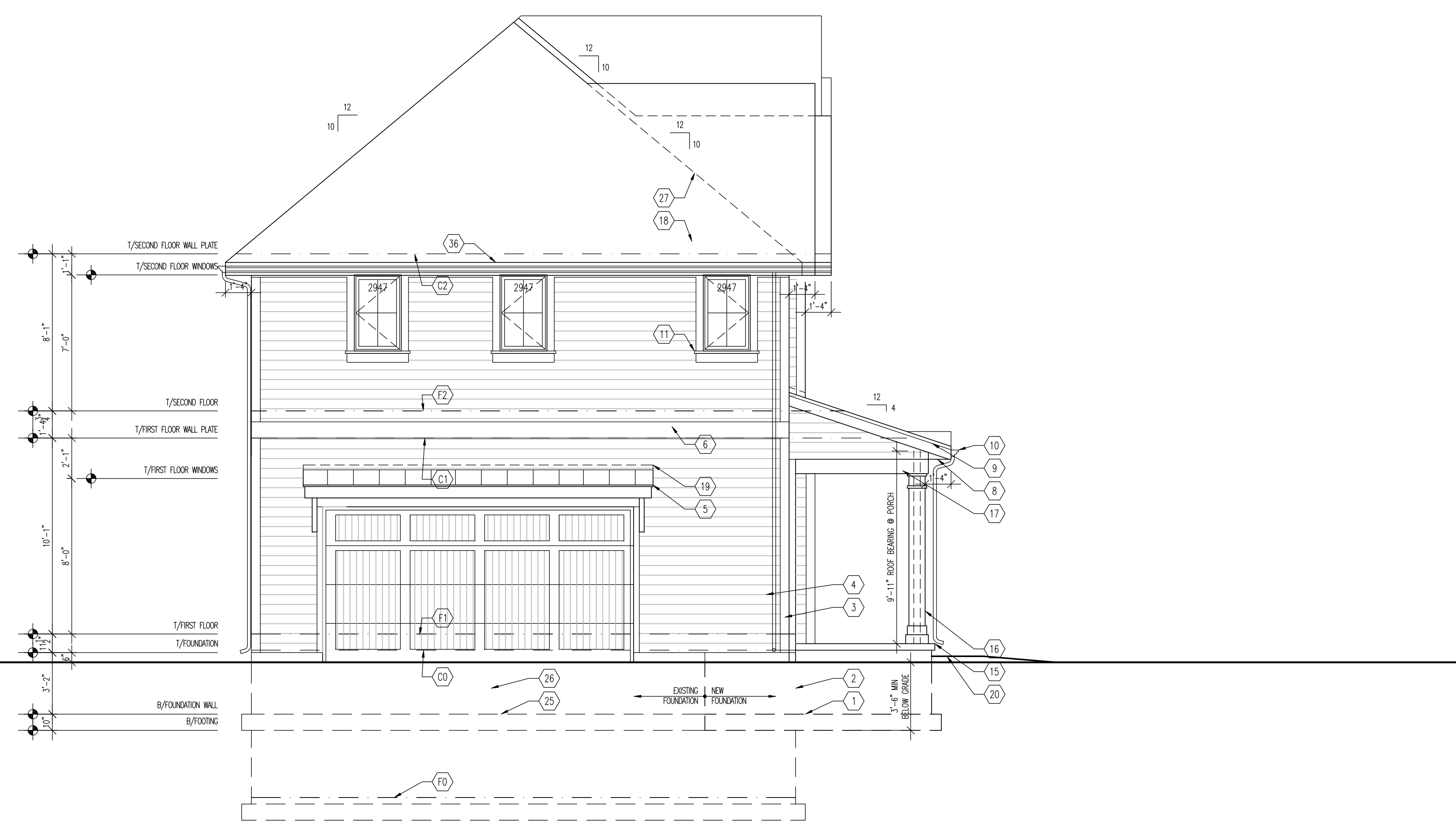




C1 FRONT ELEVATION
1/4" = 1'-0"



A1 LEFT SIDE ELEVATION
1/4" = 1'-0"

- EXTERIOR ELEVATION KEYNOTE LEGEND:**
- 1 NEW CONCRETE FOOTING
 - 2 NEW CONCRETE FOUNDATION
 - 3 1/6 & 1/4 HARDBOARD CONTINUOUS CORNER BOARD
 - 4 HORIZONTAL HARDBOARD SIDING (5" EXP)
 - 5 METAL ROOF ON 2x4 @ 16" O.C. FRAMED CANOPY W/4"x12"x12" FIELD BUILT BRACKET
 - 6 1x10 HARDBOARD ACCENT TRIM
 - 7 HARDBOARD SHAKE SIDING (STAGGERED EDGE)
 - 8 HARDBOARD ROOF RETURN (HOLD FLUSH)
 - 9 1/2 ON 1x8 HARDBOARD ROOF RAKE
 - 10 ALUMINUM GUTTERS & DOWNSPOUTS
 - 11 1x6 HARDBOARD TRIM TYP @ WINDOWS & DOORS W/ 1/2 CAP & 1/2 STOOL
 - 12 1x8 HARDBOARD ACCENT TRIM (1/2" CAP
 - 13 MODIFIED ROOF BEARING
 - 14 1x6 HARDBOARD FREEZE (TYP @ FRONT ONLY)
 - 15 CONCRETE PORCH
 - 16 10x10 FLURRED COLUMN OVER 4x4 WOOD POST ON METAL POST ANCHOR SET IN CONCRETE (7" EMBEDMENT) WRAP POST W/1x HARDBOARD & 1x6 OVER 1x10 BASE & (2) RIMS 1x2 CAPITAL
 - 17 1x HARDBOARD WRAPPED BEAM
 - 18 ASPHALT SHINGLES
 - 19 CONCEALED METAL FLASHING @ ROOF & WALL INTERSECTIONS (TYP ALL)
 - 20 ADJUST SIDEWALK AS REQUIRED TO MAINTAIN 1 STEP (2" MAX RISE) FROM PORCH
 - 21 1x (RIPED) HARDBOARD KICKPLATE
 - 22 8" CONCRETE WING WALL
 - 23 CONCRETE STEP TO GRADE (MAX 2" RISE)
 - 24 1x HARDBOARD WRAPPED ARCHED HEADER
 - 25 EXISTING CONCRETE FOOTING TO REMAIN
 - 26 EXISTING CONCRETE FOUNDATION TO REMAIN
 - 27 LINE OF ROOF BEHIND
 - 28 DIRECT VENT FIREPLACE EXHAUST
 - 29 HARDBOARD WRAPPED OPEN WEB TRUSS
 - 30 LINE OF STAIRS & LANDING BEHIND
 - 31 LINE OF CEILING DETAIL IN BEDROOM 2
 - 32 EXISTING DRAIN TILE TO PERMETER TILE (PROMOTE SCREEN)
 - 33 BASEMENT WINDOW AND WELL AREA
 - 34 EGRESS LADDER REQUIRED
 - 35 EXISTING A/C UNIT TO REMAIN
 - 36 ADJUST OVERHANG AS REQUIRED TO AVOID TOP OF WINDOW
 - 37 EXISTING WINDOW AND WELL TO BE REMOVED AND FILLED
-
- E EGRESS
 - F FIXED
 - T TEMPERED
 - EX EXISTING TO REMAIN
-
- FD EXISTING BASEMENT FLOOR LINE
 - F1 EXISTING FIRST FLOOR LINE
 - F2 NEW SECOND FLOOR LINE
 - CO EXISTING BASEMENT CEILING LINE
 - C1 NEW FIRST FLOOR CEILING LINE
 - C2 NEW SECOND FLOOR CEILING LINE

EGRESS WINDOW NOTE:
EGRESS WINDOWS SHALL HAVE AT LEAST 5.7 S.F. OF CLEAR OPENING (EXCEPT GRADE LEVEL WINDOWS WHICH CAN HAVE 5.0 S.F.) AND HAVE A MINIMUM CLEAR WIDTH OF 20" AND A MINIMUM CLEAR HEIGHT OF 24" AND THE TOP OF THE SILL CAN NOT BE ANY MORE THAN 44" ABOVE THE FLOOR. (SEE WINDOW SILL NOTE).

WINDOW SILL NOTE:
WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 22" ABOVE THE FINISHED GRADE, THE LOWEST PART OF THE CLEAR OPENING SHALL BE AT LEAST 24" AFF. - ADJUST WINDOW HEIGHT AS REQUIRED.

2101005-A1.10.DWG
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BUILDER

STATE OF ILLINOIS
 LICENSED ARCHITECT
 MICHAEL A. BURR
 001-015688
 09-22-2021 | 11-30-2022
 DATED | EXPIRES

| DATE | ISSUANCE |
|------------|------------|
| 09-22-2021 | PERMIT-BID |

Ignash House Addition - Remodel
 214 N. Laird St, Naperville, IL 60540
 for
 Dan & Jill Ignash
 214 N. Laird St, Naperville, IL 60540
EXTERIOR ELEVATIONS-FRONT & LEFT SIDE

DRAWN BY:
MDR
 CHECKED BY:
MAB
 PROJECT NUMBER:
2101005
 SHEET NUMBER:
A1.10
 OF 9 SHEETS
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Allwork © 2101005-A1.10.DWG | 2101005-A1.10 | 2101005-Addition Elevation | 1/4" = 1'-0" | 11-30-2022
 2101005-A1.10.DWG | 2101005-Addition Elevation | 1/4" = 1'-0" | 11-30-2022
 2101005-A1.10.DWG | 2101005-Addition Elevation | 1/4" = 1'-0" | 11-30-2022

| DATE | ISSUANCE |
|------------|------------|
| 09-22-2021 | PERMIT-BID |

Ignash House Addition-Remodel
 214 N. Laird St, Naperville, IL 60540
 for
 Dan & Jill Ignash
 214 N. Laird St, Naperville, IL 60540
EXTERIOR ELEVATIONS-REAR & RIGHT SIDE

DRAWN BY:
MDR

CHECKED BY:
MAB

PROJECT NUMBER:
2101005

SHEET NUMBER:
A1.20

- EXTERIOR ELEVATION KEYNOTE LEGEND:**
- 1 NEW CONCRETE FOOTING
 - 2 NEW CONCRETE FOUNDATION
 - 3 1x6 & 1x4 HARDE BOARD CONTINUOUS CORNER BOARD
 - 4 HORIZONTAL HARDE BOARD SIDING (5" EXP)
 - 5 METAL ROOF ON 2x4 @ 16" O.C. FRAMED CANOPY W/4"x12"x12" FIELD BUILT BRACKET
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 - 19 CONCEALED METAL FLASHING @ ROOF & WALL INTERSECTIONS (TYP ALL)
 - 20 ADJUST SIDEWALK AS REQUIRED TO MAINTAIN 1 STEP (2" MAX RISE) FROM PORCH
 - 21 1x (RIPED) HARDE BOARD KICKPLATE
 - 22 6" CONCRETE WING WALL
 - 23 CONCRETE STEP TO GRADE (MAX 3" RISE)
 - 24 1x HARDE BOARD WRAPPED ARCHED HEADER
 - 25 EXISTING CONCRETE FOOTING TO REMAIN
 - 26 EXISTING CONCRETE FOUNDATION TO REMAIN
 - 27 LINE OF ROOF BEHIND
 - 28 DIRECT VENT FIREPLACE EXHAUST
 - 29 HARDE BOARD WRAPPED OPEN WEB TRUSS
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 - 31 LINE OF CEILING DETAIL IN BEDROOM 2
 - 32 EXISTING DRAIN TILE TO PERIMETER TILE (PROVIDE SCREEN)
 - 33 BASEMENT WINDOW AND WELL AREA
 - 34 EGRESS LADDER REQUIRED
 - 35 EXISTING A/C UNIT TO REMAIN
 - 36 ADJUST OVERHANG AS REQUIRED TO AVOID TOP OF WINDOW
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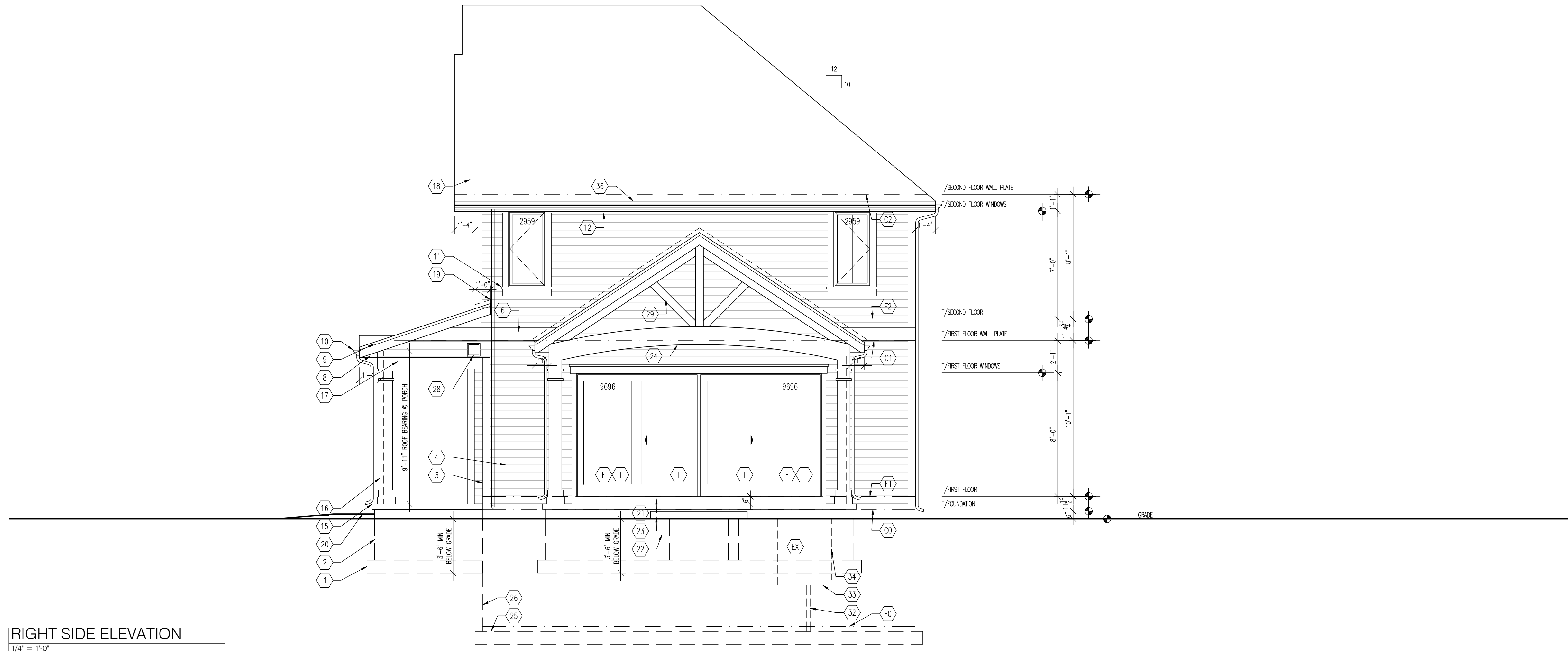
- E EGRESS
 F FIXED
 T TEMPERED
 EX EXISTING TO REMAIN
- FO EXISTING BASEMENT FLOOR LINE CO EXISTING BASEMENT CEILING LINE
 F1 EXISTING FIRST FLOOR LINE C1 NEW FIRST FLOOR CEILING LINE
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EGRESS WINDOW NOTE:
 EGRESS WINDOWS SHALL HAVE AT LEAST 5.7 S.F. OF CLEAR OPENING (EXCEPT GRADE LEVEL WINDOWS WHICH CAN HAVE 5.0 S.F) AND HAVE A MINIMUM CLEAR WIDTH OF 20" AND A MINIMUM CLEAR HEIGHT OF 24" AND THE TOP OF THE SILL CAN NOT BE ANY MORE THAN 44" ABOVE THE FLOOR. (SEE WINDOW SILL NOTE).

WINDOW SILL NOTE:
 WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 22" ABOVE THE FINISHED GRADE, THE LOWEST PART OF THE CLEAR OPENING SHALL BE AT LEAST 24" AFF. - ADJUST WINDOW HEIGHT AS REQUIRED.



C1 REAR ELEVATION
 1/4" = 1'-0"



A1 RIGHT SIDE ELEVATION
 1/4" = 1'-0"

Allwork © 2101005-A1.20.2021 | 2101005-ADD | 2101005-Remodel Elevation B-D | K33 Logo 2019-12.jpg | P
 Allwork © 2021-2022 | 2101005-ADD | 2101005-Remodel Elevation B-D | K33 Logo 2019-12.jpg | P
 Allwork © 2021-2022 | 2101005-ADD | 2101005-Remodel Elevation B-D | K33 Logo 2019-12.jpg | P

GENERAL FOUNDATION PLAN NOTES:

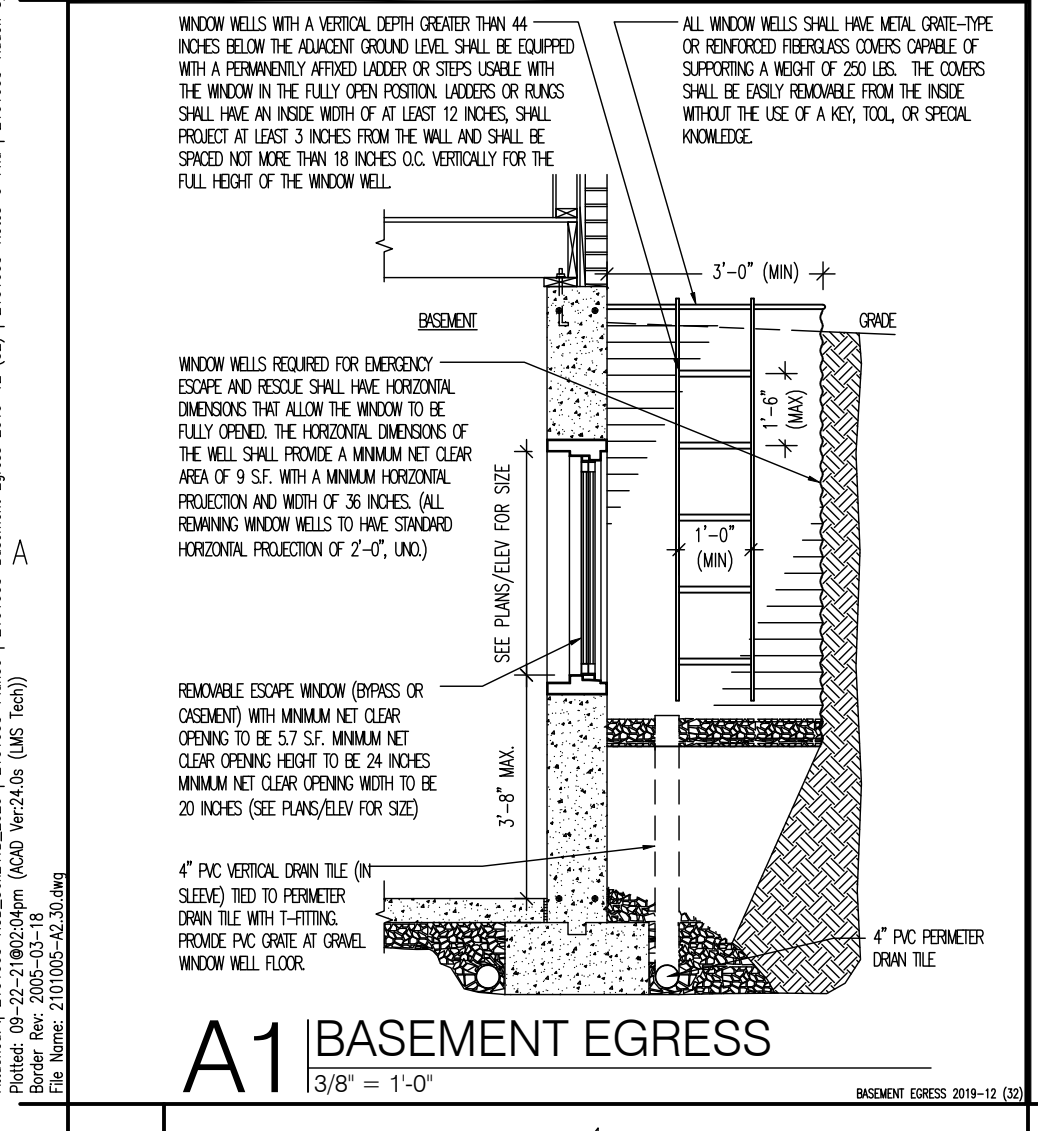
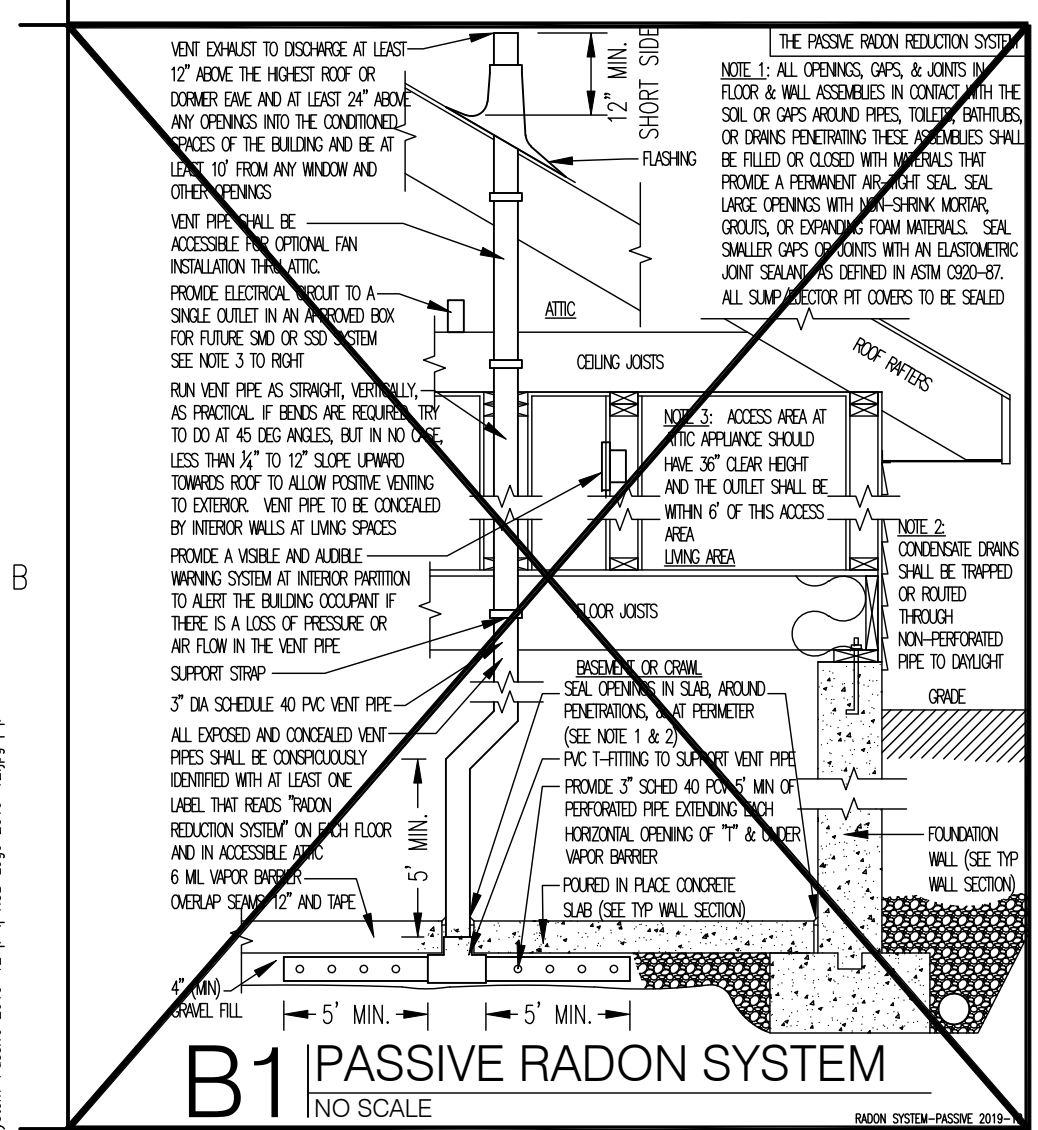
- ALL CONTRACTORS TO REFER TO ALL NOTES ON SHEET A0.10 FOR ADDITIONAL INFORMATION.
- SECTION 1 FOR GENERAL REQUIREMENTS
- SECTION 2 & 3 FOR DIMENSION NOTES AND CONCRETE NOTES
- SECTION 4 FOR MASONRY NOTES
- SECTION 5 FOR STEEL NOTES
- SECTION 6, 7, 8 & 9 FOR CARPENTRY, FIRE BLOCKING, MOISTURE CONTROL & DOOR-WINDOW NOTES
- SECTION 10, 11, 12 & 13 FOR MECHANICAL, PLUMBING, ELECTRICAL & SMOKE/CO DETECTOR NOTES
- SECTION 14 FOR ECC NOTES
- SECTION 15, 16 & 17 FOR ATTIC/CRANK ACCESS, MISCELLANEOUS & FINISH NOTES
- SECTION 18 FOR LOCAL AUTHORITY SPECIFIC NOTES.
- FOR BASEMENT EGRESS WINDOWS - SEE DETAIL A1/A2.10.

D

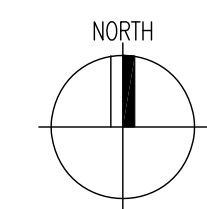
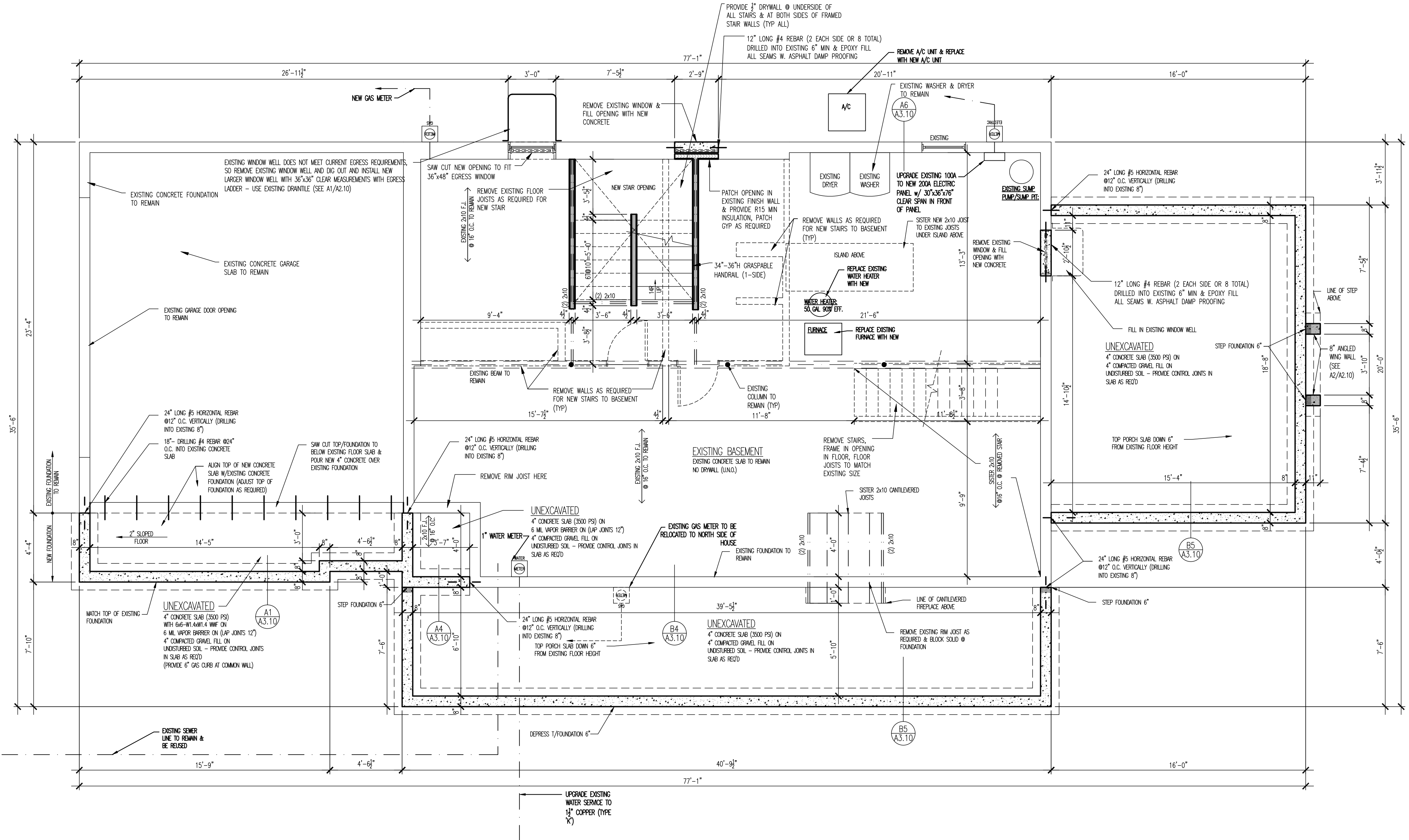
C

B

A



A2 WING WALL 1/4" = 1'-0"



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 www.CraftStoneArchitects.com
 Professional Design Firm # 184-065597

ARCHITECT

BLUMER

09-22-2021 | 11-30-2022
 DATED | EXPIRES

ISSUANCE

| DATE | PERMIT # |
|------|----------|
| | |
| | |
| | |
| | |

FOUNDATION PLAN

Ignash House Addition - Remodel
 214 N. Laird St, Naperville, IL 60540
 for
 Dan & Jill Ignash
 214 N. Laird St, Naperville, IL 60540

DRAWN BY:
 MDR

CHECKED BY:
 MAB

PROJECT NUMBER:
 2101005

SHEET NUMBER:
A2.10

OF 9 SHEETS

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- GENERAL PLAN NOTES:**
- REFER TO ALL NOTES ON SHEET A10 FOR ADDITIONAL INFORMATION, INCLUDING:
 - SECTION 1 FOR GENERAL REQUIREMENTS
 - SECTION 2 & 3 FOR EXCAVATION NOTES AND CONCRETE NOTES
 - SECTION 4 FOR MASONRY NOTES
 - SECTION 5 FOR STEEL NOTES
 - SECTION 6, 7, 8, & 9 FOR CARPENTRY, FIRE BLOCKING, MOISTURE CONTROL & DOOR-WINDOW NOTES
 - SECTION 10, 11, 12 & 13 FOR MECHANICAL, PLUMBING, ELECTRICAL, & SMOKE/CO DETECTOR NOTES
 - SECTION 14 FOR EOC NOTES
 - SECTION 15, 16 & 17 FOR ATTIC/GROVE ACCESS, MISCELLANEOUS & FINISH NOTES
 - SECTION 18 FOR LOCAL AUTHORITY SPECIFIC NOTES
 - SEE TYPICAL WALL SECTIONS ON SHEET A10.
 - AN AUTOMATIC RESIDENTIAL SPRINKLER SYSTEM SHALL NOT BE REQUIRED FOR NEW CONSTRUCTION WHEN BOTH THE FOLLOWING APPLY: (1) THE UNDERSIDE OF ALL INTERIOR STAIRS ARE PROTECTED WITH AT LEAST 5/8" GYPSUM BOARD OR EQUAL, AND (2) EACH ONE- & TWO-FAMILY DWELLING UNIT SHALL HAVE AT LEAST 2 INCHES OF GYPSUM BOARD.
 - REMOVE PASSIVE RAISON SYSTEM - SEE FOUNDATION PLAN.
 - ALL JOIST/PARTIES NOTED AS BEING ENGINEERED - JOIST BY BOISE-CASCADE AND ALL SIZING AND SPACING IS BASED ON MANUFACTURER'S RECOMMENDATIONS WITH A DEFLECTION OF 1/400. PLEASE NOTE THAT A SERIES DESIGNATION IS ALSO PROVIDED AND THERE MAY BE MORE THAN ONE SERIES SPECIFIED. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. IF NO SERIES IS SPECIFIED, IT IS ASSUMED TO BE SERIES SERIES 80.
 - FOR TYPICAL HEADERS, SEE DETAIL C/A3.10.
 - FOR TYPICAL STAIRS, SEE DETAIL C/A3.10.
 - FOR TYPICAL FRAMING, SEE DETAIL C/A3.10.
 - FOR NOTCHING OR DRILLING OF WALLS & JOISTS, SEE D3/A3.10, D4/A3.10 & D5/A3.10.
 - UNDER A BEARING WALL PARALLEL WITH THE FLOOR JOISTS PROVIDE DOUBLE JOISTS OR AS NOTED ON THE DRAWINGS. SEE DETAIL C/A3.10.
 - SEE THIS SHEET FOR ALLOWABLE SPANS FOR JOISTS/PARTIES. ALL LUMBER IS ASSUMED TO BE SPECIES SPF #2 OR BETTER, UNLESS NOTED OTHERWISE.
 - JOIST HANGERS
 - FOR SINGLE JOISTS TIED TO SIDE OF IN CONSTRUCTION BEAM OR DO NOT HAVE AT LEAST 10" BEARING, USE SIMPSON STRONG-TIE JOIST HANGERS #JUS210 (18 GA) OR EQUAL, TYP., UNCL.
 - FOR DOUBLE JOISTS TIED TO SIDE OF IN CONSTRUCTION BEAM OR DO NOT HAVE AT LEAST 10" BEARING, USE SIMPSON STRONG-TIE LUS210-2 (18 GA) OR EQUAL, TYP., UNCL.
 - FOR TRIPLE JOISTS TIED TO SIDE OF IN CONSTRUCTION BEAM, USE SIMPSON STRONG-TIE HUS210-3 (18 GA) OR EQUAL, TYP., UNCL.
 - BEAM BOLT NOTE (IF ANY): 3/4" DIA CARRIAGE BOLT (W/NUT, LOCK WASHER, WASHER) @ 16" O.C. x BEAM TOP + 2" STAGGERED TOP & BOTTOM W/BOLT @ TOP & BOTTOM @ EACH BEARING END (HOLD IN 2" @ EACH END)
 - ADJUST JOIST SPACING AS REQUIRED FOR PLUMBING FIXTURES ABOVE.

DESIGN CRITERIA NOTES:

- DESIGN LOADS - MINIMUM UNIFORM DISTRIBUTED LINE LOADS (RC TABLE R301.5)

| FLOOR | AREA LOAD (PSF) | POINT LOAD (PSF) |
|--|-----------------|------------------|
| FIRST FLOOR | 40 | 10 |
| SECOND FLOOR | 40 | 10 |
| SLEEPING AREAS | 40 | 10 |
| STAIRS | 40 | 10 |
| UNINHABITABLE ATTICS W/O STORAGE | 10 | 10 |
| UNINHABITABLE ATTICS W/ LIMITED STORAGE | 20 | 10 |
| HABITABLE ATTICS/ATTICS WITH FIXED STAIR | 30 | 10 |
| EXTERIOR BALCONIES & DECKS | 40 | 10 |
| FIRE ESCAPES | 40 | 10 |
| GUARDRAILS & HANDRAILS | 200 | 10 |
| GUARD-IN-FILL COMPONENTS | 50 | 10 |
| PASSENGER VEHICLE CHARGES | 50 | 10 |
- ALLOWABLE DEFLECTIONS (RC TABLE R301.7)

| AREA | ALLOWABLE DEFLECTION |
|------------------------------------|----------------------|
| FLOOR JOISTS | L/360 |
| CEILING JOISTS | L/240 |
| ROOF RAFTERS (NO CEILING ATTACHED) | L/180 |
| LINTELS SUPPORTING MASONRY | L/600 |
- LUMBER DESIGN SPECIFICATIONS

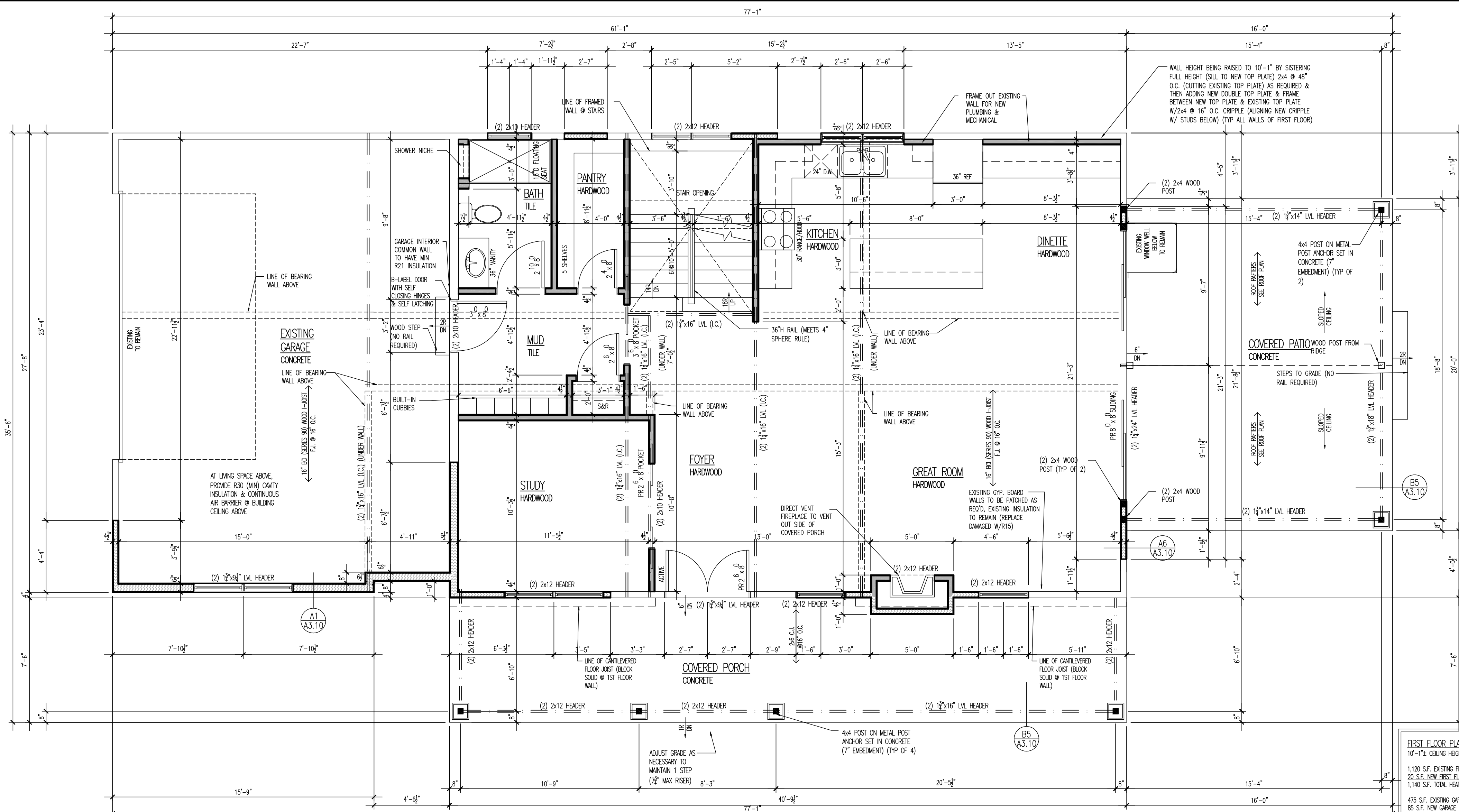
| SIZE | LENGTH | SPECIES | GRADE | F _b | E x 10 ⁶ |
|-------------|-------------|-----------------|--------------|----------------|---------------------|
| 2x4 | ALL | SPF | #2 OR BETTER | 875 | 1.1 |
| 2x6 | ALL | SPF | #2 OR BETTER | 875 | 1.1 |
| 2x8 | ALL | SPF | #2 OR BETTER | 875 | 1.1 |
| 2x10 | <20' | SPF | #2 OR BETTER | 875 | 1.1 |
| 2x10 | >20' TO 32' | DOUG-FIR/HEM-FR | #2 OR BETTER | 875 | 1.3 |
| 2x12 | <20' | SPF | #2 OR BETTER | 875 | 1.1 |
| 2x12 | >20' TO 32' | DOUG-FIR/HEM-FR | #2 OR BETTER | 875 | 1.3 |
| LVL BEAMS | ALL | BOISE-CASCADE | OR EQUAL | 3,100 | 2.0 |
| LVL FLOISTS | ALL | BOISE-CASCADE | OR EQUAL | 2,750 | 1.8 |
- FLOOR JOIST SPANS - 40 PSF LIVE / 10 PSF DEAD (F1-N)

| SPACING | SPECIES & GRADE | 2x6 | 2x8 | 2x10 | 2x12 |
|---------|-----------------|------|------|-------|-------|
| 12" | DOUG-FIR #2 | 10-9 | 14-2 | 17-9 | 20-7 |
| 12" | HEM-FR #2 | 10-0 | 13-2 | 16-10 | 20-4 |
| 12" | SPF #2 | 10-3 | 13-6 | 17-3 | 20-7 |
| 16" | DOUG-FIR #2 | 9-9 | 12-7 | 15-5 | 17-10 |
| 16" | HEM-FR #2 | 9-1 | 12-0 | 14-9 | 17-7 |
| 16" | SPF #2 | 9-1 | 12-3 | 15-5 | 17-10 |
- FLOOR JOIST SPANS - 30 PSF LIVE / 10 PSF DEAD (F1-N)

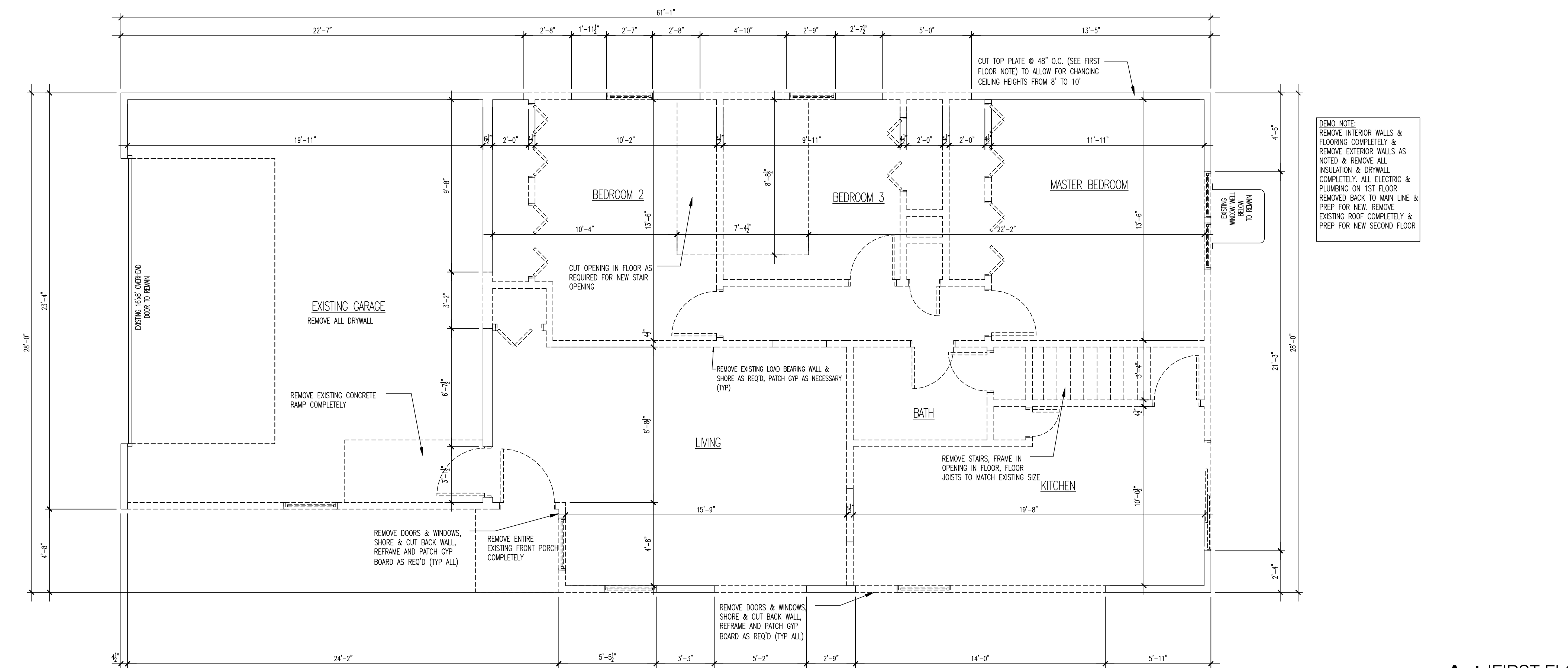
| SPACING | SPECIES & GRADE | 2x6 | 2x8 | 2x10 | 2x12 |
|---------|-----------------|-------|-------|-------|------|
| 12" | DOUG-FIR #2 | 11-10 | 15-7 | 19-10 | 23-0 |
| 12" | HEM-FR #2 | 11-0 | 14-6 | 18-6 | 22-6 |
| 12" | SPF #2 | 11-3 | 14-11 | 19-0 | 23-0 |
| 16" | DOUG-FIR #2 | 10-9 | 12-1 | 19-11 | 23-0 |
| 16" | HEM-FR #2 | 10-8 | 13-2 | 19-8 | 23-0 |
| 16" | SPF #2 | 10-3 | 13-6 | 19-11 | 23-0 |
- CEILING JOIST SPANS - 20 PSF LIVE / 10 PSF DEAD (F1-N)

| SPACING | SPECIES & GRADE | 2x4 | 2x6 | 2x8 | 2x10 |
|---------|-----------------|------|-------|------|-------|
| 12" | DOUG-FIR #2 | 9-10 | 15-0 | 19-1 | 23-3 |
| 12" | HEM-FR #2 | 9-2 | 14-5 | 18-6 | 22-7 |
| 12" | SPF #2 | 9-5 | 14-9 | 18-9 | 22-11 |
| 16" | DOUG-FIR #2 | 8-11 | 13-0 | 16-6 | 20-2 |
| 16" | HEM-FR #2 | 8-4 | 12-8 | 16-0 | 19-7 |
| 16" | SPF #2 | 8-7 | 12-10 | 16-3 | 19-10 |
- ROOF RAFTERS SPANS - 30 PSF LIVE / 10 PSF DEAD (F1-N)

| SPACING | SPECIES & GRADE | 2x4 | 2x6 | 2x8 | 2x10 | 2x12 |
|---------|-----------------|------|-------|-------|------|------|
| 12" | DOUG-FIR #2 | 8-7 | 13-6 | 17-8 | 21-7 | 25-1 |
| 12" | HEM-FR #2 | 9-0 | 12-7 | 16-7 | 21-0 | 24-4 |
| 12" | SPF #2 | 8-3 | 12-11 | 16-10 | 21-6 | 24-8 |
| 16" | DOUG-FIR #2 | 7-10 | 12-1 | 15-4 | 18-9 | 21-8 |
| 16" | HEM-FR #2 | 7-3 | 11-5 | 14-11 | 18-2 | 21-1 |
| 16" | SPF #2 | 7-6 | 11-9 | 15-1 | 18-5 | 21-5 |



C1 FIRST FLOOR PLAN
1/4" = 1'-0"



A1 FIRST FLOOR DEMO PLAN
1/4" = 1'-0"

Residential Floor Span Tables

About Floor Performance

Homeowner's expectations and opinions vary greatly due to the subjective nature of rating a new floor. Communication with the ultimate end user to determine their expectations is critical. Vibration is usually the cause of most complaints, resulting in long-term dissatisfaction. However, squeaks may occur if not installed properly. Squeaking joints, when they occur, do not affect the structural performance of the floor. The most common methods used to increase the performance and reduce vibration of wood floor systems are:

- Use Load Deflection Limited to L/800. The common industry and design community standard for residential floor joists. 2x6 joists with a span of 16'-0" and 2x8 joists with a span of 12'-0" are typical examples. A floor with a span of 16'-0" and 2x6 joists will have a deflection of 1/8" under a 100 lb point load.
- Use Load Deflection Limited to L/600. In addition to providing floor that is 33% stiffer than L/800, this level of deflection is also recommended for areas where there is a high risk of floor performance issues. This table should only be used for applications where floor performance is not a concern.
- Use a Minimum Deflection of L/1000. This level of deflection is recommended for areas where there is a high risk of floor performance issues. This table should only be used for applications where floor performance is not a concern.

One-Hour Floor/Ceiling Assembly

KCC ESR 1336

FIRE ASSEMBLY COMPONENTS

- Max. 10" floor joist with groove sheathing (exterior glue) installed with long edge perpendicular to joint length, staggered one joint spacing with adjacent sheets, and glued to joists with construction adhesive.
- 2x12 Joists at 24" o.c. or less.
- Two layers 1/2" Type X or two layers 5/8" Type C gypsum board installed per Figures 2 or 3 of ICC ESR 1336.

SOUND ASSEMBLY COMPONENTS

When constructed with resilient channels:

- Add one 1/2" pad to the assembly.
- Add 1/2" glass fiber insulation to the assembly.
- Add additional layer of minimum 5/8" sheathing and 1/2" glass fiber insulation to the assembly.

ICC ESR 1336 or ICC ESR 1337 or ICC ESR 1338 or ICC ESR 1339 or ICC ESR 1340 or ICC ESR 1341 or ICC ESR 1342 or ICC ESR 1343 or ICC ESR 1344 or ICC ESR 1345 or ICC ESR 1346 or ICC ESR 1347 or ICC ESR 1348 or ICC ESR 1349 or ICC ESR 1350

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MICHAEL A. BURR
LICENSED ARCHITECT
STATE OF ILLINOIS
001-015688
09-22-2021 | 11-30-2022
DATED | EXPIRES

Ignash House Addition-Remodel
214 N. Laird St, Naperville, IL 60540
Dan & Jill Ignash
214 N. Laird St, Naperville, IL 60540

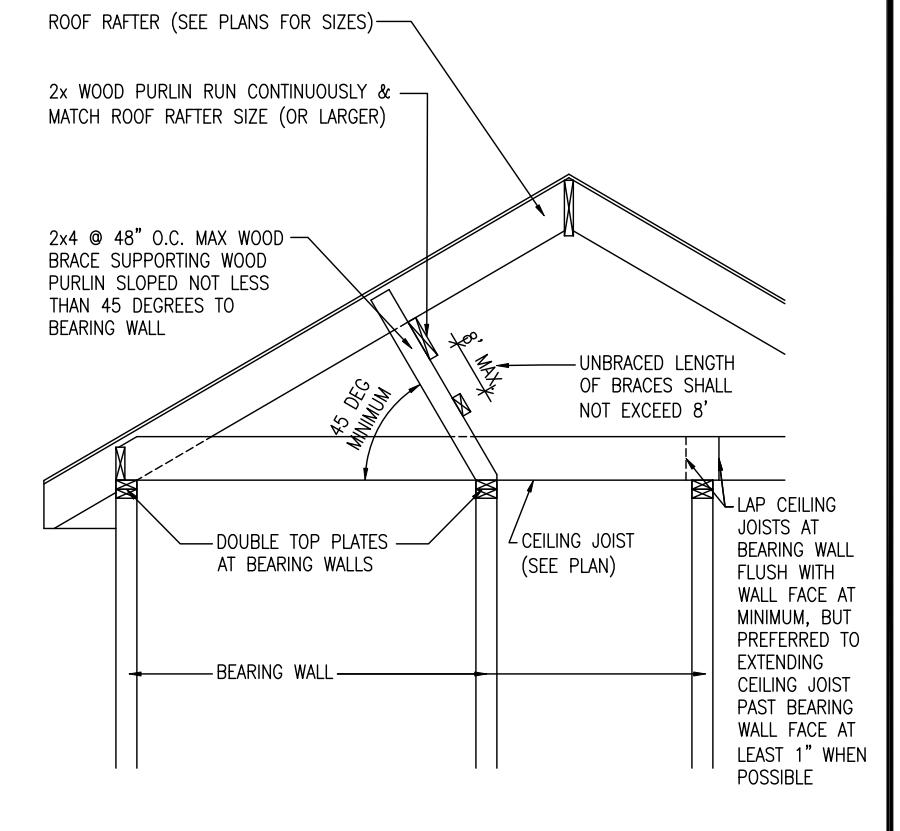
FIRST FLOOR PLAN

DRAWN BY: MDR
CHECKED BY: MAB

PROJECT NUMBER: 2101005
SHEET NUMBER: A2.20
OF 9 SHEETS

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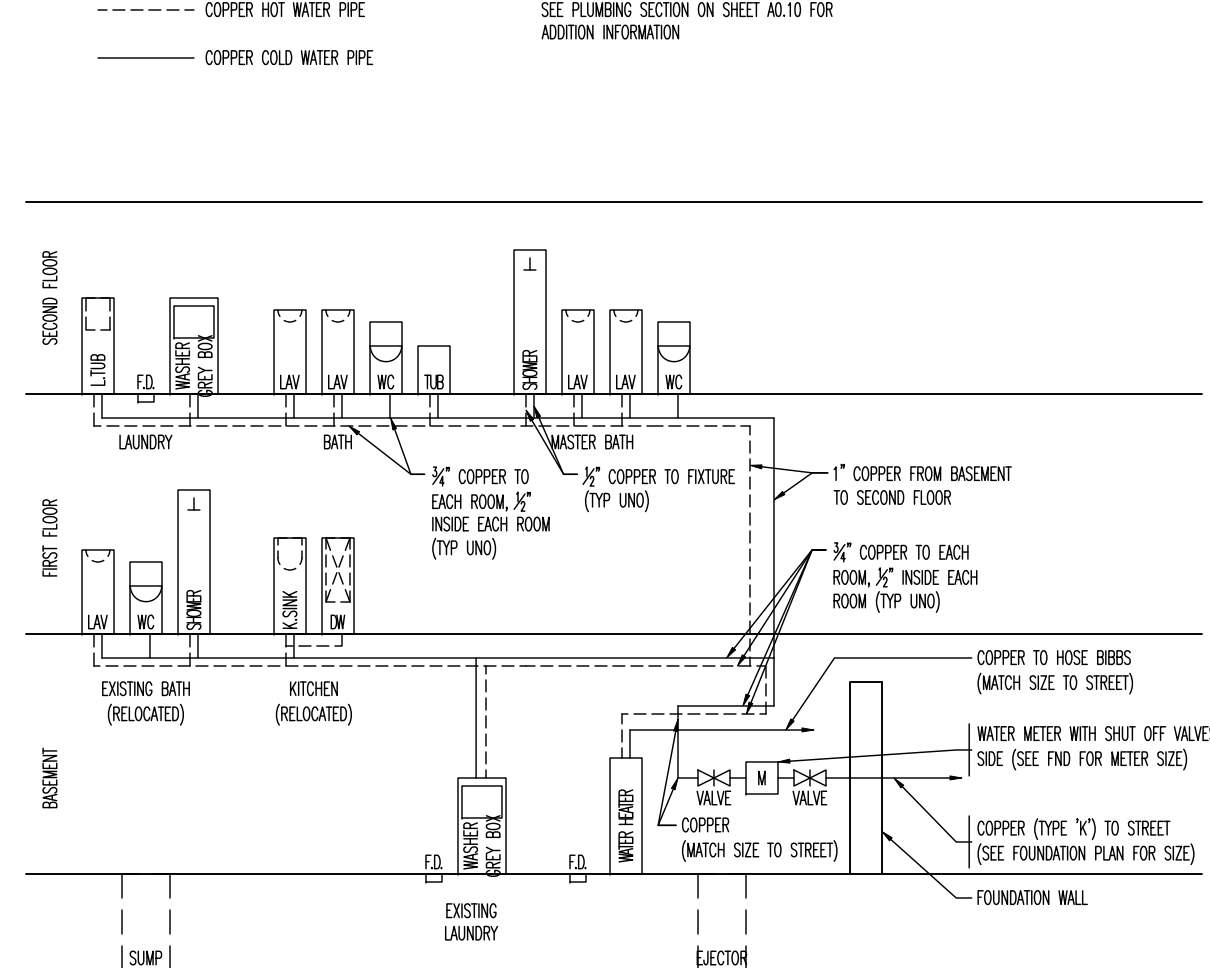
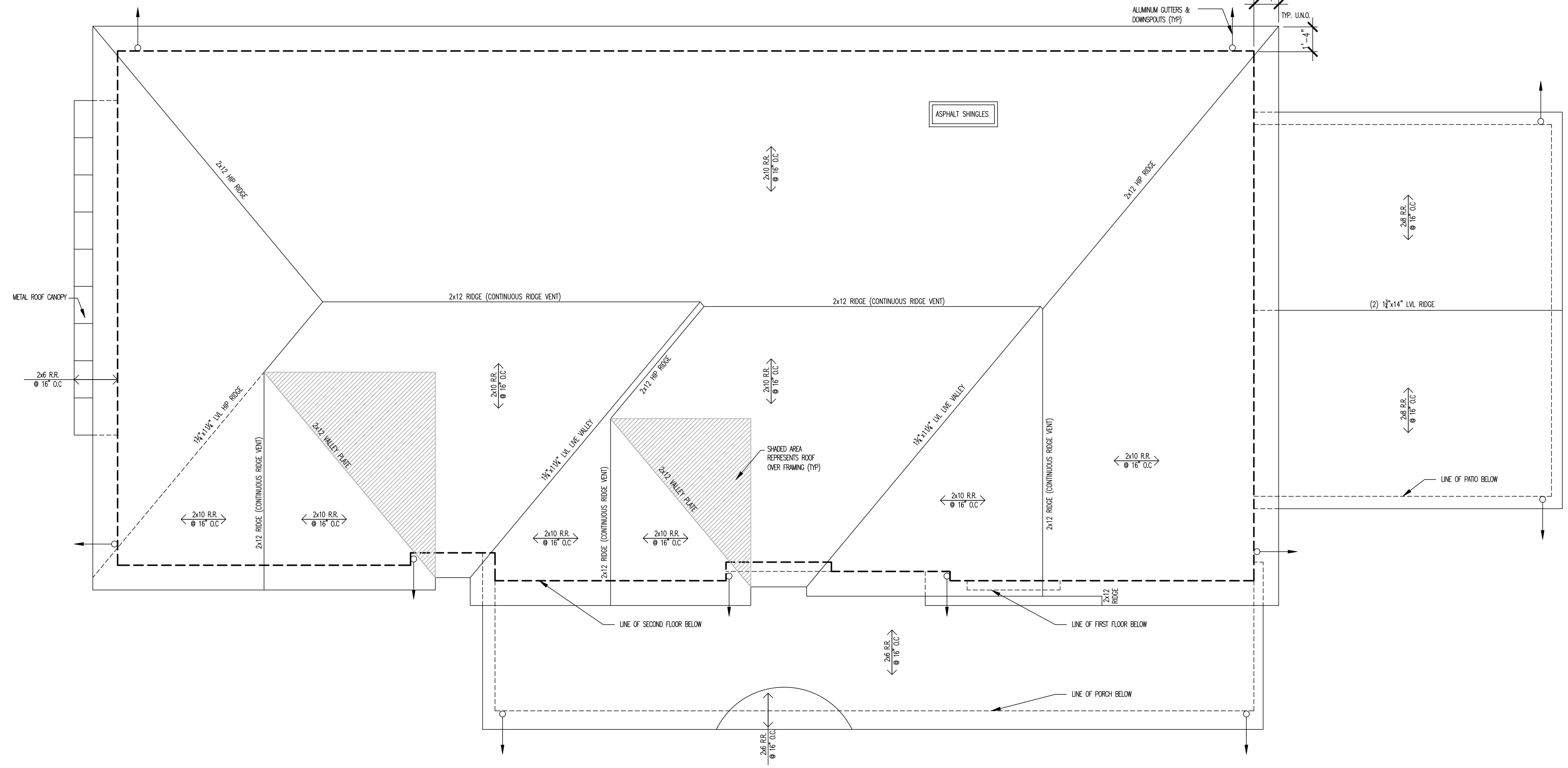
- GENERAL ROOF PLAN NOTES:**
- REFER TO ALL NOTES ON SHEET A0.10 FOR ADDITIONAL INFORMATION.
 - SECTION 1 FOR GENERAL REQUIREMENTS
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 - SECTION 6, 7, 8 & 9 FOR CARPENTRY, FIRE BLOCKING, MOISTURE CONTROL & DOOR-WINDOW NOTES
 - SECTION 10, 11, 12 & 13 FOR MECHANICAL, PLUMBING, ELECTRICAL & SMOKE/CO DETECTOR NOTES
 - SECTION 14 FOR ECC NOTES
 - SECTION 15, 16 & 17 FOR ATTIC/DRAWL ACCESS, MISCELLANEOUS & FINISH NOTES
 - SECTION 18 FOR LOCAL AUTHORITY SPECIFIC NOTES
 - ICE & WATER SHIELD NOTE:** PROVIDE ICE & WATER SHIELD AT EAVES ALL TO POINT THAT IS 24" FROM INSIDE OF HEATED WALL LINE, AT ALL VALLEYS RUN 18" EACH WAY AND AT ALL LOW SLOPED ROOFS (LESS THAN 4:12) AND AT ALL WALL ROOF INTERSECTIONS UNDER FLASHING (RUN 18" EACH WAY)
 - ATTIC VENTILATION NOTE:** INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR FROM THE EAVE INTO THE ATTIC. FOR AIR IMPERMEABLE INSULATIONS IN VENTED ATTICS, A BATTLE MUST BE INSTALLED BETWEEN EACH RAFTER ALONG THE SIDE AND OVER THE INSULATION
 - FRAMING NOTE:** ROOF CONTAINS DIFFERENT SIZE RAFTERS. CONTRACTOR CAN ADJUST BEARING HEIGHT BY ADDED WOOD PLATES OR INCREASING RAFTER SHEL OUT OR COMBINATION OF BOTH TO KEEP EAVE FACE IN LINE. CONTRACTOR HAS OPTION TO UPSIZE ALL RAFTERS TO THE SAME SIZE
 - CEILING NOTE:** PURLIN SHALL MATCH ROOF Rafter SIZE IF SUPPORTS & SHALL BE CONTINUOUS AND SUPPORTED BY 2x4@48" OC BRACES ANGLED DOWN NO LESS THAN 45° FROM HORIZONTAL TO BEARING WALLS. PROVIDE 2x6 HORIZONTAL BRACING ON 2x4@48"-OC MAX. SEE PURLIN DETAIL THIS SHEET.
 - SIMPSON H2S HORIZONTAL TIE-GUYS AT 48" O.C. MIN TO BE PROVIDED PER IRC. 10.5 CLIPS TO BE PROVIDED AT ALL CATHEDRAL RAFTERS, TRAY CEILING RAFTERS, BARREL VAULT RAFTERS, AS WELL AS ANY RAFTERS ATTACHED WITH LOOKOUTS.**
 - PROVIDE FLASHING AT ALL WALL AND ROOF INTERSECTIONS WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ROOF OPENINGS.
 - ROOF VENTS TO BE LOCATED ON BACK SLOPE OF ROOF. NUMBER AND LOCATIONS SHALL BE BASED ON 1/300 TOTAL AREA OF VENTS PER IRC.



ROOF VENTILATION CALCULATIONS

| ROOF AREA DESCRIPTION | MAN ROOF |
|---|----------|
| TOTAL AREA OF ROOF: | 1,958 SF |
| TOTAL REQUIRED FREE AREA @ 1:300 (= AREA/300): | 6.53 SF |
| RISE - FREE AREA REQUIRED (REQ'D FREE AREA/2): | 3.27 SF |
| RISE - ACTUAL FREE AREA (SEE CALCS BELOW): | 6.56 SF |
| CONT. RIDGE VENT (L.F. OF RIDGE): | 75.58 LF |
| CONT. RIDGE VENT FREE AREA: (LF x 12.5 Sq.in./LF)/144 | 6.56 SF |
| ROOF VENT (NUMBER @ RIDGE): | 0 |
| ROOF VENT FREE AREA: (# x 50 Sq.in./EA)/144 | 0 SF |
| LARGE ROOF VENT (NUMBER @ RIDGE): | 0 |
| LARGE ROOF VENT FREE AREA: (LF x 144 Sq.in./LF)/144 | 0 SF |
| EAVE - FREE AREA REQUIRED (REQ'D FREE AREA/2): | 3.27 SF |
| EAVE - ACTUAL FREE AREA (SEE CALCS BELOW): | 8.13 SF |
| PERFORATED PANEL (L.F. OF EAVE): | 1.30 LF |
| PERFORATED PANEL FREE AREA: (LF x 9 Sq.in./LF)/144 | 8.13 SF |
| CONTINUOUS VENT (L.F. OF EAVE): | 0.0 LF |
| CONTINUOUS VENT FREE AREA: (LF x 9.0 Sq.in./LF)/144 | 0.0 SF |
| DOES VENTILATION MEET OR EXCEED MIN. REQS: | YES |

PERFORATED PANELS @ EAVE ASSUMES 9 SQ. IN. / L.F.
 CONTINUOUS VENT @ EAVE ASSUMES 9 SQ. IN. / L.F.
 CONT. RIDGE VENT @ RIDGE ASSUMES 12.5 SQ. IN. / L.F.
 ROOF VENT @ RIDGE ASSUMES 50 SQ. IN. / EACH
 LARGE ROOF VENT @ RIDGE ASSUMES 144 SQ. IN. / EACH



PLUMBING FIXTURE UNITS:

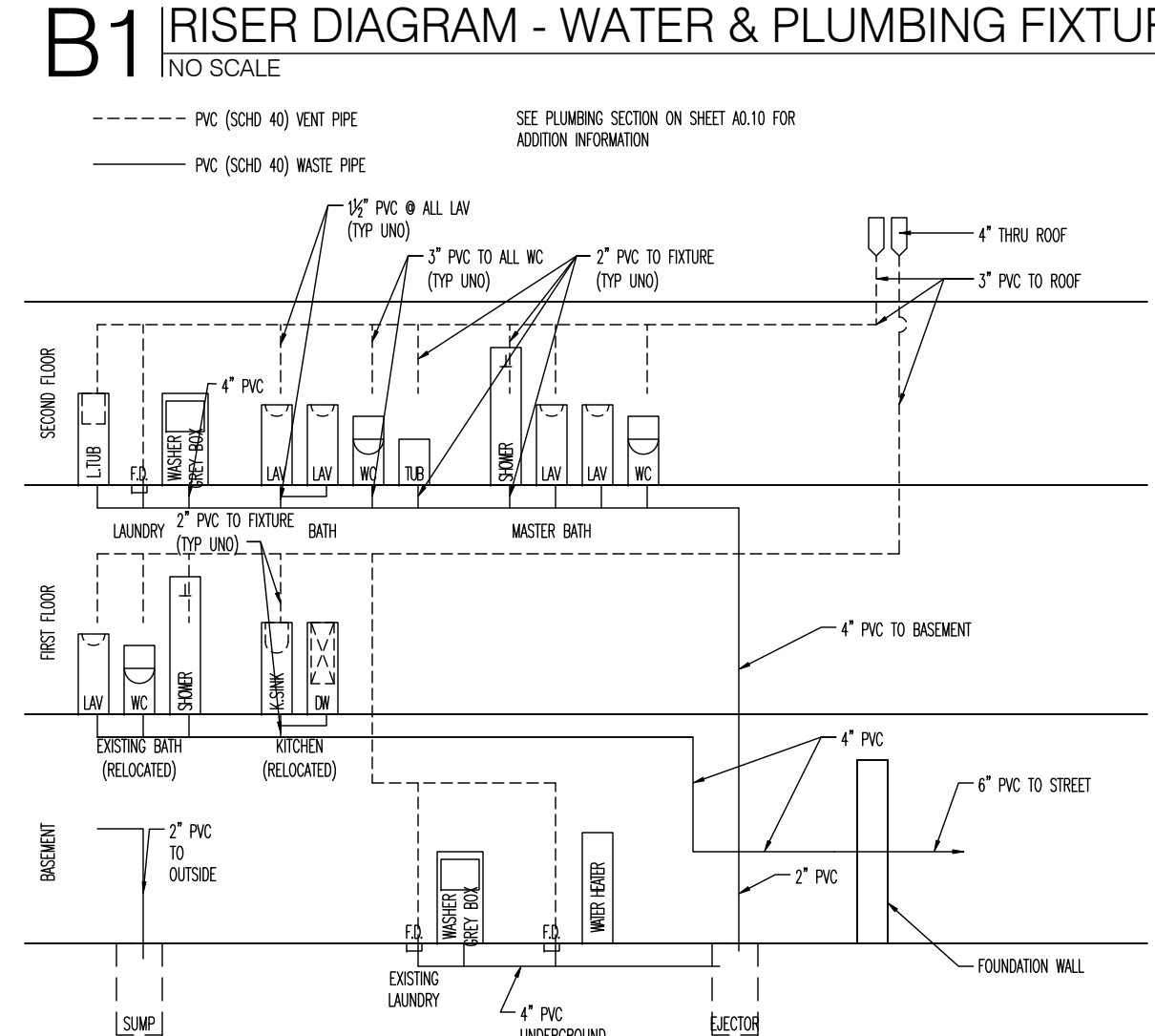
| QTY | QTY | FUTURE TYPE | LINE | TOTAL |
|-------|-----|-----------------------------|------|-------|
| EXIST | NEW | | | |
| 0 | 1 | WATER CLOSET (FLUSH VALVE) | 10 | 10 |
| 1 | 2 | WATER CLOSET (FLUSH TANK) | 3 | 9 |
| 1 | 4 | LAUNDRY - FAUCET | 2 | 5 |
| 0 | 1 | BATHUB - FAUCET | 2 | 2 |
| 1 | 1 | SHOWER - MANGING VALVE | 2 | 4 |
| 1 | 0 | KITCHEN SINK - FAUCET | 2 | 2 |
| 0 | 1 | LAUNDRY TRAYS - FAUCET | 3 | 3 |
| 1 | 0 | DISHWASHER - AUTOMATIC | 1 | 1 |
| 1 | 1 | LAUNDRY MACHINE - AUTOMATIC | 2 | 4 |
| 6 | 10 | TOTALS | - | 30 |

PIPE SIZE METER SIZE

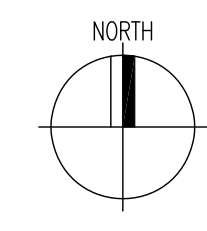
| REQUIRED SIZE | PIPE SIZE | METER SIZE | <- USE THIS SIZE PROVIDED |
|---------------|-----------|------------|---------------------------|
| 1" | 1" | 3/4" | <- USE THIS |

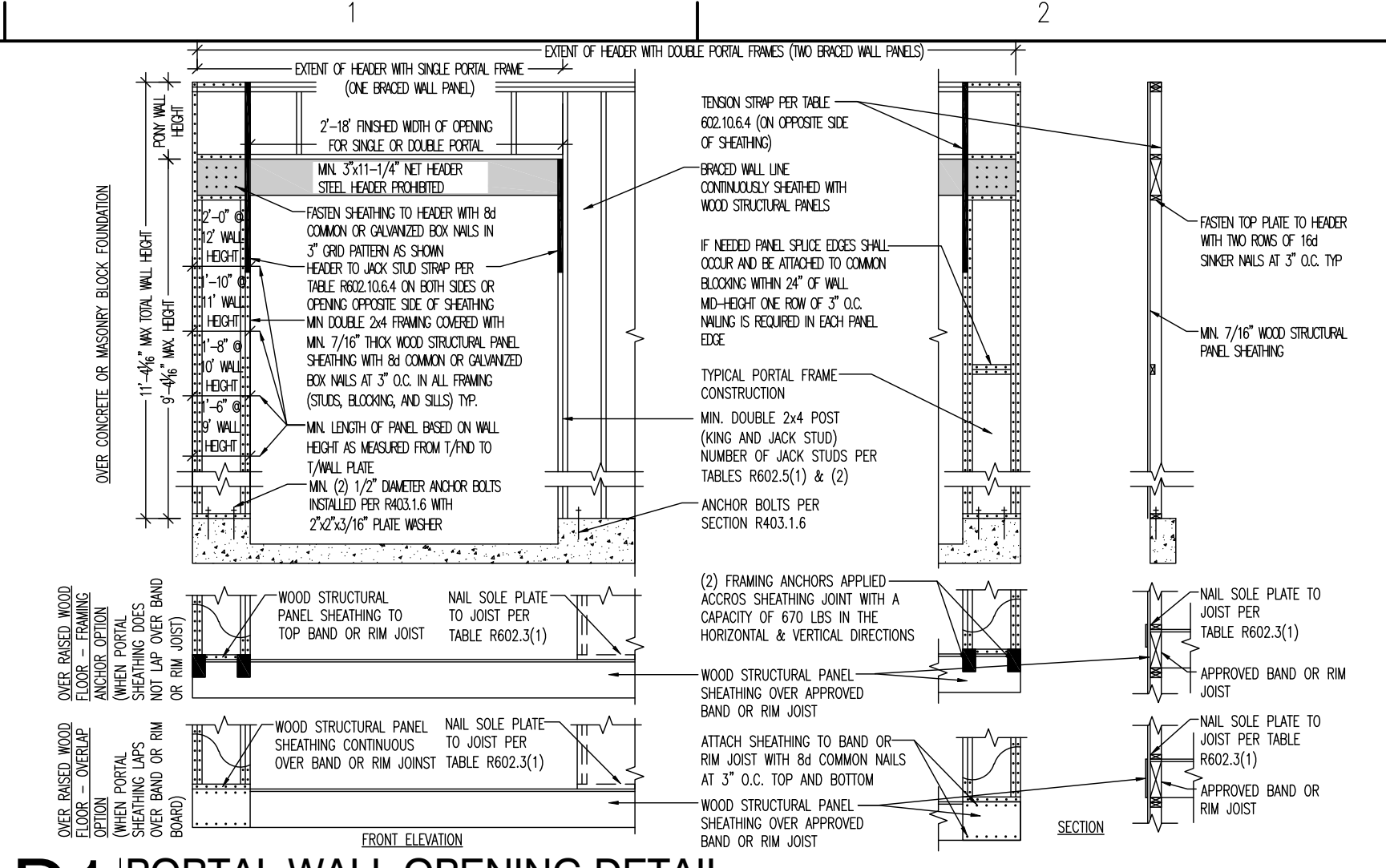
ALLOWABLE FIXTURE UNITS FOR PIPE SIZE & METER SIZE

| NSFU | PIPE SIZE | METER SIZE |
|----------|-----------|------------|
| 16 NSFU | 3/4" | 3/4" |
| 25 NSFU | 1" | 3/4" |
| 30 NSFU | 1" | 1" |
| 50 NSFU | 1 1/4" | 1" |
| 80 NSFU | 1 1/2" | 1 1/4" |
| 100 NSFU | 1 1/2" | 2" |
| 225 NSFU | 2" | 2" |

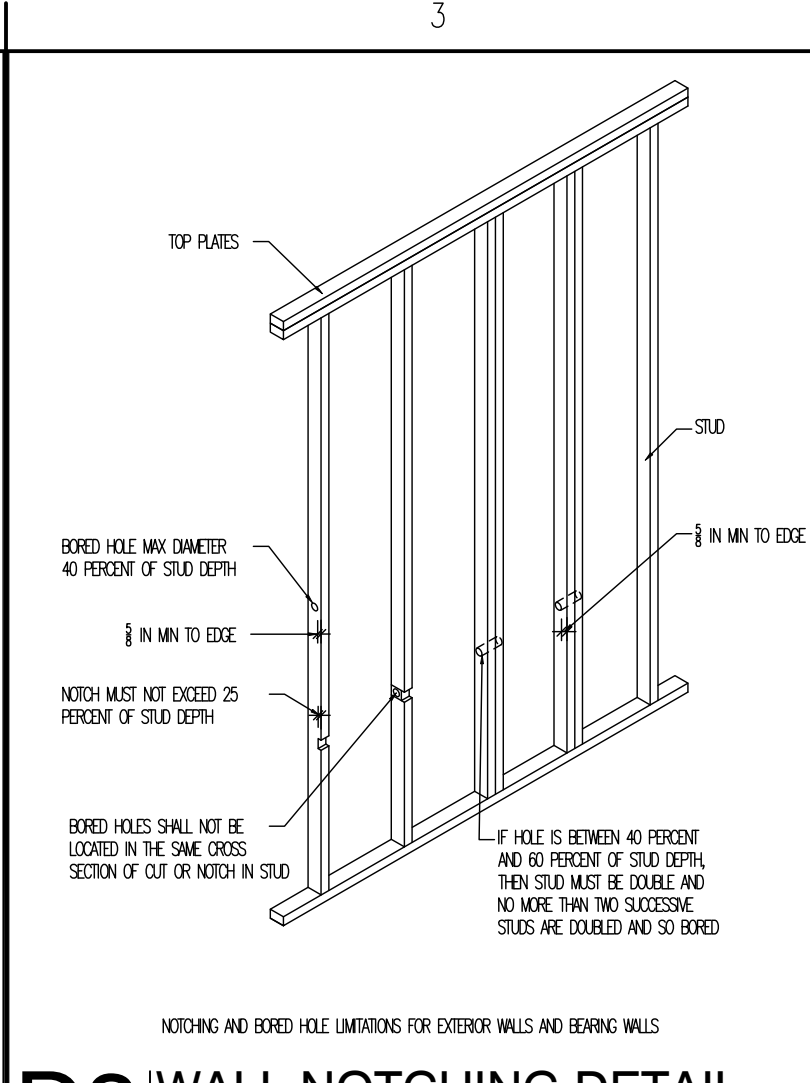


A3 ROOF PLAN
1/4" = 1'-0"

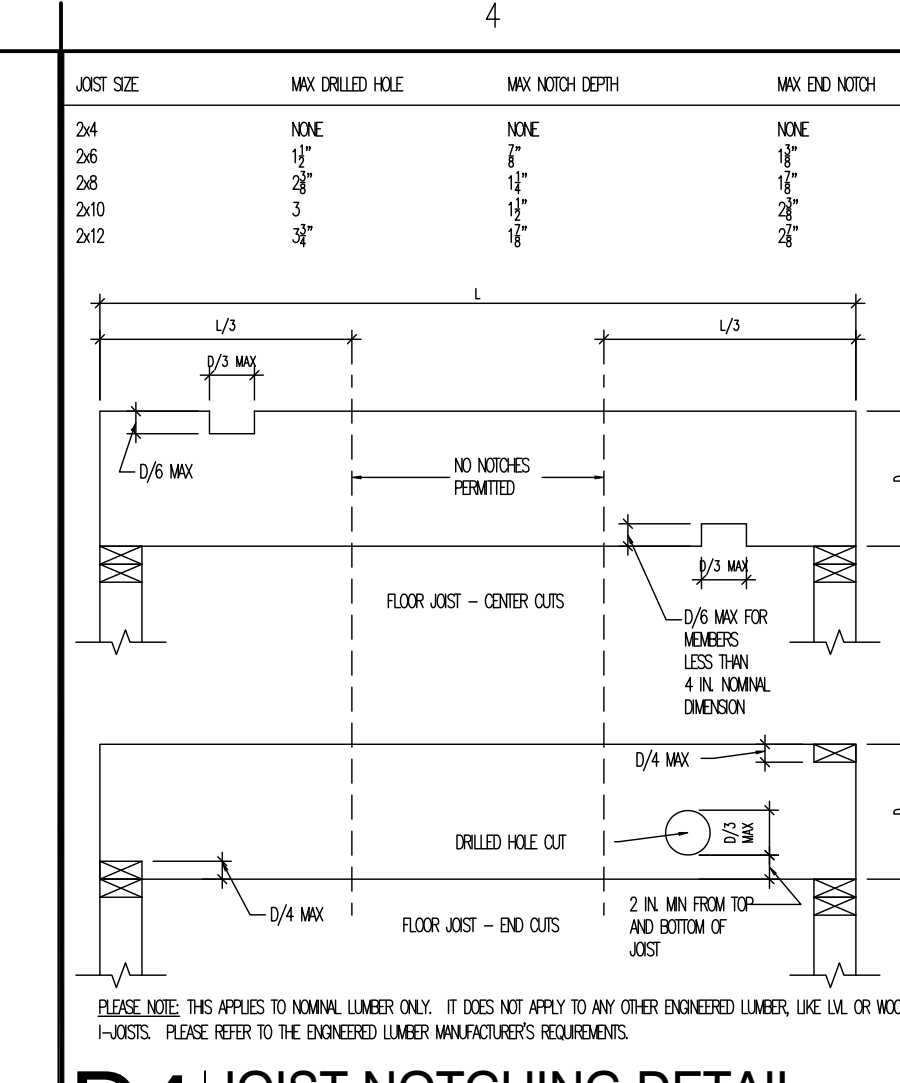




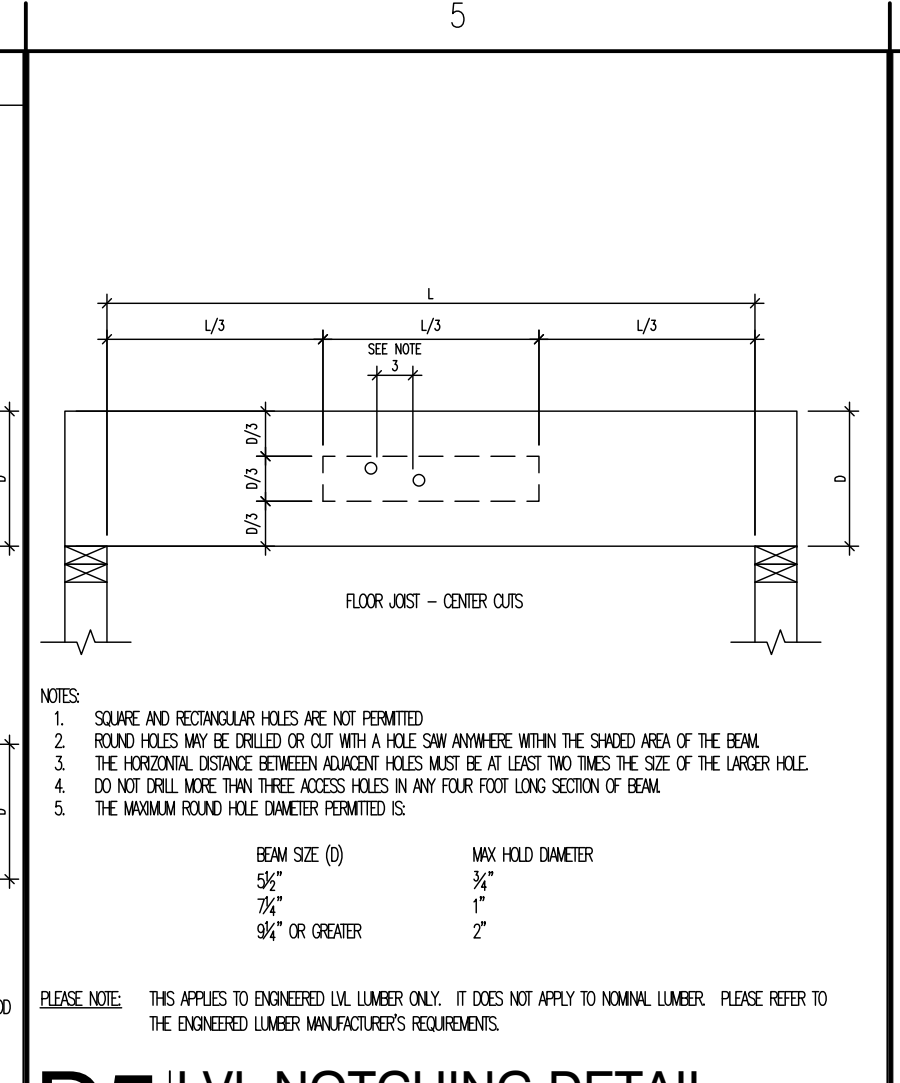
D1 PORTAL WALL OPENING DETAIL
NO SCALE (48)



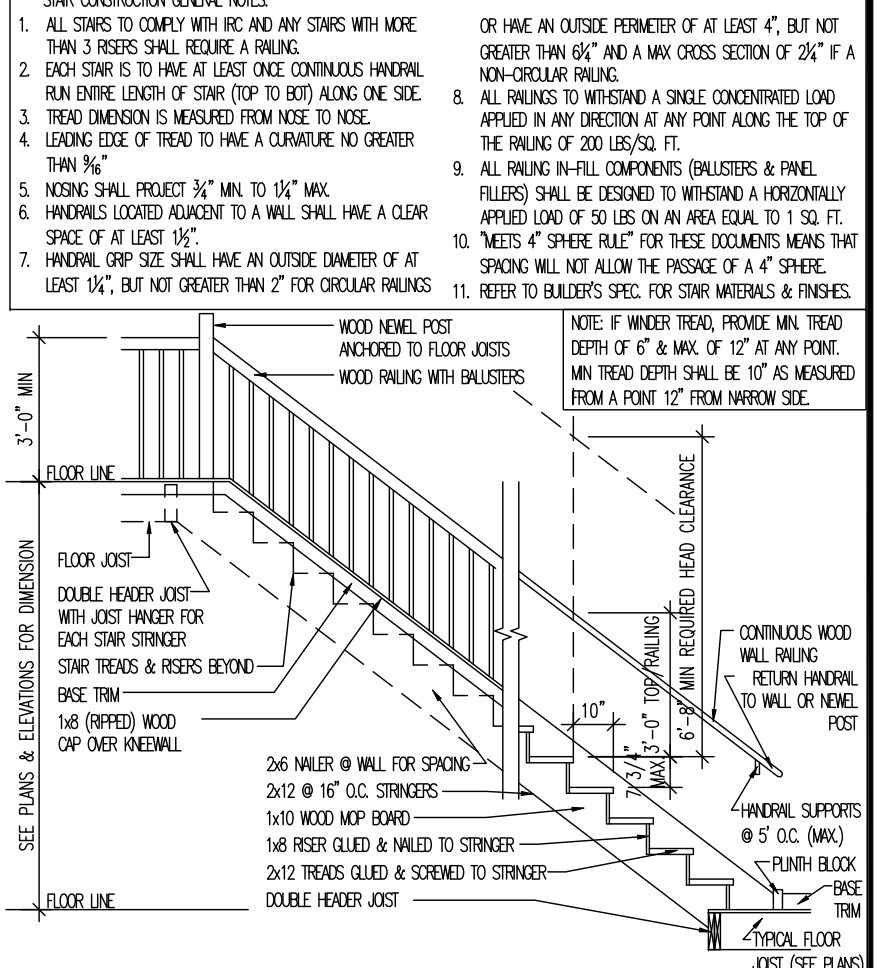
D3 WALL NOTCHING DETAIL
NO SCALE (16)



D4 JOIST NOTCHING DETAIL
NO SCALE (16)



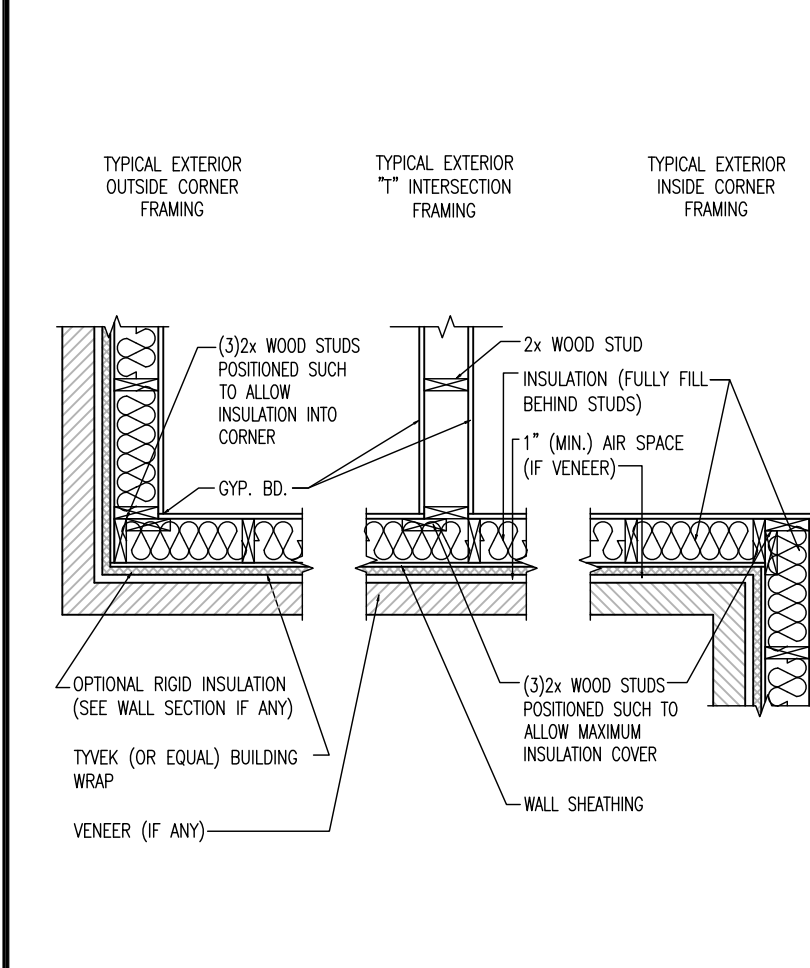
D5 LVL NOTCHING DETAIL
NO SCALE (16)



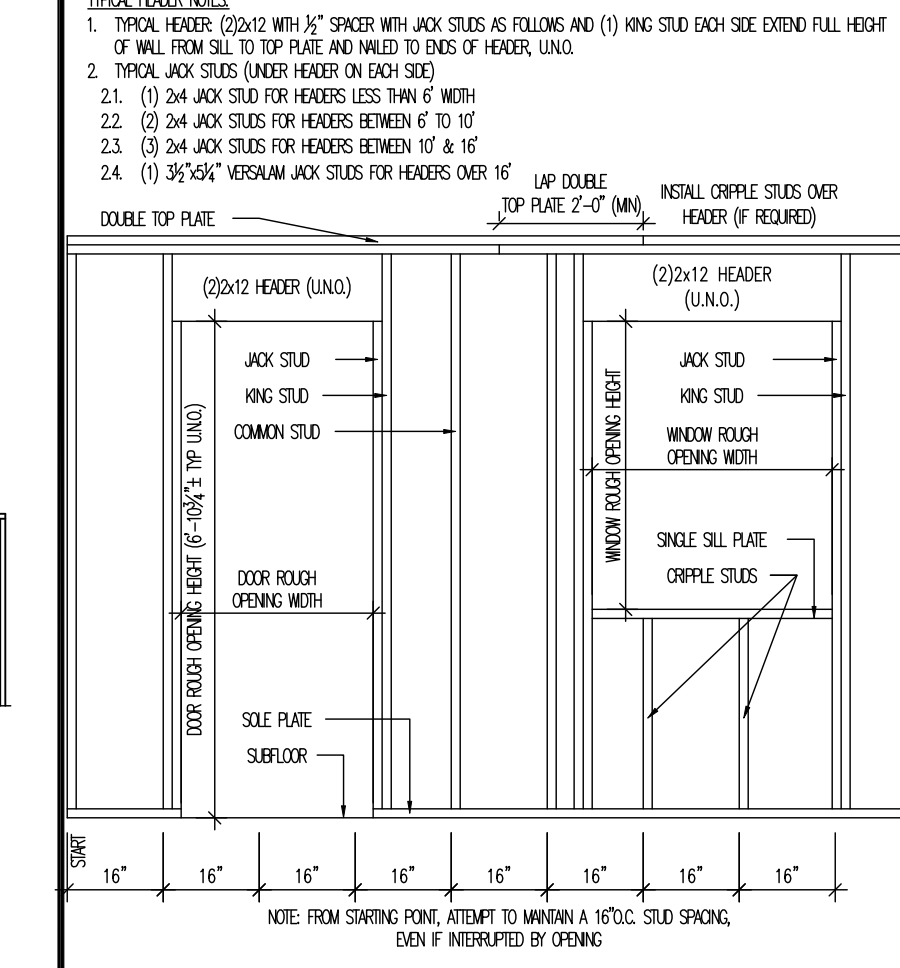
C1 STAIR DETAIL
NO SCALE (48)



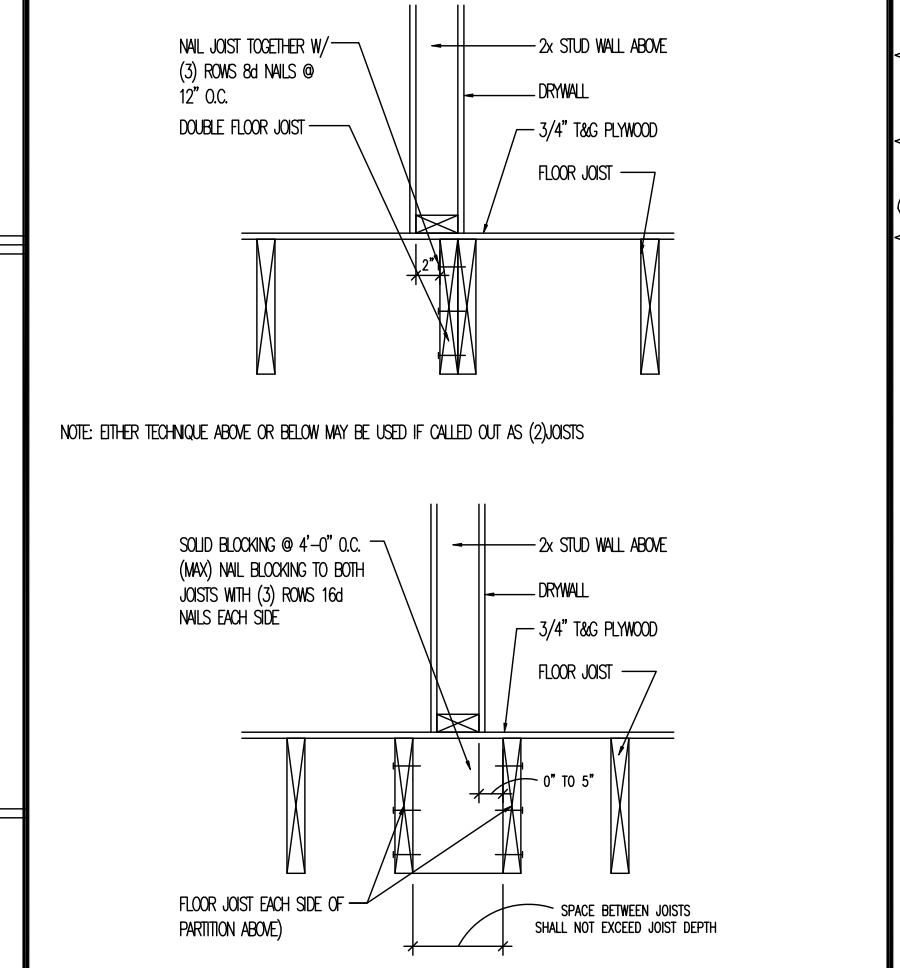
C2
1" = 1'-0"



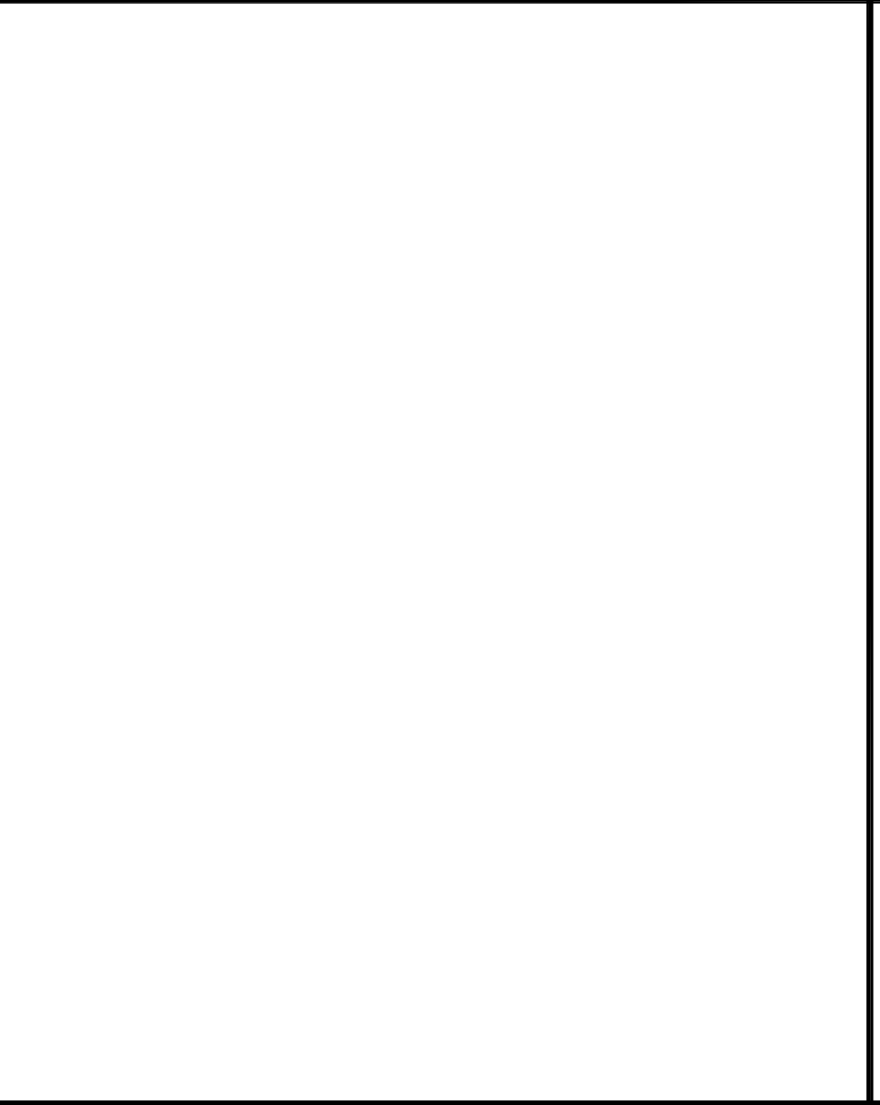
C3 ADVANCED FRAMING
NO SCALE (24)



C4 FRAMING DETAIL
NO SCALE (32)



C5 DOUBLE JOIST DETAIL
3/4" = 1'-0"



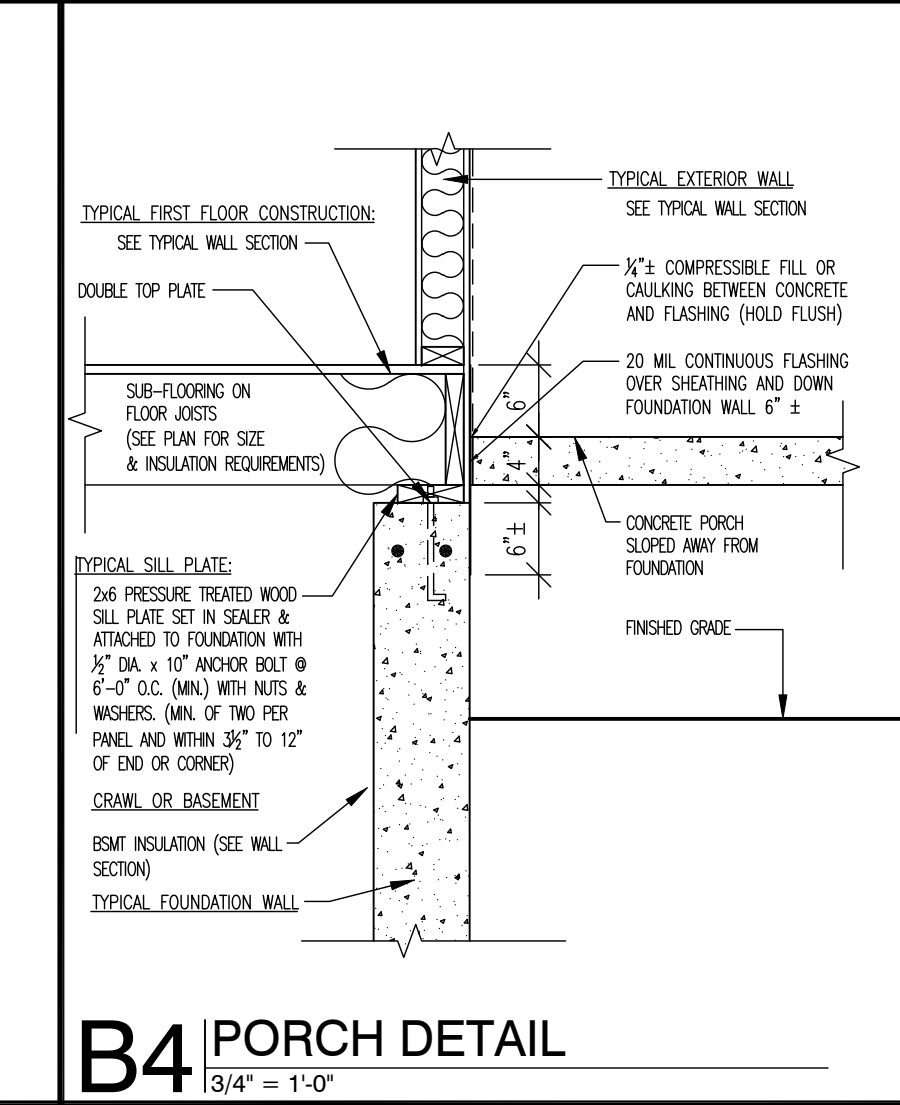
A1 GARAGE WALL SECTION
3/4" = 1'-0"



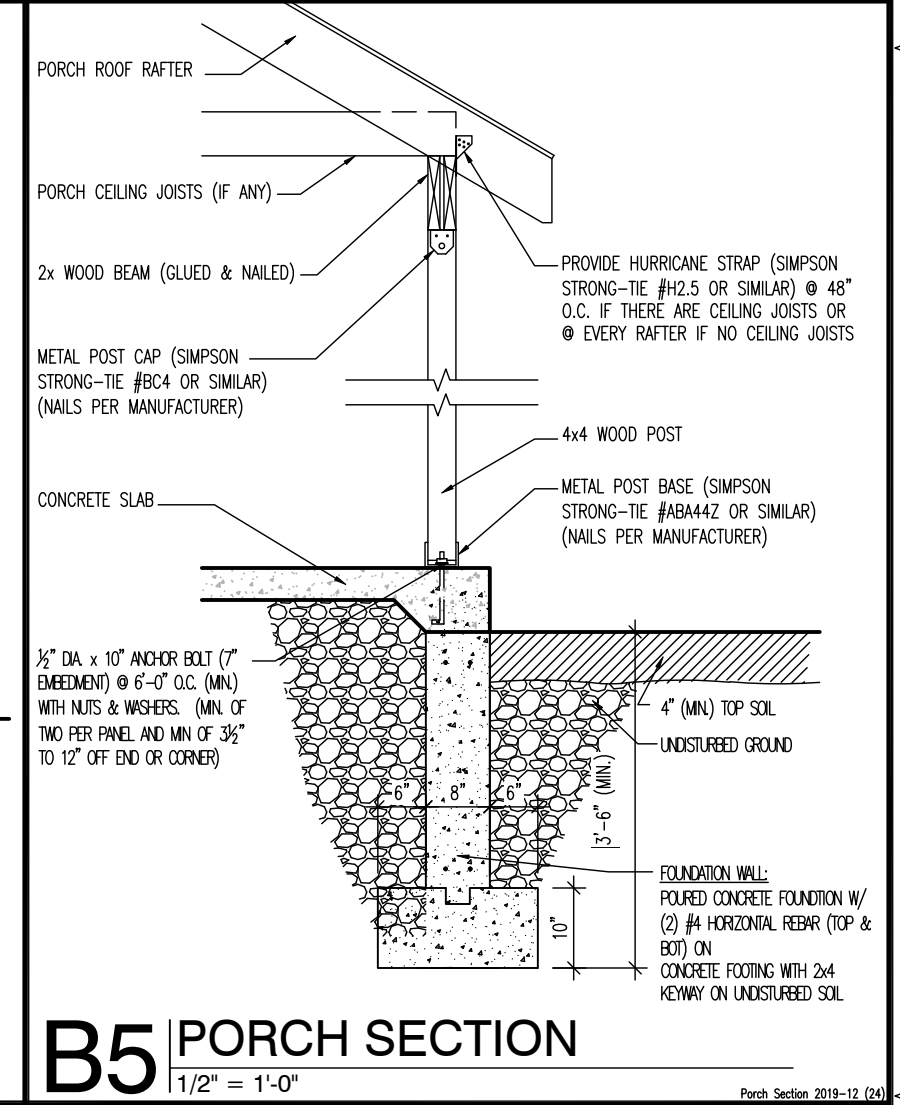
B4 PORCH DETAIL
3/4" = 1'-0"



B5 PORCH SECTION
1/2" = 1'-0"



A4 PORCH DETAIL
3/4" = 1'-0"



A6 WALL SECTION - SIDING
1/2" = 1'-0"

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BUILDER

Michael A. Bahr
LICENSED ARCHITECT
STATE OF ILLINOIS
001-015688
09-22-2021 | 11-30-2022
DATED | EXPIRES

Ignash House Addition - Remodel
214 N. Laird St, Naperville, IL 60540
for
Dan & Jill Ignash
214 N. Laird St, Naperville, IL 60540

ISSUANCE

DATE

09-22-2021 | PERMIT-80

WALL SECTION - DETAILS

DRAWN BY: MDR
CHECKED BY: MAB

PROJECT NUMBER: 2101005
SHEET NUMBER: A3.10

A1 GARAGE WALL SECTION
3/4" = 1'-0"

A4 PORCH DETAIL
3/4" = 1'-0"

C1 STAIR DETAIL
NO SCALE (48)

C2
1" = 1'-0"

D1 PORTAL WALL OPENING DETAIL
NO SCALE (48)

D3 WALL NOTCHING DETAIL
NO SCALE (16)

D4 JOIST NOTCHING DETAIL
NO SCALE (16)

D5 LVL NOTCHING DETAIL
NO SCALE (16)

C3 ADVANCED FRAMING
NO SCALE (24)

C4 FRAMING DETAIL
NO SCALE (32)

B4 PORCH DETAIL
3/4" = 1'-0"

B5 PORCH SECTION
1/2" = 1'-0"

A6 WALL SECTION - SIDING
1/2" = 1'-0"

A3.10

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OF 9 SHEETS

