

OWNER'S ACKNOWLEDGEMENT & ACCEPTANCE
FOR THE WASHINGTON

Washington Capital Management, LLC (hereinafter referred to as the "OWNER" or "DEVELOPER") with a registered office address of 30 W. Jefferson Street, Suite 200, Naperville, IL 60540 is the owner of the property located at 716-720 N. Washington Street, Naperville, Illinois 60563, commonly known as The Washington (hereinafter referred to as the "SUBJECT PROPERTY"). In accordance with the provisions of the Naperville Municipal Code, OWNER and DEVELOPER, shall pay all fees and fulfill all other special conditions referenced below, in addition to those requirements set forth in the Naperville Municipal Code, the attached Statement of General Conditions, and all motions, ordinances and resolutions by the City Council approving the final subdivision plat for the SUBJECT PROPERTY, prior to recording the final subdivision plat for The Washington. Said fees shall not be paid under protest or otherwise objected to.

School Donation: \$0.00 (based on 4 1-bedroom apartments and 4 2-bedroom apartments, and credit for one 3-bedroom and one 4-bedroom single-family detached units), in accordance with Table A (attached). OWNER and DEVELOPER acknowledge that this calculation is based on Ordinance 07-188 (Amendment to Naperville Municipal Code Section 7-3-5:3.1: Fair Market Value), as adopted by City Council on August 6, 2007. Said donation shall be made with a cash-in-lieu-of-land donation. OWNER and DEVELOPER acknowledge that the school donation established herein is done so pursuant to City of Naperville ordinance and Code provisions and agree that payment of said amount shall not be paid under protest, or otherwise objected to, and shall be paid prior to recording the Final Subdivision Plat for the SUBJECT PROPERTY. OWNER and DEVELOPER further acknowledge that the school donation established herein will be verified at the time of each building permit issuance, and if the number of bedrooms in the dwelling unit exceeds the bedroom counts as outlined herein, then the permit applicant shall be charged for additional bedrooms, in accordance with the school donation table in effect at the time the building permit is issued.

Park Donation: \$23,007.96 (based on 4 1-bedroom apartments and 4 2-bedroom apartments, and credit for one 3-bedroom and one 4-bedroom single-family detached units), in accordance with Table B (attached). OWNER and DEVELOPER acknowledge that this calculation is based on Ordinance 07-188 (Amendment to Section 7-3-5:3.1: Fair Market Value), as adopted by City Council on August 6, 2007. Said donation shall be made with a cash-in-lieu-of-land donation. OWNER and DEVELOPER acknowledge that the park donation established herein is done so pursuant to City of Naperville ordinance and Code provisions and agree that payment of said amount shall not be paid under protest, or otherwise objected to, and shall be paid prior to recording the Final Subdivision Plat for the SUBJECT PROPERTY. OWNER and DEVELOPER further acknowledge that the park donation established herein will be verified at the time of each building permit issuance, and if the number of bedrooms in the dwelling unit exceeds the bedroom counts as outlined herein, then the permit applicant shall

be charged for additional bedrooms, in accordance with the park donation table in effect at the time the building permit is issued.

Engineering Review Fee: \$4,041.08 (1.5% of the approved engineer's cost estimate)

Utility Rebate, Special Connection Fees, Recapture Fees, Special Assessment Amounts, Special Service Area Taxes: This fee is due prior to recording the Final Plat of Subdivision.

Road Improvement Fees: None

Financial Surety: Financial surety in a form acceptable to the City Attorney shall be provided and maintained in the amount of \$296,346.05 (110% of the approved engineer's cost estimate) which guarantees the completion of public improvements and soil erosion and sedimentation control for the SUBJECT PROPERTY (hereinafter "Public Improvements"). Financial surety shall be received and approved prior to issuance of a site development permit. Notwithstanding provision of said surety, until the Public Improvements have been accepted by the City, the OWNER and DEVELOPER shall remain obligated for completion of said Public Improvements and/or (at the City's sole discretion) to pay any costs for said Public Improvements to the extent that the surety is not sufficient to pay for the costs of the Public Improvements, or in the event of any denial, or partial denial of coverage by the surety, or failure of the surety to timely respond to a demand for payment. Upon acceptance of the Public Improvements by the City, the OWNER and DEVELOPER shall provide the City with a maintenance bond for the Public Improvements in conformity with the Naperville Municipal Code.

As to any surety, or maintenance surety, provided by the OWNER AND DEVELOPER to the City hereunder, the OWNER AND DEVELOPER agrees that: (1) at no time shall the City be liable for attorneys' fees with respect thereto; (2) OWNER AND DEVELOPER shall be liable to pay the City's reasonable attorneys' fees and costs (in-house or outside counsel) in enforcement thereof; and (3) the list of circumstances set forth in such surety (including any exhibit thereto) as bases for default thereunder shall entitle the City to draw on said surety.

Special Conditions

Watermain Recapture: OWNER AND DEVELOPER shall be permitted to record a Recapture Agreement in a form approved by the City Attorney against title for the properties located at 724 N. Washington Street and 7 E. 7th Avenue in accordance with the Washington Watermain Recapture Plan, attached hereto and incorporated herein as Attachment A, whereby OWNER AND DEVELOPER shall be entitled to the actual "as built" construction costs associated with the construction and installation of the Watermain Extension as required of OWNER AND DEVELOPER by the City and in accordance with the approved Final Engineering plans (prepared by Roake and Associates, dated 7/31/17

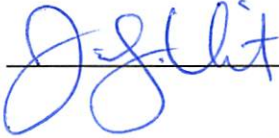
and last revised 9/20/17 and attached hereto as Attachment B). OWNER AND DEVELOPER'S request must be tendered to the City Engineer and the City Attorney within twelve (12) months of completion of construction of the Watermain Extension and accompanied by a draft of the proposed Recapture Agreement and documentation demonstrating the "as built" costs of such Watermain Extension.

Watermain Cost Sharing: OWNER AND DEVELOPER and City hereby agree to share in the costs associated with the watermain improvements as set forth on Attachment 2, attached hereto and made part hereof ("Cost-Sharing Agreement Between the City of Naperville and Washington Capital Management, LLC (The Washington) for Watermain Improvements").

Binding Effect. This document will be recorded with the office of the Recorder in which the SUBJECT PROPERTY is located. The undersigned acknowledges and agrees that the terms contained herein shall be binding upon and inure to the benefit of the City of Naperville, the OWNER or DEVELOPER, and the successors, assigns, and any subsidiary, affiliate or parent of the OWNER or DEVELOPER.

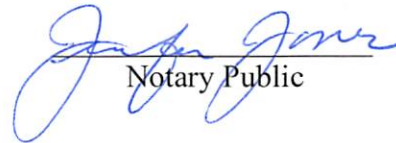
The undersigned warrants that he/she is the owner of the SUBJECT PROPERTY, or is the duly authorized representative of the owner in the case of a corporation, partnership, trust, or similar ownership form which owns the SUBJECT PROPERTY. The undersigned has full power and authority to sign this document and voluntarily agrees to the provisions set forth herein.

OWNER and DEVELOPER: Washington Capital Management, LLC



By Its: MANAGING MEMBER

The foregoing instrument was acknowledged before me by Joshua S. Voit, this
29th day of September, 2017.


Notary Public

CITY OF NAPERVILLE

By: _____
Douglas A. Krieger
City Manager



Attest

By: _____
Pam Gallahue, Ph.D.
City Clerk

DATE: _____

STATEMENT OF GENERAL CONDITIONS

The following information represents general requirements to be fulfilled by the property OWNER and DEVELOPER through the development of the SUBJECT PROPERTY, as approved by City Council. This list is not intended to be comprehensive and does not preclude all other requirements as set forth in the Naperville Municipal Code. These requirements are in addition to those that were listed in the Developer's Acknowledgement & Acceptance Letter for your development.

Public Improvements: Unless otherwise noted in the Acknowledgement & Acceptance Letter, OWNER and DEVELOPER will construct all public improvements shown on the Final Engineering Plans at its sole cost.

Sidewalk Construction: Exceptions to the strict adherence of Subdivision Control Regulations will be permitted only with respect to the construction of sidewalks that may be deferred until the earlier of the construction of buildings on or full development of adjacent lots, or upon written request of the City Engineer. Such request shall not be made before three (3) years after the City Council approval of the Final Subdivision Plat for the subject property. Notwithstanding the above, all required sidewalks located within the rights-of-way of any arterial or major collector streets shall be constructed as part of the required roadway improvements.

Building Permits: No building permits shall be issued for a particular lot or parcel within the subject property until the Transportation, Engineering, and Development Business Group; Public Utilities Department; and Fire Department have determined that sufficient improvements have been installed and are functioning to protect the health, safety, and welfare of the public.

Infrastructure Availability Charges and User Fees: Any OWNER or DEVELOPER requesting connection and service to the City's water or sanitary system shall pay for all infrastructure availability charges and user fees in accordance with Title 8 of the Naperville Municipal Code as amended from time to time, as are applicable to that portion of the SUBJECT PROPERTY for which connection and service is requested.

Facility Installation Charges and User Fees: Any OWNER or DEVELOPER requesting connection and service to the City of Naperville electric system shall pay for all Facility Installation Charges (FIC) and user fees in accordance with Title 8 of the Naperville Municipal Code as amended from time to time, as are applicable to that portion of the SUBJECT PROPERTY for which connection and service is requested.

Legal Description

PARCEL 1: THE NORTH 35 FEET OF LOT 9 AND LOT 10 IN BLOCK 5 IN PARK ADDITION TO NAPERVILLE, BEING A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 12 AND PART OF THE NORTHEAST 1/4 OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF THE SOUTHWEST 1/4 OF SECTION 7, AND PART OF THE NORTHWEST 1/4 OF SECTION 18, TOWNSHIP 38 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 26, 1873 AS DOCUMENT 16618, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2: LOT 11 IN BLOCK 5 IN PARK ADDITION TO NAPERVILLE, BEING A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 12 AND PART OF THE NORTHEAST 1/4 OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF THE SOUTHWEST 1/4 OF SECTION 7, AND PART OF THE NORTHWEST 1/4 OF SECTION 18, TOWNSHIP 38 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 26, 1873 AS DOCUMENT 16618, IN DUPAGE COUNTY, ILLINOIS.

PIN: 08-18-101-004, 08-18-101-005, and 08-15-101-008

School Donation Worksheet

Name of Subdivision _____

School Donation = **Land** **-0.0282** **Cash** **(\$8,976.06)** = Total Land x \$318,300.00
 =Round (((Total Elementary Pop. x 0.0231) + (Total Jr. High Pop. x 0.0208) + (Total High School Pop x 0.0267)),4)

Type of Unit	Pre-School 0 - 4 Yrs	Elementary Grades K-5	Junior High Grades 6-8	High School Grades 9-12	Adults 18-up	Total per Unit						
Detached Single-family												
2-bedroom	0.120	0.000	0.411	0.000	0.138	0.222	0.000	1.856	0.000	2.746	0.000	
-1 3-bedroom	0.268	-0.268	0.486	-0.486	0.153	-0.153	0.135	-0.135	1.913	-1.913	2.955	-2.955
-1 4-bedroom	0.371	-0.371	0.702	-0.702	0.259	-0.259	0.242	-0.242	1.985	-1.985	3.532	-3.532
5-bedroom	0.386	0.000	0.590	0.000	0.236	0.000	0.242	0.000	2.191	0.000	3.645	0.000
Attached Single-Family												
1-Bedroom										0.000		0.000
2-Bedroom	0.206	0.000	0.084	0.000	0.057	0.000	0.030	0.000	1.318	0.000	1.697	0.000
3-Bedroom	0.214	0.000	0.104	0.000	0.039	0.000	0.050	0.000	1.966	0.000	2.374	0.000
4-Bedroom	0.183	0.000	0.271	0.000	0.106	0.000	0.105	0.000	2.102	0.000	2.767	0.000
Apartments												
Efficiency									1.400	0.000	1.400	0.000
4 1-Bedroom	0.058	0.232	0.032	0.128	0.012	0.048	0.013	0.052	1.653	6.612	1.710	6.840
4 2-Bedroom	0.129	0.516	0.064	0.256	0.031	0.124	0.038	0.152	1.744	6.976	2.007	8.028
3-Bedroom	0.199	0.000	0.115	0.000	0.073	0.000	0.083	0.000	2.005	0.000	2.475	0.000
People Produced		0.109		-0.804		-0.240		-0.173		9.690		8.381

-1.217

Park Donation Work Sheet

Name of Subdivision _____

Park Donation = **Land** **0.0711** **Cash** **\$23,007.96** = Land Donation x \$323,600.00

=Round((Total People Produced x 0.0086),4)

Type of Unit	Pre-School 0 - 4 Yrs	Elementary Grades K-5	Junior High Grades 6-8	High School Grades 9-12	Adults 18-up	Total per Unit						
Detached Single-family												
2-bedroom	0.127	0.000	0.327	0.000	0.102	0.000	0.118	0.000	1.779	0.000	2.453	0.000
-1 3-bedroom	0.244	-0.244	0.440	-0.440	0.179	-0.179	0.177	-0.177	1.892	-1.892	2.930	-2.930
-1 4-bedroom	0.348	-0.348	0.522	-0.522	0.235	-0.235	0.265	-0.265	2.116	-2.116	3.486	-3.486
5-bedroom	0.333	0.000	0.533	0.000	0.262	0.000	0.279	0.000	2.344	0.000	3.750	0.000
Attached Single-Family												
1-Bedroom										0.000		0.000
2-Bedroom	0.072	0.000	0.091	0.000	0.044	0.000	0.080	0.000	1.610	0.000	1.897	0.000
3-Bedroom	0.157	0.000	0.178	0.000	0.060	0.000	0.113	0.000	1.746	0.000	2.253	0.000
4-Bedroom	0.217	0.000	0.358	0.000	0.154	0.000	0.198	0.000	2.127	0.000	3.053	0.000
Apartments												
Efficiency									1.210	0.000	1.210	0.000
4 1-Bedroom	0.015	0.060	0.033	0.132	0.013	0.052	0.013	0.052	1.691	6.764	1.764	7.056
4 2-Bedroom	0.037	0.148	0.063	0.252	0.028	0.112	0.030	0.120	1.748	6.992	1.906	7.624
3-Bedroom	0.037	0.000	0.152	0.000	0.091	0.000	0.083	0.000	2.330	0.000	2.692	0.000
People Produced		-0.384		-0.578		-0.250		-0.270		9.748		8.264

**COST-SHARING AGREEMENT BETWEEN THE CITY OF NAPERVILLE AND
WASHINGTON CAPITAL MANAGEMENT, LLC. (THE WASHINGTON) FOR
WATERMAIN IMPROVEMENTS**

THIS AGREEMENT is made and entered into this _____ day of _____, 2017, by and between the City of Naperville, an Illinois municipal corporation (hereinafter referred to as “City”) and Washington Capital Management, LLC., the Owner/Developer of The Washington, an Illinois corporation (hereinafter referred to as “Owner”). The foregoing entities will hereafter be noted as the “parties”.

Section 1. Definitions:

Unless the context requires otherwise, the terms below shall have the meanings assigned to them as follows;

1. “Party or parties” means the City of Naperville and/or Washington Capital Management, LLC.
2. “Watermain” means pipe, fittings, valves, valve vaults, tie-ins, hydrants and other customary appurtenances
3. “Valve Vault” means a precast concrete vault containing a water valve
4. “Tie-In” means a connection to an existing watermain
5. “Residential Service Connection” means water service, including the corporation stop, curb stop and buffalo box, which will service existing residential properties.

Section 2. Purpose:

This Agreement outlines a cost-sharing arrangement between the parties for the purpose of the construction of watermain improvements on Washington Street (“Watermain Improvements”).

Section 3. Responsibilities:

1. **Owner:**
 - a. Owner shall submit to the City for its approval project specifications for the Watermain Improvements prior to the bidding process; and
 - b. Owner agrees to obtain a minimum of three (3) separate bids for the Watermain Improvements; and
 - c. Owner shall submit the contract prices for City approval prior to construction; and
 - d. Owner shall forward the applicable unit prices to the City Utility Director prior to entering into a contract for construction of the Watermain Improvements.
2. **City:**
 - a. City shall review the project specifications as submitted by the Owner within seven (7) days of receipt; and
 - b. City shall notify Owner within seven (7) days of the City’s review of the project specifications with its recommended approval, denial, or modifications of the project specifications; and

- c. City shall review the contract unit prices as submitted by the Owner within seven (7) days of submittal by the Owner and
- d. City shall notify Owner within seven (7) days of the City's review of the contract unit prices as submitted by the Owner with its recommended approval or denial of the contract unit prices.

Section 4. Watermain Improvements:

Owner will construct the Watermain Improvements as shown on the Final Engineering Plans hereto attached as Exhibit A, and made a part hereof and in accordance with the approved plans and specifications as permitted by the City.

Section 5. Cost-Sharing

5.1 Watermain Cost Participation

City agrees to reimburse Owner for 50% of the actual cost of construction of a twelve (12) inch diameter Watermain and appurtenances on Washington Street from the northern right-of-way line of 8th Avenue to the northern property line of 736 N. Washington Street, in accordance with the Washington Watermain Recapture Plan, attached hereto as Exhibit B and made a part hereof.

City agrees to reimburse Owner for 100% of the actual cost of construction cost of a twelve (12) inch diameter Watermain and appurtenances across the full frontage of 736 N. Washington Street, in accordance with the Washington Watermain Recapture Plan, attached hereto as Exhibit B and made a part hereof.

City agrees to reimburse Owner for 50% of the actual cost of construction of a twelve (12) inch diameter watermain and appurtenances on Washington Street from the full frontage of 724 N. Washington Street, in accordance with the Washington Watermain Recapture Plan, attached hereto as Exhibit B and made a part hereof.

These costs for which Owner shall be entitled to reimbursement from the City and recapture shall include the cost to restore the asphalt, curb and landscaping over the watermain trench, and trench backfill necessary for the watermain installation. The cost is estimated as shown on the Engineer's Opinion of Probable Construction Costs, attached hereto as Exhibit C and made a part hereof.

5.2 City Reimbursement to Owner:

Owner shall provide monthly invoices to the City which invoices shall detail the actual costs of the Watermain Improvements. Owner shall also provide an affidavit, sworn statement and lien waivers from all contractors and materials suppliers in a format acceptable to the City. City shall pay said costs due and owing the Owner under the terms of this Agreement within thirty (30) days of receipt of each invoice and affidavits, sworn statements and lien waivers. City reserves the right to review said invoices and affidavits, sworn statements and lien waivers prior to payment.

Section 6. Utility Acceptance:

City hereby agrees to accept the public Watermain Improvements as designated on Exhibit A, subject to the Owner's one (1) year maintenance period after the work has passed all testing requirements. Upon acceptance, the City is hereby deemed to be the owner thereof and shall

thereafter be responsible for the maintenance, repair and replacement of said public Watermain Improvements as provided for in the Naperville Municipal Code. The Owner shall provide a Bill of Sale in the form attached as Exhibit D.

Section 7. Performance:

Time is of the essence in the performance of this Agreement.

Section 8. Binding Effect:

This Agreement shall be binding upon the parties hereto, their assigns, successors and grantees.

Section 9. Entire Agreement:

This Agreement and its Exhibits contains the entire agreement between the parties hereto.

All negotiations between the parties are merged in this Agreement, and there are no understandings or agreements, verbal or written, other than those incorporated in this Agreement.

Section 10. Amendments:

This Agreement may be amended only by a written amendment to this Agreement fully executed by the parties hereto.

Section 11. Severability:

If any of the provisions of this Agreement are determined by a court of competent jurisdiction to be invalid, such provisions shall be deemed to be stricken, and such adjudication shall not affect the validity of the remainder of the terms of this Agreement as a whole or of any section, subsection, sentence or clause not adjudged to be invalid.

Section 12. Governing Law:

This Agreement shall be governed by the laws of the State of Illinois as to both interpretation and performance.

Section 13. Venue:

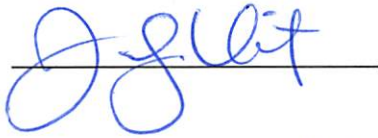
The venue for any causes of action or claims that may arise under this Agreement shall be brought in the Circuit Court for the Eighteenth Judicial Circuit, DuPage County, Illinois.

Section 14. Authority:

The parties warrant that they have the authority to enter into this Agreement.

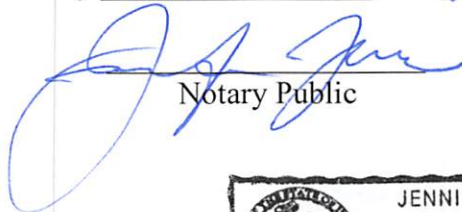
THE PARTIES TO THIS AGREEMENT by their signatures acknowledge they have read and understand this Agreement and intend to be bound by its terms.

OWNER and DEVELOPER: Washington Capital Management, LLC



By Its: MANAGING MEMBER

The foregoing instrument was acknowledged before me by Joshua S. Voit, this 29th day of September, 2017.


Notary Public

CITY OF NAPERVILLE

By: _____
Douglas A. Krieger
City Manager

Attest

By: _____
Pam Gallahue, Ph.D.
City Clerk

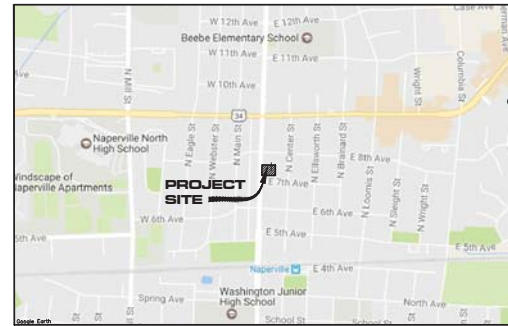
DATE: _____



FINAL ENGINEERING PLANS AND SPECIFICATIONS FOR THE WASHINGTON NAPERVILLE, ILLINOIS

LEGEND

PROPOSED	EXISTING	DESCRIPTION	ABBREVIATIONS
●	⊙	MANHOLE	REC. RECORD DATA
○	○	CATCH BASIN	MEAS. MEASURED DATA
□	□	INLET	DEED DEEDED DATA
●	●	VALVE & VAULT	R. RADIUS
●	●	VALVE & BOX	A. ARC DATA
●	●	FIRE HYDRANT	ROW RIGHT OF WAY
●	●	CLEANOUT	PL PROPERTY LINE
●	●	BUFFALO BOX	CL CENTERLINE
●	●	STREET LIGHT	PU & DE PUBLIC UTILITY & DRAINAGE EASEMENT
●	●	BOLLARD LIGHT	BC BACK OF CURB
●	●	LIGHT STANDARD	TC TOP OF CURB
●	●	GROUND FLOOD LIGHT	FL FLOWLINE
●	●	UTILITY POLE	EP EDGE OF PAVEMENT
●	●	GAS VALVE	P PAVEMENT
●	●	GAS METER	EG EDGE OF GRAVEL
●	●	TELEPHONE MANHOLE	EC EDGE OF CONCRETE
●	●	TELEPHONE PEDESTAL	EB EDGE OF PAVEMENT
●	●	ELECTRIC MANHOLE	SW SIDEWALK
●	●	ELECTRIC DUCTBANK MANHOLE-G	EW BACK OF WALK
●	●	ELECTRIC DUCTBANK MANHOLE-E	G GROUND
●	●	ELECTRIC DUCTBANK SWITCHGEAR	TEL TELEPHONE
●	●	ELECTRIC PEDESTAL	E ELECTRIC
●	●	ELECTRIC METER	CATV CABLE TELEVISION
●	●	AIR CONDITIONER	INV INVERT
●	●	ELECTRIC HAND HOLE	TWL TOP OF WALL
●	●	CABLE TELEVISION PEDESTAL	BWL BOTTOM OF WALL
●	●	ROADWAY/HANDICAP SIGN	TF TOP OF FOUNDATION
→	→	STORM SEWER	LO LOOK OUT
→	→	SANITARY SEWER	WO WALK OUT
→	→	WATERMAN	GF GARAGE FLOOR
→	→	FORCEMAIN	HWL HIGH WATER LEVEL
→	→	HEADWALL	NWL NORMAL WATER LEVEL
→	→	END SECTION	LNA LIMITS OF NATURAL AREA
-----	-----	CORRUGATED METAL PIPE	
---TSI---	---TSI---	TRAFFIC SIGNAL INTERCONNECT	
---E---	---E---	ELECTRIC LINE	
---EDB---	---EDB---	ELECTRIC LINE	
---TS---	---TS---	TRAFFIC SIGNAL LINE	
---SL---	---SL---	STREET LIGHT CABLING	
---OHE---	---OHE---	OVERHEAD UTILITY LINES	
---G---	---G---	GAS LINE	
---T---	---T---	TELEPHONE LINE	
---FO---	---FO---	FIBER OPTIC CABLE	
---TV---	---TV---	CABLE TELEVISION	
---680---	---680---	CONTOURS	
---X---	---X---	FENCE LINE	
---GUARD---	---GUARD---	GUARDRAIL	
---ELEV---	---ELEV---	ELEVATIONS	
=====	=====	SIDEWALK	
=====	=====	CURB	
=====	=====	DEPRESSED CURB	
=====	=====	GUTTER FLAG W/REVERSE PITCH	
=====	=====	TRENCH BACKFILL	
□	□	STA. GRADE	
□	□	CRATE STRUCTURE	
□	□	INVERT	
F.H. #X	F.S. #XX.0	FIRE HYDRANT CALLOUT	
FINISH GRADE ELEV.	(709.5)	PROPOSED ELEVATIONS	
TF=000.0		PROPOSED TOP OF FOUNDATION ELEVATION	
LO=000.0		PROPOSED LOOK OUT ELEVATION	
GF=000.0		PROPOSED GARAGE FLOOR ELEVATION	
000.0T.W.		TOP OF WALL ELEVATION	
000.0B.W.		BTM OF WALL ELEVATION	
---	---	DIRECTION OF FLOW	



LOCATION MAP
N.T.S.

BENCHMARKS:

- REFERENCE BENCHMARK:
- NAPERVILLE MONUMENT #1505; BERNSTEIN 3D MONUMENT AT THE NORTHEAST CORNER OF THE INTERSECTION OF WASHINGTON STREET AND AURORA AVENUE. SAID MONUMENT IS ALONG THE WEST RIGHT OF WAY OF WASHINGTON STREET, 34± FEET EAST OF THE CENTERLINE OF WASHINGTON STREET, AND 21± FEET NORTH OF AN EXISTING BUILDING. ELEVATION=672.24 (NAD83) 672.18 (MEASURED)
- SITE BENCHMARKS:
- CUT CROSS "+" IN PUBLIC SIDEWALK, 1 FOOT EAST OF THE BACK OF WALK, ALONG THE WEST RIGHT OF WAY OF WASHINGTON STREET. SAID CROSS IS 35± FEET SOUTH AND 65± FEET WEST OF THE NORTHWEST CORNER OF THE SUBJECT SITE. ELEVATION=702.99
 - CUT CROSS "+" IN PUBLIC SIDEWALK AT THE SOUTHEAST CORNER OF THE INTERSECTION OF WASHINGTON STREET AND 7TH AVENUE. SAID CROSS IS AT THE INTERSECTION OF THE FACE OF WALK OF THE NORTH/SOUTH WALK AND THE EAST/WEST WALK. ELEVATION=701.58

LINE TYPE LEGEND	PROPOSED	EXISTING	DESCRIPTION
---	---	---	BOUNDARY
---	---	---	LOT LINE
---	---	---	CENTER LINE
---	---	---	RIGHT OF WAY
---	---	---	EASEMENT LINE
---	---	---	BUILDING LINE
---	---	---	SECTION LINE
---	---	---	UNDERLYING LOT LINE

INDEX TO DRAWINGS

- TITLE SHEET
- SPECIFICATIONS, SPECIAL PROVISIONS, & GENERAL NOTES
- TOPOGRAPHIC EXHIBIT & SPECIFICATIONS
- DEMOLITION & SOIL EROSION AND SEDIMENTATION CONTROL PLAN
- DIMENSION PLAN
- GRADING PLAN
- UTILITY PLAN & WATERMAIN PROFILE
- 8.-11. DETAILS



Know what's below.
Call before you dig.

STATE OF ILLINOIS } SS
COUNTY OF DUPAGE }

I, JAMES G. CINEFF, AN ILLINOIS PROFESSIONAL ENGINEER, HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED BY ROAKE AND ASSOCIATES, INC., ILLINOIS LICENSED PROFESSIONAL DESIGN FIRM NO. 807, LICENSE EXPIRES APRIL 30, 2019, UNDER MY PERSONAL DIRECTION FOR THE EXCLUSIVE USE OF THE CLIENT NOTED BELOW. REPRODUCTION OR USE BY THIRD PARTIES IS STRICTLY PROHIBITED WITHOUT THE WRITTEN PERMISSION OF THE UNDERSIGNED.
GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, 20____

ILLINOIS LICENSED PROFESSIONAL ENGINEER NO. 46225
REGISTRATION VALID THROUGH NOVEMBER 30, 2017
(NOT VALID WITHOUT ORIGINAL SIGNATURE)



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CITY PROJECT NO. 17-0000088



PREPARED FOR:
WASHINGTON CAPITAL MANAGEMENT, LLC
1316 ROYAL ST. GEORGE DRIVE
NAPERVILLE, ILLINOIS 60563
TEL. (630) 253-0175

NO.		DATE		DESCRIPTION	
Δ	09/01/17	REV. PER CITY	RVW DATED	08/23/17	
Δ	09/20/17	REV. PER CITY	RVW DATED	09/20/17	

THE WASHINGTON			
TITLE SHEET			
DRN./C&D. BY: SRH/SGC	FILE: 830115	F.L.D. BK./PG.: 266/50	SHEET NO. 1 OF 11
SCALE: AS NOTED	DATE: 07/31/17	JOB NO.: 830.001	

TED GROUP STANDARD CONSTRUCTION PLAN NOTES FOR DEVELOPMENT PROJECTS

- GENERAL NOTES
- THE OWNER OR HIS/HER/THEIR REPRESENTATIVE IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED BY APPLICABLE GOVERNMENTAL AGENCIES.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF NAPERVILLE DESIGN MANUAL AND STANDARD SPECIFICATIONS (CURRENT EDITION) AND WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION).
 - ALL CONTRACTORS DOING WORK IN THE PUBLIC RIGHT-OF-WAY MUST BE LICENSED (WHEN APPLICABLE) TO MAKE PUBLIC IMPROVEMENTS WITHIN THE NAPERVILLE CORPORATE LIMITS.
 - THE CONTRACTOR/DEVELOPER ASSUMES ALL LIABILITY FOR ANY ACTION RESULTING FROM THEIR WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
 - THE CONTRACTOR/DEVELOPER SHALL INDENTIFY AND HOLD HARMLESS THE CITY OF NAPERVILLE.
 - PRIOR TO COMMENCEMENT OF ANY OFF-SITE CONSTRUCTION, THE CONTRACTOR SHALL SECURE WRITTEN AUTHORIZATION THAT ALL OFF-SITE EASEMENTS HAVE BEEN SECURED AND THAT PERMISSION HAS BEEN GRANTED TO ENTER INTO PRIVATE PROPERTY.
 - THE CONTRACTOR AND THEIR ON-SITE REPRESENTATIVES WILL BE REQUIRED TO ATTEND A PRE-CONSTRUCTION MEETING WITH THE CITY OF NAPERVILLE PRIOR TO ANY WORK BEING STARTED. A PRE-CONSTRUCTION MEETING WILL NOT BE SCHEDULED UNTIL THE PROJECT HAS BEEN APPROVED BY THE CITY OF NAPERVILLE DEVELOPMENT REVIEW TEAM AND THE REQUIRED SURVEY HAS BEEN POSTED.
 - A MINIMUM OF 48 HOURS NOTICE SHALL BE GIVEN TO THE CITY OF NAPERVILLE BUSINESS GROUP (630-420-6082) PRIOR TO STARTING WORK OR RESTORING WORK AFTER SOME ASSISTANCE OF WORK FOR ANY REASON.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ADEQUATELY IDENTIFY AND LOCATE ALL EXISTING UTILITIES PRIOR TO EXCAVATION. BEFORE STARTING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT ALL UTILITIES FOR THE LOCATION OF ANY AND ALL UTILITIES. THE TOLL-FREE NUMBER 800-882-3023, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ANY PRIVATE UTILITIES IN NON-JUKE MEMBER AREAS.
 - THE CONTRACTOR SHALL CONDUCT ALL NECESSARY SITE INSPECTIONS WITH THE CITY OF NAPERVILLE BY CALLING (630) 420-6082 BETWEEN THE HOURS OF 8:00 AM AND 4:00 PM. THE CITY OF NAPERVILLE WILL BE REQUIRED TO PROVIDE THE SITE PERMIT NUMBER FOR THE PROJECT IN ORDER TO SCHEDULE THE INSPECTIONS.
 - RECORD DRAWINGS ARE REQUIRED TO BE SUBMITTED AND APPROVED BY THE CITY OF NAPERVILLE PRIOR TO FINAL CONSTRUCTION BEING ORDERED.
 - FINAL ACCEPTANCE OF PUBLIC IMPROVEMENTS SHALL BE GRANTED ONLY AFTER A FINAL INSPECTION HAS BEEN COMPLETED AND HAS REVEALED THAT ALL IMPROVEMENTS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE NAPERVILLE STANDARD SPECIFICATIONS. UTILITIES ARE NOT CONSIDERED ACCEPTED UNLESS THEY ARE APPROVED BY THE CITY OF NAPERVILLE AS REQUIRED IN ACCORDANCE WITH THE NAPERVILLE MUNICIPAL CODE.

- STORM SEWER NOTES (STORM SEWER WORK IN PLANS)
- NO CONNECTION TO AN EXISTING PUBLIC STORM SEWER MAY BE MADE WITHOUT PERMISSION OF THE CITY ENGINEER.
 - THE CONTRACTOR SHALL REPAIR ANY EXISTING FIELD DRAINAGE LINE DAMAGED DURING CONSTRUCTION AND PROTECT EXISTING AND/OR CONNECTED SAG TIE TO THE NEAREST STORM SEWER OUTLET. ALL LOCATIONS OF ENCOUNTERED FIELD DRAINAGE TIE SHALL BE PROPERLY INDICATED ON THE CONTRACTOR'S RECORD DRAWINGS.

- STORM SEWER NOTES (STORM SEWER WORK IN PLANS)
- THE FOLLOWING MATERIALS ARE PERMITTED FOR STORM SEWER AND PIPE CEMENTS UNLESS A PARTICULAR MATERIAL IS SPECIFICALLY NOTED OR SPECIAL PROVISIONS, NO OTHER KIND OF MATERIAL WILL BE PERMITTED:
 - REINFORCED CONCRETE PIPE (RCP) - REINFORCED CONCRETE PIPE SHALL CONFORM TO ASTM C-138. ALL JOINTS SHALL CONFORM TO ASTM D-3305. BUTYRUS JOINTS SHALL CONFORM TO ASTM D-3305. ALL JOINTS SHALL BE A HOMOGENEOUS BLEND OF BUTYRUS, INERT FILLER, AND SUITABLE SOLVENT APPROVED BY THE CITY ENGINEER. RUBBER GASKET JOINTS SHALL CONFORM TO ASTM C-433. REINFORCED CONCRETE PIPE SHALL ALSO BE PERMITTED AS ROAD, EXCEPT FOR ROAD OR BOX GRADES OR AS REINFORCED CONCRETE ARCH CULVERT.
 - NON-REINFORCED CONCRETE PIPE - NON-REINFORCED CONCRETE PIPE SHALL BE ALLOWED FOR PIPES WITH A 10 INCH OR SMALLER DIAMETER. NON-REINFORCED CONCRETE SHALL CONFORM TO ASTM C-150 (AWWA C-150) CLASS 80. BUTYRUS JOINTS SHALL CONFORM TO ASTM D-3305. ALL JOINTS SHALL BE A HOMOGENEOUS BLEND OF BUTYRUS, INERT FILLER, AND SUITABLE SOLVENT APPROVED BY THE CITY ENGINEER. RUBBER GASKET JOINTS SHALL CONFORM TO ASTM C-433.
 - DUCTILE IRON PIPE (DIP) - DUCTILE IRON PIPE SHALL CONFORM TO ANSI A-21.5 (AWWA C-100) CLASS 150. ALL JOINTS SHALL BE POLYETHYLENE GLYCOL (PEGL) COATED AND CEMENT LINED PER ANSI A-21.4 (AWWA C-100) WITH MECHANICAL OR RUBBER RING (SIF, SFL, OR FISH ON) JOINTS. ALL DUCTILE IRON PIPE SHALL BE WRAPPED WITH POLYETHYLENE.
 - POLYETHYLENE GLYCOL (PEGL) COATED JOINTS - POLYETHYLENE GLYCOL (PEGL) COATED JOINTS SHALL CONFORM TO ASTM D-3305. ALL JOINTS SHALL BE A HOMOGENEOUS BLEND OF BUTYRUS, INERT FILLER, AND SUITABLE SOLVENT APPROVED BY THE CITY ENGINEER. RUBBER GASKET JOINTS SHALL CONFORM TO ASTM C-433.
 - JOINTS FOR PVC PIPE SHALL BE FLEXIBLE ELASTOMERIC SEALS PER ASTM D-3305.
 - HIGH DENSITY POLYETHYLENE (HDPE) PIPE - HIGH DENSITY POLYETHYLENE (HDPE) PIPE SHALL CONFORM TO THE REQUIREMENTS OF ASTM D-252 AND 16 INCH PIPE AND FITTINGS SHALL BE MADE FROM PIPE COMPOUNDS WHICH CONFORM TO THE REQUIREMENTS OF ASTM CLASS 3242002 AND 18 INCH AND DESCRIBED IN ASTM D-3305. RUBBER GASKET JOINTS SHALL BE USED.
 - FULLY GALVANIZED CORRUGATED STEEL PIPE - FULLY GALVANIZED CORRUGATED STEEL PIPE MAY BE USED FOR RESIDENTIAL DRAINWAYS THAT CROSSINGS ONLY WHEN A DITCH SECTION IS PRESENT. THE MINIMUM COVER/ET SIZE IS 12" MINIMUM.
 - BEDDING, OTHER THAN CONCRETE EMBEDEDMENT, SHALL CONSIST OF GRAVEL, GRAVEL SAND, OR GRAVEL SAND 1/4" HIGH IN 1" ALTERNATING WITH A MINIMUM. THE MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF FOOT STANDARD SPECIFICATIONS. THE GRAVEL SAND SHALL CONFORM TO GRADATION CA-7 OR CA-11 OF THE STANDARD SPECIFICATIONS.
 - BACKFILL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF FOOT STANDARD SPECIFICATIONS. THE GRAVEL SAND SHALL CONFORM TO GRADATION CA-7 OR CA-11 OF THE STANDARD SPECIFICATIONS. BACKFILL MATERIAL SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - JOINTS CONNECTING DISSIPAL PIPE MATERIALS SHALL BE MADE WITH SEWER JOINTS. ALL JOINTS SHALL BE MADE WITH SEWER JOINTS. ALL JOINTS SHALL BE MADE WITH SEWER JOINTS.
 - MANHOLES FOR STORM SEWERS SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES AND SHALL BE CONSTRUCTED OF PRECAST CONCRETE UNITS IN ACCORDANCE WITH ASTM C478-02 (OR LATEST EDITION) AND SHALL CONFORM TO THE CITY OF NAPERVILLE STANDARD DETAIL. ALL MANHOLES SHALL BE WATER-TIGHT. VISIBLE LEAKS SHALL BE SEALED IN A MANNER ACCEPTABLE TO THE CITY ENGINEER.
 - MANHOLES SHALL BE FINISHED WITH A SELF-SEALING FRAME AND SOLID COVER (EAST JORDAN IRON WORKS 1022 FRAME WITH TYPE A SOLID COVER, OR APPROVED EQUAL, OR APPROVED EQUAL). ALL FRAMES AND COVERS SHALL MEET OR EXCEED ASPH/HT H-20 LOADING SPECIFICATIONS. ALL FRAMES AND COVERS SHALL BE FINISHED WITH RIBBED LETTERS. ALL FRAMES AND COVERS SHALL MEET OR EXCEED ASPH/HT H-20 LOADING SPECIFICATIONS. ALL FRAMES AND COVERS SHALL BE FINISHED WITH RIBBED LETTERS. ALL FRAMES AND COVERS SHALL MEET OR EXCEED ASPH/HT H-20 LOADING SPECIFICATIONS.
 - MANHOLE STEPS ON MANHOLE 18 INCH CENTER SHALL BE FINISHED WITH EACH MANHOLE. SECURELY ANCHORED IN PLACE, TIE TO VERTICAL ANCHORS IN ACCORDANCE WITH THE NAPERVILLE STANDARD DETAIL. STEPS SHALL BE COMPALED POLYPROPYLENE REINFORCED WITH 1/2 INCH A615/A193M-054 (OR LATEST EDITION) GRADE 60 STEEL. REINFORCEMENT MEETING OR EXCEEDING ASTM C-478-02 (OR LATEST EDITION) AND OSHA STANDARDS.

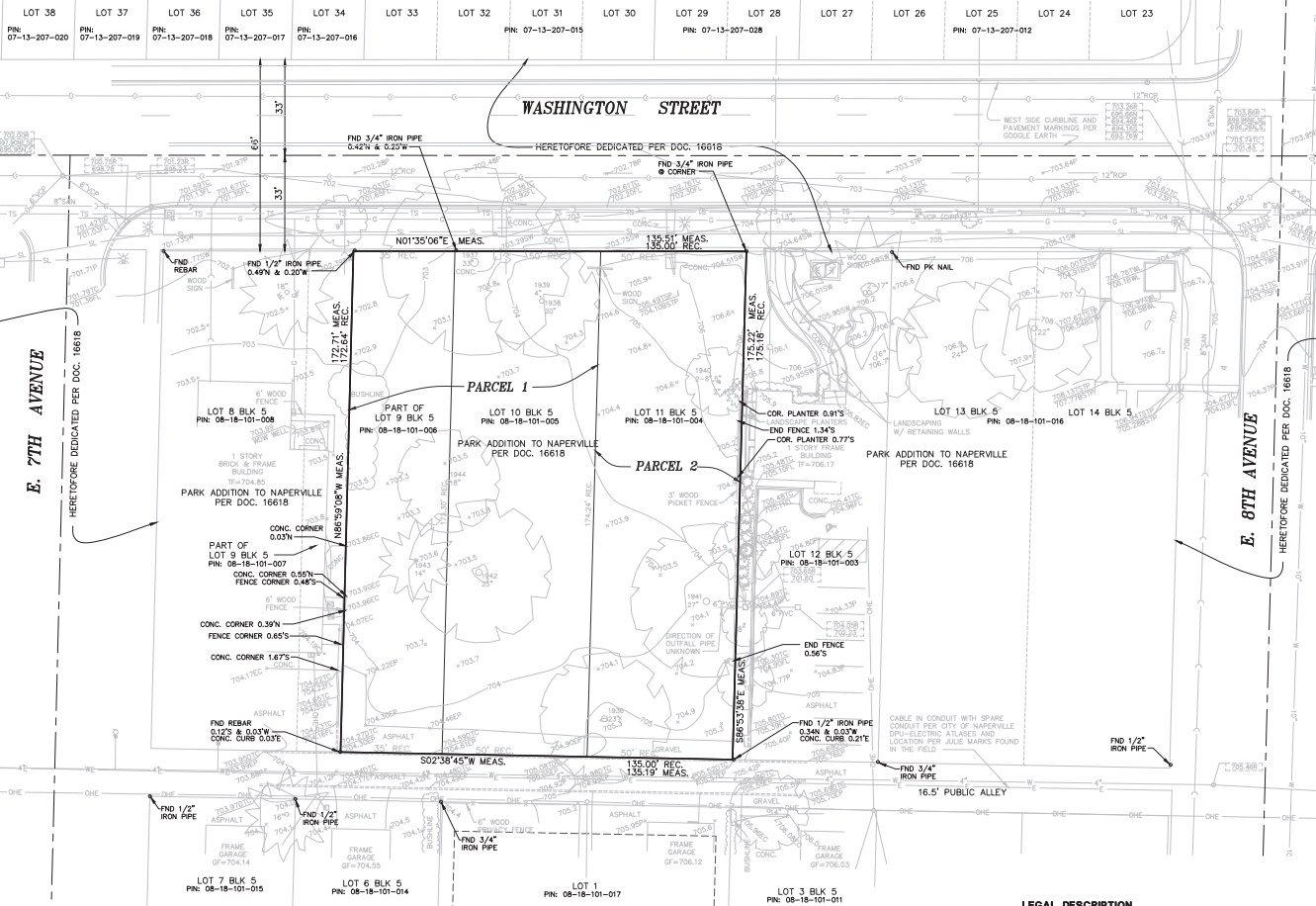
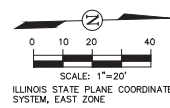
- CATCH BASINS AND INLETS SHALL HAVE A MINIMUM INSIDE DIAMETER OF 24 INCHES AND SHALL BE CONSTRUCTED OF PRECAST CONCRETE UNITS IN ACCORDANCE WITH ASTM C478-02 (OR LATEST EDITION) AND SHALL CONFORM TO THE CITY OF NAPERVILLE STANDARD DETAIL. ALL CATCH BASINS AND INLETS SHALL BE WATER-TIGHT AT ALL POINTS BELOW GRADE. ALL VISIBLE LEAKS SHALL BE SEALED IN A MANNER ACCEPTABLE TO THE CITY ENGINEER. CATCH BASINS AND INLETS SHALL BE FINISHED WITH A FRAME AND GRADE BATED BASE PART. BOTH THE MANHOLE FRAME AND COVER SHALL HAVE MATCHED HORIZONTAL AND VERTICAL ANCHORS. ALL MANHOLE FRAMES ARE NOT ALLOWED. PICK HOLES SHALL NOT CREATE OPENINGS IN THE MANHOLE COVER.
- MANHOLE STEPS ON MANHOLE 18 INCH CENTER SHALL BE FINISHED WITH EACH MANHOLE. SECURELY ANCHORED IN PLACE, TIE TO VERTICAL ANCHORS IN ACCORDANCE WITH THE NAPERVILLE STANDARD DETAIL. STEPS SHALL BE COMPALED POLYPROPYLENE REINFORCED WITH 1/2 INCH A615/A193M-054 (OR LATEST EDITION) GRADE 60 STEEL. REINFORCEMENT MEETING OR EXCEEDING ASTM C-478-02 (OR LATEST EDITION) AND OSHA STANDARDS.
- FOR STRUCTURES LOCATED IN PAVED AREAS, A MINIMUM OF FOUR, 2-INCH DIAMETER HOLES SHALL BE DRILLED OR PRECAST INTO THE STRUCTURE WITHIN 1 FOOT OF THE LOWEST PIPE INVERT. THE HOLES SHALL BE DISTRIBUTED SUBSTANTIALLY AROUND THE PERIMETER OF THE STRUCTURE. A FOOT BY 1-FOOT SECTION OF UNDERGROUND FLETER CULVERT MATERIAL SHALL BE SURFICIENTLY SURFICIENT TO THE OUTSIDE OF THE MANHOLE WITH MASTIC MATERIAL TO PREVENT ALL STORM SEWER STRUCTURE FRAMES WITHOUT FLANGES SHALL BE SHAPED WITH NON-SHRINKING HYDRAULIC CEMENT TO FILLET A FOOT TO THE STRUCTURE OR ADJACENT SIDE.
- WHEN ADJUSTMENTS ARE NECESSARY, THEY SHALL BE PERFORMED WITH A MAXIMUM OF 2 PERCENT CONCRETE. RINGS SET IN A CONTINUOUS LAYER OF REINFORCED BITUMINOUS MASTIC. THE MAXIMUM HEIGHT OF ADJUSTMENTS SHALL BE 1/8 INCHES. TWO INCH CONCRETE RINGS SHALL ONLY BE USED WHEN THE ADJUSTMENT IS LESS THAN 3 INCHES.
- ADJUSTMENTS LESS THAN 4 INCHES MAY BE MADE USING HARD COMPOSITE AND HARD COMPOSITE RUBBER RINGS ON A STRUCTURE IS NOT PERMITTED.

- EROSION CONTROL AND DRAINAGE NOTES (GENERAL)
- THE CONTRACTOR SHALL MAINTAIN PROPER DRAINAGE AT ALL TIMES DURING THE COURSE OF CONSTRUCTION AND PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.
 - DURING EXTENDED DRY PERIODS, THE CONSTRUCTION AREAS MAY NEED TO BE WATERED DOWN TO PREVENT THE BLOWING OF SOIL FROM THE SITE.
 - DURING CONSTRUCTION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE UTILIZED TO MINIMIZE THE TRACKING OF DIRT ONTO THE PUBLIC STREETS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO KEEP PUBLIC STREETS CLEAN, FREE OF DIRT AND CURBS. ANY DIRT THAT IS TRACKED ONTO THE PUBLIC STREETS SHALL BE REMOVED. CLEANING MAY BE REQUIRED MORE FREQUENTLY.

- EROSION CONTROL AND DRAINAGE NOTES (PRODUCT SPECIFIC)
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AS REQUIRED PRIOR TO ANY LAND DISTURBANCE ACTIVITY. EROSION CONTROL SHALL BE MAINTAINED UNTIL TURF IS ESTABLISHED.
 - ACCEPTABLE PERMITTED EROSION CONTROL INCLUDES BEST PRACTICE, SILT WORK AND ANY OTHER APPLICATION APPROVED BY THE CITY ENGINEER.
 - ALL OPEN GRADE STRUCTURES SHALL HAVE EROSION CONTROL PROTECTION IN ACCORDANCE WITH THE APPROVED EROSION CONTROL PLAN. SILT TRAPS AND BASKETS ARE THE PREFERRED METHOD; STRAW BALS SHALL NOT BE USED.
 - STOORPLUGS NOT BEING DISTURBED FOR MORE THAN 14 DAYS SHALL BE SEEDED.
 - ALL EROSION CONTROL MEASURES SHALL BE INSPECTED REGULARLY, AFTER ANY 0.5 INCH RAINFALL OR MORE FREQUENTLY, AS NECESSARY TO MAINTAIN THEM.

- GEOMETRIC AND PAVING NOTES (GENERAL)
- THE DEVELOPER AND CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO ADEQUATELY PROTECT THE PAVEMENT AND PROXIMITY, CURB AND GUTTER AND OTHER RIGHT-OF-WAY IMPROVEMENTS. WHETHER NEWLY CONSTRUCTED OR EXISTING, FROM ALL DAMAGE, SUFFICIENT MEANS SHALL BE EMPLOYED TO PROTECT AGAINST SUCH DAMAGE TO THE SATISFACTION OF THE CITY ENGINEER.
 - ANY NEW OR EXISTING IMPROVEMENTS THAT ARE DAMAGED SHALL BE REPAIRED OR REPLACED IN A MANNER THAT IS SATISFACTORY TO THE CITY ENGINEER.
 - THE CONTRACTOR/DEVELOPER WILL BE RESPONSIBLE FOR BRINGING PAVEMENTS (STREET, CURB AND GUTTER, SIDEWALK, DRIVEWAY) ON THE PROPERTY UP TO CITY STANDARDS INCLUDING ANY REPAIRS TO SUBSTANDING PAVEMENTS THAT EXISTED PRIOR TO OR OCCURRED DURING CONSTRUCTION.
 - WHERE NEW WORK WILL MEET EXISTING CONDITIONS OTHER THAN LAWN AREAS, REGARDLESS OF WHETHER THE NEW OR EXISTING WORK IS ASPHALT OR CONCRETE, THE EXISTING EXCAVATED SIDEWALK, DRIVEWAY OR CURB SHALL BE NEARLY SHUT OUT THE SAW CUT SHALL BE IN A HEAT STRAIGHT LINE SUFFICIENTLY DEEP SO THAT IT RECESSES A SMOOTH VERTICAL FACE TO MATCH TO. IF THE CONTRACTOR IS NOT CAREFUL OR DOES NOT SAW DEEP ENOUGH AND THE CUT LINE BREAKS OUT OR CHIPS TO AN IMPROPER EDGE, THEN THE EXISTING SIDE MUST BE RE-CUT SQUARE AND DONE OVER UNTIL IT IS CORRECT.

- TRAFFIC CONTROL AND PROTECTION NOTES (GENERAL)
- ALL DEVELOPERS AND CONTRACTORS SHALL PROVIDE SUITABLE TRAFFIC CONTROL FOR THEIR CONSTRUCTIVE ACTIVITIES IN ACCORDANCE WITH PART # OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION. TRAFFIC CONTROL MUST BE PROVIDED FOR ALL WORK AREAS. TRAFFIC CONTROL FLOW THIS INCLUDES, BUT IS NOT LIMITED TO, ROAD CLOSURES REQUIRING TRAFFIC CONTROL DEVICES. ALL TRAFFIC CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT THE COURSE OF THE PROJECT. ALL TRAFFIC CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT THE COURSE OF THE PROJECT. ALL TRAFFIC CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT THE COURSE OF THE PROJECT.
 - REPAIRS MUST BE PROVIDED WITH A SAFE ALTERNATE ROUTE IF PEDESTRIAN FACILITIES ARE TO BE CLOSED AS A RESULT OF CONSTRUCTION ACTIVITIES. ALL REPAIRS MUST BE PROVIDED WITH A SAFE ALTERNATE ROUTE IF PEDESTRIAN FACILITIES ARE TO BE CLOSED AS A RESULT OF CONSTRUCTION ACTIVITIES. ALL REPAIRS MUST BE PROVIDED WITH A SAFE ALTERNATE ROUTE IF PEDESTRIAN FACILITIES ARE TO BE CLOSED AS A RESULT OF CONSTRUCTION ACTIVITIES.
 - THE CONTRACTOR SHALL EMPLOY THE APPROPRIATE METHODS OF TRAFFIC CONTROL IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, SUCH THAT THE SAFETY OF VEHICLES, AND PEDESTRIANS IS MAINTAINED AT ALL TIMES. THE PROTECTION AND MAINTENANCE OF TRAFFIC CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - ANY TEMPORARY HOLES SHOULD BE BARRICADED AND PROTECTED IN ACCORDANCE WITH APPLICABLE STANDARDS.



LEGAL DESCRIPTION

PARCEL 1
THE NORTH 35 FEET OF LOT 9 AND LOT 10 IN BLOCK 5 IN PARK ADDITION TO NAPERVILLE, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 12 AND PART OF THE NORTHEAST QUARTER OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN AND PART OF THE SOUTHWEST QUARTER OF SECTION 7 AND PART OF THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 38 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAN THEREOF RECORDED JULY 26, 1873 AS DOCUMENT 16618, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2
LOT 11 IN BLOCK 5 IN PARK ADDITION TO NAPERVILLE, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 12 AND PART OF THE NORTHEAST QUARTER OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN AND PART OF THE SOUTHWEST QUARTER OF SECTION 7 AND PART OF THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 38 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAN THEREOF RECORDED JULY 26, 1873 AS DOCUMENT 16618, IN DUPAGE COUNTY, ILLINOIS.

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PREPARED FOR:
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NO.	DATE	DESCRIPTION	REVISIONS	NO.	DATE	DESCRIPTION
1	09/01/17	REV PER CITY REV DATED 08/23/17				
2	09/20/17	NO REVISION THIS SHEET				

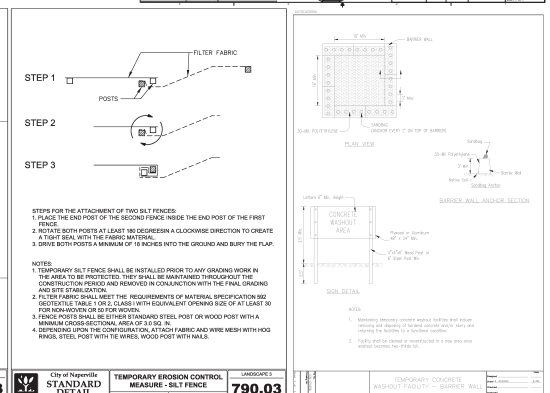
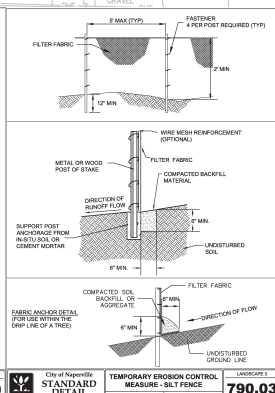
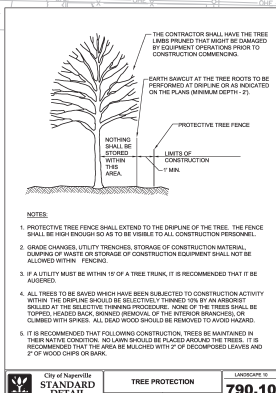
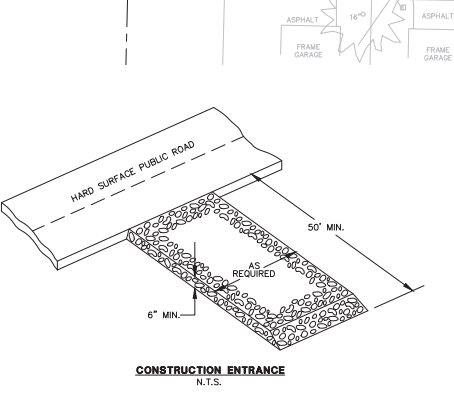
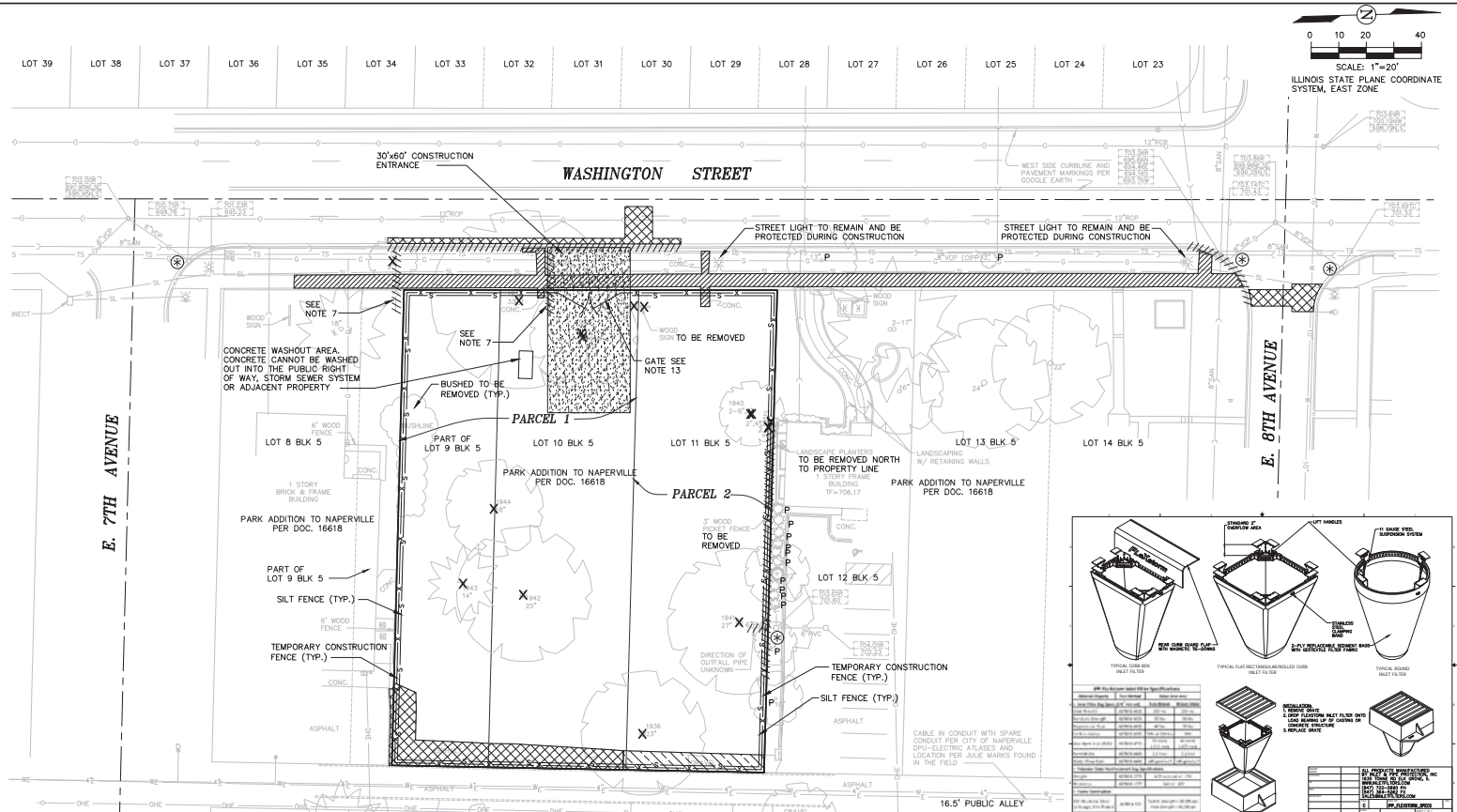
THE WASHINGTON			
TOPOGRAPHIC EXHIBIT & SPECIFICATIONS			
DRN./CSD. BY:	SRH/SGC	FILE:	8301E
SCALE:	1"=20'	DATE:	07/31/17
FID. BK./P.C.:	266/50	JOB NO.:	830.001
SHEET NO.	3		OF 11

LEGEND

- INDICATES BITUMINOUS PAVEMENT REMOVAL
- GRAVEL TO BE REMOVED
- INDICATES CONCRETE ITEM OR UTILITY SERVICE TO BE REMOVED
- INDICATES NON-CONCRETE ITEM, STRUCTURE, OR TREE TO BE REMOVED
- FILTER BASKET
- TREES TO BE PROTECTED WITH FENCING
- SILT FENCE
- CONSTRUCTION FENCE (CHAIN-LINK)

DEMOLITION NOTES

1. ALL PAVEMENTS, UTILITIES, TREES, ETC. WITHIN THE SUBJECT PROPERTY SHALL BE COMPLETELY REMOVED. REMOVAL ITEMS SHOWN OUTSIDE OF THE PROPERTY LIMITS ARE APPROXIMATE AND MAY OR MAY NOT CONSTITUTE ALL WORK NECESSARY TO CONSTRUCT THE PROJECT. REMOVAL OF PUBLIC SIDEWALKS, ROADWAYS, DRIVEWAYS, CURB & GUTTER, PUBLIC UTILITIES, ETC., SHALL BE STAGED BY THE CONTRACTOR WITH CONCURRENCE FROM THE OWNER, ARCHITECT, ENGINEER, AND THE CITY OF NAPERVILLE STAFF.
2. TRENCHES, WITHIN PROPOSED PAVED OR BUILDING PAD AREAS, RESULTING FROM THE REMOVAL OF EXISTING UTILITIES SHALL BE BACKFILLED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF ART. 550.07 OF THE IDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
3. ALL EXISTING PAVEMENT WITHIN THE CONSTRUCTION LIMITS, INCLUDING BITUMINOUS PAVEMENT, DRIVEWAYS, ACCESS ROADS, CONCRETE SLABS, AND SIDEWALKS SHALL BE COMPLETELY REMOVED. AGGREGATE MATERIALS APPROVED AS SUITABLE FILL BY THE SOILS ENGINEER SHALL BE SET ASIDE FOR FUTURE USE.
4. THE EXISTING STREET LIGHTS WITHIN THE CONSTRUCTION LIMITS SHALL BE PROTECTED DURING CONSTRUCTION.
5. ALL TREES AND BRUSH WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED. TREE STUMPS AND/OR ROOT BALLS SHALL BE COMPLETELY REMOVED. TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO FINALIZING HIS BID FOR TREE REMOVAL.
6. THE DURATION OF THE PUBLIC SIDEWALK CLOSURE (IF REQUIRED) SHALL BE KEPT TO A MINIMUM. SIDEWALK CLOSURE SHALL BE IN ACCORDANCE WITH IDOT STANDARD 701801.
7. THE CONTRACTOR SHALL COORDINATE WITH THE VARIOUS UTILITY COMPANIES TO INSURE THAT SERVICE IS PROVIDED TO ADJACENT PROPERTIES DURING CONSTRUCTION. ALL MATERIAL, EXCEPT THAT BELONGING TO A PUBLIC UTILITY COMPANY OR DENOTED FOR SALVAGE, SHALL BECOME THE PROPERTY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTING ALL UTILITIES IN COMPLIANCE WITH LOCAL REQUIREMENTS.
8. THE EXISTING SANITARY SERVICE LATERAL SCHEDULED FOR REMOVAL SHALL BE CAPPED AT THE MAIN USING A STAINLESS STEEL REPAIR CLAMP, MODEL CR1 AS MANUFACTURED BY CASCADE WATERWORKS, OR APPROVED EQUAL. THE ENDS OF THE ABANDONED SANITARY SERVICES SHALL BE BRICK AND MORTARED.
9. EXISTING UTILITY LOCATIONS ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES THAT ARE INTENDED TO CONTINUE TO PROVIDE SERVICE WHETHER THESE UTILITIES ARE SHOWN ON THE PLANS OR NOT.
10. ALL DEBRIS FROM DEMOLITION SHALL BE HAULED OFF SITE AND DISPOSED OF BY LEGAL MEANS.
11. ALL WORK SHALL BE DONE IN GENERAL ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS CONTAINED IN THE MUNICIPAL "SOIL EROSION AND SEDIMENTATION CONTROL" ORDINANCE. THE CONTRACTOR SHALL INSTALL THE NECESSARY EROSION AND SEDIMENTATION CONTROL DEVICES THAT WILL PROTECT THE EXISTING STORM SEWERS, PUBLIC ROADWAYS, AND ADJACENT PROPERTIES FROM SEDIMENT THAT MAY ARISE FROM THE PROPOSED DEMOLITION AND/OR CONSTRUCTION. DEVICES SHALL INCLUDE SILT FENCE, FILTER BASKETS INSERTED INTO DRAINAGE STRUCTURES, CONSTRUCTION ENTRANCE, PAVEMENT CLEANING, ETC. THE COST OF THIS WORK WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
12. DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO SEDIMENT BASINS OR SILT TRAPS. CONCRETE TRUCKS SHALL NOT BE PERMITTED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON SITE. SPECIFIC AREAS FOR THIS ACTIVITY SHALL BE DESIGNATED BY THE CONTRACTOR AND PROVIDED WITH ADEQUATE SILTATION BASINS AND OTHER FACILITIES TO ASSURE THAT DISCHARGE IS CONTAINED AND CLEANSERED BEFORE ENTERING THE RECEIVING STORM SEWER SYSTEM.
13. ALL ADJACENT STREETS SHOULD BE KEPT CLEAR OF MUD/DEBRIS. THE CONTRACTOR SHALL INSPECT THE STREETS DAILY AND CLEAN THEM AS NECESSARY.
14. A TEMPORARY CHAINLINK CONSTRUCTION FENCE AND GATE ARE SHOWN AT THE PROPOSED CONSTRUCTION ENTRANCE. THE FENCE WILL BE SET UP AND REPLACED AS REQUIRED TO ALLOW FOR UTILITY INSTALLATIONS, ROADWAY WORK, ETC. DURING WORKING HOURS BUT SHALL BE REINSTALLED AT THE END OF EACH DAY TO PROVIDE A SECURE CONSTRUCTION SITE. PLACEMENT OF THE TEMPORARY CONSTRUCTION FENCE/GATE SHALL NOT IMPED INGRESS/EGRESS.

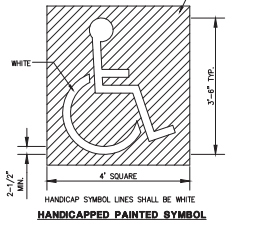
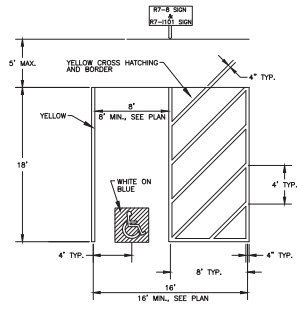
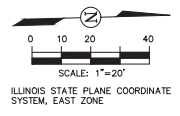
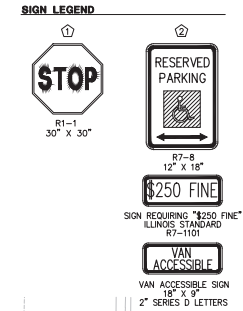
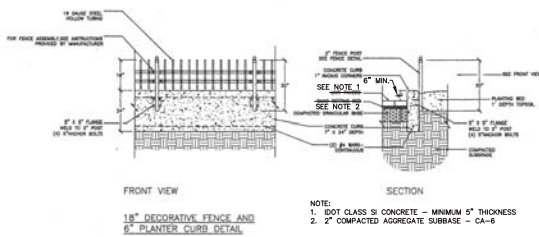
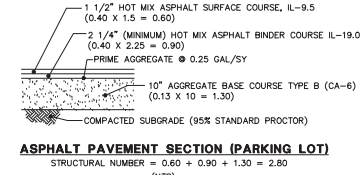
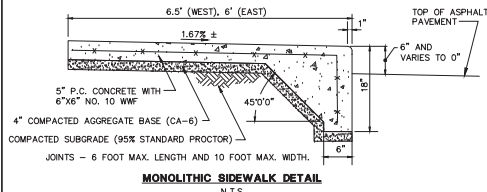


STANDARD DETAIL TREE PROTECTION REVISIONS: 790.10 NO. DATE DESCRIPTION 09/01/17 REV PER CITY RVM DATED 08/23/17 09/20/17 NO REVISION THIS SHEET		STANDARD DETAIL TEMPORARY EROSION CONTROL MEASURE: SILT FENCE REVISIONS: 790.03 NO. DATE DESCRIPTION		STANDARD DETAIL TEMPORARY EROSION CONTROL MEASURE: SILT FENCE REVISIONS: 790.03 NO. DATE DESCRIPTION	
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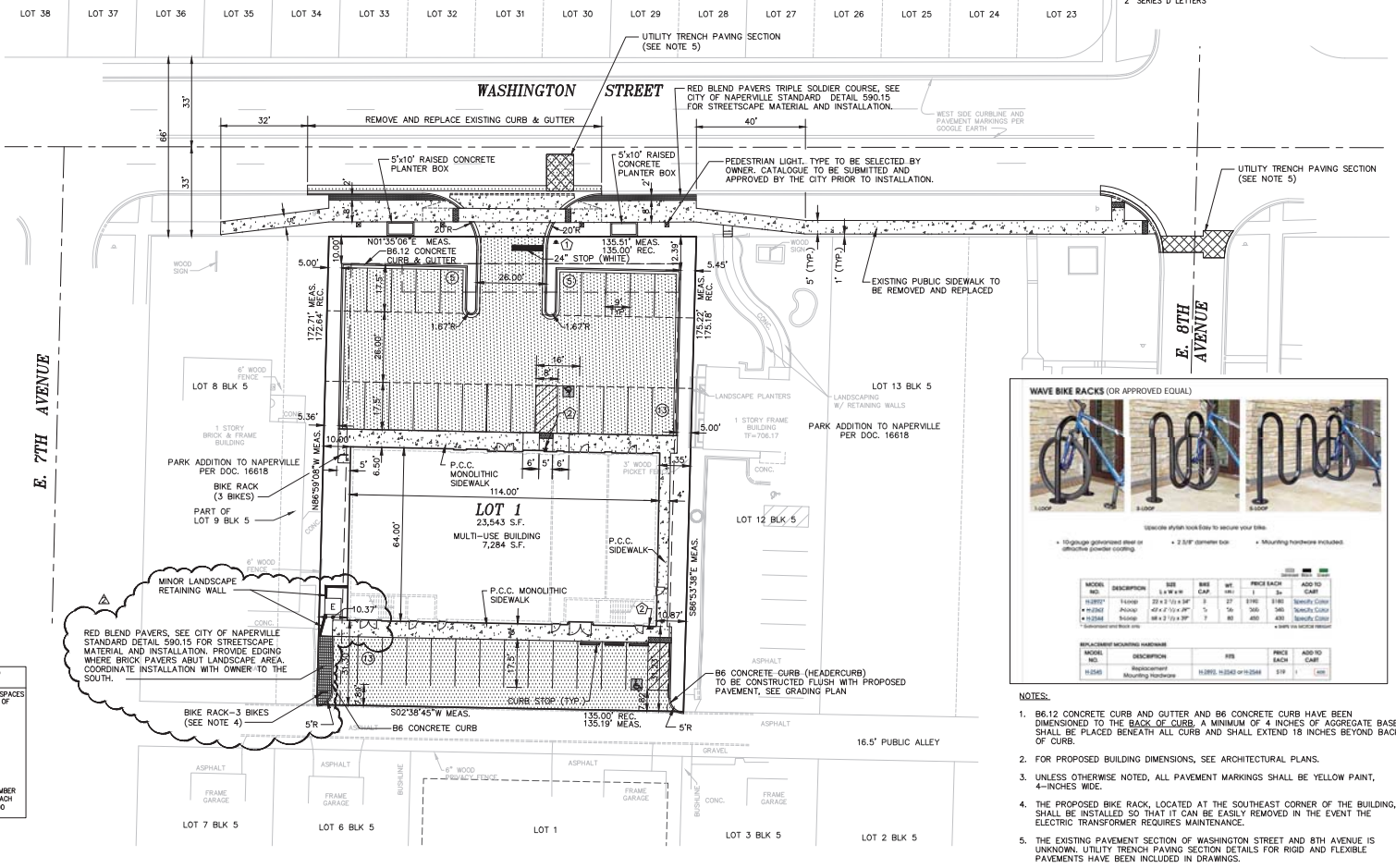
THE WASHINGTON
 DEMOLITION & SOIL EROSION AND SEDIMENTATION PLAN
 DRN./C/D. BY: SRH/SGC FILE: 8301E FLD. BK./PG.: 266/90 SHEET NO. 4 OF 11
 SCALE: 1"=20' DATE: 07/31/17 JOB NO.: 830.001



NOTES FOR HANDICAP PARKING STALLS:

- EACH PARKING SPACE SHALL BE AT LEAST EIGHT FEET WIDE, WITH AN EIGHT FOOT WIDE ACCESS AISLE, FOR A TOTAL OF SIXTEEN FEET.
- ADJACENT HANDICAPPED PARKING SHALL NOT SHARE A COMMON ACCESS AISLE.
- SIGNS SHALL BE VERTICALLY MOUNTED ON A POST OR A WALL AT THE FRONT CENTER OF THE PARKING SPACE NO MORE THAN FIVE (5) FEET HORIZONTALLY FROM THE FRONT OF A PARKING SPACE AND SET A MINIMUM OF FOUR (4) FEET FROM THE FINISHED GRADE TO THE BOTTOM OF THE SIGN.
- HANDICAPPED PARKING SIGNS SHALL ALSO EXHIBIT THE WORDS "BIKE RACK FINE".
- PARKING SPACES DESIGNED FOR PERSONS WITH DISABILITIES AND ACCESSIBLE PASSENGER LOADING ZONES THAT SERVE A PARTICULAR BUILDING, SHALL BE LOCATED ON THE SHORTEST POSSIBLE ACCESSIBLE ENTRANCE OF THE BUILDING.
- IN SEPARATE PARKING STRUCTURES OR LOTS THAT DO NOT SERVE A PARTICULAR BUILDING, PARKING SPACES FOR PERSONS WITH DISABILITIES SHALL BE LOCATED ON THE SHORTEST POSSIBLE CIRCULATION ROUTE TO AN ACCESSIBLE PEDESTRIAN ENTRANCE OF THE PARKING FACILITY.

TOTAL OFF STREET PRKNG SPACES REQUIRED	# OF HANDICAP SPACES REQUIRED PER # OF OFF STREET PARKING	ACCESSIBLE PRNG SPACES REQUIRED MIN. # OF
1 TO 20	1	2
21 TO 50	2	4
51 TO 75	3	4
76 TO 100	4	5
101 TO 150	5	6
151 TO 200	6	7
201 TO 300	8	9
301 TO 400	9	10
401 TO 500	10	11
501 TO 1000	2% OF TOTAL NUMBER OVER 1000	2% PLUS 1 FOR EACH 100 OVER 1000



WAVE BIKE RACKS (OR APPROVED EQUAL)

Wavecycle stylish look. Easy to secure your bike.

- Durable galvanized steel or aluminum powder coating
- 2 1/2\"/>
- Mounting hardware included

MODEL NO.	DESCRIPTION	MS	PRICE EACH	ADD TO CART
100001	Wavecycle	22 1/2\"/> <td>\$190</td> <td>\$190</td>	\$190	\$190
100002	Wavecycle	48 1/2\"/> <td>\$260</td> <td>\$260</td>	\$260	\$260
100003	Wavecycle	48 1/2\"/> <td>\$260</td> <td>\$260</td>	\$260	\$260

REPLACEMENT HARDWARE LISTING:

MODEL NO.	DESCRIPTION	MS	PRICE EACH	ADD TO CART
100004	Mounting Hardware	100004	\$10	\$10

NOTES:

- B6.12 CONCRETE CURB AND GUTTER AND B6 CONCRETE CURB HAVE BEEN DIMENSIONED TO THE BACK OF CURB. A MINIMUM OF 4 INCHES OF AGGREGATE BASE SHALL BE PLACED BETWEEN ALL CURB AND SHALL EXTEND 18 INCHES BEYOND BACK OF CURB.
- FOR PROPOSED BUILDING DIMENSIONS, SEE ARCHITECTURAL PLANS.
- UNLESS OTHERWISE NOTED, ALL PAVEMENT MARKINGS SHALL BE YELLOW PAINT, 4-INCHES WIDE.
- THE PROPOSED BIKE RACK, LOCATED AT THE SOUTHEAST CORNER OF THE BUILDING, SHALL BE INSTALLED SO THAT IT CAN BE EASILY REMOVED IN THE EVENT THE ELECTRIC TRANSFORMER REQUIRES MAINTENANCE.
- THE EXISTING PAVEMENT SECTION OF WASHINGTON STREET AND 8TH AVENUE IS UNKNOWN. UTILITY TRENCH PAVING SECTION DETAILS FOR RIGID AND FLEXIBLE PAVEMENTS HAVE BEEN INCLUDED IN DRAWINGS.

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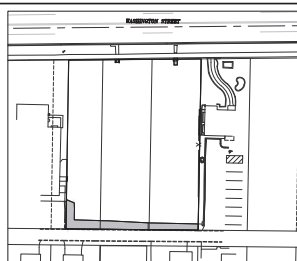
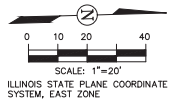
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NO.	DATE	DESCRIPTION	REVISIONS	
			NO.	DATE
1	09/01/17	REV PER CITY RWV DATED 08/23/17		
2	09/20/17	REV PER CITY RWV DATED 09/20/17		

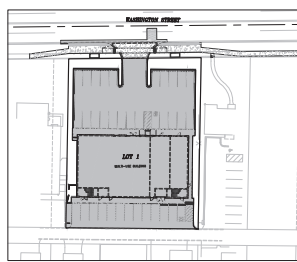
THE WASHINGTON

DIMENSION PLAN

DRN./XCD. BY: SRH/SGC FILE: 8301E FLD. BK./PG.: 266/50 SHEET NO. 5 OF 11
 SCALE: 1"=20' DATE: 07/31/17 JOB NO.: 830.001



EXISTING PERVIOUS/IMPERVIOUS CONDITIONS
1"=60'



PROPOSED PERVIOUS/IMPERVIOUS CONDITIONS
1"=60'

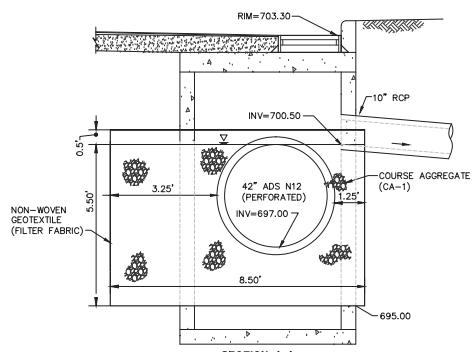
PERVIOUS/IMPERVIOUS CALCULATIONS:			
	IMPERVIOUS AREA	PERVIOUS AREA	PROJECT AREA
EXISTING	1,251 S.F.	22,292 S.F.	23,543 S.F.
PROPOSED	20,242 S.F.	3,301 S.F.	23,543 S.F.
NET INCREASE	18,991 S.F.		

RUNOFF STORAGE VOLUME REQUIRED FOR POST-CONSTRUCTION BEST MANAGEMENT PRACTICE:
20,242 S.F. x 1.25 IN. x (1FT./12IN.) = 2,109 CU.F.T. OF RUNOFF

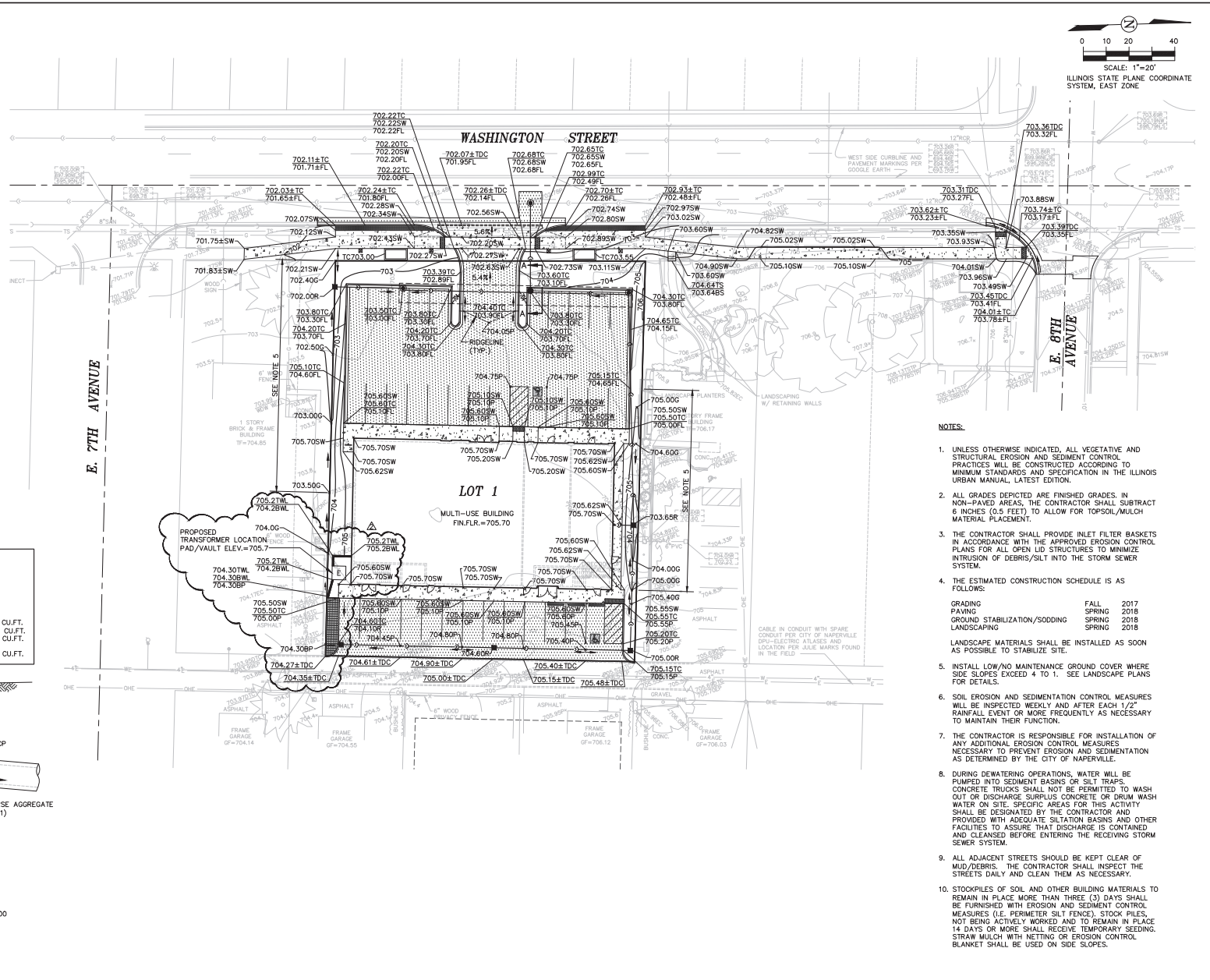
RUNOFF STORAGE VOLUME PROVIDED:

42" PIPE: $(1.75')(1.75')(3.14)(99') = 952$ CU.F.T.
TRENCH-PIPE VOLUME (48"O.D.) $(5.50')(8.50')(99') - (2')(2')(3.14)(99') = 3,385$ CU.F.T.
VOID SPACE IN TRENCH: $3.85' \times 0.36' = 1,219$ CU.F.T.

TOTAL STORAGE: $952 + 1,219 = 2,171$ CU.F.T.



SECTION A-A
C.B. #2 - BEST MANAGEMENT PRACTICE/
INFILTRATION TRENCH SECTION
N.T.S.



- NOTES:
- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATION IN THE ILLINOIS URBAN MANUAL, LATEST EDITION.
 - ALL GRADES DEPICTED ARE FINISHED GRADES. IN NON-PAVED AREAS, THE CONTRACTOR SHALL SUBTRACT 6 INCHES (0.5 FEET) TO ALLOW FOR TOPSOIL/MULCH MATERIAL PLACEMENT.
 - THE CONTRACTOR SHALL PROVIDE INLET FILTER BASKETS IN ACCORDANCE WITH THE APPROVED EROSION CONTROL PLANS FOR ALL OPEN LID STRUCTURES TO MINIMIZE INTRUSION OF DEBRIS/SILT INTO THE STORM SEWER SYSTEM.
 - THE ESTIMATED CONSTRUCTION SCHEDULE IS AS FOLLOWS:

GRADING	FALL	2017
PAVING	SPRING	2018
GROUND STABILIZATION/SODDING	SPRING	2018
LANDSCAPING	SPRING	2018

 LANDSCAPE MATERIALS SHALL BE INSTALLED AS SOON AS POSSIBLE TO STABILIZE SITE.
 - INSTALL LOW/NO MAINTENANCE GROUND COVER WHERE SLOPE SIDES EXCEED 4 TO 1. SEE LANDSCAPE PLANS FOR DETAILS.
 - SOIL EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE INSPECTED WEEKLY AND AFTER EACH 1/2" RAINFALL EVENT OR MORE FREQUENTLY AS NECESSARY TO MAINTAIN THEIR FUNCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE CITY OF NAPERVILLE.
 - DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO SEDIMENT BASINS OR SILT TRAPS. CONCRETE TRUCKS SHALL NOT BE PERMITTED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON SITE. SPECIFIC AREAS FOR THIS ACTIVITY SHALL BE DESIGNATED BY THE CONTRACTOR AND PROVIDED WITH ADEQUATE SILTATION BASINS AND OTHER FACILITIES TO ASSURE THAT DISCHARGE IS CONTAINED AND CLEANSED BEFORE ENTERING THE RECEIVING STORM SEWER SYSTEM.
 - ALL ADJACENT STREETS SHOULD BE KEPT CLEAR OF MUD/DEBRIS. THE CONTRACTOR SHALL INSPECT THE STREETS DAILY AND CLEAN THEM AS NECESSARY.
 - STOCKPILES OF SOIL AND OTHER BUILDING MATERIALS TO REMAIN IN PLACE MORE THAN THREE (3) DAYS SHALL BE FURNISHED WITH EROSION AND SEDIMENT CONTROL MEASURES (I.E. PERIMETER SILT FENCE), STOCK PILES, NOT BEING ACTIVELY WORKED AND TO REMAIN IN PLACE 14 DAYS OR MORE SHALL RECEIVE TEMPORARY SEEDING, STRAW MULCH WITH NETTING OR EROSION CONTROL BLANKET SHALL BE USED ON SIDE SLOPES.

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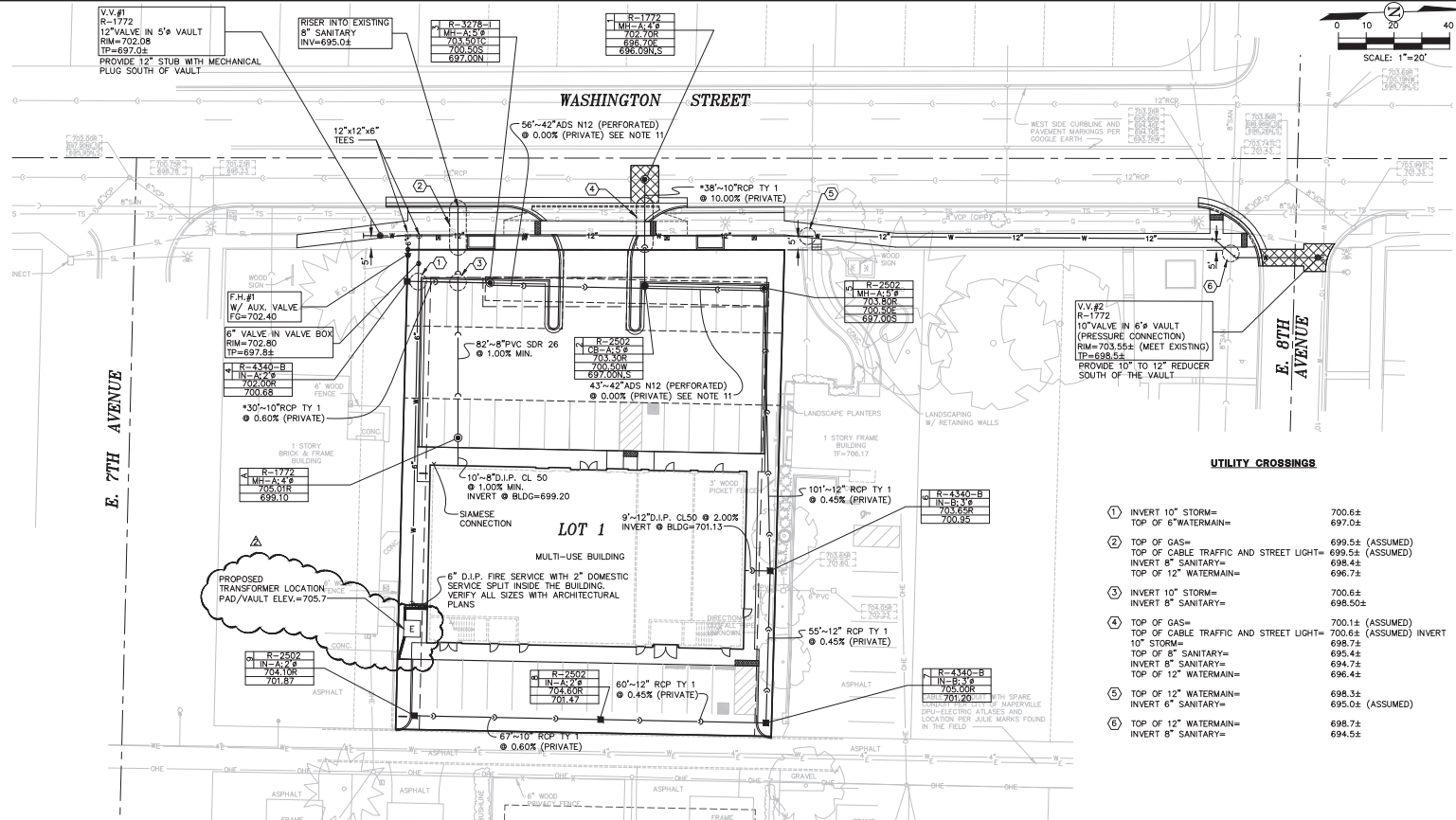
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NAPERVILLE, ILLINOIS 60563
TEL. (630) 253-0175

NO.		DATE		DESCRIPTION		REVISIONS	
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION	NO.	DATE
1	09/01/17	REV PER CITY R/W DATED 08/23/17					
2	09/20/17	REV PER CITY R/W DATED 09/20/17					

THE WASHINGTON			
GRADING PLAN			
DRN/C&D BY: SRH/SGC	FILE: 8301E	ILD. BK./PC: 266/50	SHEET NO. 6 OF 11
SCALE: 1"=20'	DATE: 07/31/17	JOB NO.: 830.001	

NOTES:

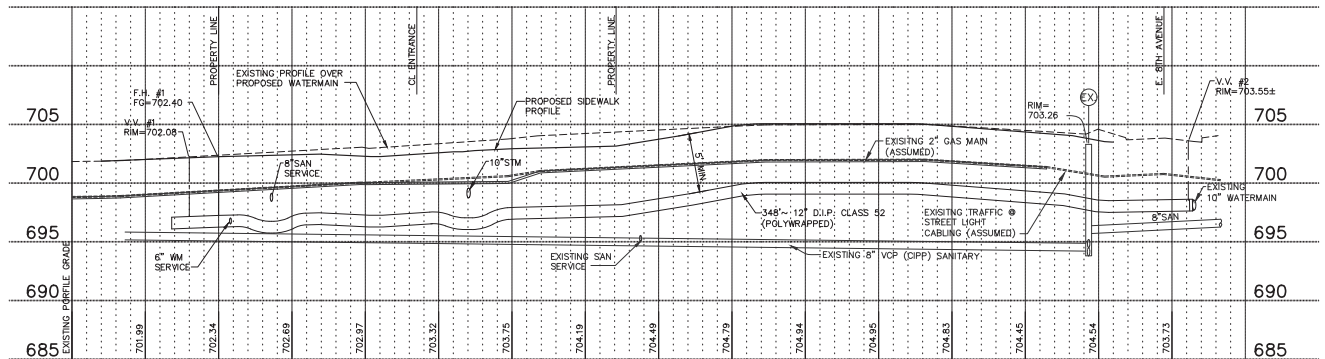
1. ALL PROPOSED UTILITY CROSSINGS WITH EXISTING UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
2. ALL PROPOSED DUCTILE IRON UTILITIES INCLUDING FITTINGS SHALL BE POLYWRAPPED.
3. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITY/SERVICE EXTENSIONS 5' OUTSIDE THE BUILDING ENVELOPE. PIPE LENGTH CALL-OUTS HAVE BEEN DERIVED FROM THE FACE OF THE BUILDING.
4. "4" INDICATES STORM SEWER TO BE CONSTRUCTED WITH PREFORMED FLEXIBLE RUBBER GASKETS. JOINTS SHALL CONFORM TO THE SPECIFICATIONS OUTLINED IN ASTM C-361 OR C-443.
5. ALL BENDS SHALL BE PROVIDED WITH "MEGA-LUG" TYPE FLANGES AND SHALL HAVE PROPER BLOCKAGE.
6. THE CONTRACTOR SHALL PROVIDE INLET FILTER BASKETS BENEATH ALL OPEN LID STRUCTURES TO MINIMIZE INTRUSION OF DEBRIS/SILT INTO THE STORM SEWER SYSTEM.
7. THE PROPOSED TRANSFORMER HAS BEEN SHOWN ON THE SOUTH SIDE OF THE BUILDING. COORDINATION WILL BE REQUIRED WITH THE DEPARTMENT OF PUBLIC UTILITIES-ELECTRIC TO DETERMINE HOW THE PROPOSED BUILDING WILL BE SERVED.
8. THE CONTRACTOR SHALL PROVIDE INLET FILTER BASKETS BENEATH ALL OPEN LID STRUCTURES TO MINIMIZE INTRUSION OF DEBRIS/SILT INTO THE STORM SEWER SYSTEM.
9. UPON COMPLETION OF THE UTILITY INSTALLATIONS, THE PUBLIC RIGHT OF WAY SHALL BE RESTORED TO ITS ORIGINAL CONDITION. THIS SHALL INCLUDE BUT NOT BE LIMITED TO 6 INCH TOPSOIL PLACEMENT, SOO, SIDEWALK INSTALLATION, AND PAVEMENT PATCHING.
10. EXISTING STREET LIGHT CABLING TO BE ENCASED IN 2" GALVANIZED STEEL CONDUIT BENEATH THE PROPOSED DRIVEWAY. IT SHOULD BE NOTED THAT DUE TO THE PROPOSED SIDEWALK INSTALLATION, THE DEPTH OF COVER OVER THE EXISTING STREET LIGHT CABLING COULD BE REDUCED UP TO 12 INCHES. THE CONTRACTOR SHALL PROVIDE A BID PRICE TO RECALE THE EXISTING STREET LIGHTS FROM 7TH AVENUE TO 8TH AVENUE IN THE EVENT IT IS NECESSARY DUE TO CONFLICT (1-1/4 INCH UNIT DUCT WITH 4/C #6 XLP/USE-2).
11. ONCE INSTALLED, THE CONTRACTOR SHALL PROTECT THE 42-INCH ADS PIPE FROM ALL CONSTRUCTION TRAFFIC UNTIL THE FINAL PAVEMENT IS IN PLACE. THIS INCLUDES DURING CONCRETE CURB AND GUTTER INSTALLATION.
12. AS STATED IN NOTE 7, SHEET 4 DEMOLITION PLAN, SANITARY SERVICES SHALL BE ABANDONED BY BREAKING AWAY THE CLAY SERVICE CONNECTION FROM AROUND THE CIPP LINER AND REPAIRING THE LINER WITH A NON-SHEAR STAINLESS STEEL REPAIR CLAMP (MODEL CRI AS MANUFACTURED BY CASCADE WATERWORKS OR APPROVED EQUAL). THE ENDS OF THE ABANDONED SANITARY SERVICES SHALL BE BROCKED AND MORTARED.
13. ALL PROPOSED STORM SEWER SHALL BE PRIVATELY MAINTAINED.
14. TRAFFIC CONTROL AND PROTECTION FOR THE 12-INCH WATERMAIN INSTALLATION SHALL BE IN ACCORDANCE WITH IDOT STANDARD 70106. TRAFFIC CONTROL AND PROTECTION FOR THE 10-INCH STORM SEWER CONNECTION SHALL BE IN ACCORDANCE WITH IDOT STANDARD 70161. IT IS ANTICIPATED THAT THE CITY WILL LIMIT THE WASHINGTON STREET CLOSURES BETWEEN THE HOURS OF 9:00 AM TO 5:00 PM MONDAY THROUGH FRIDAY.



UTILITY CROSSINGS

1	INVERT 10" STORM=	700.6±
	TOP OF 6" WATERMAIN=	697.0±
2	TOP OF GAS=	699.5± (ASSUMED)
	TOP OF CABLE TRAFFIC AND STREET LIGHT=	699.5± (ASSUMED)
	INVERT 8" SANITARY=	698.4±
	TOP OF 12" WATERMAIN=	696.7±
3	INVERT 10" STORM=	700.6±
	INVERT 8" SANITARY=	698.50±
4	TOP OF GAS=	700.1± (ASSUMED)
	TOP OF CABLE TRAFFIC AND STREET LIGHT=	700.6± (ASSUMED) INVERT
	TOP OF 8" SANITARY=	698.7±
	INVERT 8" SANITARY=	694.7±
	TOP OF 12" WATERMAIN=	696.4±
5	TOP OF 12" WATERMAIN=	698.3±
	INVERT 6" SANITARY=	695.0± (ASSUMED)
6	TOP OF 12" WATERMAIN=	698.7±
	INVERT 8" SANITARY=	694.5±

WATERMAIN PROFILE
SCALE: (HORZ.) 1"=20'; (VERT.) 1"=5'

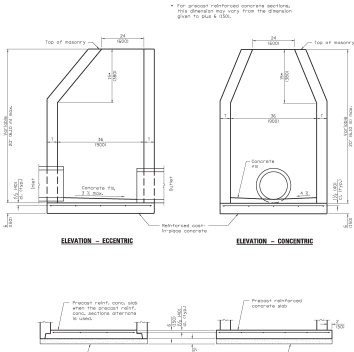


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NO.		DATE		DESCRIPTION	
1	09/01/17	REV PER CITY	REV DATED	08/23/17	
2	09/20/17	REV PER CITY	REV DATED	09/20/17	

THE WASHINGTON			
UTILITY PLAN			
DRN./CDD. BY:	SRH/SGC	FILE:	8301E
SCALE:	1"=20'	DATE:	07/31/17
FLD. BK./PC.:	266/50	JOB NO.:	830.001
			SHEET NO. 7 OF 11



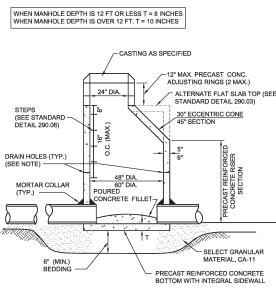
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3	03/01/11	BRICK MASONRY
4	03/01/11	PRECAST REINFORCED CONCRETE MASONRY
5	03/01/11	CAST-IN-PLACE CONCRETE

GENERAL NOTES

Manhole shall be cast reinforced with a minimum of 600 psi, 4,000 psi concrete and a minimum of 1/2" dia. rebar. 100% to be cast in place.

Bottom shall also be approved to be cast in place or approved by the manufacturer's instructions. The bottom shall be cast in place or approved by the manufacturer's instructions. The bottom shall be cast in place or approved by the manufacturer's instructions.

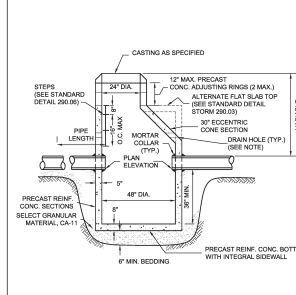
DATE	REVISION
01/10/11	ISSUED
03/01/11	CONCRETE MASONRY UNIT
03/01/11	BRICK MASONRY
03/01/11	PRECAST REINFORCED CONCRETE MASONRY
03/01/11	CAST-IN-PLACE CONCRETE



NOTE

A MINIMUM OF 4 PRECAST OR DRILLED 1" DIAMETER HOLES SHALL BE PROVIDED WITHIN 1' OF THE LOWEST PIPE. INVERT. THE HOLES SHALL BE DISTRIBUTED EQUIDISTANT AROUND THE PERIMETER OF THE STRUCTURE. A 1' BY 1' SQUARE OF UNDERMAN FILTER CLOTH MATERIAL SHALL BE TIED OVER EACH DRAIN HOLE ON THE OUTSIDE OF THE STRUCTURE WITH MASTIC MATERIAL TO PREVENT SURPLAGE DURING BACKFLOWING.

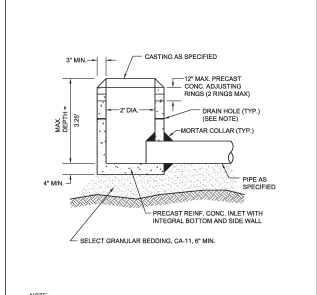
City of Naperville **STORM MANHOLE TYPE A** **STORM 1**
STANDARD DETAIL SHEET 1 OF 1 **290.01**



NOTE

A MINIMUM OF 4 PRECAST OR DRILLED 1" DIAMETER HOLES SHALL BE PROVIDED WITHIN 1' OF THE LOWEST PIPE. INVERT. THE HOLES SHALL BE DISTRIBUTED EQUIDISTANT AROUND THE PERIMETER OF THE STRUCTURE. A 1' BY 1' SQUARE OF UNDERMAN FILTER CLOTH MATERIAL SHALL BE TIED OVER EACH DRAIN HOLE ON THE OUTSIDE OF THE STRUCTURE WITH MASTIC MATERIAL TO PREVENT SURPLAGE DURING BACKFLOWING.

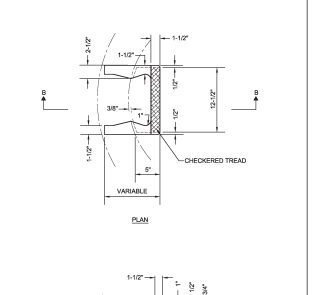
City of Naperville **CATCH BASIN TYPE A** **STORM 2**
STANDARD DETAIL SHEET 1 OF 1 **290.02**



NOTE

IN PAVED AREAS A MINIMUM OF 4 PRECAST OR DRILLED 1" DIAMETER HOLES SHALL BE PROVIDED WITHIN 1' OF THE LOWEST PIPE. INVERT. THE HOLES SHALL BE DISTRIBUTED EQUIDISTANT AROUND THE PERIMETER OF THE STRUCTURE. A 1' BY 1' SQUARE OF UNDERMAN FILTER CLOTH MATERIAL SHALL BE TIED OVER EACH DRAIN HOLE ON THE OUTSIDE OF THE STRUCTURE WITH MASTIC MATERIAL TO PREVENT SURPLAGE DURING BACKFLOWING.

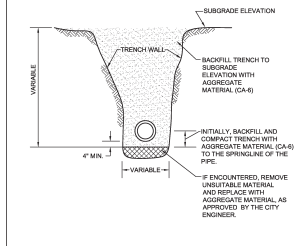
City of Naperville **INLET TYPE A** **STORM 5**
STANDARD DETAIL SHEET 1 OF 1 **290.05**



NOTE

IN PAVED AREAS A MINIMUM OF 4 PRECAST OR DRILLED 1" DIAMETER HOLES SHALL BE PROVIDED WITHIN 1' OF THE LOWEST PIPE. INVERT. THE HOLES SHALL BE DISTRIBUTED EQUIDISTANT AROUND THE PERIMETER OF THE STRUCTURE. A 1' BY 1' SQUARE OF UNDERMAN FILTER CLOTH MATERIAL SHALL BE TIED OVER EACH DRAIN HOLE ON THE OUTSIDE OF THE STRUCTURE WITH MASTIC MATERIAL TO PREVENT SURPLAGE DURING BACKFLOWING.

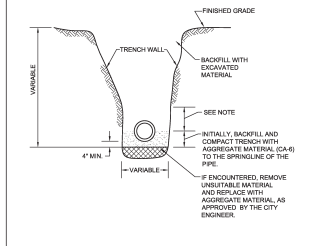
City of Naperville **CAST IRON STEPS** **STORM 4**
STANDARD DETAIL SHEET 1 OF 1 **290.06**



NOTES

- TRENCH BACKFILL MATERIAL SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 560.07 OF THE DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- THIS DETAIL SHALL BE USED WHEREVER THE TRENCH IS MADE IN THE PROPOSED ROADWAY SUBGRADE, AND WHEREVER THE INNER EDGE OF THE TRENCH IS CLOSER THAN 2' TO THE EDGE OF THE PROPOSED PAVEMENT, CURB AND GUTTER, AND SIDEWALK.

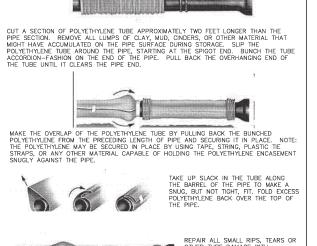
City of Naperville **STORM SEWER TRENCH SECTION IN PAVED AREAS** **STORM 10**
STANDARD DETAIL SHEET 1 OF 1 **290.20**



NOTE

FOR PVC AND HDPE PIPE, BACKFILL WITH AGGREGATE MATERIAL (CA-4) TO 4" ABOVE THE TOP OF PIPE.

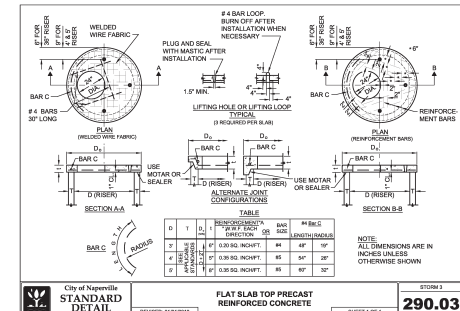
City of Naperville **STORM SEWER TRENCH SECTION IN NON-PAVED AREAS** **STORM 21**
STANDARD DETAIL SHEET 1 OF 1 **290.21**



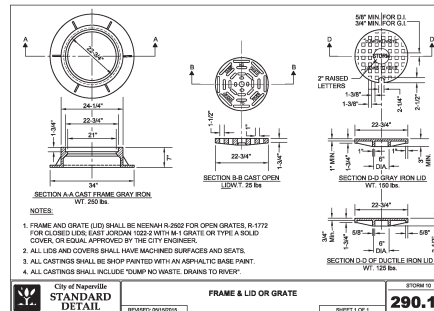
NOTE

- COVER REVERS, REDUCERS AND OTHER PIPE-SHAPED APPURTENANCES WITH POLYETHYLENE IN THE SAME MANNER AS THE PIPE.
- WRAP VALVES, TEES AND OTHER ODD-SHAPED APPURTENANCES WITH A FLAT SHEET OR SPLIT LENGTHS OF POLYETHYLENE TUBE BY PASSING THE SHEET UNDER THE APPURTENANCES AND BRINGING IT UP AROUND THE BODY. MAKE SEAMS BY BRINGING THE EDGES OF THE POLYETHYLENE SHEET TOGETHER, FOLDING OVER TWICE, AND TAPING DOWN.
- BE SURE VEENESE ENCASUREMENT TO BE IN ACCORDANCE WITH A.W.K.A. C105-99P8 LATEST VERSION.
- COVER SERVICE TAPS ARE TO BE WRAPPED WITH POLYETHYLENE OR A SUITABLE SELECTED PIPE FOR A MINIMUM CLEAR DISTANCE OF 3' AWAY FROM THE MAIN.

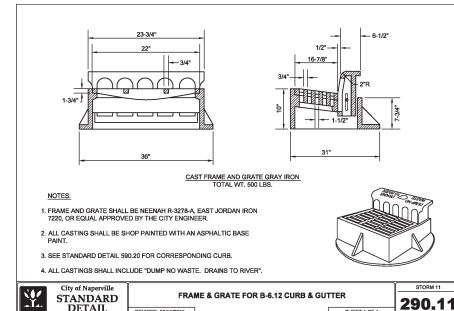
City of Naperville **POLYETHYLENE ENCASUREMENT** **REVISION 10**
STANDARD DETAIL SHEET 1 OF 1 **490.15**



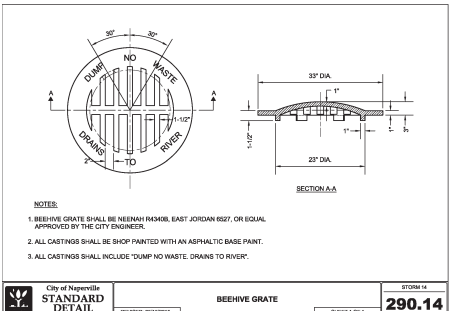
City of Naperville **FLAT SLAB TOP PRECAST REINFORCED CONCRETE** **STORM 3**
STANDARD DETAIL SHEET 1 OF 1 **290.03**



City of Naperville **FRAME & LID OR GRATE** **STORM 10**
STANDARD DETAIL SHEET 1 OF 1 **290.10**



City of Naperville **FRAME & GRATE FOR B-6-12 CURB & GUTTER** **STORM 11**
STANDARD DETAIL SHEET 1 OF 1 **290.11**



City of Naperville **BEEHIVE GRATE** **STORM 14**
STANDARD DETAIL SHEET 1 OF 1 **290.14**

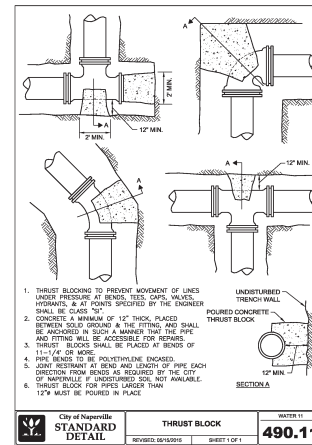
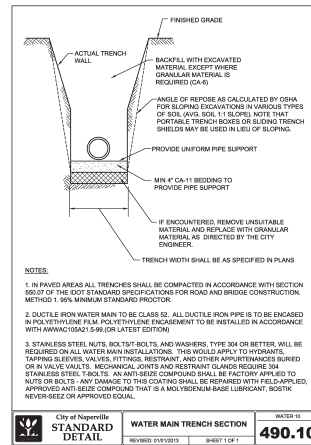
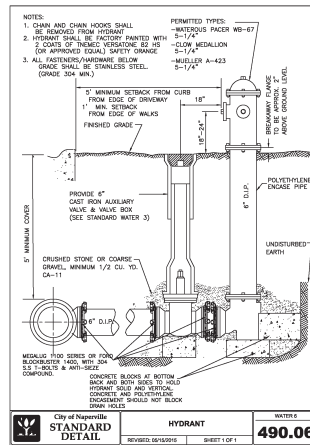
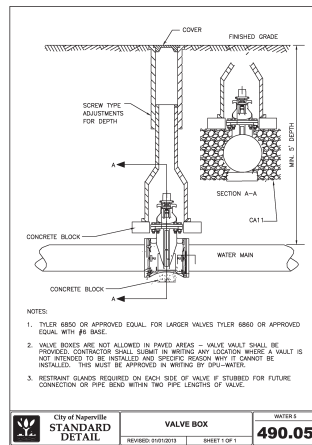
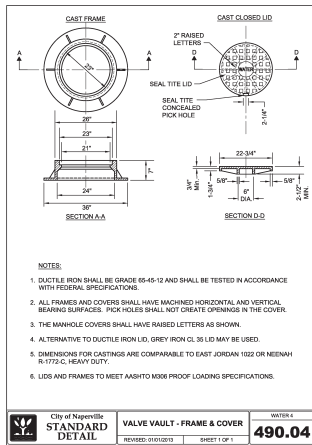
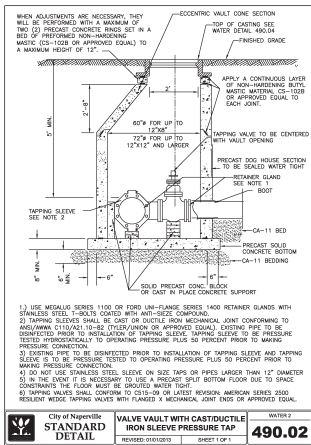
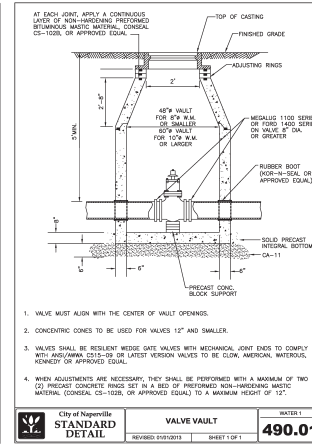
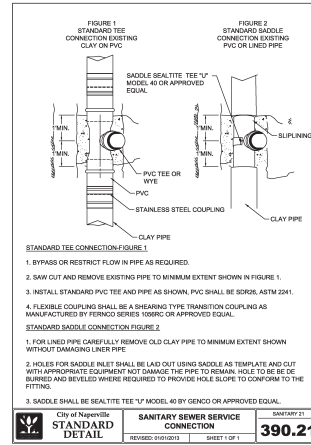
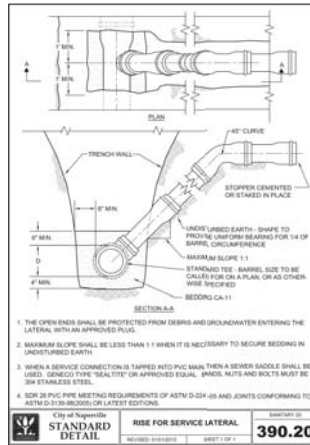
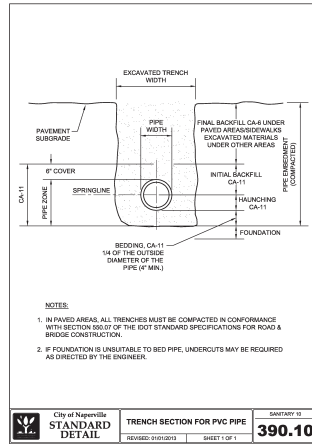
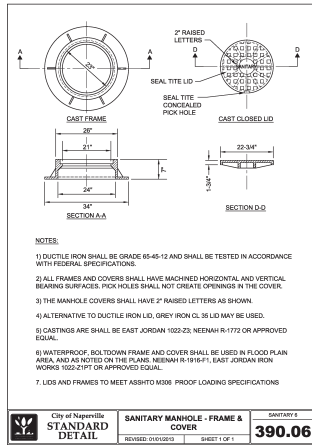
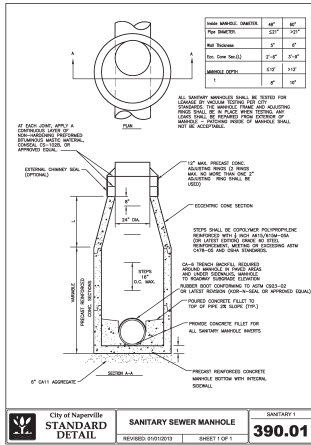
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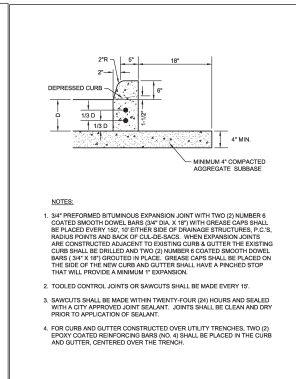
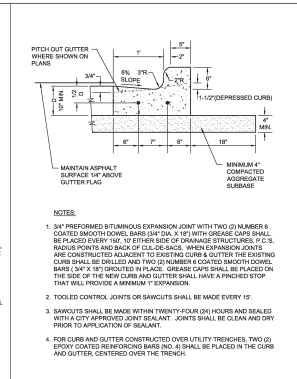
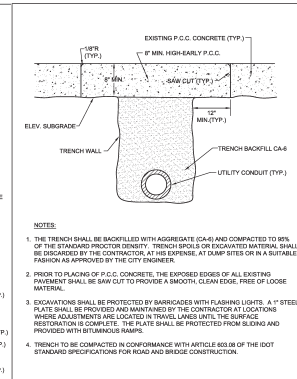
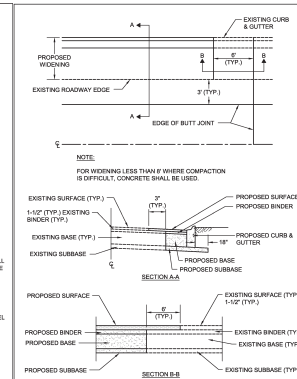
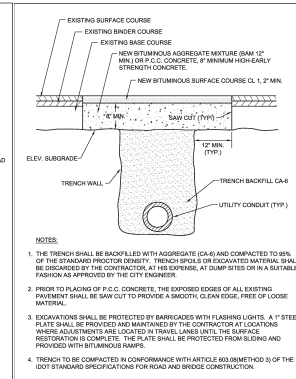
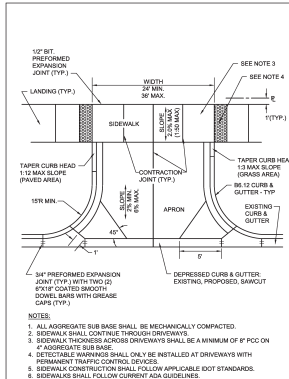
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SCALE:	AS NOTED	DATE:	07/31/17	JOB NO.:
				830.001
				SHEET NO. 8
				OF 11



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City of Naperville STANDARD DETAIL 590.05 TYPICAL COMMERCIAL DRIVEWAY DETAIL SHEET 1 OF 1

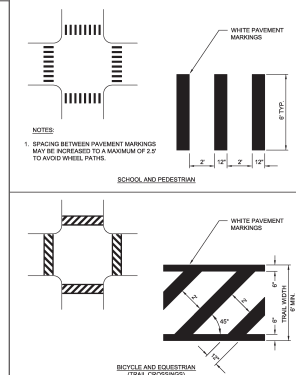
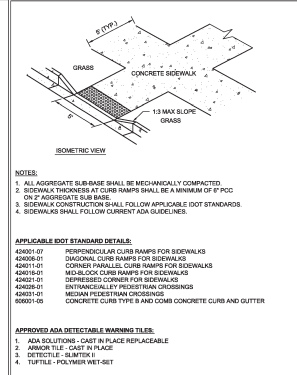
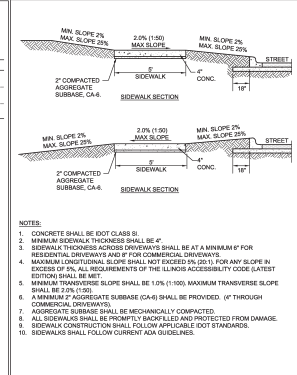
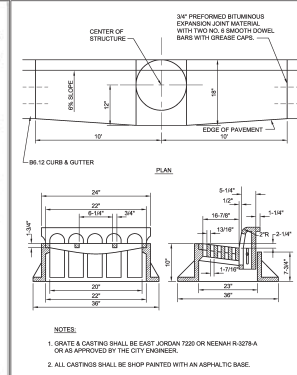
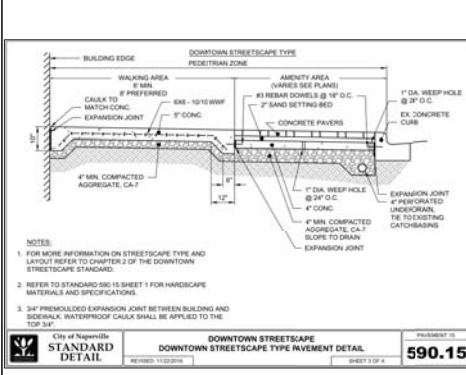
City of Naperville STANDARD DETAIL 590.13 UTILITY TRENCH PAVING SECTION (FILEDIBLE PAVEMENTS) SHEET 1 OF 1

City of Naperville STANDARD DETAIL 590.11 BUTT JOINT DETAIL SHEET 1 OF 1

City of Naperville STANDARD DETAIL 590.12 UTILITY TRENCH BRIDGE SECTION SHEET 1 OF 1

City of Naperville STANDARD DETAIL 590.20 B6-12 BARRIER CURB & GUTTER SHEET 1 OF 1

City of Naperville STANDARD DETAIL 590.23 TYPE B BARRIER CURB SHEET 1 OF 1



City of Naperville STANDARD DETAIL 590.15 DOWNTOWN STREETSCAPE TYPE PAVEMENT DETAIL SHEET 1 OF 1

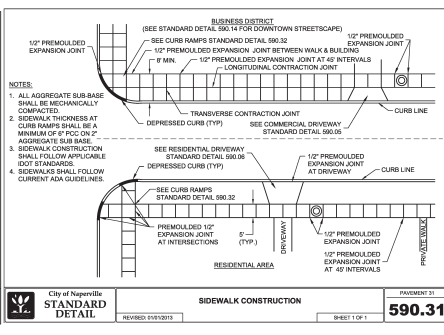
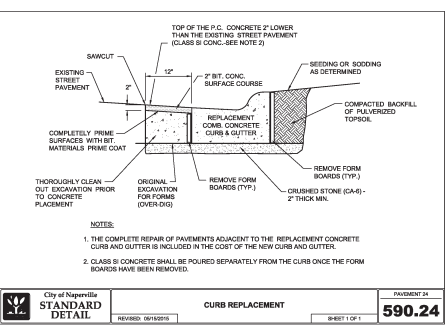
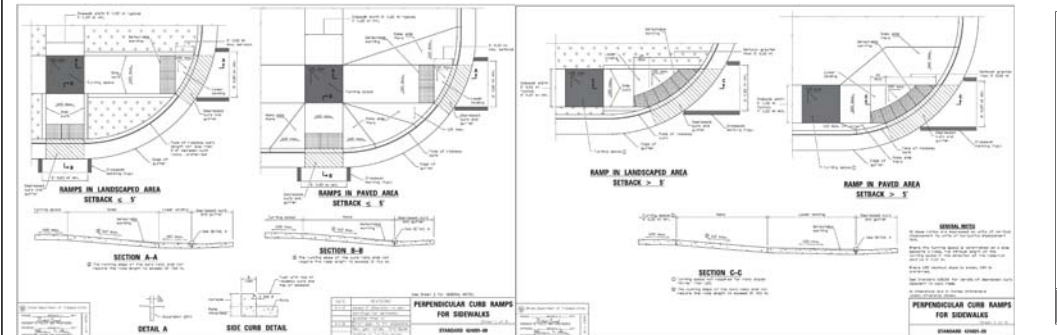
City of Naperville STANDARD DETAIL 590.15 UNKNOWN SURF MATERIAL SHEET 1 OF 1

City of Naperville STANDARD DETAIL 590.21 B6-12 BARRIER CURB & GUTTER AT CURB INLETS SHEET 1 OF 1

City of Naperville STANDARD DETAIL 590.30 SIDEWALK SHEET 1 OF 1

City of Naperville STANDARD DETAIL 590.32 CURB RAMPS SHEET 1 OF 1

City of Naperville STANDARD DETAIL 590.33 CROSSWALK SHEET 1 OF 1



City of Naperville STANDARD DETAIL 590.24 CURB REPLACEMENT SHEET 1 OF 1

City of Naperville STANDARD DETAIL 590.24 CURB REPLACEMENT SHEET 1 OF 1

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City of Naperville STANDARD DETAIL 590.24 CURB REPLACEMENT SHEET 1 OF 1

City of Naperville STANDARD DETAIL 590.24 CURB REPLACEMENT SHEET 1 OF 1

City of Naperville STANDARD DETAIL 590.31 SIDEWALK CONSTRUCTION SHEET 1 OF 1

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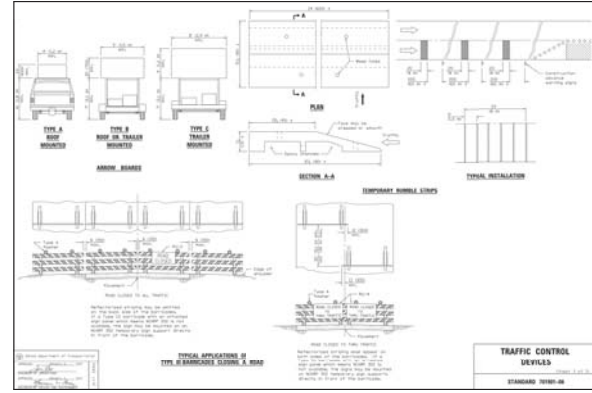
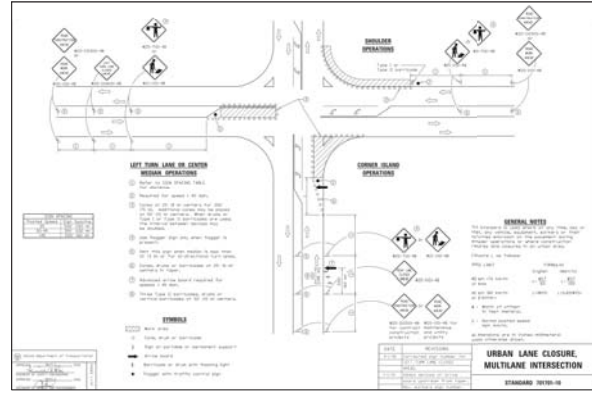
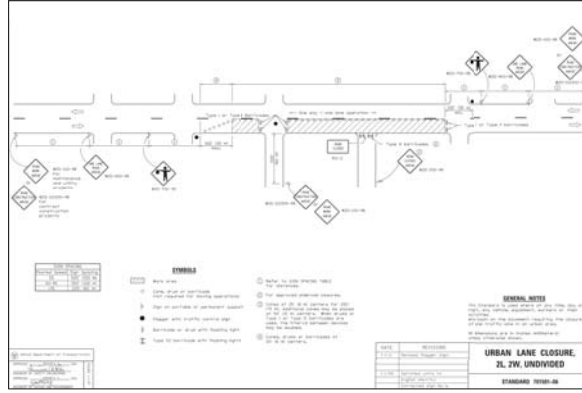
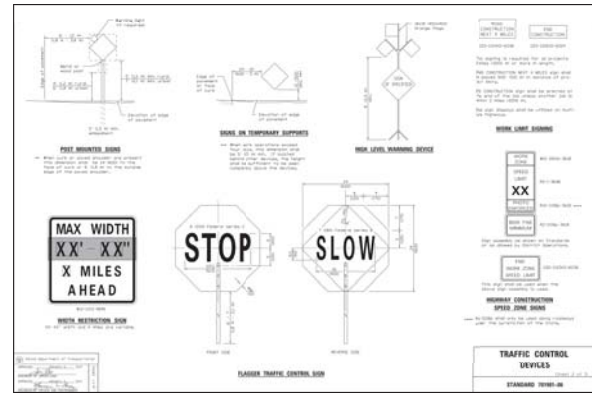
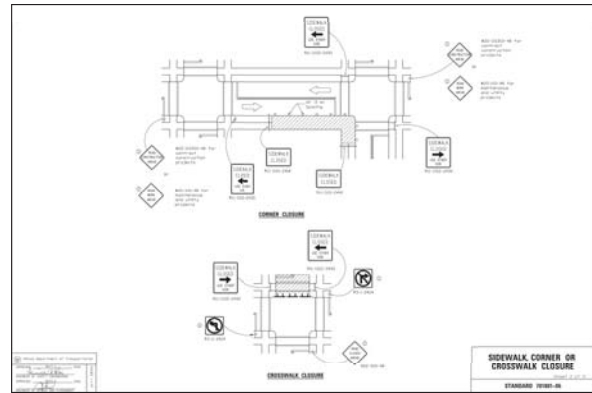
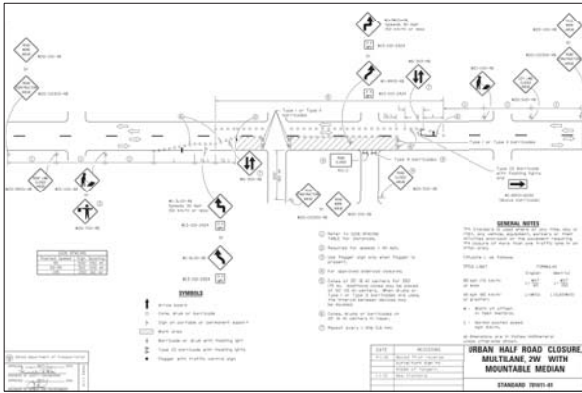
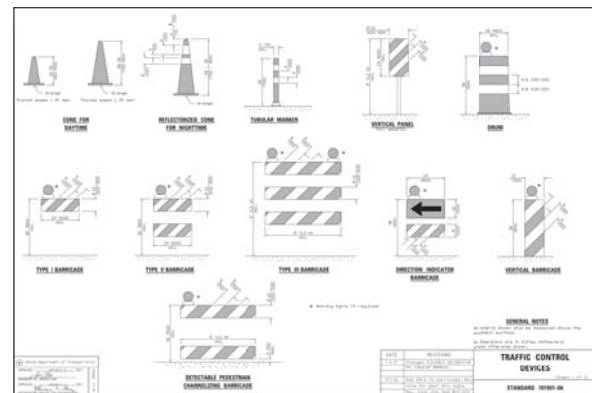
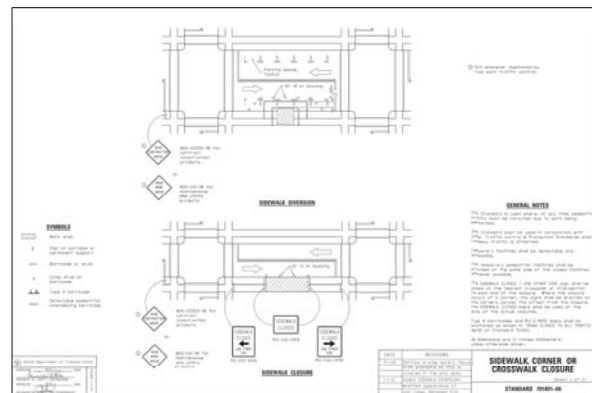
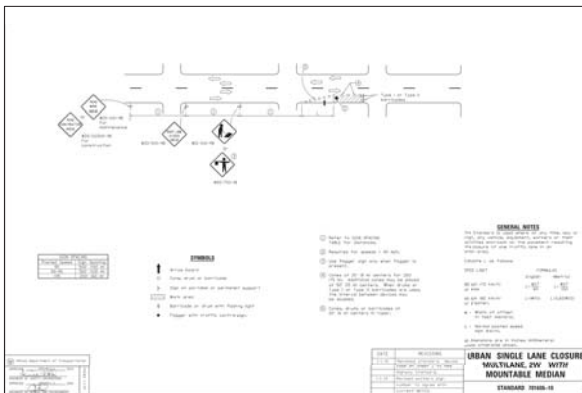
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 SCALE: AS NOTED DATE: 07/31/17 JOB NO.: 830.001

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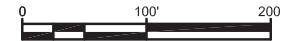
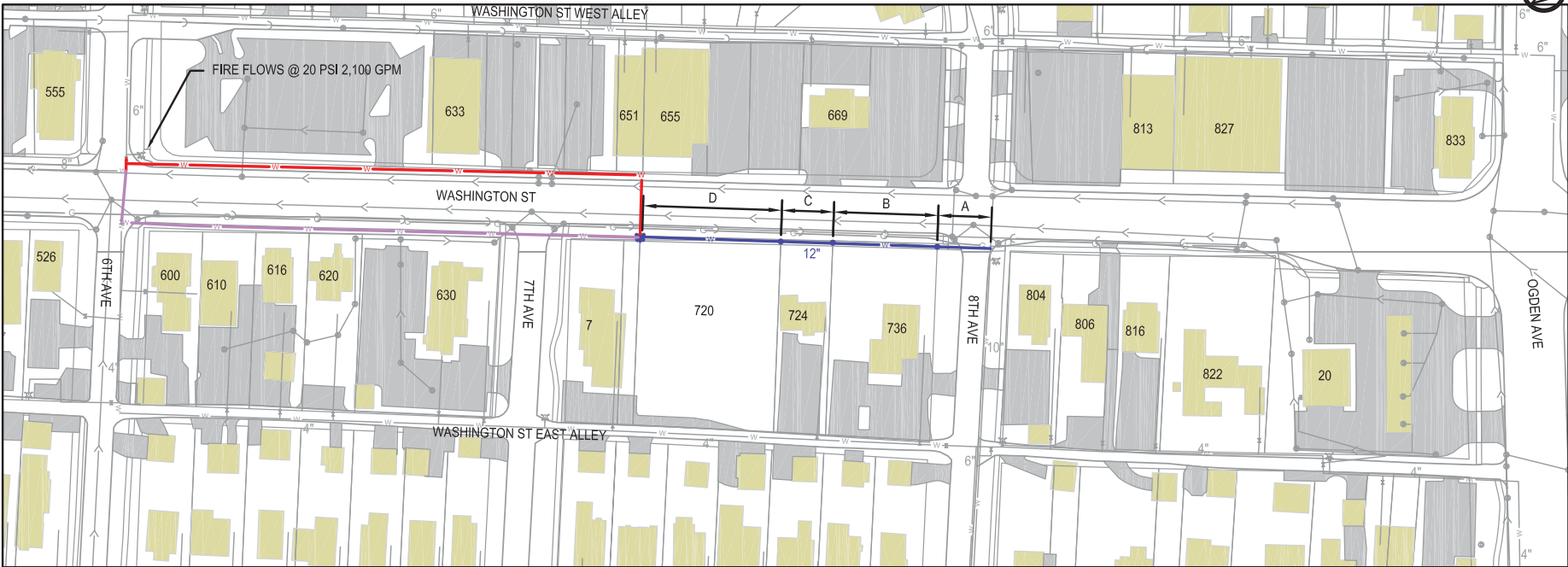


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SCALE: AS NOTED	DATE: 07/31/17	JOB NO.: 830.001	



LEGEND

STORM SEWER	
SANITARY SEWER	
WATER SUPPLY - EXISTING	
WATER SUPPLY - TO BE INSTALLED W/ 720 WASHINGTON IMPROVEMENTS	
WATER SUPPLY - FUTURE OPT 1	
WATER SUPPLY - FUTURE OPT 2	
GAS	
SANITARY MANHOLE	
STORM MANHOLE	
VALVE	
FIRE HYDRANT	

SECTION A - 8TH AVE TO 736 WASHINGTON CITY TO PAY 50% AND 720 DEVELOPER TO PAY 50% OF CONSTRUCTION COST. CITY AND DEVELOPER TO EQUALLY DIVIDE THE TOTAL RECAPTURE AMOUNT.

SECTION B - 736 WASHINGTON FRONTAGE CITY TO PAY 100% CONSTRUCTION COST. NO RECAPTURE FOR THIS LOT

SECTION C - 724 WASHINGTON FRONTAGE CITY TO PAY 50% AND 720 DEVELOPER TO PAY 50% OF CONSTRUCTION COST. CITY AND DEVELOPER TO EQUALLY DIVIDE THE TOTAL RECAPTURE AMOUNT.

SECTION D - 720 WASHINGTON FRONTAGE 720 DEVELOPER TO PAY 100% OF CONSTRUCTION COST. NO RECAPTURE FOR THIS LOT

CITY OF NAPERVILLE DEPARTMENT OF PUBLIC UTILITIES
CWL ENVIRONMENTAL ENGINEERING AND CONSTRUCTION MANAGEMENT DIVISION

WASHINGTON STREET WATERMAIN ROUTE
WASHINGTON WATERMAIN RECAPTURE PLAN

REVISIONS

NUMBER	BY	DATE
DESIGN BY:	A. JASINSKI	
DRAWN BY:		
CHECKED BY:		
APPROVED BY:		
DATE:	06-17-16	
JOB No:		
SHEET 1 OF 1 SHEETS		

Exhibit B

ENGINEER'S ESTIMATE OF PROBABLE COST

No.	Item Description	Unit	Price	Section A 8th Avenue (50% City Cost, 50% W.C.M. Cost)		Section B 736 Washington Frontage (100% City Cost)		Section C 724 Washington Frontage (50% City Cost, 50% W.C.M. Cost)		Section D 720 Washington Frontage (100% W.C.M. Cost)		Total	
				Quantity	Total	Quantity	Total	Quantity	Total	Quantity	Total	Quantity	Total
Earthwork and Erosion Control													
1.	Earthwork	LS	\$ 7,500.00	0	\$ -	0	\$ -	0	\$ -	1	\$ 7,500.00	1	\$ 7,500.00
2.	Topsoil Placement	SY	\$ 3.00	8	\$ 24.00	130	\$ 390.00	62	\$ 186.00	73	\$ 219.00	273	\$ 819.00
3.	Sod	SY	\$ 4.00	8	\$ 32.00	130	\$ 520.00	62	\$ 248.00	73	\$ 292.00	273	\$ 1,092.00
4.	Inlet Protection - Flexstorm Inlet Basket	EA	\$ 150.00	0	\$ -	0	\$ -	0	\$ -	8	\$ 1,200.00	8	\$ 1,200.00
5.	Tree Protection	LF	\$ 4.00	0	\$ -	0	\$ -	100	\$ 400.00	75	\$ 300.00	175	\$ 700.00
6.	Silt Fence	LF	\$ 2.00	0	\$ -	0	\$ -	0	\$ -	590	\$ 1,180.00	590	\$ 1,180.00
7.	Construction Entrance	EA	\$ 1,500.00	0	\$ -	0	\$ -	0	\$ -	1	\$ 1,500.00	1	\$ 1,500.00
8.	Temporary Construction Fence	LF	\$ 10.00	0	\$ -	0	\$ -	0	\$ -	610	\$ 6,100.00	610	\$ 6,100.00
9.	Concrete Washout Station	EA	\$ 1,000.00	0	\$ -	0	\$ -	0	\$ -	1	\$ 1,000.00	1	\$ 1,000.00
Sub-Total Earthwork and Erosion Control					\$ 56.00		\$ 910.00		\$ 834.00		\$ 19,291.00		\$ 21,091.00
Sanitary Sewer													
1.	8" DIP Sanitary Sewer - Class 50	LF	\$ 65.00	0	\$ -	0	\$ -	0	\$ -	10	\$ 650.00	10	\$ 650.00
2.	8" PVC Sanitary Sewer - SDR 26	LF	\$ 45.00	0	\$ -	0	\$ -	0	\$ -	82	\$ 3,690.00	82	\$ 3,690.00
3.	Manhole, Type A - 4' Diameter with Neenah R-1772-C Frame & Lid	EA	\$ 3,000.00	0	\$ -	0	\$ -	0	\$ -	1	\$ 3,000.00	1	\$ 3,000.00
4.	Trench Backfill	CY	\$ 20.00	0	\$ -	0	\$ -	0	\$ -	26	\$ 520.00	26	\$ 520.00
Sub-Total Sanitary Sewer					\$ -		\$ -		\$ -		\$ 7,860.00		\$ 7,860.00
Watermain													
1.	6" Ductile Iron Watermain, Class 52 (Polywrapped)	EA	\$ 60.00	0	\$ -	0	\$ -	0	\$ -	140	\$ 8,400.00	140	\$ 8,400.00
2.	12" Ductile Iron Watermain, Class 52 (Polywrapped)	LF	\$ 120.00	46	\$ 5,520.00	50	\$ 6,000.00	100	\$ 12,000.00	152	\$ 18,240.00	348	\$ 41,760.00
3.	6" Valve in Box	EA	\$ 1,200.00	0	\$ -	0	\$ -	0	\$ -	1	\$ 1,200.00	1	\$ 1,200.00
4.	10" Valve in 6' Diameter Vault with R-1772-C Fr. & Lid (Pressure Connection)	EA	\$ 9,000.00	1	\$ 9,000.00	0	\$ -	0	\$ -	0	\$ -	1	\$ 9,000.00
5.	Fire Hydrant with Auxiliary Valve & Box	EA	\$ 4,200.00	0	\$ -	0	\$ -	0	\$ -	1	\$ 4,200.00	1	\$ 4,200.00
6.	Trench Backfill	CY	\$ 20.00	36	\$ 720.00	39	\$ 780.00	78	\$ 1,560.00	118	\$ 2,360.00	271	\$ 5,420.00
Sub-Total Watermain					\$ 15,240.00		\$ 6,780.00		\$ 13,560.00		\$ 34,400.00		\$ 69,980.00

ENGINEER'S ESTIMATE OF PROBABLE COST

No.	Item Description	Unit	Price	Section A 8th Avenue (50% City Cost, 50% W.C.M. Cost)		Section B 736 Washington Frontage (100% City Cost)		Section C 724 Washington Frontage (50% City Cost, 50% W.C.M. Cost)		Section D 720 Washington Frontage (100% W.C.M. Cost)		Total	
				Quantity	Total	Quantity	Total	Quantity	Total	Quantity	Total	Quantity	Total
Storm Sewer													
1.	10" RCP Storm Sewer, Type 1	LF	\$ 22.00	0	\$ -	0	\$ -	0	\$ -	67	\$ 1,474.00	67	\$ 1,474.00
2.	10" RCP Storm Sewer, Type 1 w/ Gasketed Joints	LF	\$ 23.00	0	\$ -	0	\$ -	0	\$ -	68	\$ 1,564.00	68	\$ 1,564.00
3.	12" RCP Storm Sewer, Type 1	LF	\$ 26.00	0	\$ -	0	\$ -	0	\$ -	213	\$ 5,538.00	213	\$ 5,538.00
4.	12" DIP Storm Sewer, Class 50	LF	\$ 60.00	0	\$ -	0	\$ -	0	\$ -	9	\$ 540.00	9	\$ 540.00
5.	42" ADS Storm Sewer, N12 (Perforated) with Filter Fabric and CA-1	LF	\$ 150.00	0	\$ -	0	\$ -	0	\$ -	99	\$ 14,850.00	99	\$ 14,850.00
6.	Inlet, Type "A" - 2' Diameter with R2502 Frame & Grate	EA	\$ 650.00	0	\$ -	0	\$ -	0	\$ -	2	\$ 1,300.00	2	\$ 1,300.00
7.	Inlet, Type "A" - 2' Diameter with R4340-B Frame & Grate	EA	\$ 650.00	0	\$ -	0	\$ -	0	\$ -	1	\$ 650.00	1	\$ 650.00
8.	Inlet, Type "A" - 3' Diameter with R4340-B Frame & Grate	EA	\$ 800.00	0	\$ -	0	\$ -	0	\$ -	2	\$ 1,600.00	2	\$ 1,600.00
9.	Manhole, Type A - 4' Diameter with Neenah R-1772-C Frame & Lid	EA	\$ 1,800.00	0	\$ -	0	\$ -	0	\$ -	1	\$ 1,800.00	1	\$ 1,800.00
10.	Catch Basin, Type "A" - 5' Diameter with R-2502 Frame & Grate	EA	\$ 2,400.00	0	\$ -	0	\$ -	0	\$ -	1	\$ 2,400.00	1	\$ 2,400.00
11.	Manhole, Type A - 5' Diameter with Neenah R-3278-I Frame & Grate	EA	\$ 2,300.00	0	\$ -	0	\$ -	0	\$ -	1	\$ 2,300.00	1	\$ 2,300.00
12.	Manhole, Type A - 5' Diameter with Neenah R-2502 Frame & Grate	EA	\$ 2,200.00	0	\$ -	0	\$ -	0	\$ -	1	\$ 2,200.00	1	\$ 2,200.00
13.	Trench Backfill	CY	\$ 20.00	0	\$ -	0	\$ -	0	\$ -	66	\$ 1,320.00	66	\$ 1,320.00
Sub-Total Storm Sewer					\$ -		\$ -		\$ -		\$ 37,536.00		\$ 37,536.00
Paving													
1.	Fine Grading	SY	\$ 1.50	0	\$ -	0	\$ -	0	\$ -	1342	\$ 2,013.00	1342	\$ 2,013.00
2.	10" Aggregate Base Course, Type B (CA-6)	SY	\$ 15.00	0	\$ -	0	\$ -	0	\$ -	1165	\$ 17,475.00	1165	\$ 17,475.00
3.	2-1/4" Bituminous Concrete Binder Course - HMA, IL-19, N50	TON	\$ 70.00	0	\$ -	0	\$ -	0	\$ -	151	\$ 10,570.00	151	\$ 10,570.00
4.	1-1/2" Bituminous Concrete Surface Course - HMA, IL-9.5, N50	TON	\$ 75.00	0	\$ -	0	\$ -	0	\$ -	101	\$ 7,575.00	101	\$ 7,575.00
5.	B6 Concrete Curb with 4" Aggregate Base (CA-6)	LF	\$ 12.00	0	\$ -	0	\$ -	0	\$ -	61	\$ 732.00	61	\$ 732.00
6.	Combination B6.12 Concrete Curb and Gutter with 4" Aggregate Base (CA-6)	LF	\$ 15.00	26	\$ 390.00	0	\$ -	0	\$ -	487	\$ 7,305.00	513	\$ 7,695.00
7.	Bituminous Pavement Removal and Flexible Pavement Patch	SY	\$ 60.00	20	\$ 1,200.00	0	\$ -	0	\$ -	15	\$ 900.00	35	\$ 2,100.00
8.	8" Portland Cement Concrete Apron, with 4" Stone Base	SY	\$ 50.00	0	\$ -	0	\$ -	0	\$ -	57	\$ 2,850.00	57	\$ 2,850.00
9.	Concrete Sidewalk Removal	SF	\$ 4.00	122	\$ 488.00	250	\$ 1,000.00	514	\$ 2,056.00	914	\$ 3,656.00	1800	\$ 7,200.00
10.	Concrete Curb and Gutter Removal	LF	\$ 14.00	26	\$ 364.00	0	\$ -	0	\$ -	107	\$ 1,498.00	133	\$ 1,862.00
11.	Detectable Warning	EA	\$ 150.00	2	\$ 300.00	0	\$ -	0	\$ -	4	\$ 600.00	6	\$ 900.00
12.	4" PCC Sidewalk, with 2" Stone Base	SF	\$ 4.50	122	\$ 549.00	250	\$ 1,125.00	514	\$ 2,313.00	2831	\$ 12,739.50	3717	\$ 16,726.50
13.	Pavers - Complete	LS	\$ 3,000.00	0	\$ -	0	\$ -	0	\$ -	1	\$ 3,000.00	1	\$ 3,000.00
Sub-Total Paving					\$ 3,291.00		\$ 2,125.00		\$ 4,369.00		\$ 70,913.50		\$ 80,698.50
Miscellaneous													
1.	Landscaping Including Minor Landscape Wall & Planter Boxes	LS	\$ 30,000.00	0%	\$ -	0%	\$ -	0%	\$ -	100%	\$ 30,000.00	1	\$ 30,000.00
2.	Pedestrian Lights - Complete	LS	\$ 8,000.00	0%	\$ -	0%	\$ -	0%	\$ -	100%	\$ 8,000.00	1	\$ 8,000.00
3.	Traffic Control	LS	\$ 10,000.00	13%	\$ 1,300.00	14%	\$ 1,400.00	29%	\$ 2,900.00	44%	\$ 4,400.00	1	\$ 10,000.00
4.	IEPA Watermain Permit	LS	\$ 240.00	13%	\$ 31.20	14%	\$ 33.60	29%	\$ 69.60	44%	\$ 105.60	1	\$ 240.00
5.	Construction Staking & Record Drawings	LS	\$ 4,000.00	13%	\$ 520.00	14%	\$ 560.00	29%	\$ 1,160.00	44%	\$ 1,760.00	1	\$ 4,000.00
Sub-Total Miscellaneous					\$ 1,851.20		\$ 1,993.60		\$ 4,129.60		\$ 44,265.60		\$ 52,240.00
Total Improvement Cost					\$ 20,438.20		\$ 11,808.60		\$ 22,892.60		\$ 214,266.10		\$ 269,405.50
W.C.M. Cost = 50% Section A + 50% Section C + Section D													\$ 235,931.50
City Cost = 50% Section A + Section B + 50% Section C													\$ 33,474.00

BILL OF SALE

Seller, Washington Capital Management, LLC., of 30 W. Jefferson Street, Suite 200, Naperville, IL 60540, in consideration of \$1.00, receipt whereof is hereby acknowledged, does hereby sell, assign, transfer and set over the buyer, City of Naperville, an Illinois municipal corporation, at 400 South Eagle Street, Naperville, Illinois 60540, the following described personal property to wit:

All public watermain improvements associated with The Washington located on Washington Street between the southern property line of 720 N. Washington Street and 8th Avenue, as shown on the approved engineering plans.

Seller hereby represents and warrants to Buyer that Seller is the absolute owner of said property, that said property is free and clear of all liens, charges and encumbrances, and that Seller has full right, power and authority to sell said personal property and to make this Bill of Sale.

If this Bill of Sale is signed by more than one person, all persons so signing shall be jointly and severally bound hereby.

In Witness Whereof, Seller has signed and sealed this bill of sale at _____

this _____ day of _____, 2017

Seal

Seal

State of _____

County of _____

I, _____, a notary public in and for said

County, in the State aforesaid, DO HEREBY CERTIFY that

Personally known to me to be the same person whose name subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that he signed, sealed and delivered the said instrument at this free and voluntary act, for the uses and purposed therein set forth. GIVEN under my hand and official seal this _____ day of _____, 2017

Commission Expires _____