSIONAL DESIGN FIRM NUMBER: 184.001186

TITLE: **PROPOSED CONDITIONS PLAN THE FAIRWAYS OF NAPERVILLE 900-1030 FAIRWAY DRIVE NAPERVILLE, ILLINOIS**

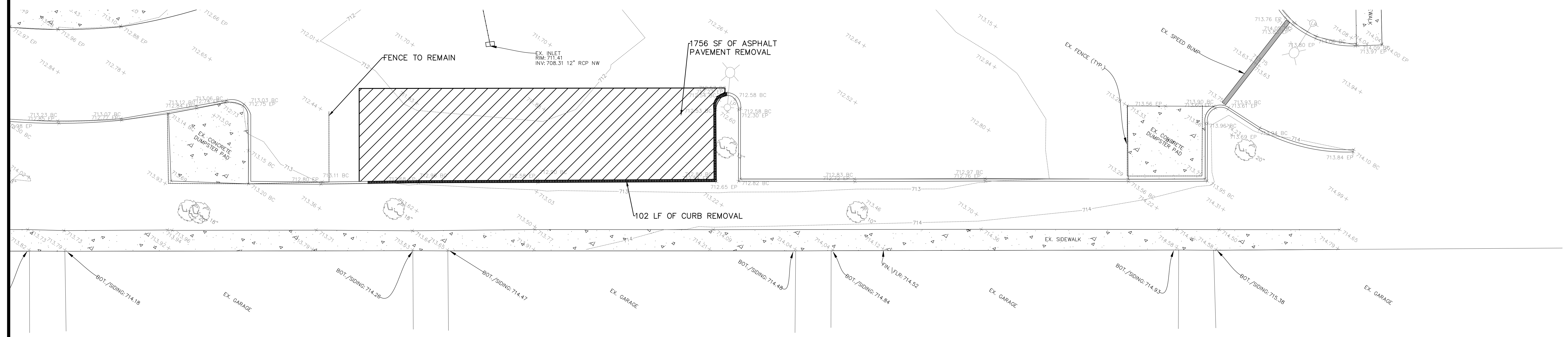
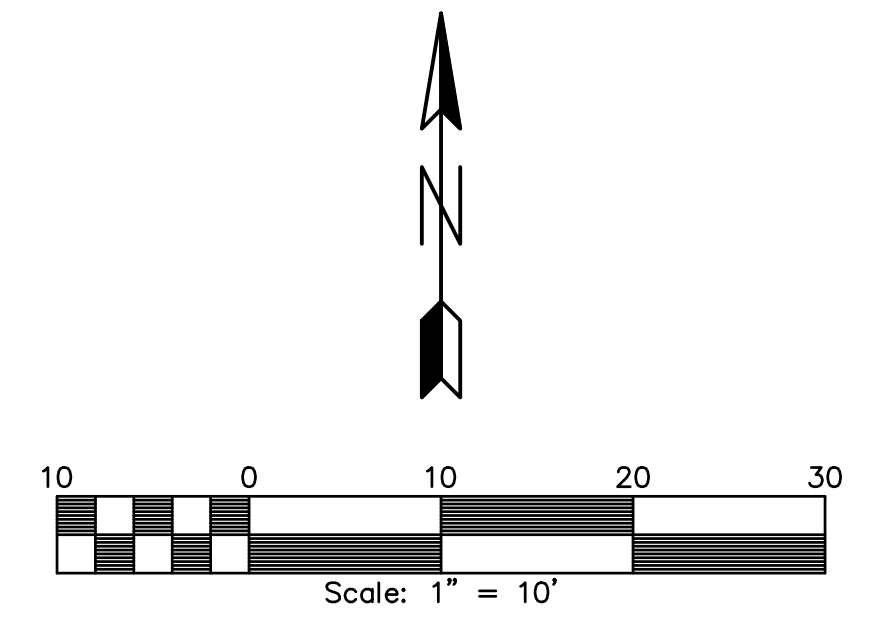
SCALE: 1"=10'
DATE: 10/20/2020
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SHEET 3.0 OF 6

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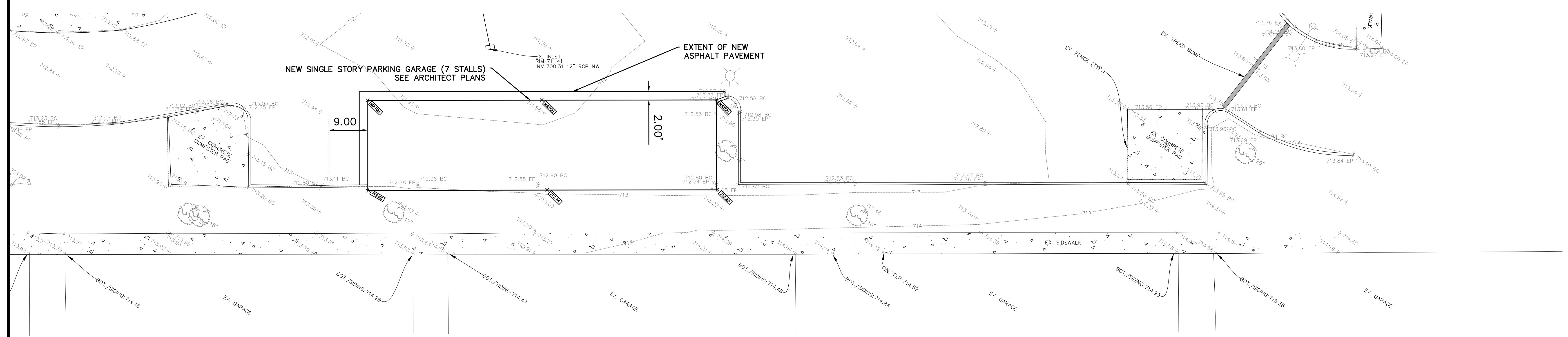
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EXISTING CONTOUR	XXX
PROPOSED GRADE	+XXXXXX
PROPOSED CONTOUR	XXX
PROPOSED FLOW	---
SILT FENCE	-XX-XX-
CONSTRUCTION SAFETY FENCE	-X-X-

KEY:
T/F = TOP OF FOUNDATION
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NOTES:
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REMOVAL PLAN



PROPOSED PLAN

REVISIONS:		DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
		11/23/20	ASH	PER CITY COMMENTS			

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CHECKED BY: J.G.
APPROVED BY: J.G.



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ANSONIA PROPERTY MANAGEMENT, LLC

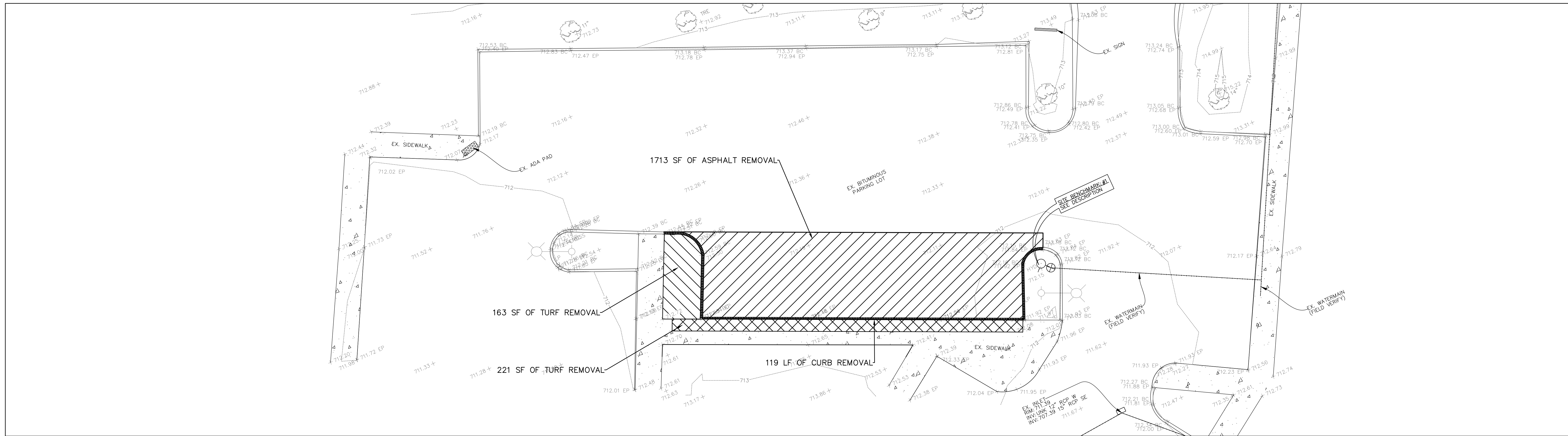
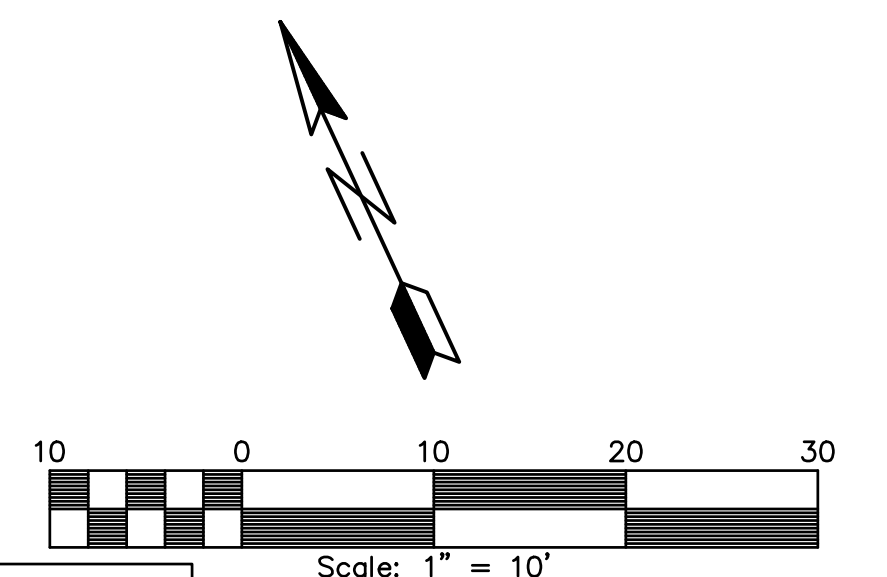
TITLE:	PROPOSED CONDITIONS PLAN THE FAIRWAYS OF NAPERVILLE 900-1030 FAIRWAY DRIVE NAPERVILLE, ILLINOIS	SCALE:	1"=10'
		DATE:	10/20/2020
		JOB NO:	W20130.00
		SHEET	31 of 6

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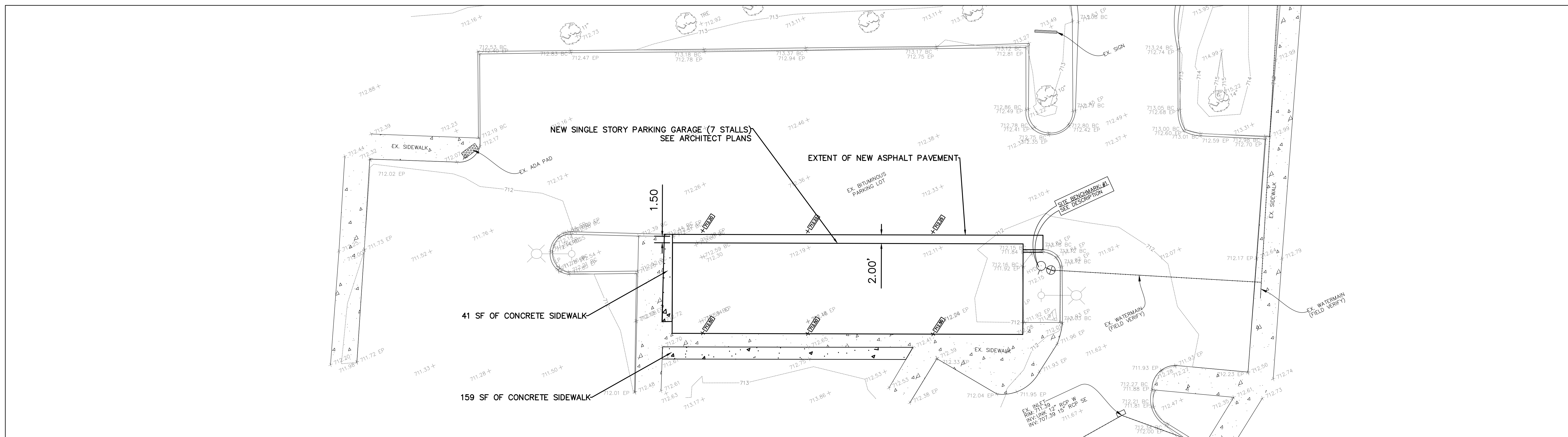
EXISTING GRADE	+XXXX
EXISTING CONTOUR	XXXX
PROPOSED GRADE	+XXXXXX
PROPOSED CONTOUR	XXXXXX
PROPOSED FLOW	---
SILT FENCE	-XX--XX-
CONSTRUCTION SAFETY FENCE	-X-

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NOTES:
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REMOVAL PLAN



PROPOSED PLAN

PROPOSED NEW IMPERVIOUS: 200 SF

DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
11/23/20	ASH	PER CITY COMMENTS			

DRAWN BY: C.F.
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APPROVED BY: J.G.

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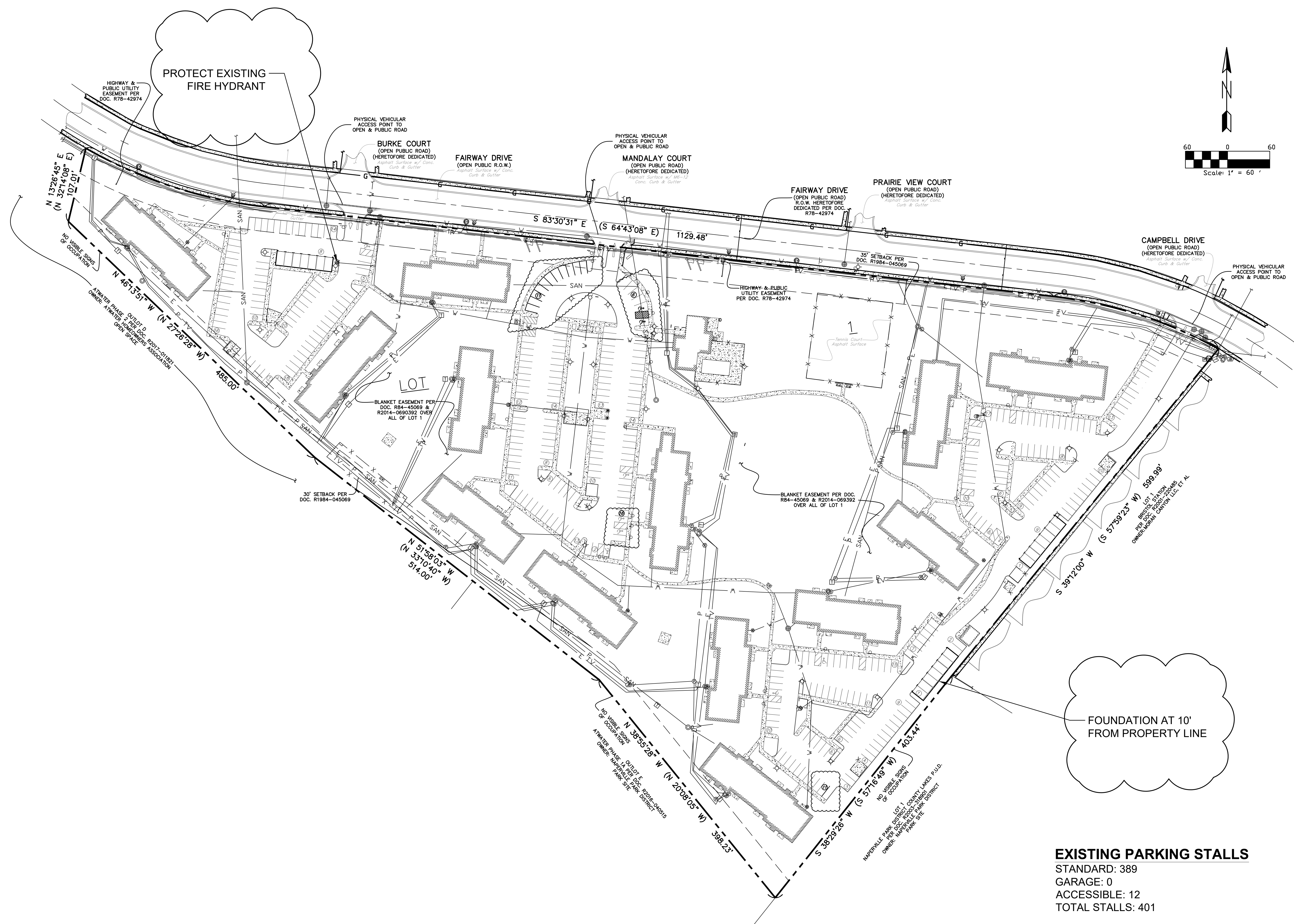
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PHONE (312) 683-0110

ANSONIA PROPERTY MANAGEMENT, LLC

TITLE: **PROPOSED CONDITIONS PLAN
THE FAIRWAYS OF NAPERVILLE
900-1030 FAIRWAY DRIVE
NAPERVILLE, ILLINOIS**

PROFESSIONAL DESIGN FIRM NUMBER: 184.001186

SCALE: 1"=10'
DATE: 10/20/2020
JOB NO: W20130.00
SHEET 32 OF 6



EXISTING PARKING STALLS
 STANDARD: 389
 GARAGE: 0
 ACCESSIBLE: 12
 TOTAL STALLS: 401

PROPOSED PARKING STALLS
 STANDARD: 369
 GARAGE: 21
 ACCESSIBLE: 11
 TOTAL STALLS: 401

DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
11/23/20	ASH	PER CITY COMMENTS			

DRAWN BY: C.F.
CHECKED BY: J.G.
APPROVED BY: J.G.

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ANSONIA PROPERTY MANAGEMENT, LLC

TITLE: PROPOSED CONDITIONS PLAN
 THE FAIRWAYS OF NAPERVILLE
 900-1030 FAIRWAY DRIVE
 NAPERVILLE, ILLINOIS

PROFESSIONAL DESIGN FIRM NUMBER: 184.001186

SCALE: 1"=60'
 DATE: 10/20/2020
 JOB NO: W20130.00
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