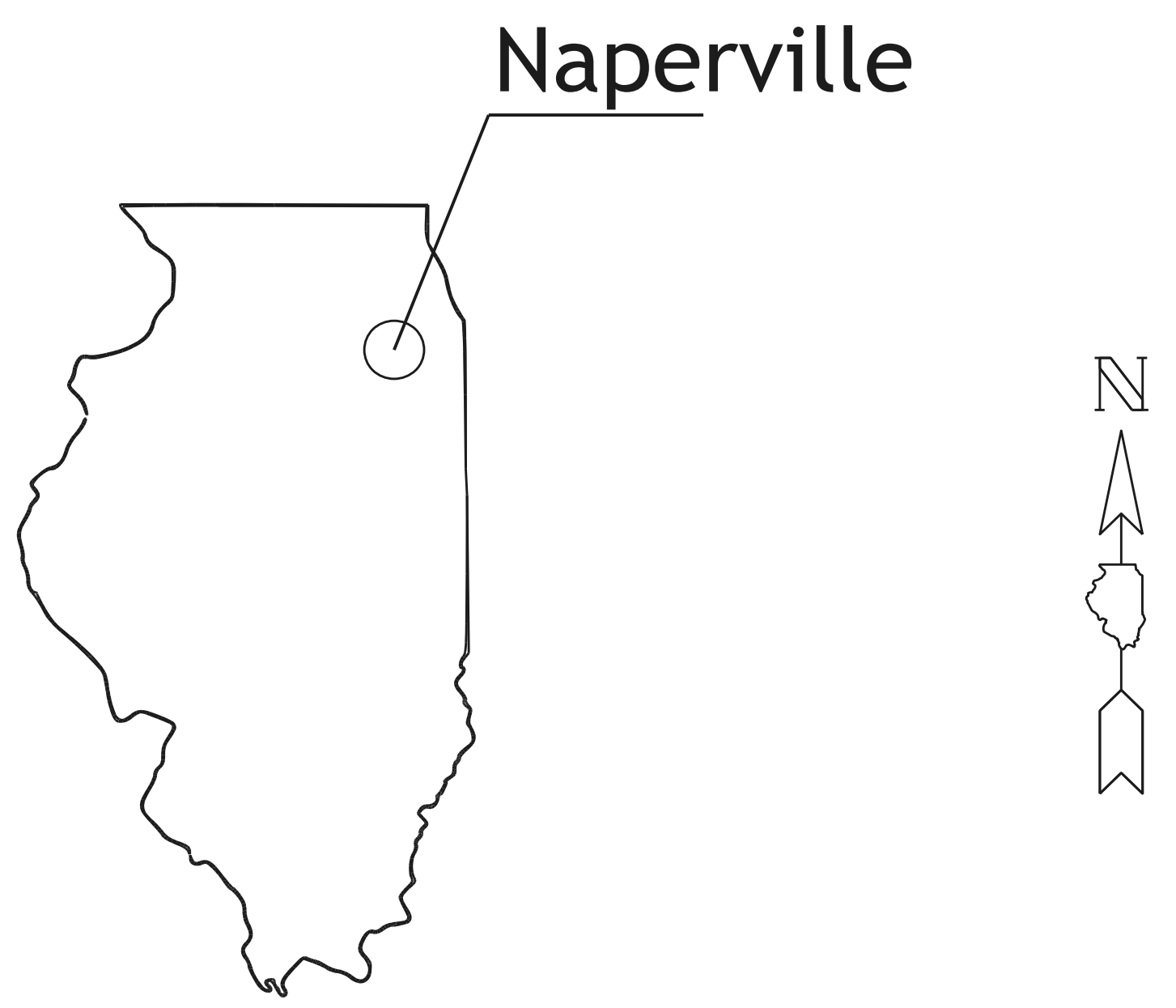


Final Site Plan

Commercial Development

1936 Springbrook Square Dr., Naperville,
Illinois, DuPage County, 60564



Index of sheets:

- C1 - Cover Sheet
- C2 - Site Plan
- C3 - Drainage Plan
- C4 - Erosion Control Plan
- C5 - Utility Plan
- C6 - General Notes
- C7 - Details
- C8 - Details
- C9 - Landscaping Plan

Civil Engineer:
Val Lykholap
Fluenta Consulting
201 E. Lakeside Dr.
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Tel: (773)-349-5881

Client:
AM Realty
4117 W. Oakton St.
Skokie, IL 60076
Tel: (847)626-0500

BENCHMARKS

REFERENCE BENCHMARK:
NAPERVILLE BENCHMARK STATION 1003

BERNSTEIN 3D TOP SECURITY MONUMENT,
CONSISTING OF A 9/16" DIA. STAINLESS STEEL
DATUM POINT ON THREADED 9/16" X 4' LONG ROD
TOTALING (16') IN LENGTH WITH GREASED TOP
SECURITY SLEEVE ENCLOSED IN SAND AND 6" PVC
PIPE WITH BMAC 6 ALUMINUM ACCESS COVER.

DATUM: NAVD 88
ELEVATION = 691.88

SITE BENCHMARKS:

SITE BENCHMARK #1

SOUTHWEST BOLT WITH TAG ON FIRE HYDRANT
NEAR SOUTHEAST CORNER OF SITE


ELEVATION = 694.01

SITE BENCHMARK #2

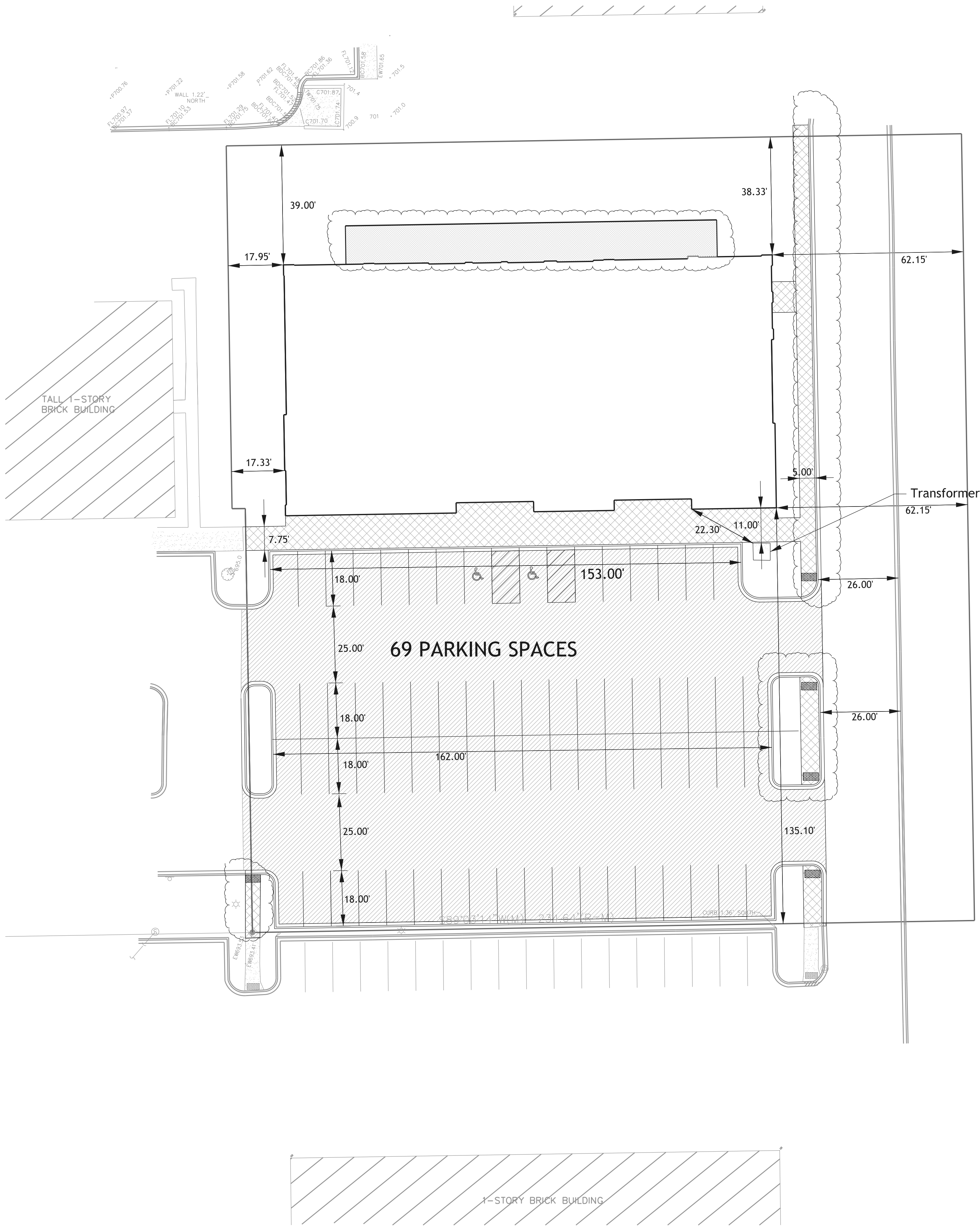
NORTHWEST BOLT WITH TAG ON FIRE HYDRANT AT
NORTH SIDE OF SITE

ELEVATION = 698.27



By 
January 28, 2025
Illinois Professional Engineer
Certificate No. 062.067021
Expiration date: 11-30-2025

<table><tr><th>No.</th><th>Revision/Issue</th><th>Date</th></tr><tr><td>2</td><td>Village Revision</td><td>10/13/24</td></tr><tr><td>3</td><td>Village Revision</td><td>10/28/24</td></tr><tr><td>4</td><td>Village Revision</td><td>01/28/25</td></tr></table>			No.	Revision/Issue	Date	2	Village Revision	10/13/24	3	Village Revision	10/28/24	4	Village Revision	01/28/25	Commercial Development 1936 Springbrook Square Dr., Naperville			Fluenta Consulting 201 E. Lakeside Dr., Vernon Hills, IL 60061 Tel: 773-349-5881	<table><tr><td>Project</td></tr><tr><td>Date</td></tr><tr><td>Scale</td></tr></table>	Project	Date	Scale	Sheet C1
No.	Revision/Issue	Date																					
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Scale																							



LEGEND

- PROPOSED CONCRETE SURFACE
- PROPOSED BITUMINUS SURFACE
- PROPOSED PERMEABLE PAVERS
- CURB AND GUTTER
- EXISTING CURB AND GUTTER
- TRASH ENCLOSURE FENCE

Building Area:

Bar and Dining	-	1200 SF
Public Dining	-	600 SF
Men Rest-Dining	-	800 SF
Women Rest-Dining	-	500 SF
Total: 31 Spaces		
Spa/Service	-	8641 SF
Total: 35 Spaces		

GENERAL NOTES:

1. ALL CURB AND GUTTER TO BE B6:12 CURB & GUTTER UNLESS OTHERWISE SPECIFIED, SEE DETAIL.
2. ALL PROPERTY AREAS AND DIMENSIONS ARE APPROXIMATE AND SUBJECT TO CHANGE PER FINAL SURVEY.
3. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
5. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL EXISTING PAVEMENT DAMAGED DURING CONSTRUCTION WHICH IS NOT CALLED OUT ON A DEMOLITION PLAN
7. ALL EXISTING CONDITIONS SHOWN ON THE PLANS ARE PER SURVEY.
8. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BEFORE START OF CONSTRUCTION. IF ANY DISCREPANCIES EXIST NOTIFY THE ENGINEER AT ONCE
9. SITE BOUNDARY LINES, BOUNDARY DIMENSIONS AND BOUNDARY BEARINGS ARE FOR REFERENCE ONLY. ACTUAL SITE CONDITIONS MAY VARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING THE SITE AND FIELD VERIFYING ACTUAL GRADES, ELEVATIONS, DIMENSIONS AND DECLINATIONS.
10. THE CONTRACTOR SHALL CALL THE UTILITY LOCATING SERVICE AND HAVE THEM MARK THE LOCATION OF EXISTING UTILITIES AT LEAST TWO WORKING DAYS PRIOR TO BEGINNING OF WORK.
11. CONTRACTOR SHALL NOT INTERRUPT CURRENT TRAFFIC ACCESS PATTERNS TO EXISTING ADJACENT PROPERTIES MAINTAIN ACCESS FOR FIRE DEPARTMENT AND DELIVERY VEHICLES.
12. CONTRACTOR SHALL ERECT AND MAINTAIN BARRICADES, WARNING SIGNS AND TRAFFIC CONES PER LOCAL REQUIREMENTS. TRAFFIC CONTROL MEASURES SHALL BE APPROVED BY LOCAL JURISDICTION AND IN PLACE PRIOR TO CONSTRUCTION.
13. CONTRACTOR SHALL PERFORM THE WORK IN A WORKMANLIKE MANNER IN STRICT CONFORMANCE WITH THE BEST STANDARD PRACTICES USING QUALIFIED WORKER AND IN STRICT ACCORDANCE WITH THE DRAWING AND SPECIFICATIONS. ALL WORK SHALL MEET THE CODE REQUIREMENTS CURRENTLY ADOPTED BY GOVERNING AUTHORITY.
14. BUILDING DIMENSIONS AND STAKING OF BUILDING MUST BE VERIFIED BY GENERAL CONTRACTOR WITH PLANS PRIOR TO CONSTRUCTION.
15. EQUIPMENT AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURE'S RECOMMENDATIONS.
16. A HANDICAP RAMP SHALL BE INSTALLED AT ALL LOCATIONS WHERE A SIDEWALK ABUTS A DRIVE, CROSSWALK, OR OTHER PEDESTRIAN ACCESS LOCATION AS WELL AS ALL OTHER LOCATIONS NOTED ON PLANS.
17. CONTRACTOR SHALL REPAIR ANY EXISTING PAVEMENT, CONCRETE, LANDSCAPING ETC. DAMAGED DURING CONSTRUCTION.

IMPERVIOUS AREA CALCULATIONS:

TOTAL LOT AREA : 60475.35 SF RECORD

	EXISTING	PROPOSED
BUILDING AREA	= 0.00 SF	12741.19 SF
PARKING AREA	= 0.00 SF	20339.56 SF
SIDEWALK AREA	= 0.00 SF	3151.71 SF
PATIO AREA	= 0.00 SF	1515.29 SF
CURB AREA	= 383.38 SF	1127.11 SF
ROAD AREA	=6138.22 SF	6138.22 SF

IMPERVIOUS TOTAL	=	6521.60 SF	45013.08 SF
PERVIOUS TOTAL	=	53953.75 SF	15462.27 SF
NNI = 38491.48 SF			

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Commercial Development
1936 Springbrook Square Dr., Naperville

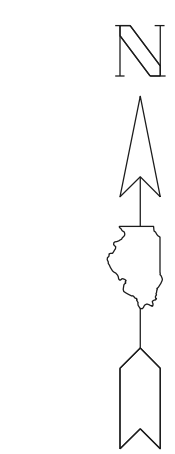
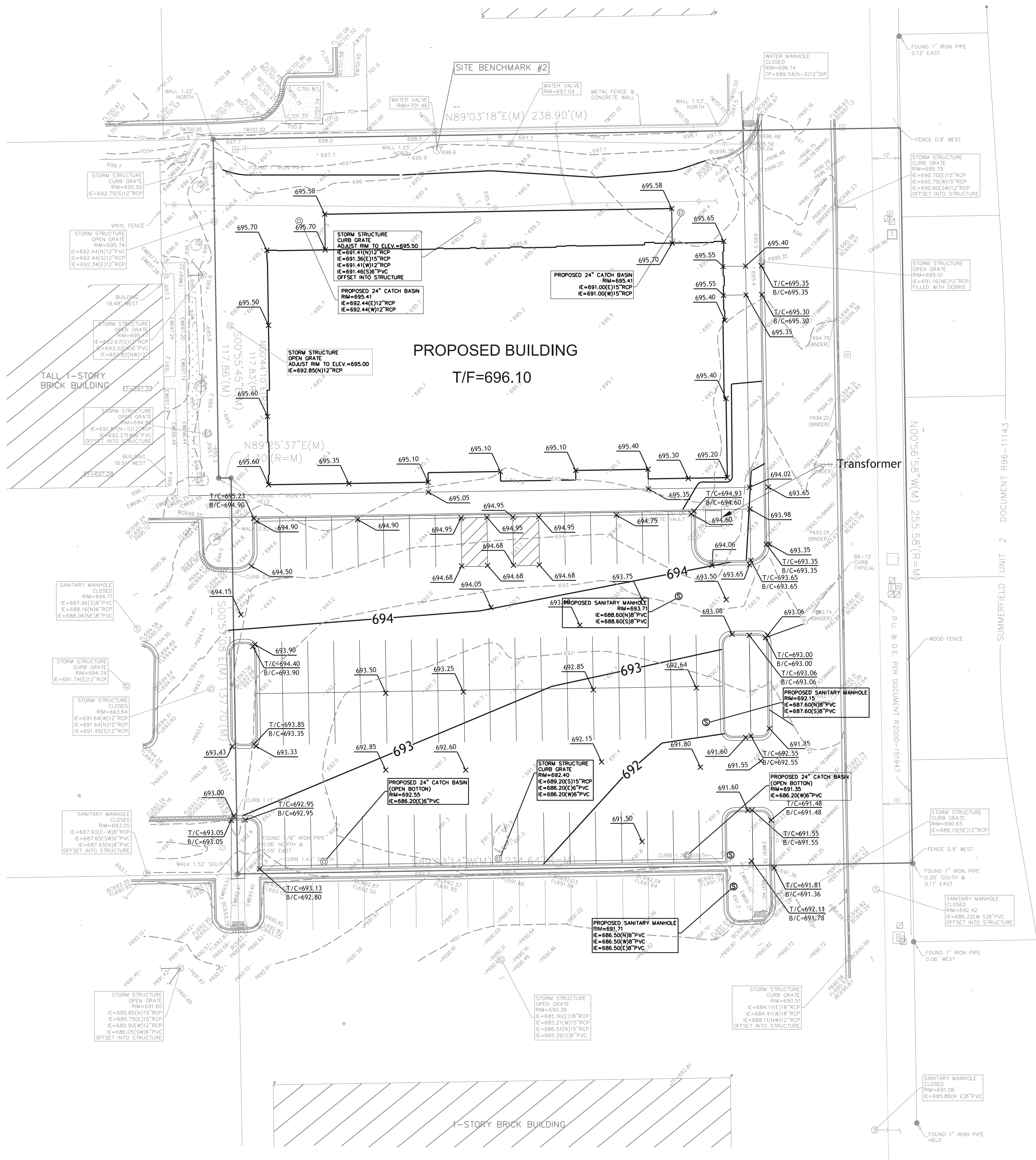
Site Plan



Fluenta Consulting
201 E. Lakeside Dr.,
Vernon Hills, IL 60061
Tel: 773-349-5881

Project
Date
Scale 1" = 20'

Sheet
C2



LEGEND

- 684 PROPOSED ELEVATION
- 682.47 EXISTING ELEVATION
- 609 EXISTING CONTOUR
- 781 PROPOSED CONTOUR
- DRAINAGE FLOW
- SILT FENCE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING SANITARY SEWER
- PROPOSED STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING STORM MANHOLE
- EXISTING STORM CATCH BASIN
- EMERGENCY OVERFLOW ROUTE
- EXISTING FIRE HYDRANT
- INLET BASKET PROTECTION
- H/P HIGH POINT
- T/R TOP OF RAMP
- B/R BOTTOM OF RAMP
- VOLUME CONTROL AREA
- CLEANOUT

DRAINAGE NOTES:

1. GRADING CONTRACTOR SHALL VERIFY EXISTING CONTOURS AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
2. THE GRADING CONTRACTOR SHALL REMOVE EXCESS SOIL FROM THE SITE AND DISPOSE OF LEGALLY.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PUT IN PLACE ALL SOIL EROSION PREVENTION DEVICES SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND ENGINEER IN WRITING ON ANY ADDITIONAL SOURCES OF STORM WATER POLLUTION OBSERVED DURING CONSTRUCTION AND THE ADDITIONAL COSTS REQUIRED TO PREVENT THE ADDITIONAL POLLUTION.
5. THE CONTRACTOR SHALL MAINTAIN ALL STORM WATER POLLUTION DEVICES THROUGHOUT CONSTRUCTION AND UNTIL ALL UNFRAMED OR NON BUILDING AREAS HAVE A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70 PERCENT OR GREATER. MAINTENANCE INCLUDES WEEKLY INSPECTIONS OR AN INSPECTION FOLLOWING A RAINFALL OF 1/2 INCH IN 24 HOUR PERIOD. THE CONTRACTOR MUST SUBMIT A COPY OF THE REPORT ON THE CONSTRUCTION SITE UNTIL THE REQUIRED VEGETATION COVER IS IN PLACE.
6. IF ADDITIONAL EROSIONAL CONTROL MEASURES NOT SHOWN ON THE PLANS ARE REQUIRED TO STOP OR PREVENT EROSION OR ARE REQUIRED BY ANY AUTHORITY HAVING JURISDICTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL SUCH REQUIRED DEVICES. THE OWNER OR ENGINEER SHALL BE NOTIFIED OF THE ADDITIONAL WORK AND COST PRIOR TO THE INSTALLATION.
7. GRADING CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF UNSUITABLE SOIL IS ENCOUNTERED. CONTRACTOR SHALL REMOVE AND REPLACE UNSUITABLE MATERIAL AS DIRECTED BY SOILS ENGINEER.
8. GRADING CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO PAVING. ENGINEER SHALL APPROVE GRADING PRIOR TO PAVING. GRADING CONTRACTOR SHALL MAKE CHANGES AS DIRECTED BY ENGINEER.
9. EXISTING UTILITY LOCATIONS AND ELEVATIONS AS SHOWN ARE FOR INFORMATION ONLY AND ARE NOT NECESSARILY EXCLUSIVE. CONTRACTOR SHALL VERIFY UTILITIES WHERE POSSIBLE AND NOTIFY ENGINEER OF DISCREPANCIES, EXCEPTIONS, OR OMISSIONS AS SOON AS POSSIBLE.
10. ADJUSTMENT TO PAVEMENT SHOULD BE MADE TO INSURE POSITIVE DRAINAGE.
11. PROPOSED ELEVATIONS ALONG CURB ARE GUTTER FLAG ELEVATIONS.

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Commercial Development
1936 Springbrook Square Dr., Naperville

Drainage Plan



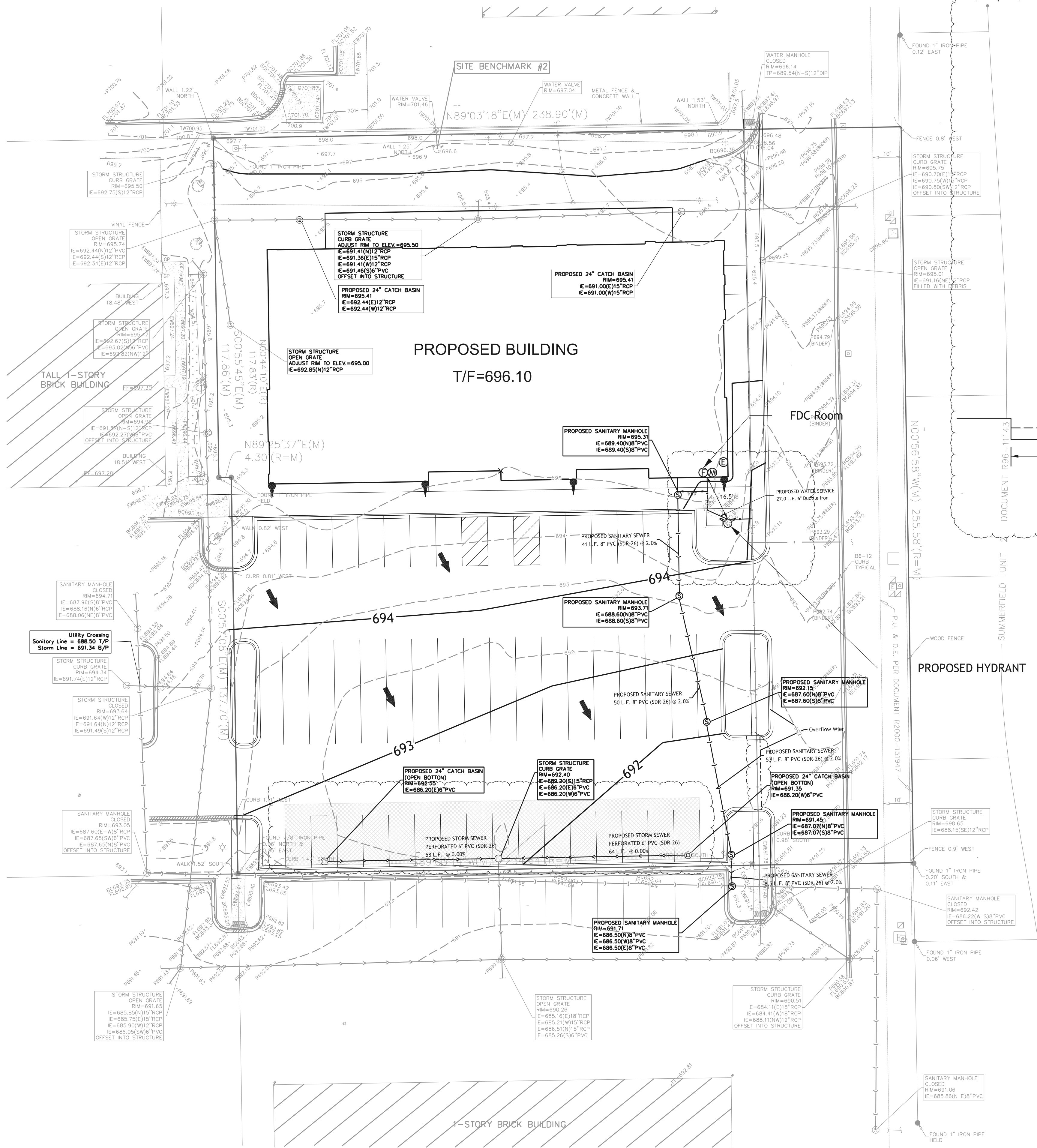
Fluenta Consulting
201 E. Lakeside Dr.,
Vernon Hills, IL 60061
Tel: 773-349-5881

Project
Date
Scale 1" - 20'

Sheet
C3



C4



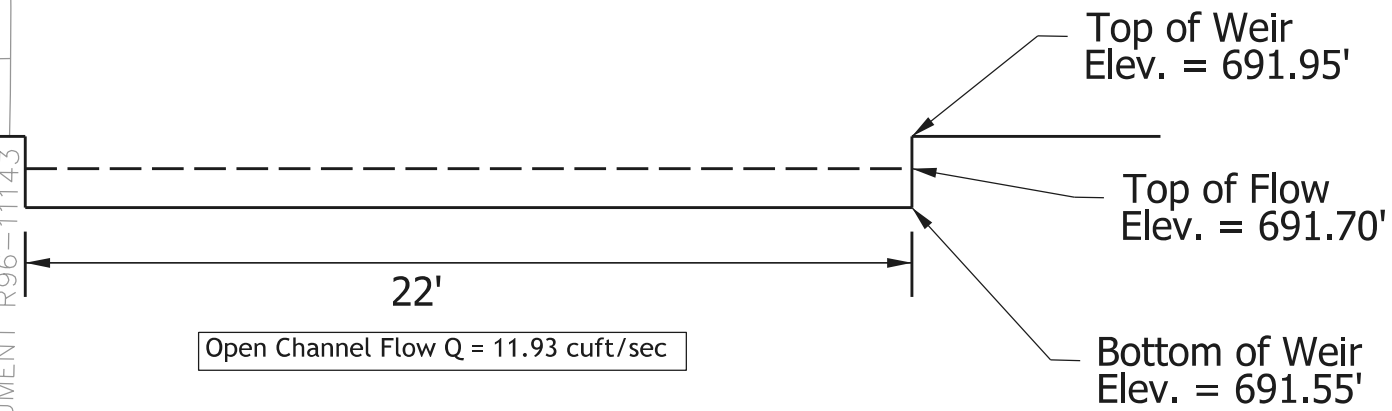
OVERFLOW SUMMARY

SUMMARY:
TOTAL PROPERTY OWNERSHIP = 1.39 AC
TOTAL DEVELOPMENT AREA = 1.39 AC.
AREA TRIBUTARY TO BASIN = 1.39 AC.
PROPOSED PERVIOUS AREA = 0.48 AC.
PROPOSED IMPERVIOUS AREA = 0.91 AC.

TIME OF CONCENTRATION CALCULATIONS:
MAXIMUM FLOW LENGTH USED=100FT
TC TRIBUTARY TO BASINS= 5.0 MIN

Time of Concentration = 9.20 min
Rainfall Intensity = 11.34 in/hr
Runoff Coefficient = 0.75
Existing Q = 11.79 cuft/sec

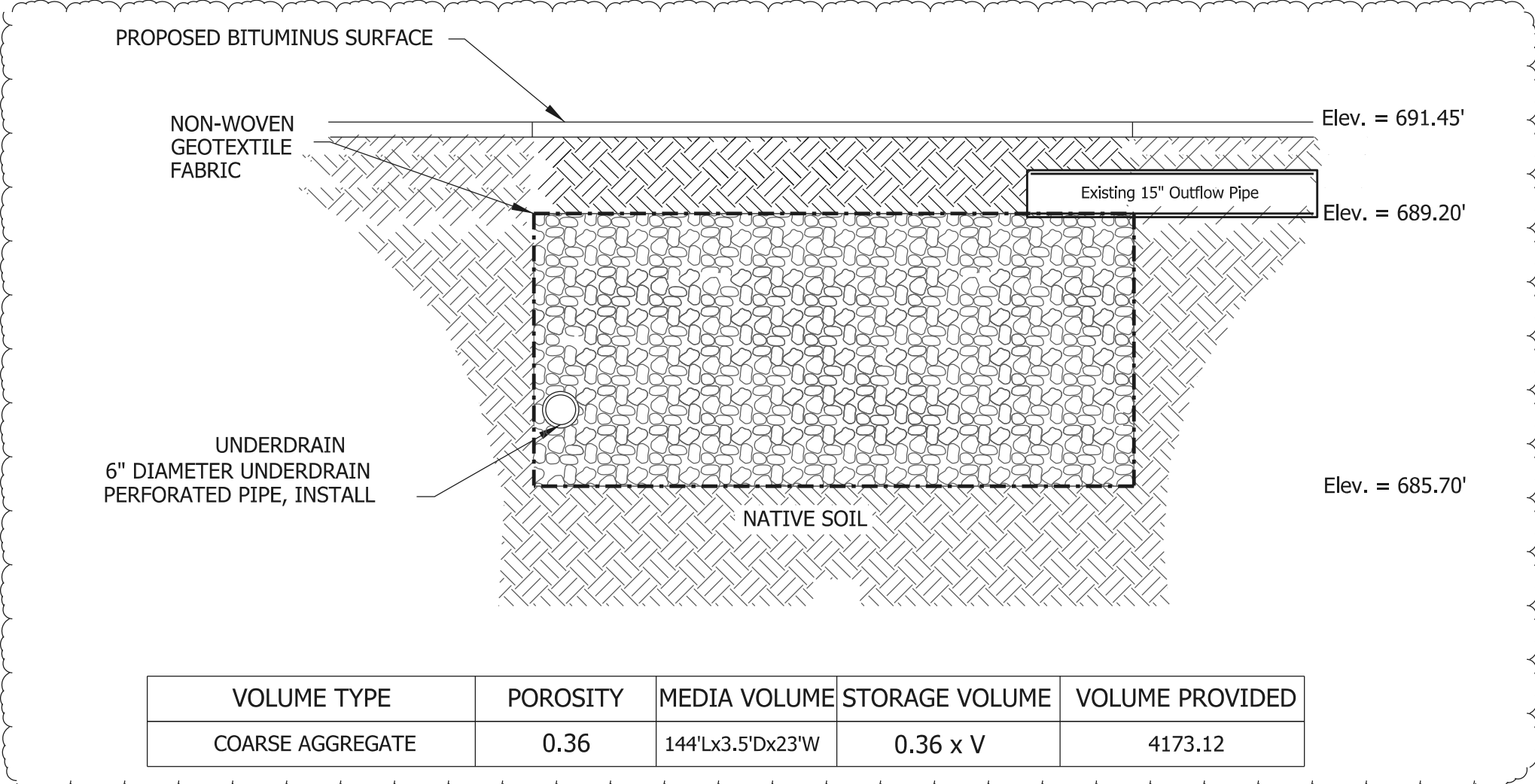
Overflow Weir



STORAGE VOLUME:

STORAGE VOLUME CALCULATION:
NEW IMPERVIOUS AREA = 38491.48 SF
PRECIPITATION = 1.25"
(38491.48 SF X 1.25" / 12) = 4009.52 CF

Volume Control Storage (Typ.)



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Commercial Development
1936 Springbrook Square Dr., Naperville

Utility Plan



Fluenta Consulting
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Tel: 773-349-5881

Project
Date
Scale 1" = 10'

Sheet
C5

GENERAL NOTES & SPECIFICATIONS:

1. ALL UTILITY AND CONDUIT TRENCHES SHALL BE BACKFILLED WITH IDOT CA-7 BACKFILL WHEN ANY PORTION OF THE TRENCH IS WITHIN 5' OF PROPOSED AND EXISTING PAVEMENT, SIDEWALK, CURB & GUTTER OR DRIVEWAYS..
2. ALL UNDERGROUND CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE 2014 "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", ILLINOIS MUNICIPAL LEAGUE, LATEST EDITION, EXCEPT AS MAY BE MODIFIED BY PROJECT PLANS AND SPECIFICATIONS.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR DUPAGE COUNTY. EACH CONTRACTOR SHALL BE PROVIDED WITH THE APPLICABLE SECTIONS OF THIS SPECIFICATION IN THE BID PACKAGE.
4. ALL ELEVATIONS SHOWN ARE USGS DATUM.
5. DUPAGE COUNTY BUILDING AND ENGINEERING DEPARTMENT SHALL BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE START CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ALL JURISDICTIONAL AGENCIES AND ALL UTILITY COMPANIES WITH FACILITIES THAT MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION, AND ENSURING THAT ALL UNDERGROUND LINES ARE LOCATED, PRIOR TO COMMENCING CONSTRUCTION.
6. ALL WORK TO MEET ALL STATE AND LOCAL CODES.
7. THE CONTRACTOR(S) SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC. FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION AND TESTING OF THE WORK ON THIS PROJECT.
8. ALL WORK SHALL COMPLY WITH THE IEPA "STANDARD SPECIFICATION FOR SOIL EROSION AND SEDIMENT CONTROL 2011 EDITION." THE CONTRACTOR SHALL TAKE WHATEVER STEPS ARE NECESSARY TO CONTROL EROSION ON THE SITE. EROSION CONTROL FEATURES SHALL BE CONSTRUCTED CONCURRENTLY WITH OTHER WORK ON THE SITE. THE CONTRACTOR SHALL TAKE SUFFICIENT PRECAUTIONS TO PREVENT POLLUTION OF STREAMS, LAKES AND RESERVOIRS WITH FUELS, OILS, BITUMS, CALCIUM CHLORIDE OR OTHER HARMFUL MATERIALS. HE SHALL CONDUCT AND SCHEDULE HIS OPERATIONS SO AS TO AVOID OR MINIMIZE SILTATION OF STREAMS, LAKES AND RESERVOIRS. HAULING WILL NOT BE ALLOWED WHEN THE WORK SITE IS TOO WET TO MAINTAIN ACCEPTABLE CONDITIONS ON ADJACENT STREETS. ADJACENT STREETS AND DRIVEWAYS SHALL BE MANUALLY OR MECHANICALLY SWEEP PERIODICALLY AS MAY BE RESPONSIBLE FOR REMOVING SEDIMENT RESULTING FROM THIS PROJECT FROM STORM SEWERS AND DRAINAGE STRUCTURES AT NO ADDITIONAL COST.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLIANCE WITH ALL OF THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT INCLUDING THOSE REQUIREMENTS FOR OPEN CUT TRENCHES AND SHEETING AND BRACING AS REQUIRED. AT NO TIME WILL THE ENGINEER OR ANY OF HIS EMPLOYEES BE HELD LIABLE, EITHER DIRECTLY OR AS THIRD PARTY PARTICIPANTS TO ANY LITIGATION CONCERNED WITH CONSTRUCTION PROJECT.
10. AREAS OF PAVEMENT FAILURE REQUIRE FULL DEPTH PATCHING.

FIRE DEPARTMENT NOTES & SPECIFICATIONS:

1. ENSURE THAT THE DRIVABLE PAVEMENT, SERVICING AS FD ACCESS DRIVE/LANE, HAS A MINIMUM WIDTH OF 20 FEET WITH A CLEAR HEIGHT OF 13 FEET/ 6 INCHES. (IFC 503.2.1)
2. ENSURE PARKING SPACES TO NOT ENCROACH ON APPARATUS ACCESS ROAD/LANE. TRUCK TURNING RADIUS SUBJECT TO FIELD TEST ON SITE. (CALL FIRE DISTRICT FOR TURNING RADIUS INFORMATION).
3. FIRE APPARATUS ACCESS ROAD/LANE MUST BE OPERATIONAL PRIOR TO THE INITIATION OF CONSTRUCTION. PLEASE CONTACT FIRE DISTRICT FOR SITE INSPECTION. (IFC 1410.1)
4. APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON SITE. (IFC 1412.1)
5. WHERE A FIRE HYDRANT IS LOCATED ON A FIRE APPARATUS ACCESS ROAD/LANE, THE MINIMUM ROAD WIDTH SHALL BE 26 FEET. (IFC D103.1)

TRAFFIC CONTROL NOTES & SPECIFICATIONS:

1. THE CONTRACTOR IN ACCORDANCE WITH I.D.O.T. STANDARDS SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL AND SIGNS.
2. THE CONTRACTOR SHALL MAINTAIN TEMPORARY ACCESS TO ALL ROADWAYS AND DRIVEWAYS DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY HOMEOWNERS AT LEAST 24 HOURS IN ADVANCE OF TEMPORARY OPEN CUTS REQUIRED TO NSTALL UTILITIES ACROSS DRIVEWAYS.

STORM SEWER NOTES & SPECIFICATIONS:

1. THERE SHALL BE A MAXIMUM OF 2 ADJUSTING RINGS WITH A MAXIMUM TOTAL HEIGHT OF 6".
2. ANY ADJUSTMENT IN PAVED AREAS SHALL USE PREFORMED RUBBER ADJUSTING RINGS, WHICH ARE 3" OR LESS IN THICKNESS.
3. CONNECTION TO EXISTING STORM SEWER STRUCTURES SHALL BE DONE BY CORING THE CONCRETE BARREL SECTION.
4. PRECAST CONCRETE SECTIONS FOR MANHOLES, CATCH BASINS, INLETS SHALL MEET ASTM C 478.
5. PRIOR IEPA APPROVAL IS REQUIRED IN ORDER TO CONSTRUCT STORM MAINS OVER WATER MAINS.

General Notes

EARTHWORK & SPECIFICATIONS:

1. ALL TRENCHED IN GREEN / LANDSCAPE AREA SHALL BE BACKFIELD WITH EARTH COMPACTED TO 90%. A MINIMUM OF 6"OF TOPSOIL SHALL BE PROVIDED IN GREEN / LANDSCAPE AREAS. TRENCHES IN ALL PAVED AREAS, CURBED, AND SIDEWALK AREAS SHALL BE BACK FILLED WITH APPROVED ENGINEERING BACKFILL COMPACTED AS 95% MODIFIED PROCTOR.
2. ALL DISTURBED AREAS SHALL BE RESTORED AND POSITIVE DRAINAGE MUST BE MAINTAINED.
3. ALL LANDSCAPING MUST BE RESTORED TO ITS ORIGINAL CONDITION. REPLACEMENT OF ALL BLACK DIRT, SEED, TREES, BUSHES, ETC. SHALL BE PROVIDED BY THE CONTRACTOR AND GUARANTEED FOR ONE YEAR FOLLOWING FINAL INSPECTION BY THE LOCAL GOVERNMENTAL AGENCY HAVING JURISDICTION. GUARANTEE SHALL INCLUDE REPAIR OF TRENCH SETTLEMENTS AS NEEDED TO BRING TRENCH TO ORIGINAL GRADE.
4. EXISTING DRAINAGE PATTERNS SHALL BE RESTORED FOLLOWING CONSTRUCTION. POSITIVE DRAINAGE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
5. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALK, CURBS, PAVEMENTS, DRIVEWAYS, AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
6. AFTER STRIPPING AND ROUGH GRADING IS COMPLETED, THE EXPOSED SUB GRADE SHOULD BE PROOF ROLLED. PROOF ROLLING MAY BE ACCOMPLISHED WITH A FULLY LOADED, TANDEM-AXLE DUMP TRUCK OR OTHER EQUIPMENT PROVIDING AN EQUIVALENT SUB GRADE LOADING. STATE EROSION CONTROL MEASURES MUST BE IMPLEMENTED AND MAINTAINED THROUGHOUT CONSTRUCTION.
7. CONTRACTOR SHALL PROVIDE DUST CONTROL DURING SITE WORK DEMOLITION OR REMOVAL. CONTRACTOR SHALL CONTROL DUST CREATED FROM ON-SITE CONSTRUCTION AND ASSOCIATED TRAFFIC USING WATER OR OTHER APPROVED MEANS.
8. PROTECT TREES, PLANT GROWTH, AND FEATURES DESIGNATED TO REMAIN AS FINAL LANDSCAPING. CONSTRUCTION EQUIPMENT SHALL NOT TRAVEL UNDER DRIP LINES OF TREES TO BE PROTECTED.
9. PROTECT BENCHMARKS FROM DAMAGE OR DISPLACEMENT.
10. REMOVE TREES AND SHRUBS, STUMP, AND ROOT SYSTEM TO A MINIMUM DEPTH OF 42 INCHES.
11. MOISTURE CONTROL-WHERE SUBGRADE OR LAYER OF SOIL MATERIAL MUST BE MOISTURE CONDITIONED BEFORE COMPACTION, UNIFORMLY APPLY WATER TO SURFACE OF SUBGRADE OR LAYER OF SOIL MATERIAL. APPLY WATER IN MINIMUM QUANTITY AS NECESSARY TO PREVENT FREE WATER FROM APPEARING ON SURFACE DURING OR SUBSEQUENT TO COMPACTION OPERATIONS.
12. REMOVE AND REPLACE, OR SCARIFY AND AIR DRY, SOIL MATERIAL THAT IS TOO WET TO PERMIT COMPACTION TO SPECIFIED DENSITY
13. STOCKPILE OR SPREAD SOIL MATERIAL THAT HAS BEEN REMOVED BECAUSE IT IS TOO WET TO PERMIT COMPACTION.
6. ALL EXISTING FIELD DRAINAGE TILES ENCOUNTERED OR DAMAGED DURING CONSTRUCTION ARE TO BE RESTORED TO THEIR ORIGINAL CONDITION, PROPERLY REROUTED, AND/OR CONNECTED TO THE STORM SEWER SYSTEM. THE CONTRACTOR SHALL KEEP A RECORD OF ALL LOCATIONS OF FIELD DRAINAGE THE ENCOUNTERED UNLESS OTHERWISE NOTED.
7. ALL UTILITY COMPANY CONDUITS ARE NOT NECESSARILY SHOWN ON THE DRAWINGS AND MUST BE LOCATED IN THE FIELD PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL FIELD VERIFY THE EXISTING CONDITIONS AND NOTIFY FLUENTA CONSULTING OF ANY DISCREPANCIES.
9. CONTRACTOR WILL BE RESPONSIBLE FOR REPAIRING ALL EXISTING PAVEMENT DAMAGED DURING CONSTRUCTION THAT IS NOT SPECIFIED.
10. SUBGRADE PREPARATION FOR ALL PAVEMENTS SHOWN ON THE DRAWINGS SHALL INCLUDE TOPSOIL STRIPPING AND REMOVAL OF ANY UNDERLYING UNSTABLE/ DELETERIOUS MATERIAL. THE PAVEMENT SUBGRADE AND STONE BASE SHALL EACH BE PROOF ROLLED BY A LOADED SEMI DUMP TRUCK. UNSUITABLE MATERIAL IDENTIFIED DURING THE PROOF ROLL SHALL BE REMOVED. FOR THE SUBGRADE, UNDERCUTS SHALL BE FILLED WITH FABRIC AND 3" ROCK.
11. APPLY PRIME COAT UNIFORMLY OVER SURFACE OF COMPACTED AGGREGATE BASE AT A RATE OF 0.40 GAL/SY. APPLY ENOUGH MATERIAL TO PENETRATE AND SEAL, BUT NOT FLOOD SURFACE. ALLOW PRIME COAT TO CURE FOR 72 HOURS MINIMUM.
12. IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO NOTIFY J.U.I.E PRIOR TO PERFORMING ANY EXCAVATIONS.
13. THE CONTRACTOR SHALL PROVIDE THE MUNICIPALITY AND FLUENTA CONSULTING WITH A COMPLETE SET OF RECORD DRAWINGS WITHIN 30 DAYS OF COMPLETION OF THE WORK. DRAWINGS SHALL INCLUDE ELEVATIONS, LOCATION OF OTHER UTILITIES, SERVICES, FIELD TILES, ETC.
14. ALL PROPERTY DIMENSIONS AND AREAS ARE APPROXIMATE AND SUBJECT TO CHANGE PER FINAL SURVEY.
15. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
16. ALL CURB RADI ARE FACE OF CURB UNLESS OTHERWISE NOTED.
17. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
18. CONTRACTORS TO VERIFY DIMENSIONS PRIOR TO STARTING WORK AND NOTIFY ENGINEER IF ANY DISCREPANCIES ARE FOUND.
19. CONTRACTOR TO PROVIDE TEMPORARY TRAFFIC CONTROL MEASURES DURING CONSTRUCTION OF ENTRANCES OF R.O.W. IN ACCORDANCE WITH I. D.O.T. REQUIREMENTS.
20. CONTRACTOR SHALL VERIFY WITH LOCAL MUNICIPALITY OR CONTROLLING JURISDICTION AS TO THE NECESSITY FOR AND REQUIREMENTS RELATING TO THE INSPECTION BY AN APPROVED ON-SITE ENGINEER.
21. SHOULD THE GENERAL NOTES & SPECIFICATIONS OR DETAILS CONFLICT WITH DUPAGE COUNTY GENERAL NOTES & SPECIFICATIONS OR DETAILS THE MOST RESTRICTIVE SPECIFICATION OR DETAIL SHALL DICTATE.

ELECTRICAL NOTES:

The developer SHALL supply the DPU-E engineer with catalog cuts for all CT/meter equipment (including but not limited to meter sockets, PT cabinet, CT cabinet, disconnect cabinet) and transformer pad/vault. The catalog cuts SHALL be approved by DPU-E prior to purchasing.

The CT/meter cabinet SHALL be top fed.

CT/meter equipment are long lead time items and DPU-E shall not be held responsible for delays resulting from non-compliant CT/meter equipment.

Please provide name and contact information for Electrical Contractor for this project.

DPUE will provide, install, and maintain the transformers, all primary (15kV) cable and conduit, and the meters and instrument transformers. DPUE will also make the final connections in the transformers once the inspection is complete and the building is ready to be energized.

The developer is responsible for providing, installing, and maintaining the transformer pad/vault, all service lateral (480V) cable and conduit, the service entrance equipment including the CT/meter cabinet and all banked meter sockets.

The developer SHALL coordinate site construction with DPU-E to allow electric facilities to be installed prior paving and curbing. DPU-E requires 30 working days advance written notice prior to pavement installation to allow for the installation of electric facilities. Grade elevation must be within 4" of final grading before electric facilities can be installed.

Electric facilities SHALL be installed pursuant to Section 8-1C-3 of the City of Naperville Municipal Code, which requires a construction fee payment for installation of electric facilities.

At all times, the Customer shall be solely responsible for maintaining a suitable approach to the meter location, with no obstructions within four (4)' feet of the front and two (2)' feet of the sides of the Meter. Per NAPERVILLE SERVICE RULES AND POLICIES 22.2.F.

Clearance to transformer pad SHALL be 5' from all sides, 10' from front, and the area above must be completely clear of obstruction. No trees, shrubs, or other obstacles will be allowed within this area. Transformer pad SHALL maintain minimum clearance of 20' from egress points. Per DPUE specifications C10-2130 AND C30-0016.

The transformer is located near vehicular traffic. Developer is responsible for providing and installing 8" bollards per DPUE specification C10-2222.

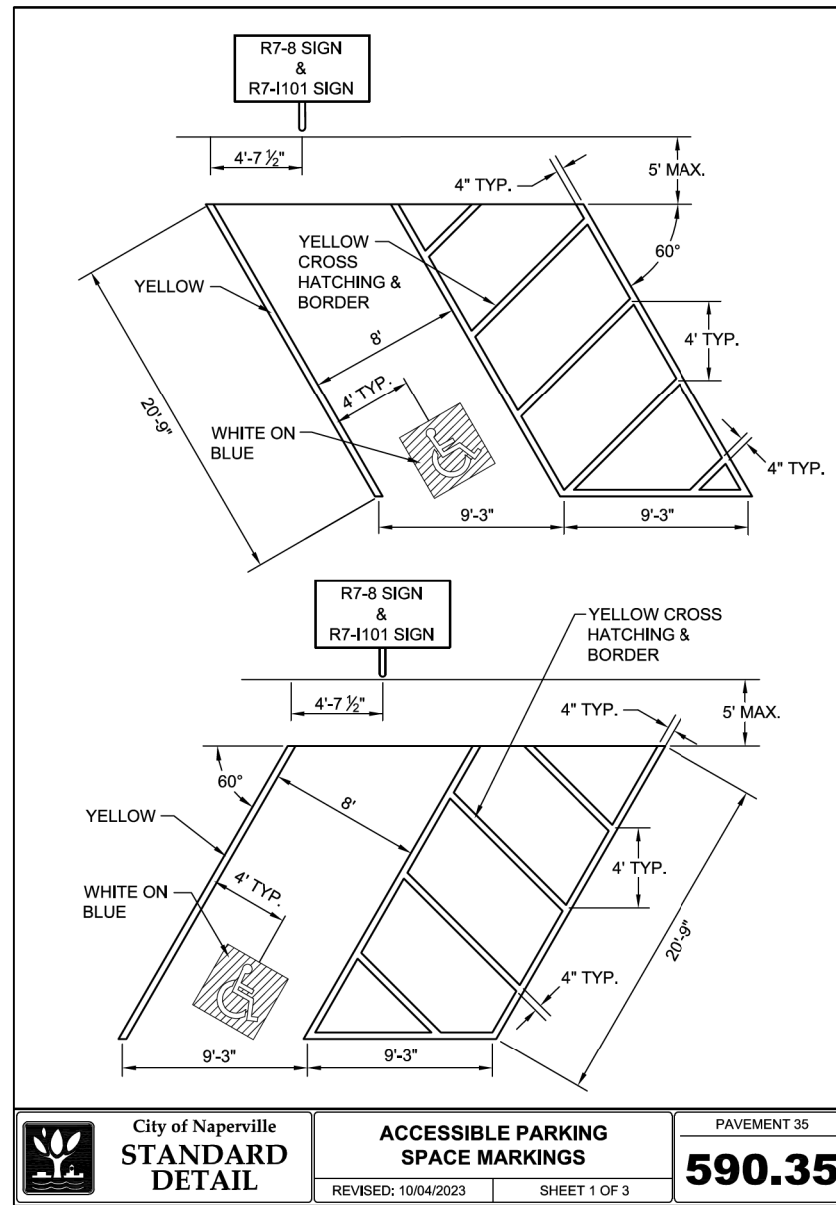
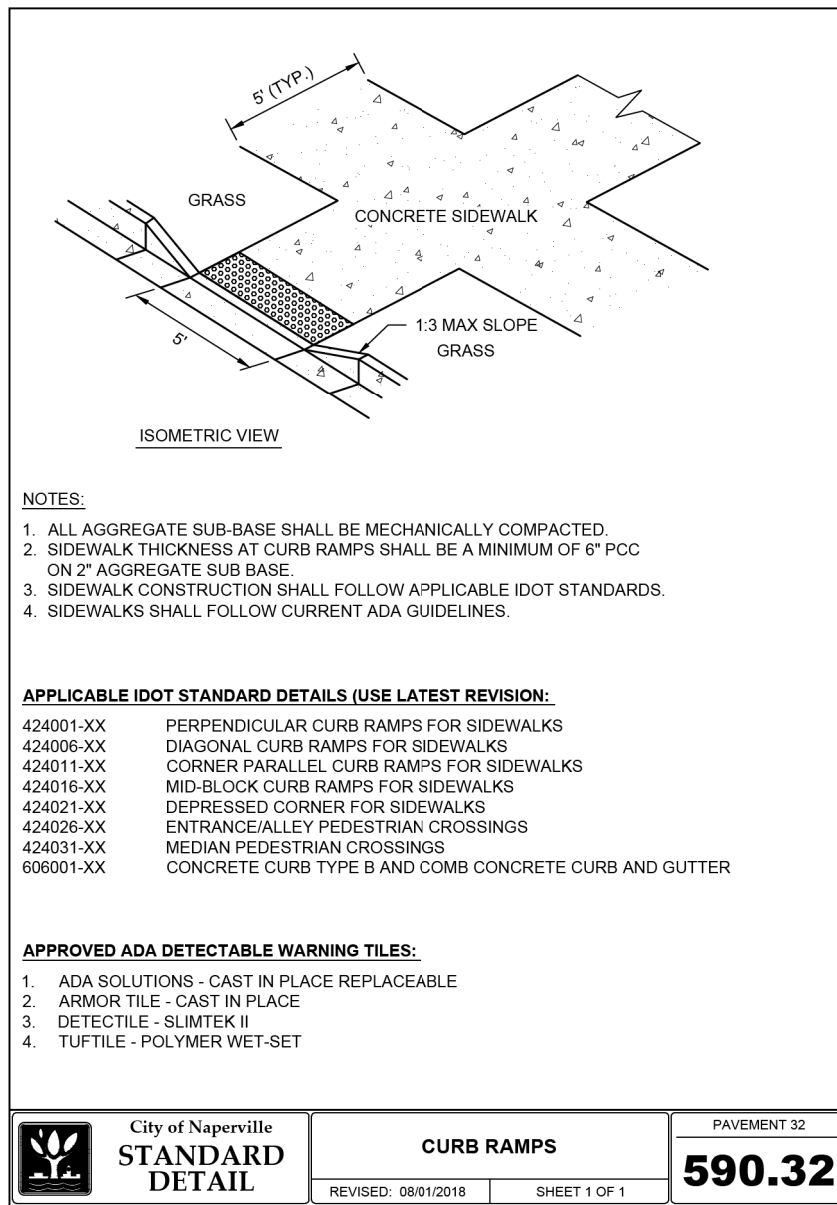
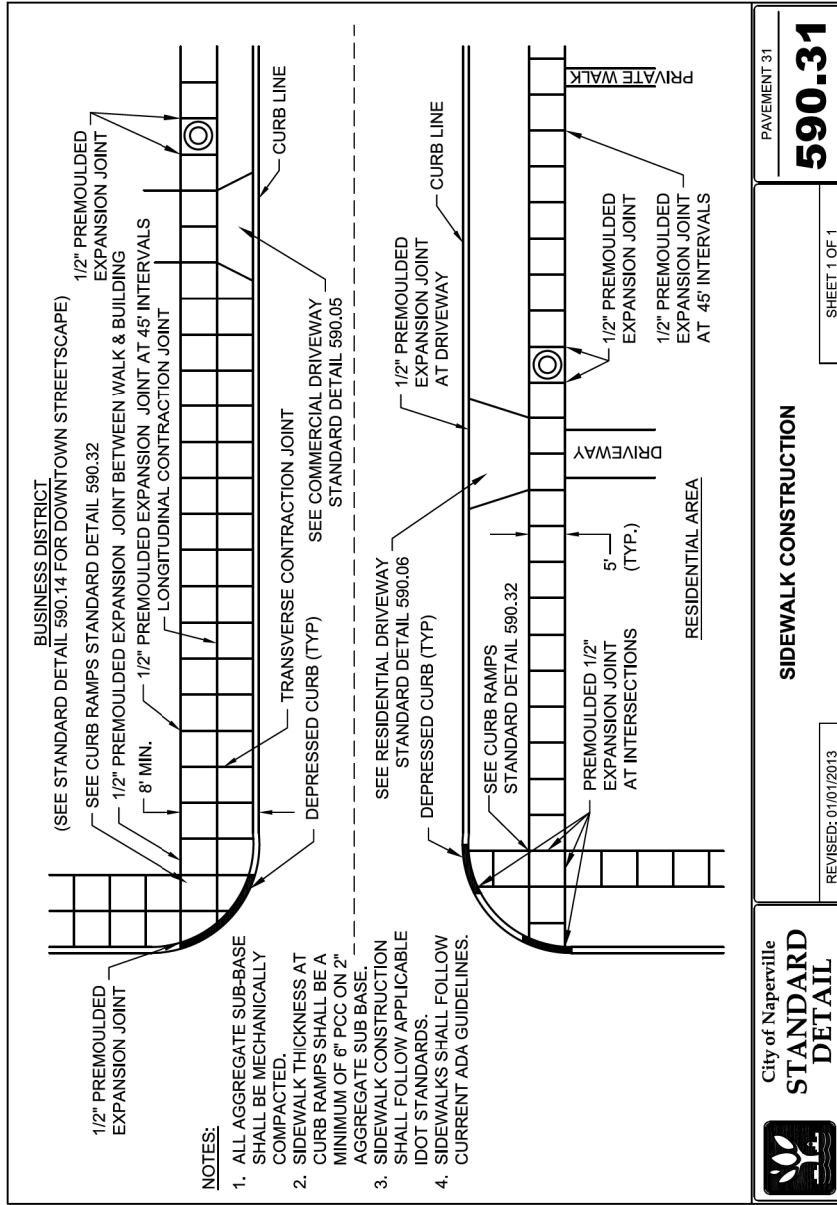
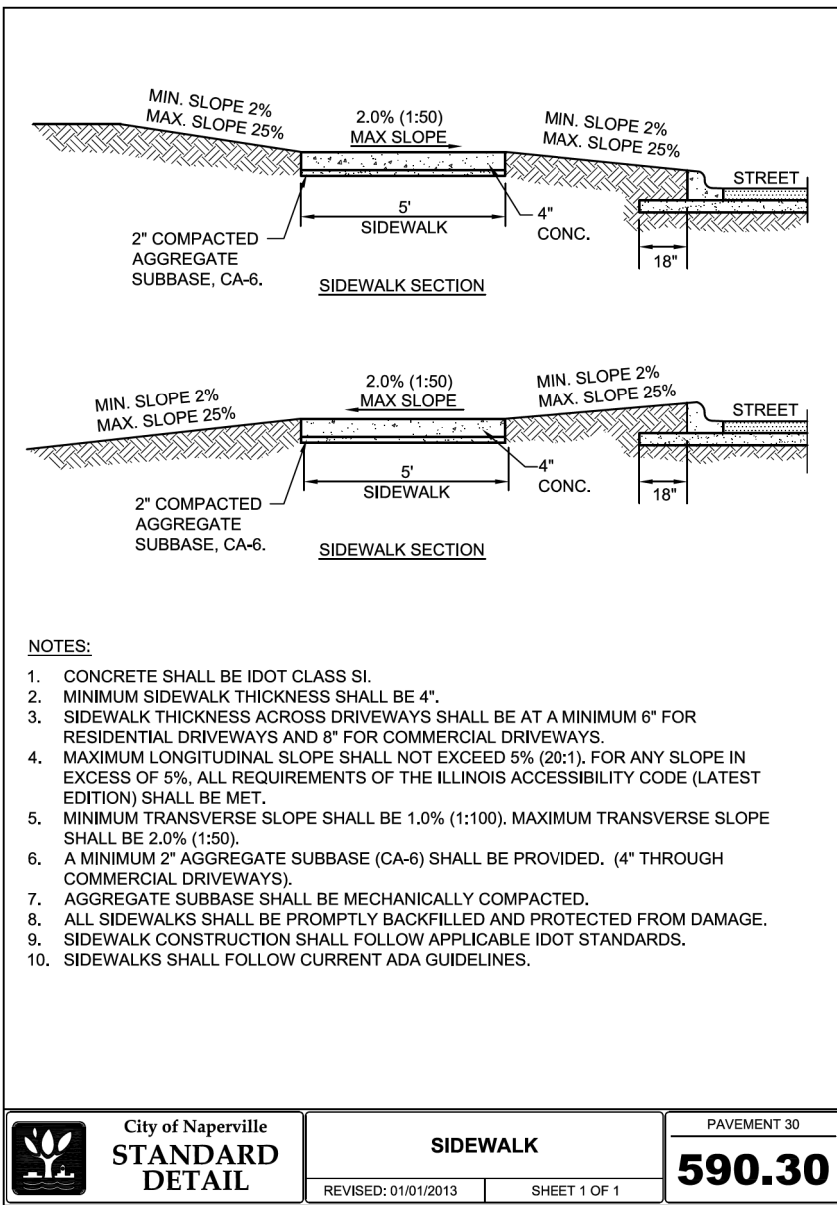
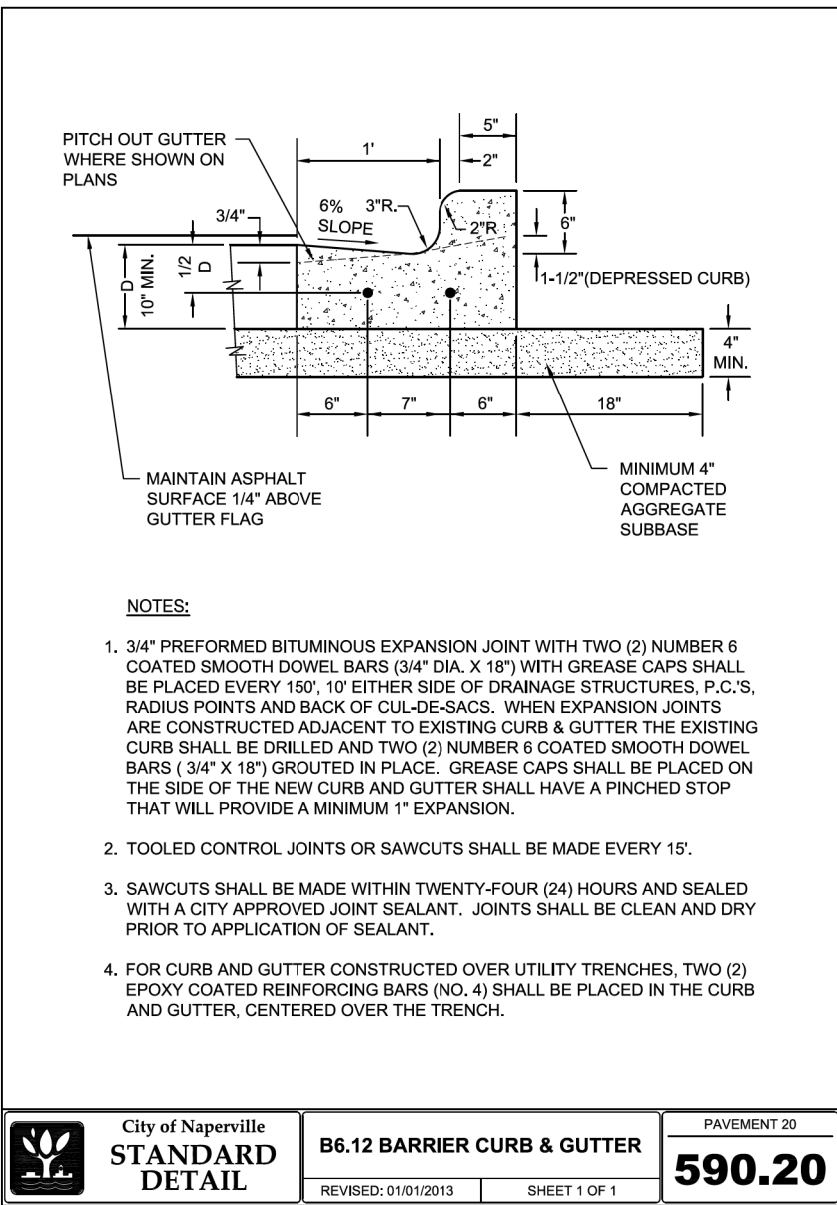
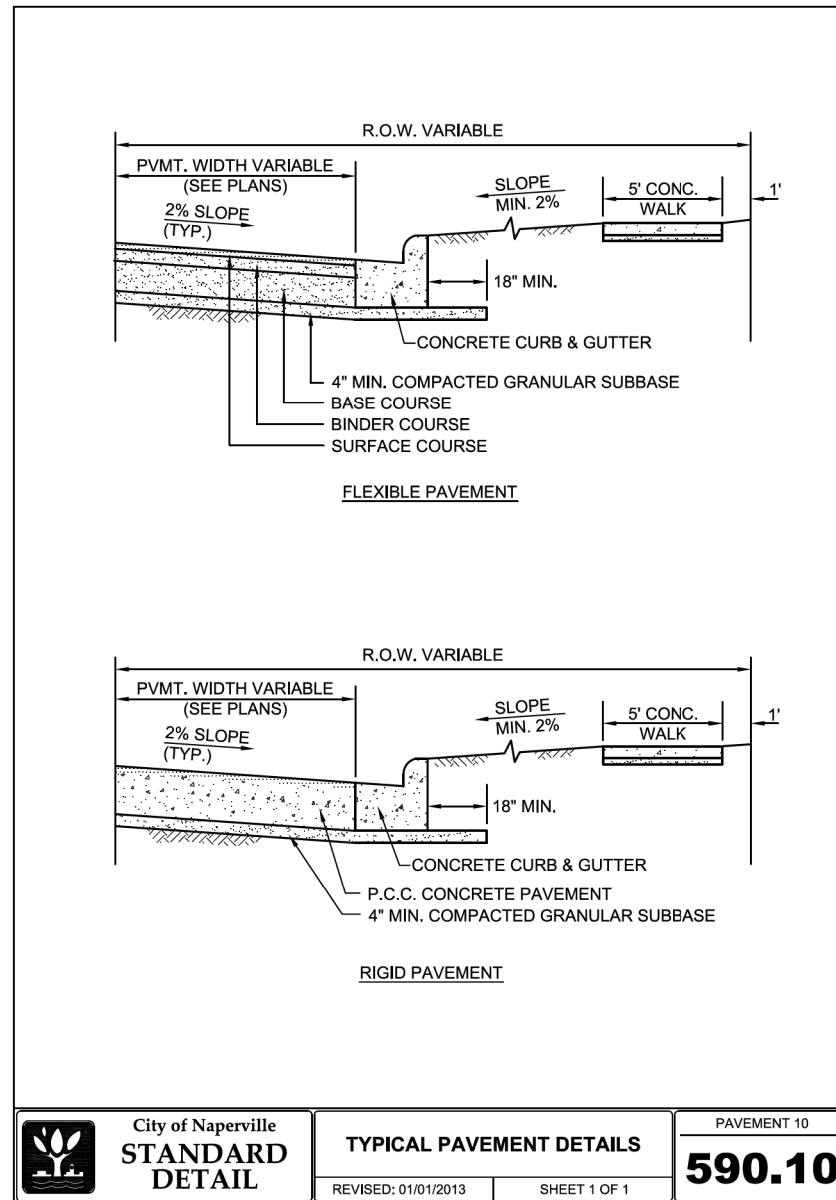
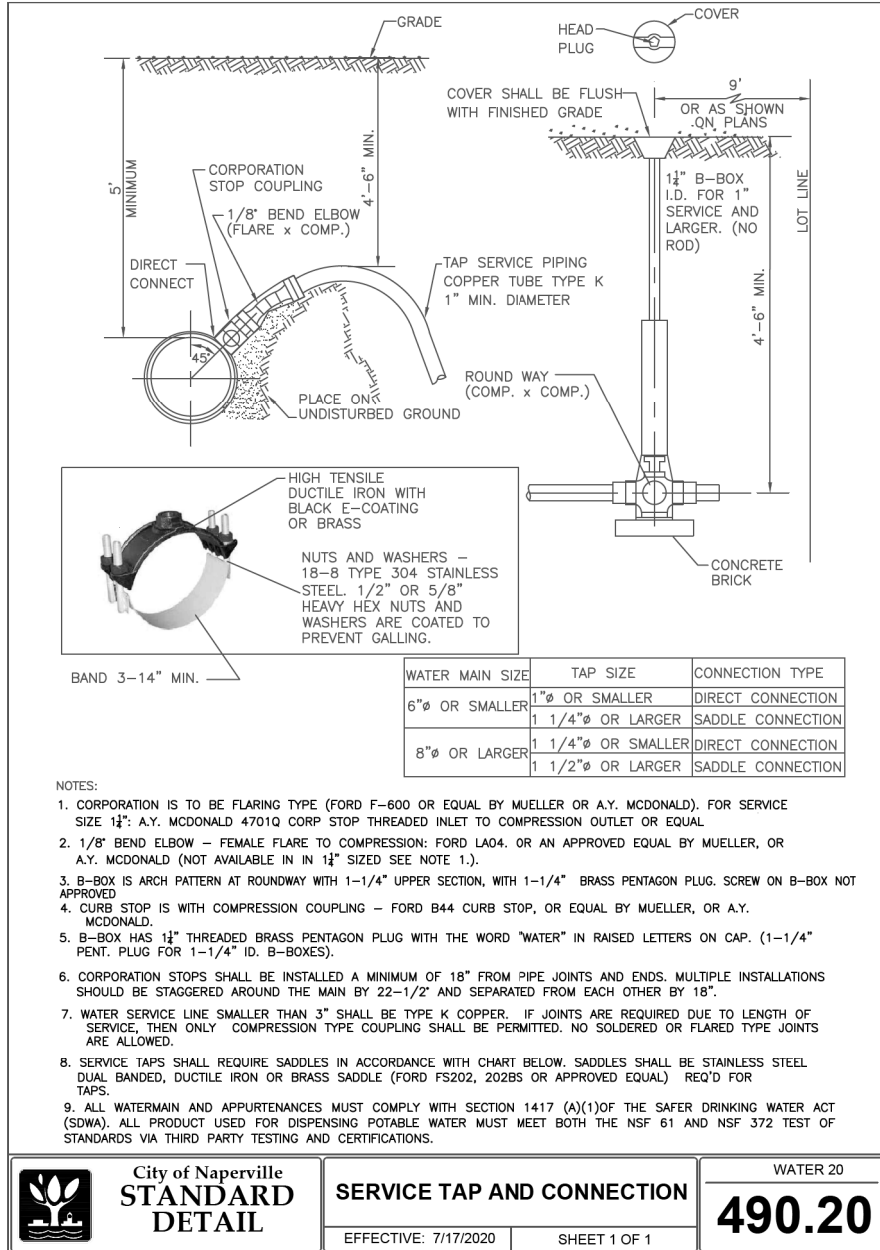
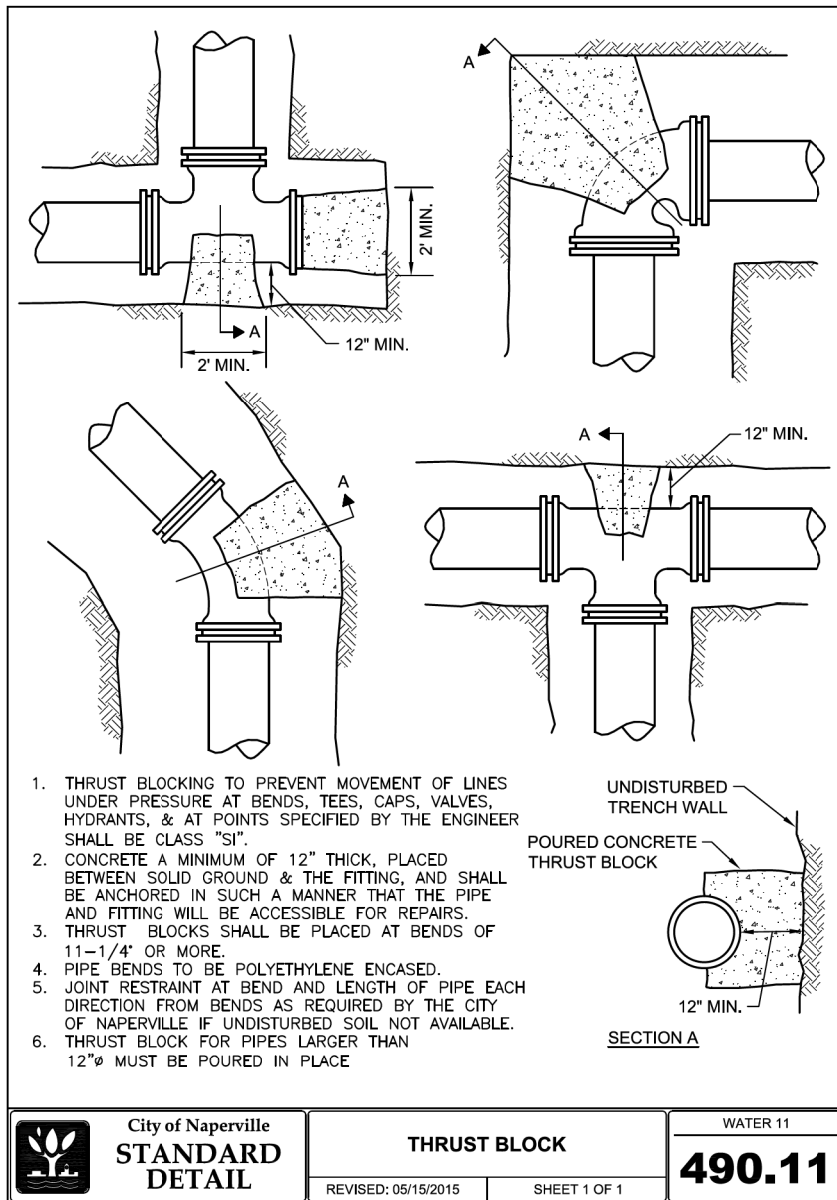
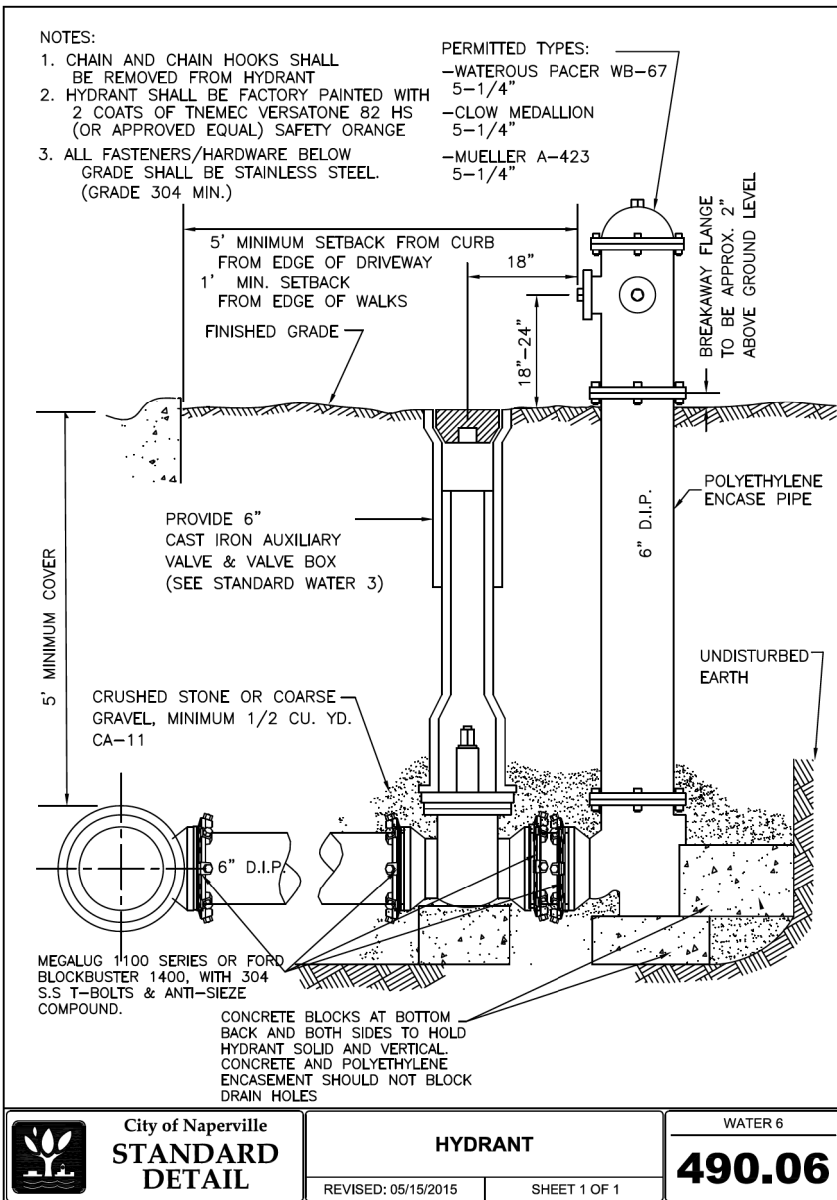
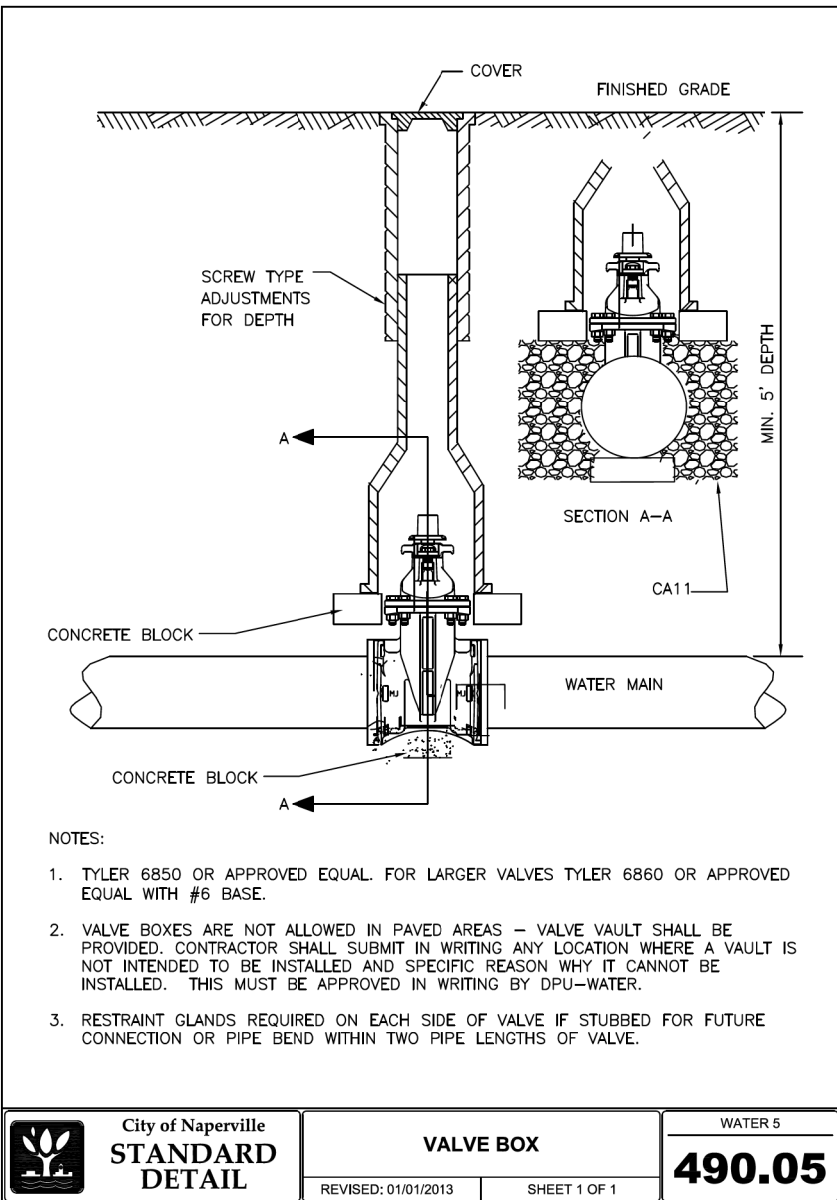
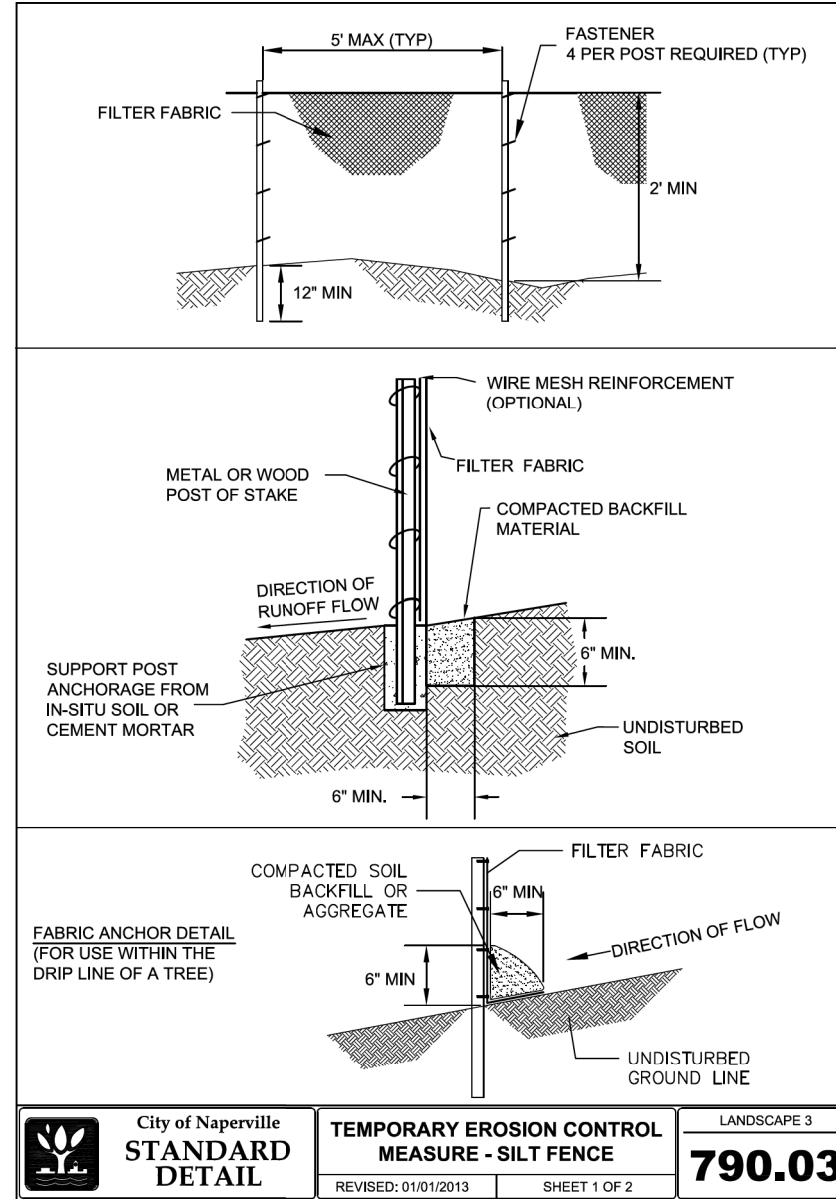
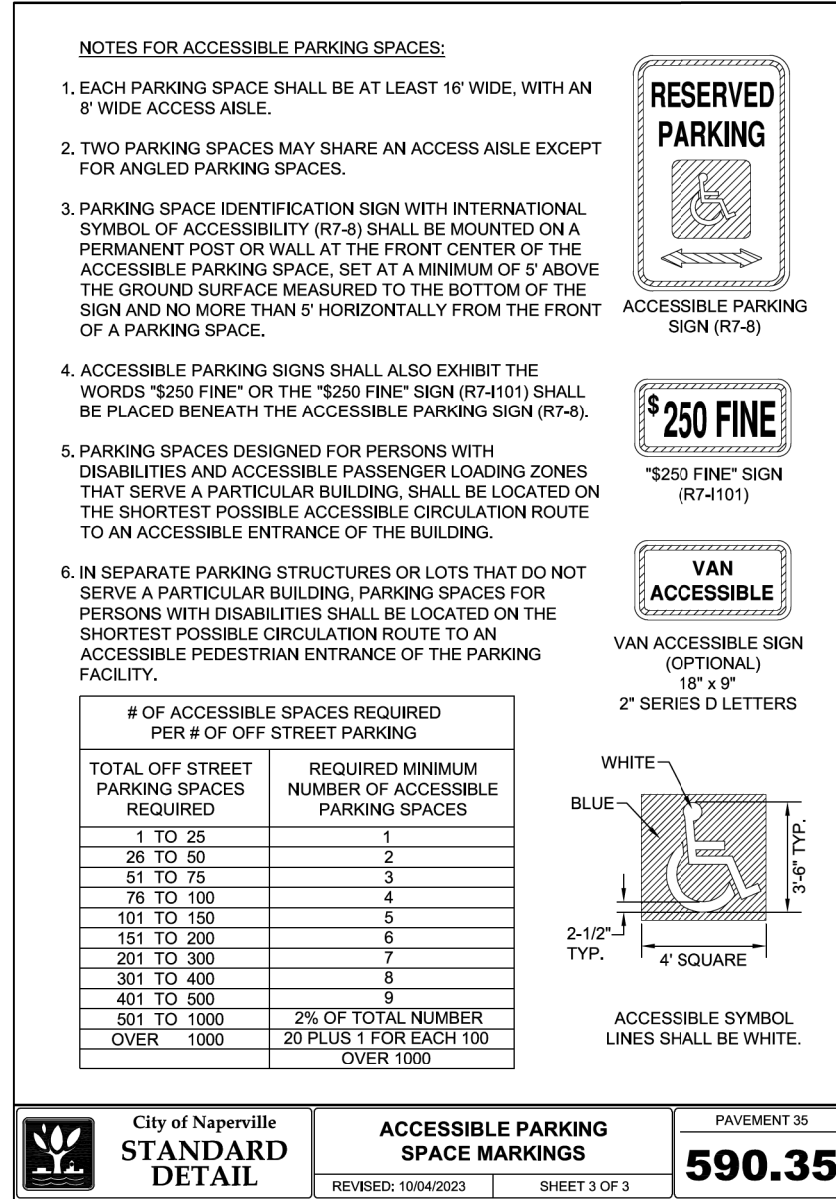
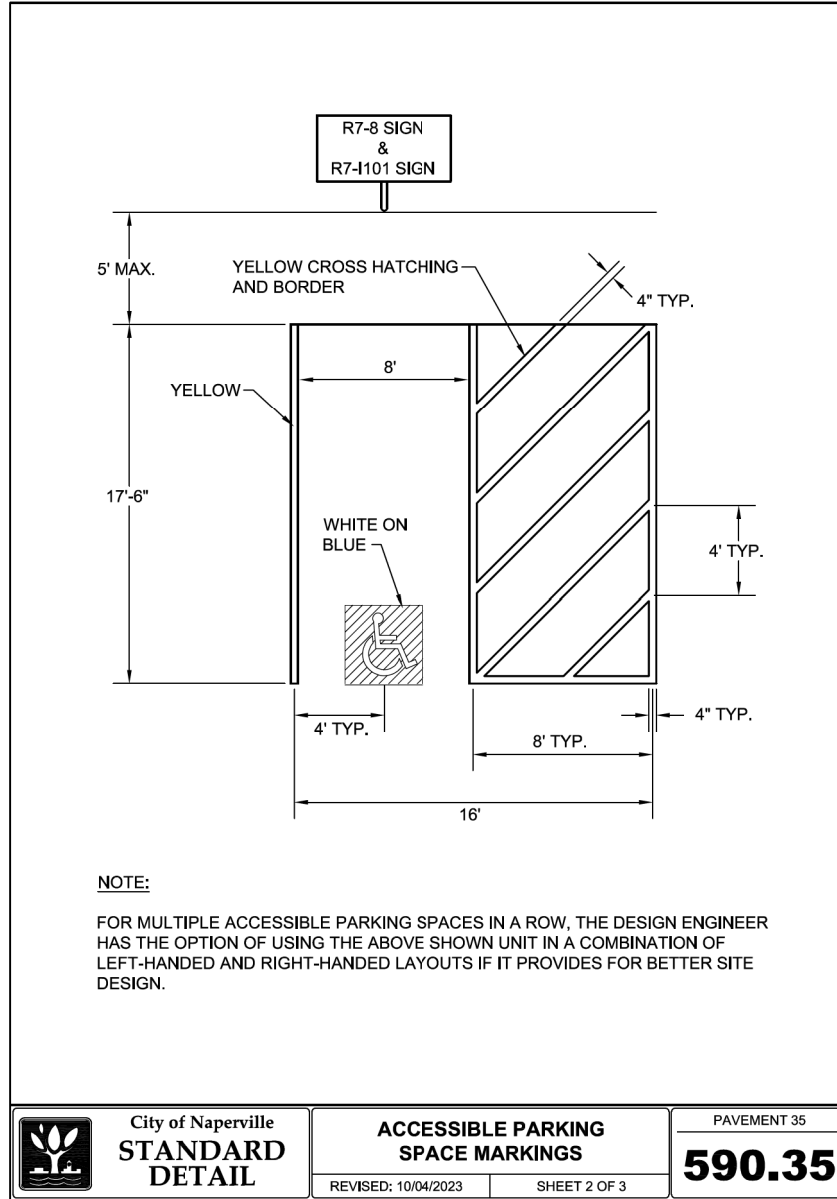
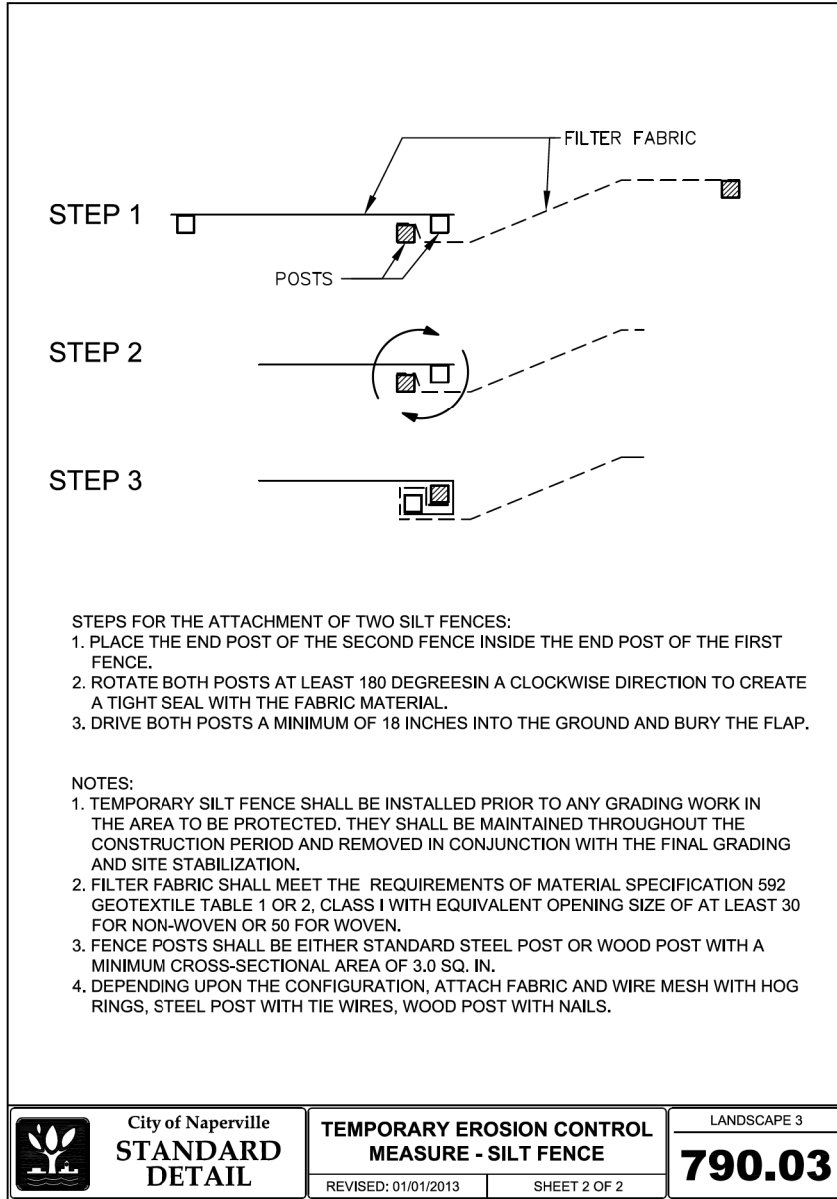
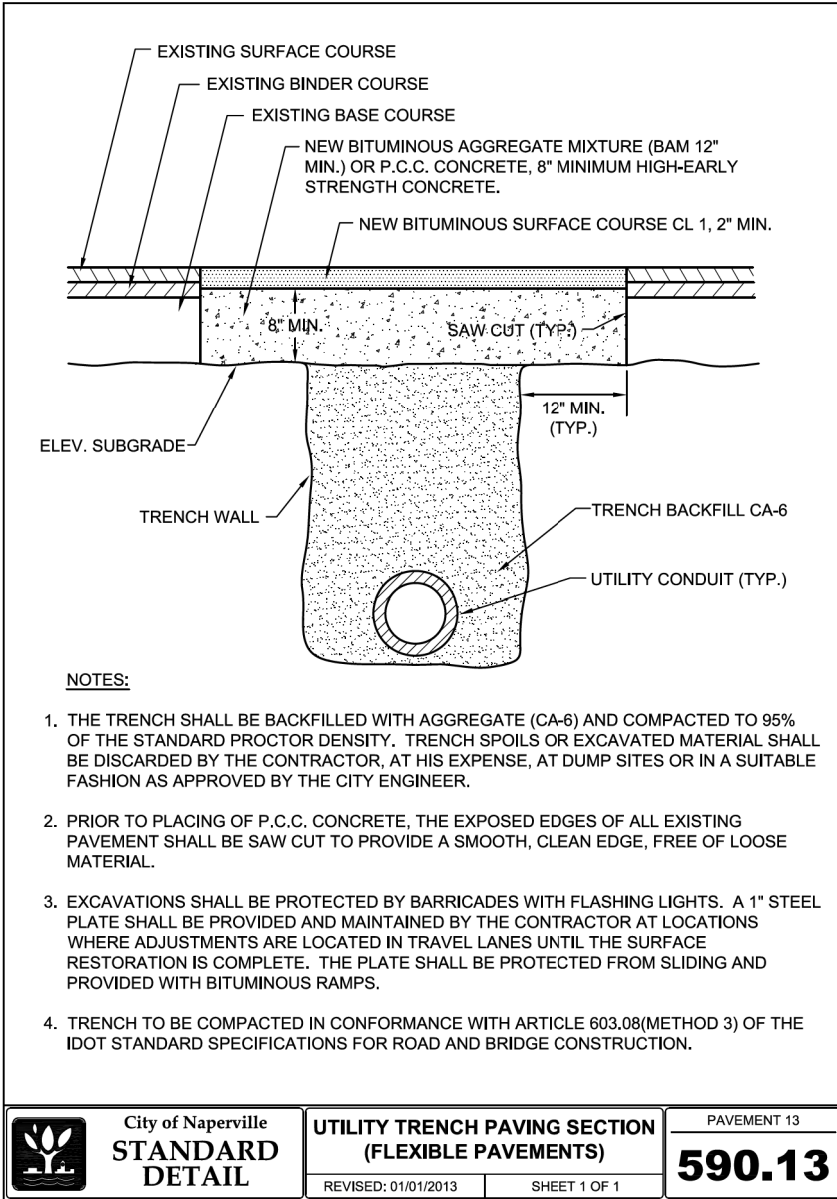
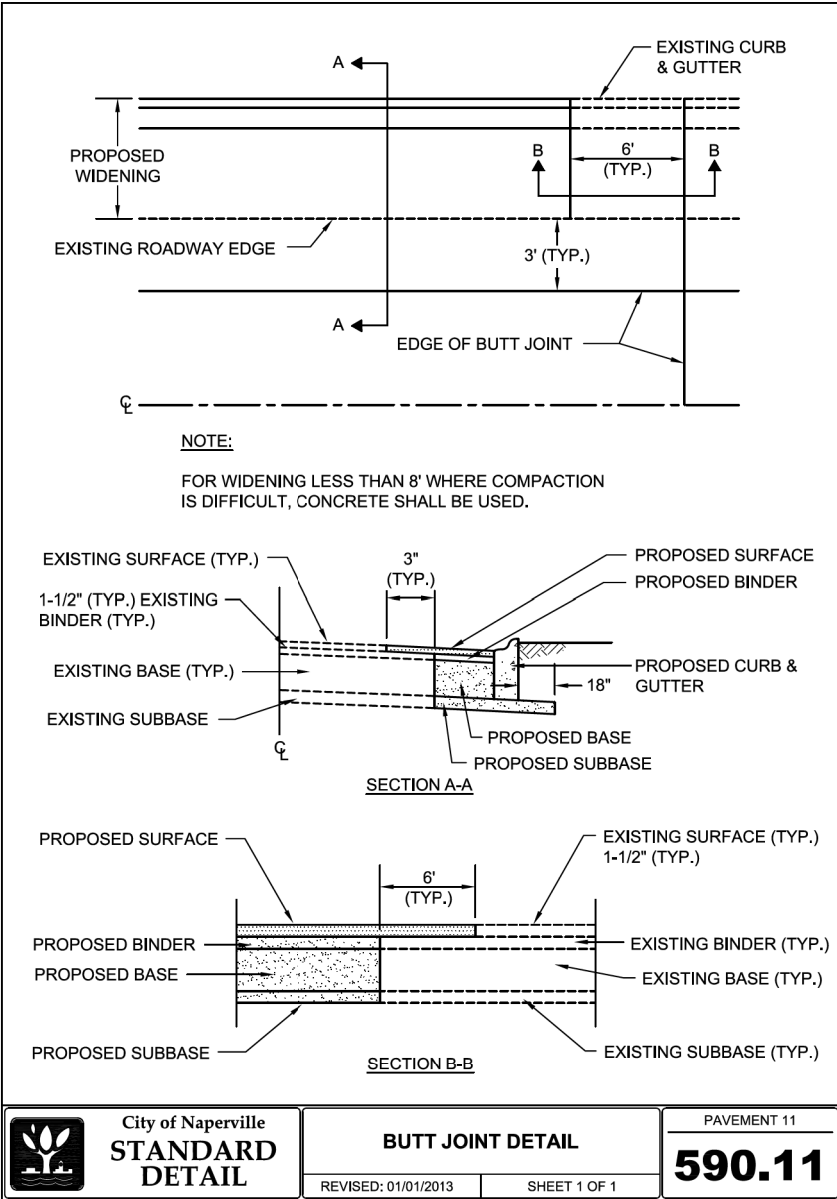
Additional easements are required. All DPU-E owned primary/secondary cable and equipment (transformers, switches, etc...) must be installed inside of a public utility easement.

- DPU-E requires a minimum 5' of separation between its electric facilities and any fire hydrants storm drains, storm sewers, water mains, gas mains, etc. that run parallel to its facilities.
- To have an existing service disconnected call the City Dispatch office at 630-420-6187. Please allow at least 24 hours notice. Meters and meter seals are to be removed only by DPU-E personnel. The location and type of new or replacement meter related equipment must be pre-approved in writing by DPU-E. An electric service must be inspected by the Development Services Team electrical inspector prior to connection.
- Label all meter sockets with the complete address in 1" letters using permanent stickers. In multiple meter banks, the complete address may be on the disconnect switch and the suite numbers on the meter sockets. The electrical service equipment will not pass inspection without appropriate address labeling.
- Approval of metering equipment by DPU-E does not remove your responsibility to comply with the latest version of the National Electrical Code as adopted by the City of Naperville. Determination of compliance with the National Electrical Code will be made by the Transportation, Engineering and Development department.
- A customer's grounding conductor shall not be connected to DPU-E distribution equipment.
- The transformer must be shown on the site plan and should be located between 8' and 50' from commercial buildings. Meters, instrumental transformers, and main disconnect shall be located within 50' of the transformer and shall be installed on the exterior of the building. If the transformer will be located at a distance greater than 50', then the metering cabinet and main disconnect must be free standing and located between 10' and 15' of the transformer. The instrument transformers and main disconnect may be installed inside the building if the service entrance capacity is 1200 amps or greater. Meters shall be installed on the building exterior.
- The developer is responsible for the construction and installation of a transformer pad and vault. The DPU-E engineer must be informed prior to the installation of the pad and vault. A main disconnect or circuit breaker is required for DPU-E access in case of a need for service or in an emergency. DPU-E shall make the final connections of the customer's service to the transformer terminals. A minimum of eight feet of additional conductor length must be left on the customer's service cables.

WATER UTILITES GENERAL NOTES:

- A. NEW WATER MAIN VALVES, INCLUDING PRESSURE TAP VALVES, ADJACENT TO AN EXISTING WATER MAIN, AND EXISTING WATER MAIN VALVES SHALL ONLY BE OPERATED BY THE CITY OF NAPERVILLE, DEPARTMENT OF PUBLIC UTILITIES CEE/CM DIVISION PERSONNEL WITH 48-HOUR NOTICE (MONDAY-FRIDAY). CONTACT NAPERVILLE TED BUSINESS GROUP AT 630-420-6082 FOR SCHEDULING.
- B. ANY EXISTING UTILITY STRUCTURES REQUIRING ADJUSTMENT OR RECONSTRUCTION SHALL BE COMPLETED BY THE CONTRACTOR TO THE SATISFACTION OF THE UTILITY OWNER. ADJUSTMENTS AND/OR RECONSTRUCTIONS NOT CALLED FOR ON THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. NO MORE THAN A TOTAL OF 12 INCHES OF ADJUSTING RINGS AND/OR 2 ADJUSTING RINGS SHALL BE ALLOWED. ALL STRUCTURE FRAMES SHALL BE FLUSH WITH FINAL GRADE. CONCRETE ADJUSTMENT RINGS ARE NOT ALLOWED.
- C. TREES SHALL BE INSTALLED A MINIMUM OF FIVE (5) FEET HORIZONTALLY FROM UNDERGROUND ELECTRICAL FEEDERS, SANITARY SEWERS, SANITARY SERVICES, WATER MAINS, AND WATER SERVICES. TREES SHALL BE INSTALLED A MINIMUM OF TEN (10) FEET HORIZONTALLY FROM UTILITY STRUCTURES AND APPURTENANCES, INCLUDING, BUT NOT LIMITED TO, MANHOLES, VALVE VAULTS, VALVE BOXES AND FIRE HYDRANTS. NO TREES, SHRUBS OR OBSTACLES WILL BE ALLOWED 10' IN FRONT OF, 5' ON THE SIDES, AND 7' TO THE REAR OF THE ELECTRICAL TRANSFORMER.
- D. ALL RETAINER GLANDS WHEN REQUIRED TO RESTRAIN VALVES, FITTINGS, HYDRANTS, AND PIPE JOINTS SHALL BE MECHANICAL JOINT WEDGE ACTION TYPE MEGALUG 1100 SERIES AS MANUFACTURED BY EBBA IRON, INC. OR UNI-FLANGE BLOCKBUSTER 1400 SERIES AS MANUFACTURED BY FORD METER BOX CO. AND SHALL BE FOR USE ON DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.51, FOR NOMINAL PIPE SIZES 3" THROUGH 48".
- E. EXISTING DUCTILE IRON SYSTEMS FOR RESTRAINING PUSH-ON PIPE BELLS SHALL BE MEGALUG SERIES 1100HD OR FORD SERIES 1390.
- F. EXISTING DUCTILE IRON SYSTEMS REQUIRING RESTRAINT SHALL BE MEGALUG SERIES 1100SD (SPLIT MEGALUG) FOR MECHANICAL JOINTS.
- G. DUCTILE IRON WATER MAIN TO BE CLASS 52. ALL DUCTILE IRON PIPE IS TO BE ENCASED IN POLYETHYLENE FILM POLYETHYLENE ENCASEMENT TO BE INSTALLED IN ACCORDANCE WITH ANSI/AWWA C105/A21.5-05.
- H. A SET OF AS-BUILT RECORD DRAWING SHALL BE GIVEN TO THE CITY OF NAPERVILLE UPON COMPLETION OF IMPROVEMENTS SHOWING THE ELEVATION AND LOCATION (TIED TO TWO POINTS) OF ALL NEW AND EXISTING STRUCTURES INCLUDING FIRE HYDRANTS, VALVE BOXES AND VAULTS, LINES TOP SLEEVES, WATER SERVICE CORPORATION STOPS, WATER MAIN FITTINGS/ BENDS, MANHOLES, SANITARY SERVICE WYES (MEASURED FROM DOWNSTREAM MANHOLE), AND ABANDONED WATER OR SANITARY SERVICE LINES. ALL ELEVATIONS SHOULD BE REFERENCED TO THE SAME BENCHMARK DATUM AS THE ORIGINAL DESIGN PLANS. HORIZONTAL TIES SHALL BE REFERENCED TO LOT LINES, BACK OF CURB, OR PROPERTY CORNERS.
- I. ALL SANITARY SEWER PIPING SHALL BE PVC PIPE MEETING THE REQUIREMENTS OF ASTM D-2241 WITH JOINTS CONFORMING TO ASTM D-3139. ALL SANITARY SEWER FITTINGS SHALL BE PVC MEETING THE FOLLOWING REQUIREMENTS: 4" TO 12" SHALL BE INJECTION MOLDED FITTINGS MEETING ASTM D-2241. GREATER THAN 12" SHALL BE FABRICATED FITTINGS MEETING ASTM D-2241 OR C905. MINIMUM PRESSURE RATING SHALL BE 150 PSI.
- J. THE VALVES LESS THAN 16" SHALL BE STANDARD PATTERN, GATE VALVES AND SHALL HAVE THE NAME OR MARK OF THE MANUFACTURER, SIZE AND WORKING PRESSURE PLAINLY CAST IN RAISED LETTERS ON THE VALVE BODY. VALVES MAY BE APPROVED FROM ONE OF THE FOLLOWING MANUFACTURERS: AMERICAN, CLOW, WATERLOUS OR KENNEDY.
- K. STAINLESS STEEL NUTS, BOLTS/T-BOLTS, AND WASHERS, TYPE 304 OR BETTER, WILL BE REQUIRED ON ALL WATER MAIN INSTALLATIONS. THIS WOULD APPLY TO HYDRANTS, TAPPING SLEEVES, VALVES, FITTINGS, RESTRAINT, AND OTHER APPURTENANCES BURIED OR IN VALVE VAULTS. MECHANICAL JOINTS AND RESTRAINT GLANDS REQUIRE 304 STAINLESS STEEL T-BOLTS. AN ANTI-SEIZE COMPOUND SHALL BE FACTORY APPLIED TO NUTS OR BOLTS - ANY DAMAGE TO THIS COATING SHALL BE REPAIR WITH FIELD APPLIED APPROVED ANTI-SEIZE COMPOUND THAT IS A MOLYBDENUM-BASE LUBRICANT, BOSTIK NEVER-SEEZ OR APPROVED EQUAL.
- L. THE CONTRACTOR SHALL ROTATE AND/OR ADJUST ANY EXISTING AND/OR NEW HYDRANT TO THE SATISFACTION OF THE DEPARTMENT OF PUBLIC UTILITIES.
- M. WATER MAINS SHALL BE SUBJECTED TO A HYDROSTATIC/LEAKAGE TEST IN ACCORDANCE WITH NAPERVILLE STANDARD SPECIFICATIONS. TEST PRESSURE SHALL BE NO LESS THAN 150 PSI FOR A PERIOD OF 4 HOURS AND NOT VARY BY MORE THAN + 5 PSI. DURING THE TEST, THE TEST GAUGE SHALL BE APPROVED BY THE CITY AND SHALL BE GLYCERIN OR OIL FILLED, WITH A RANGE OF NOT MORE THAN 200 PSI AND INCREMENTS NOT GREATER THAN 5 PSI, A MINIMUM DIAL SIZE. WATER RECOVERY TEST SHALL BE COMPLETED AT THE END OF THE TESTING PERIOD TO SHOW ACTUAL LEAKING AND THAT THE WATER MAIN DID NOT HAVE TOO MUCH TRAPPED AIR IN THE TESTED SECTION.
- N. THE CITY OF NAPERVILLE PUBLIC UTILITIES DOES NOT GUARANTEE THAT ANY VALVE OR FITTING IN THE EXISTING WATER DISTRIBUTION SYSTEM WILL HOLD AGAINST A HYDROSTATIC/LEAKAGE TEST. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROVIDING AND ACCEPTABLE PRESSURE TEST WHICH SHALL INCLUDE PROVISIONS AROUND EXISTING VALVES AND FITTINGS.
- O. FIRE HYDRANT SHOULD BE BAGGED "NOT IN SERVICE" UNTIL ALL TESTING AND DISINFECTION HAS BEEN COMPLETED AND NEW WATER MAIN SECTION IS SERVICE.
- P. SANITARY SEWER AND WATER SHALL BE CONSTRUCTED, TESTED, AND PLACED INTO SERVICE IN ACCORDANCE WITH CITY OF NAPERVILLE STANDARD SPECIFICATION AND SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION.
- Q. ALL VALVE BOXES, VAULTS, HYDRANTS, AND MANHOLES SHALL NOT BE COVERED WITH CONSTRUCTION DEBRIS AND SHALL REMAIN ACCESSIBLE TO THE RESPECTIVE UTILITY COMPANY.
- R. WATER SERVICE LINE SMALLER THAN 3" SHALL BE TYPE K COPPER. IF JOINTS ARE REQUIRED DUE TO LENGTH OF SERVICE, THEN ONLY COMPRESSION TYPE COUPLING SHALL BE PERMITTED. NO SOLDERED OR FLARED TYPE JOINTS ARE ALLOWED.
- S. ALL SANITARY MANHOLES SHALL BE TESTED FOR LEAKAGE BY VACUUM TESTING. THE MANHOLE FRAME AND ADJUSTING RINGS SHALL BE IN PLACE WHEN TESTING. ANY LEAKS SHALL BE REPAIRED FROM EXTERIOR OF MANHOLE - PATCHING INSIDE OF MANHOLE SHALL NOT BE ACCEPTABLE. A VACUUM OF 10" (254 MM) HG SHALL BE PLACE ON THE MANHOLE AND THE TIME SHALL BE MEASURED FOR THE VACUUM TO DROP TO 9" (229 MM) HG. THE VACUUM SHALL NOT DROP BELOW 9" (229 MM) HG FOR THE FOLLOWING TIME PERIODS FOR EACH SIZE OF MANHOLE:
- A) 48-INCH DIAMETER - 60 SECONDS
- B) 60-INCH DIAMETER - 75 SECONDS
- C) 72-INCH DIAMETER - 90 SECONDS
- D) 84-INCH DIAMETER - 105 SECONDS
- ANY MANHOLES THAT FAIL THE TEST SHALL BE SEALED AND RE-TESTED UNTIL ACCEPTABLE.
- T. THE CONTRACTOR SHALL PROVIDE INTERNAL TELEVIEWED INSPECTION OF ALL INSTALLED SANITARY SEWER, LATERALS, MANHOLES AND CONNECTIONS TO THE PUBLIC SYSTEM. FOLLOWING COMPLETION OF TELEVIEWING WORK, THE CONTRACTOR SHALL SUBMIT VIDEO RECORDINGS ON DVD OR FLASH DRIVE ALONG WITH A COMPREHENSIVE TELEVIEWING REPORT WHICH WILL INDICATE THE LOCATION, FOOTAGES AND NATURE OF ANY DEFECTS. PRIOR TO FINAL ACCEPTANCE, THESE DEFECTS SHALL BE REPAIRED TO THE SATISFACTION OF THE WATER/WASTEWATER UTILITY AND RE-TELEVIEWED.
- U. CONTRACTOR WORK HOURS ARE ONLY ALLOWED FROM 7:00 A.M. TO 5:00 P.M., MONDAY THROUGH SATURDAY. NO WORK SHALL BE PERMITTED ON SUNDAYS.
- V. SANITARY PIPES WITH LESS THAN 4 FEET OR MORE THAN 25 FEET OF COVER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPING (CLASS 50, MINIMUM) AND ENCASED IN POLYWRAP.
- W. ALL EXCAVATIONS MORE THAN 20 FEET DEEP MUST BE PROTECTED BY A SYSTEM DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.
- X. CONTRACTOR SHALL MAINTAIN 2' MINIMUM CLEARANCE BETWEEN EXISTING UTILITIES AND NEW FOUNDATIONS AND UNDERGROUND FACILITIES. IN AREAS WHERE FOUNDATIONS AND UNDERGROUND FACILITIES ARE PROPOSED ADJACENT TO EXISTING UTILITIES, THE CONTRACTOR SHALL POT HOLE BY VACUUM EXCAVATION OR HAND EXCAVATION TO LOCATE THE EXISTING UTILITY TO VERIFY MINIMUM CLEARANCE REQUIREMENT.
- Y. FENCES SHALL BE INSTALLED A MINIMUM OF 5 FEET FROM ANY WATER OR SANITARY MAINS WHEN RUNNING PARALLEL WITH THEM. WHERE FENCES ARE INSTALLED CROSSING WATER OR SANITARY MAINS, THE POSTS SHALL BE LOCATED TO HAVE THE MAIN BETWEEN THEM.
- Z. ALL BRASS COMPONENTS SHALL BE CERTIFIED TO BE LEAD FREE IN COMPLIANCE WITH NSF 61 AND NSF 372 AND IDENTIFIED WITH APPLICABLE MARKINGS.
- AA. SANITARY FORCE MAIN - FORCE MAIN SHALL BE TESTED A MINIMUM OF 1 HOUR AT 1.5 THE SHUT OFF HEAD OF THE PUMP, 2.5 TIMES THE OPERATING PRESSURE, OR 20 PSI WHICHEVER IS GREATEST. ALLOWABLE LEAKAGE SHALL BE IN ACCORDANCE WITH SECTION 41-2.14C OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION.

No.	Revision/ Issue	Date	Commercial Development 1936 Springbrook Square Dr., Naperville	General Notes		Fluenta Consulting 201 E. Lakeside Dr., Vernon Hills, IL 60061 Tel: 773-349-5881	Project	Sheet
2	Village Revision	10/13/24					Date	
3	Village Revision	10/28/24					Scale	
4	Village Revision	01/28/25						C6



No.	Revision/Issue	Date
2	Village Revision	10/13/24
3	Village Revision	10/28/24
4	Village Revision	01/28/25

Commercial Development
1936 Springbrook Square Dr., Naperville

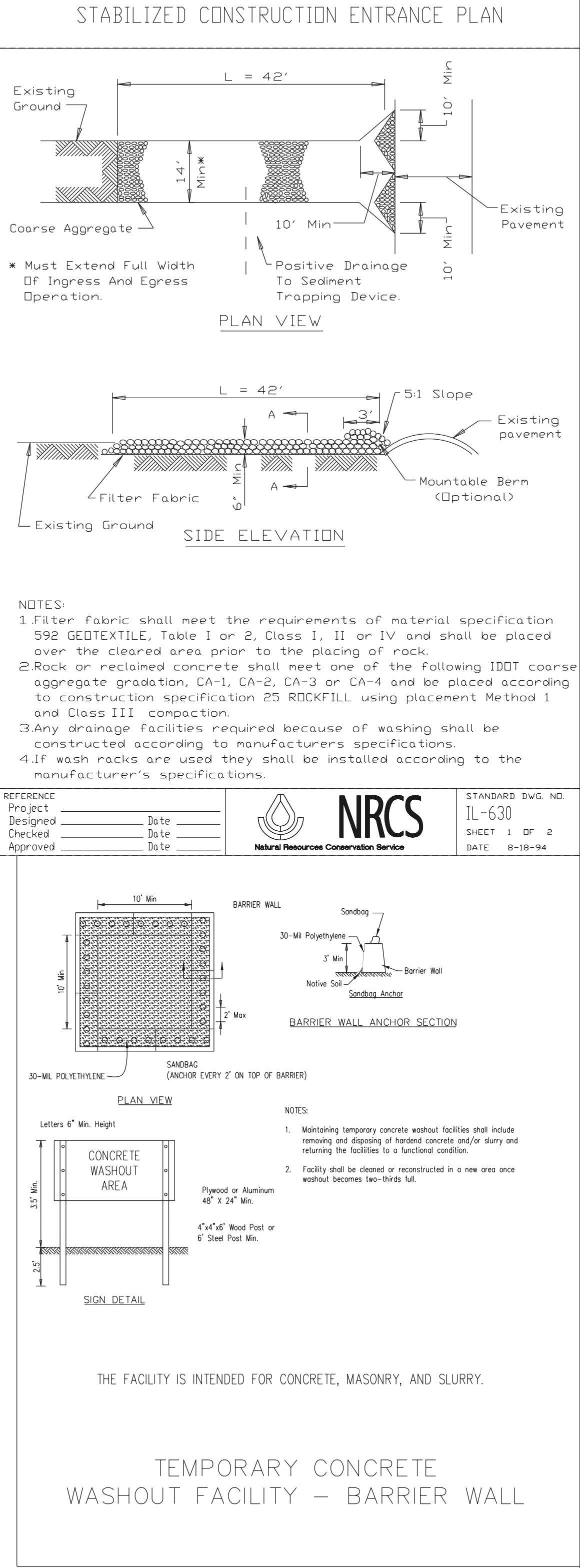
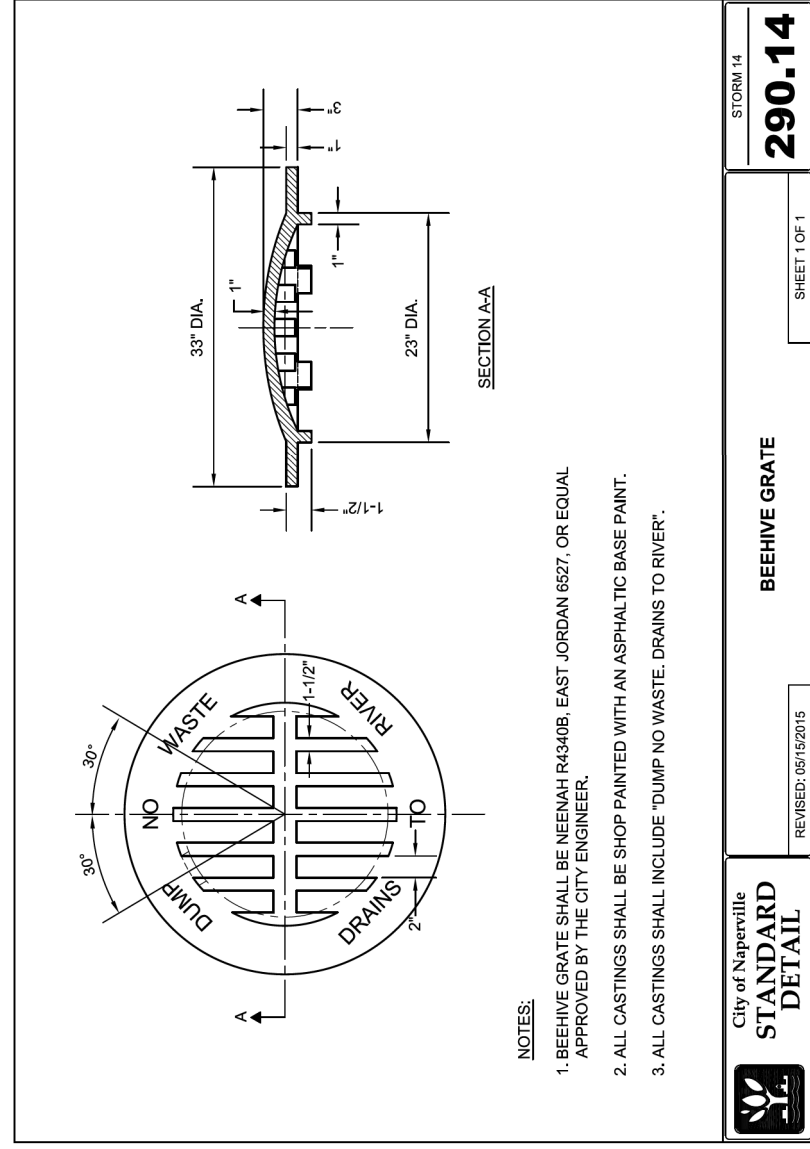
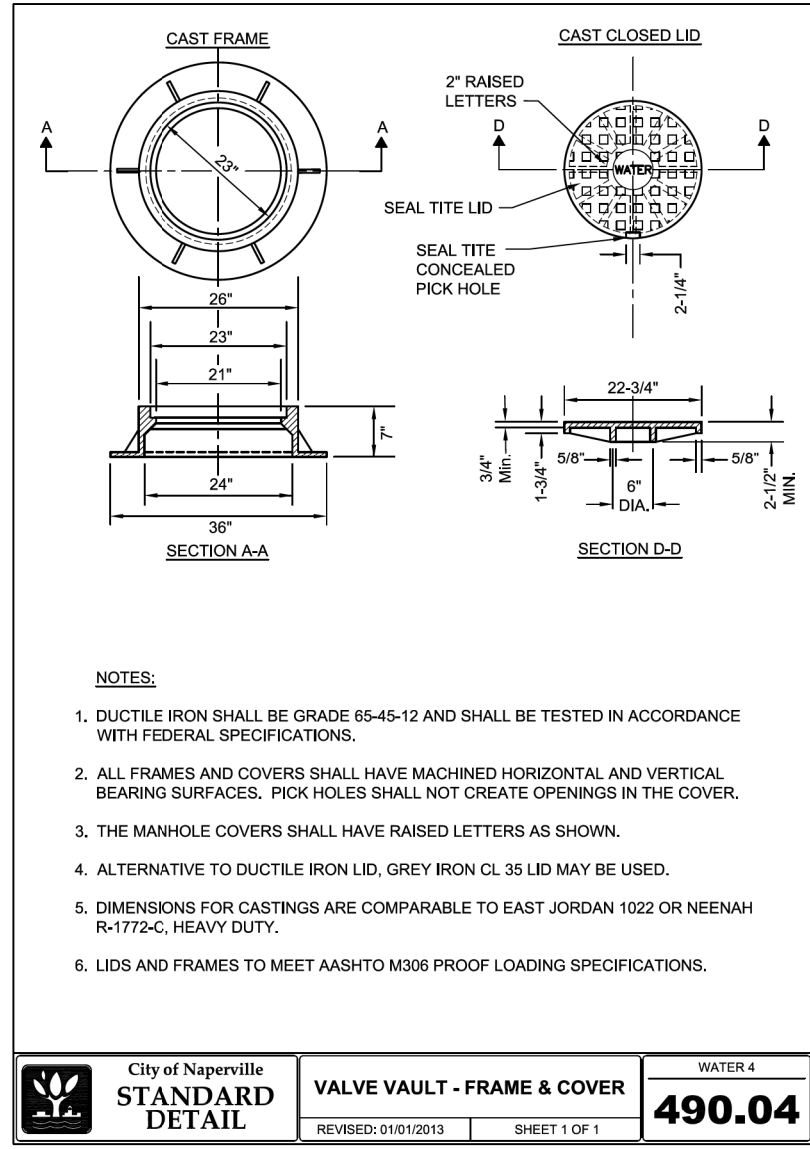
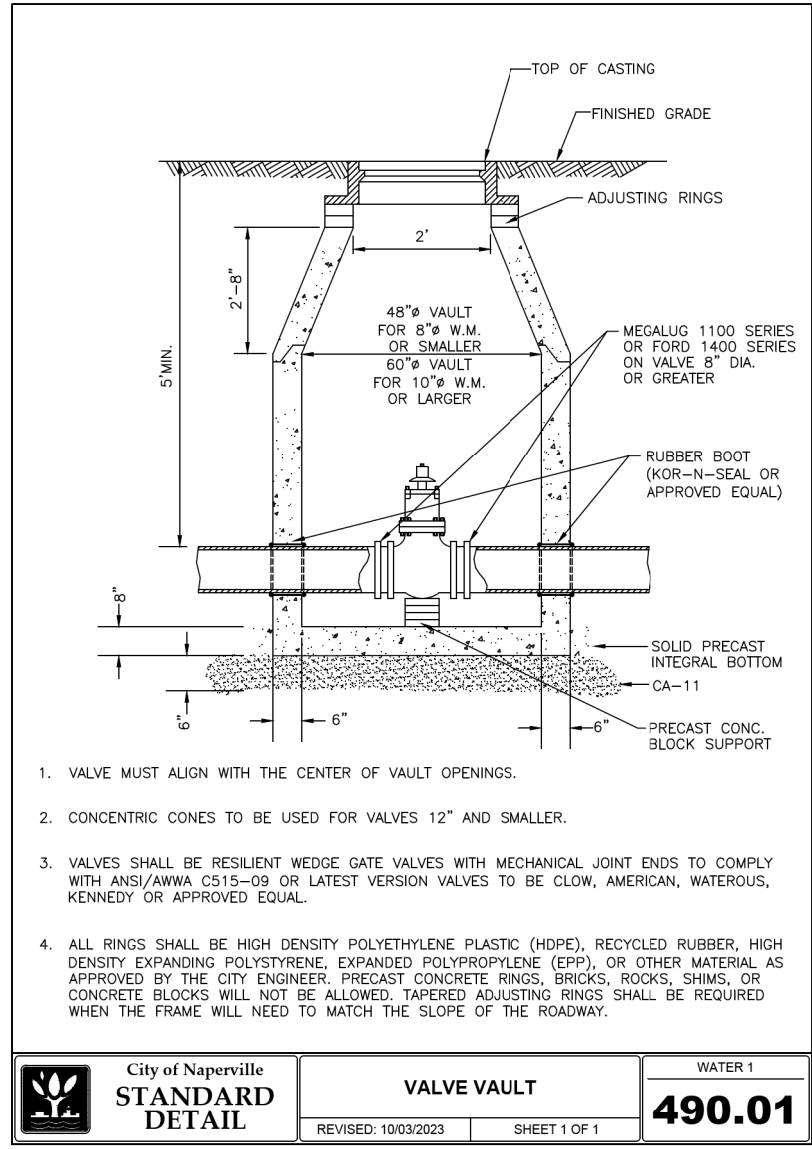
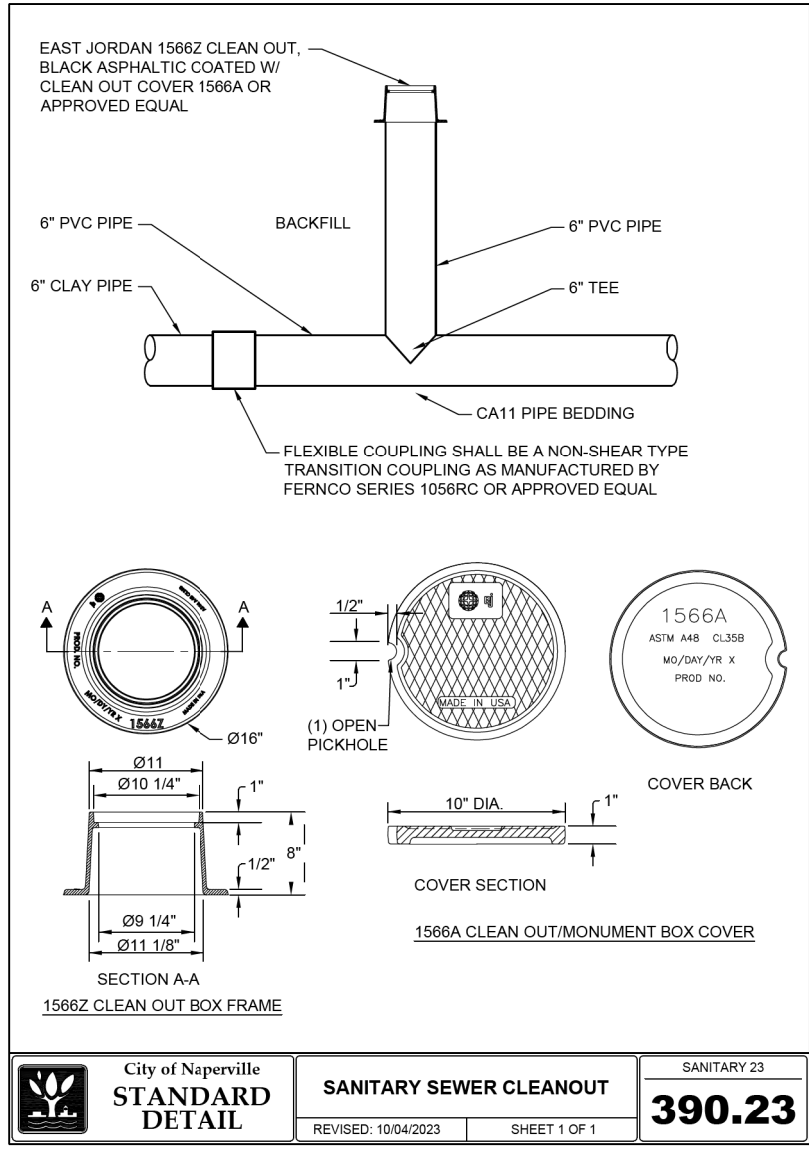
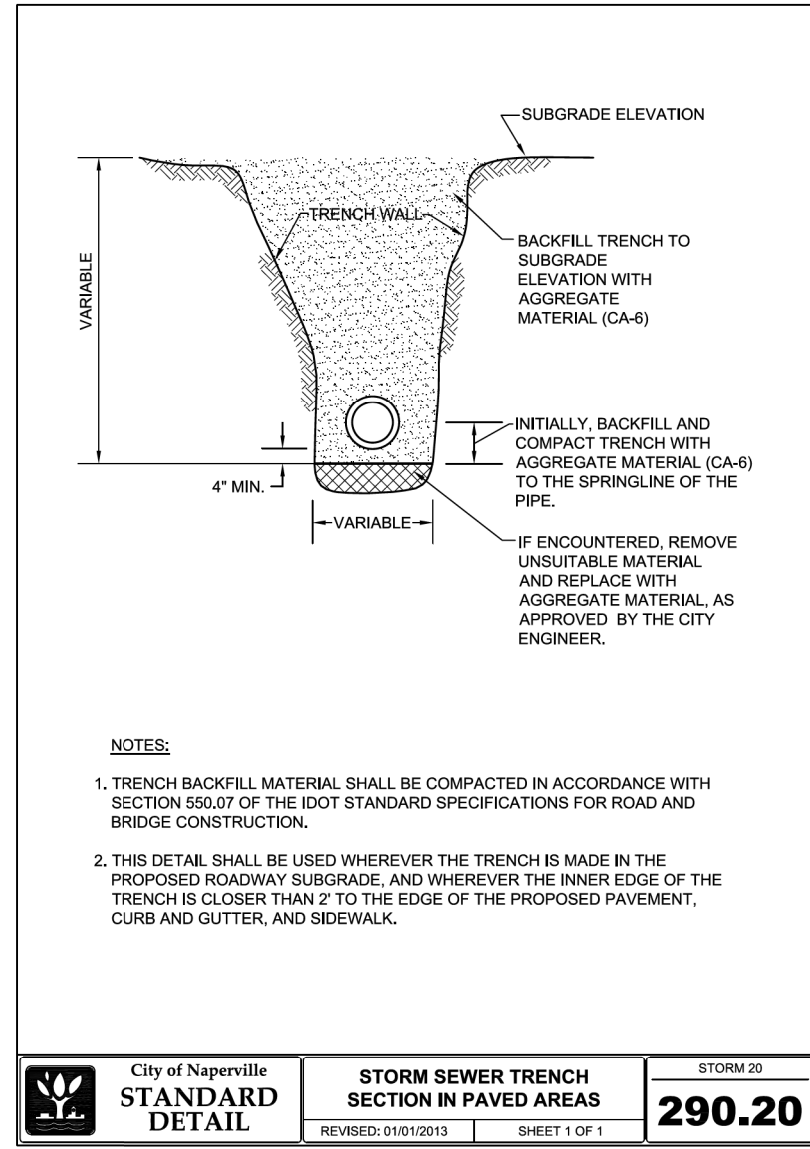
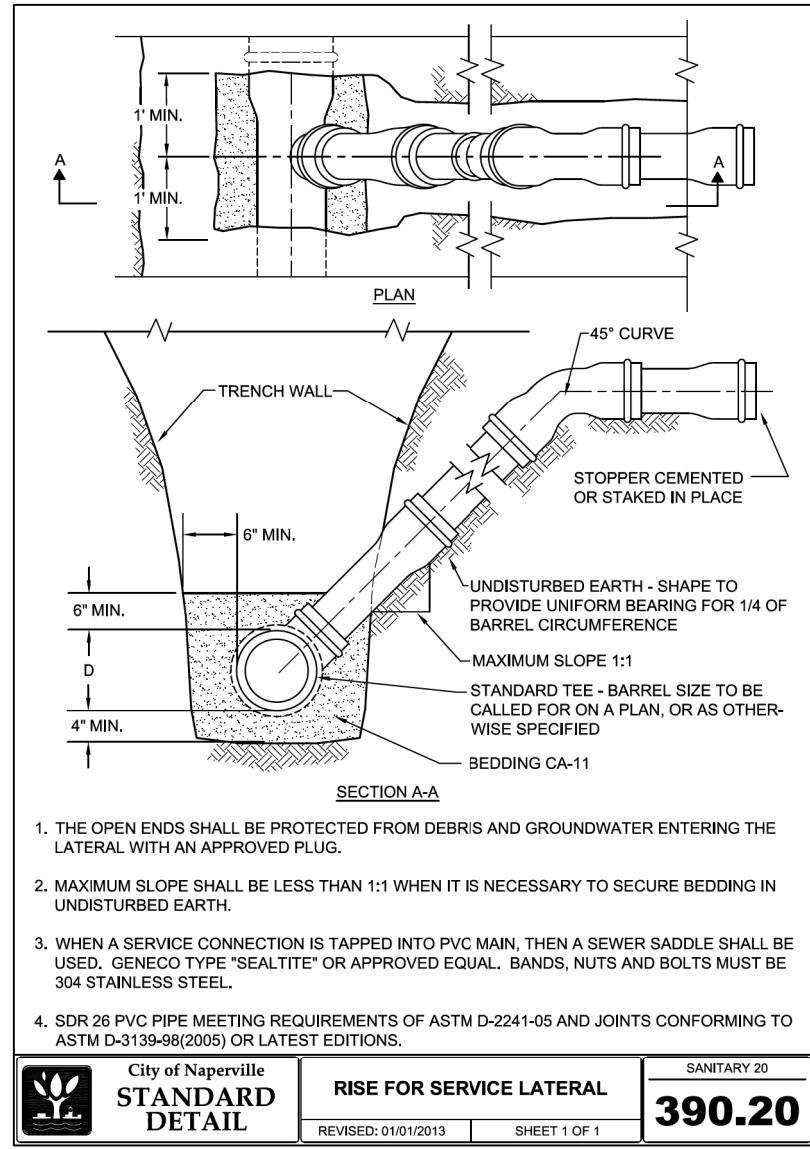
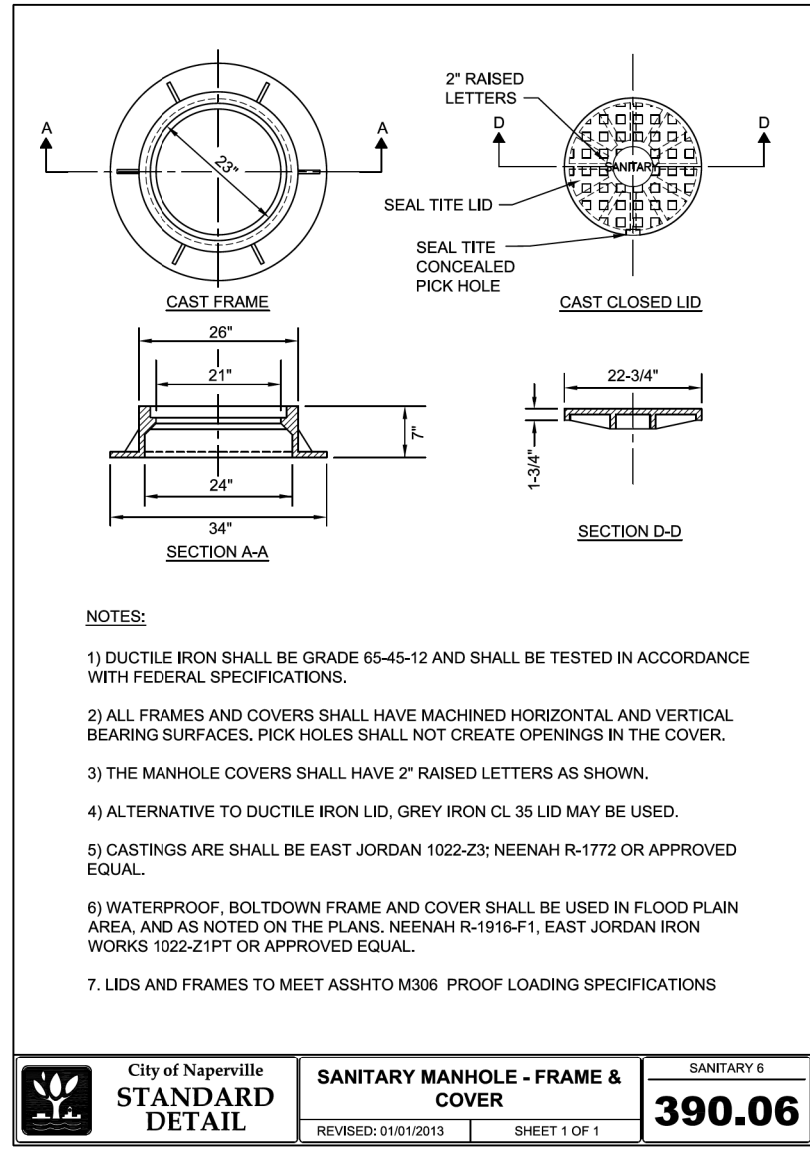
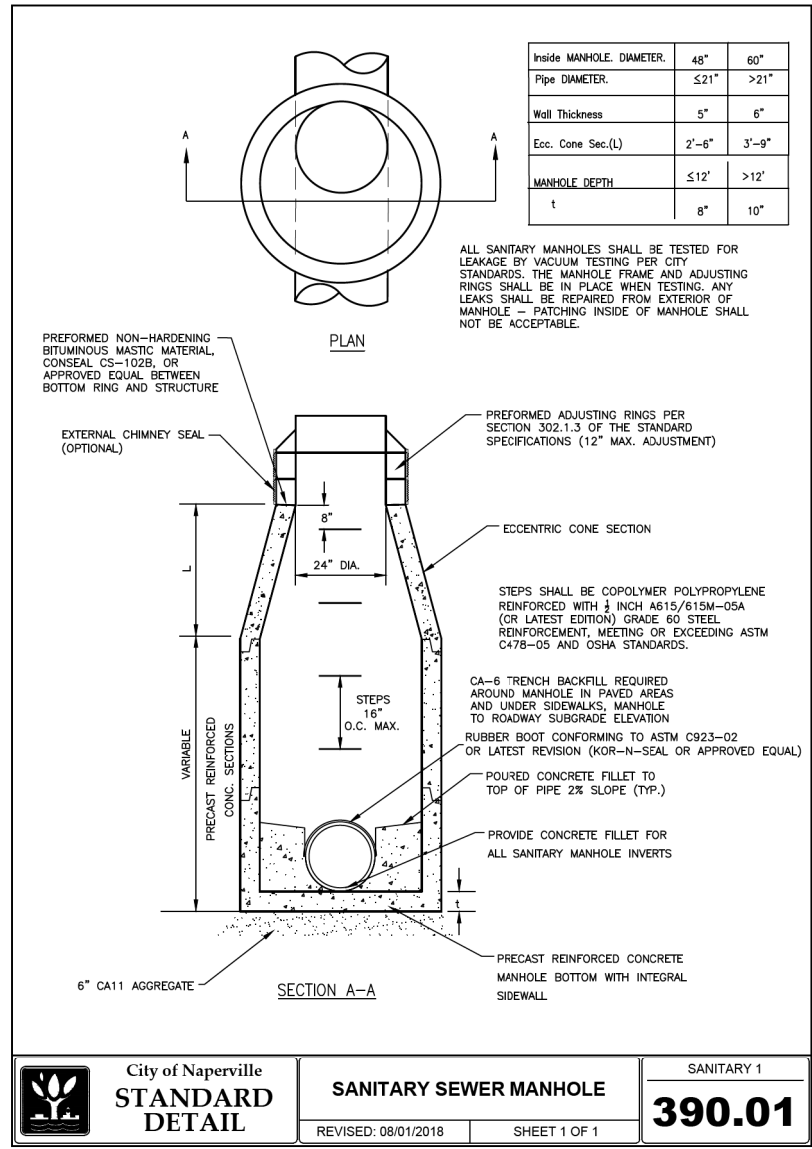
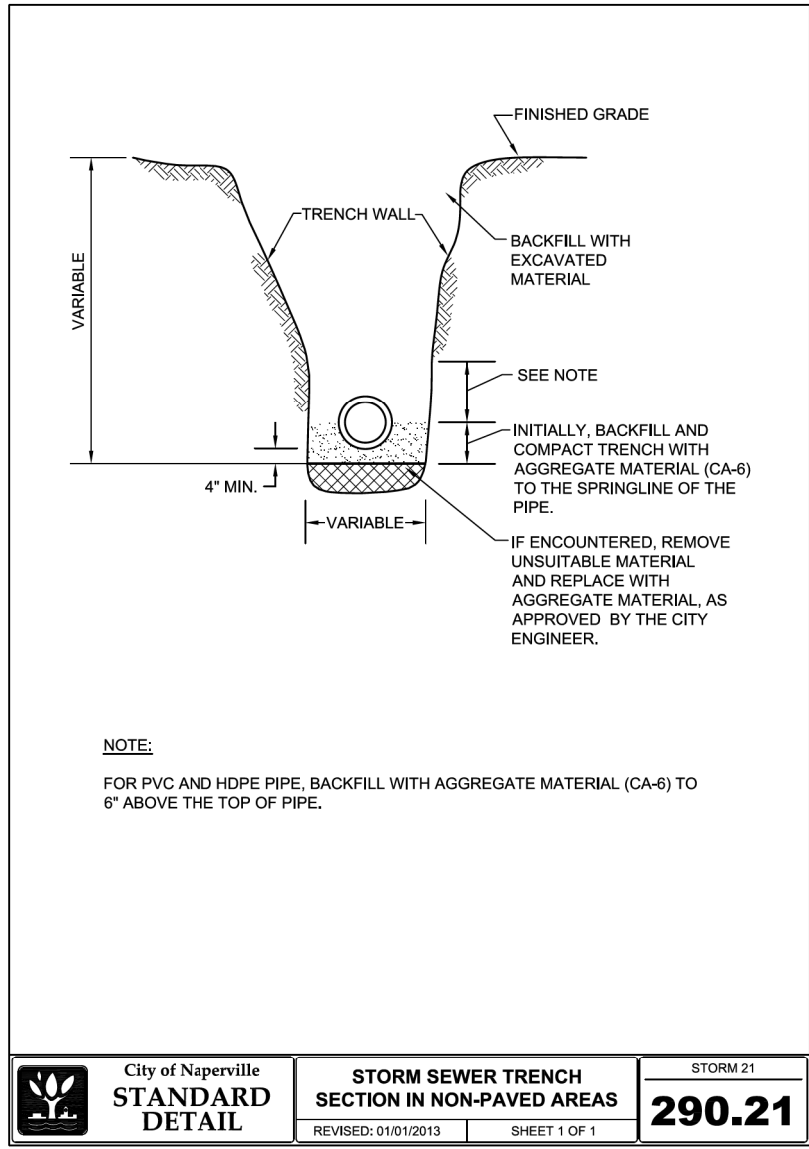
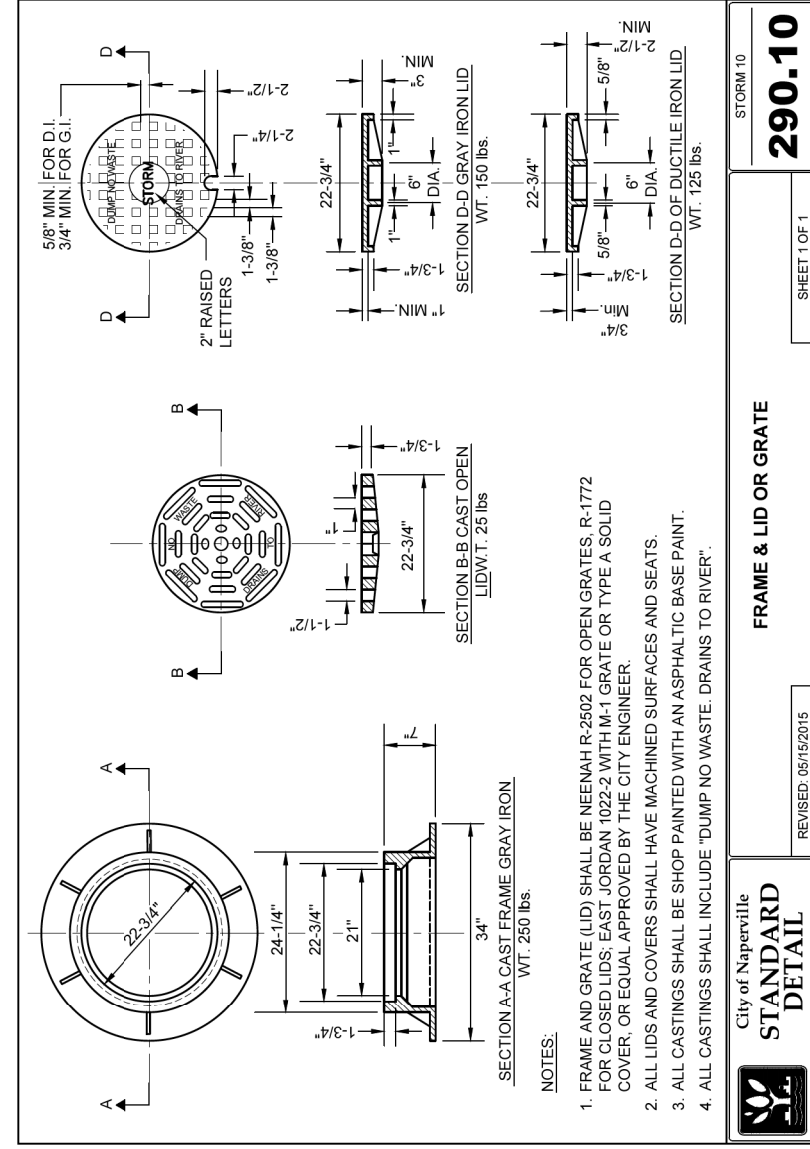
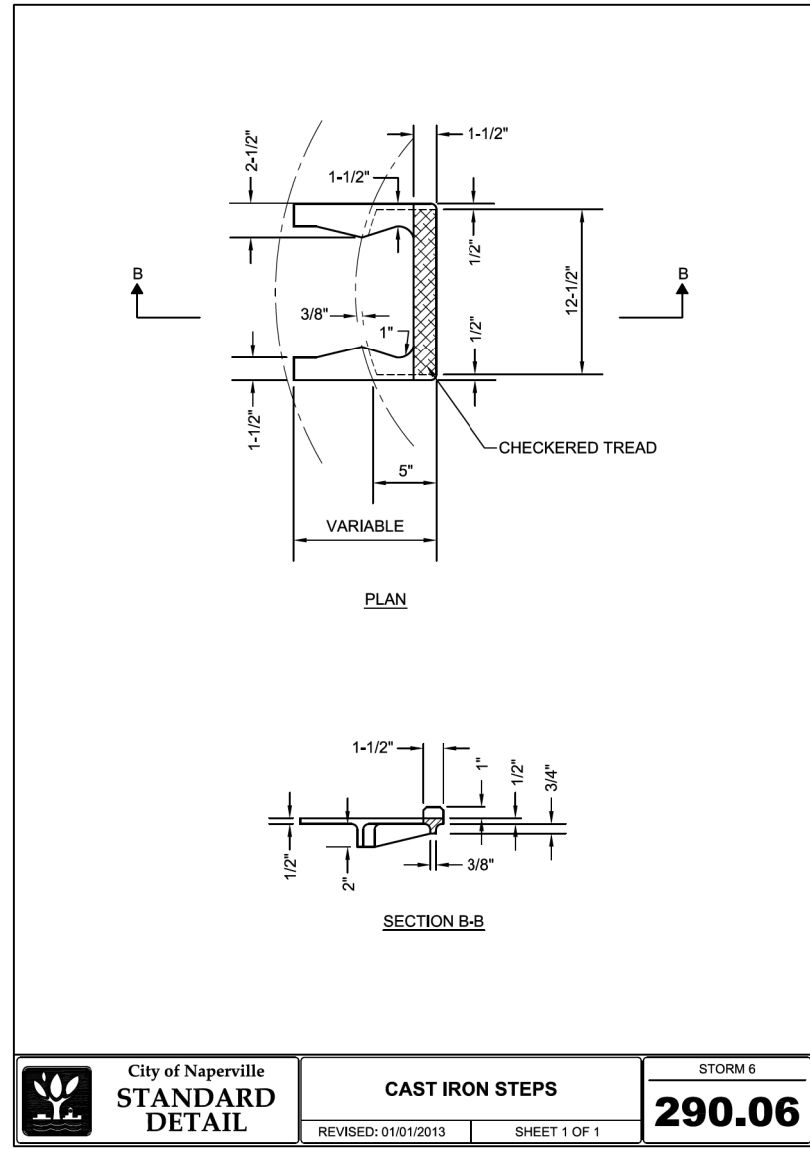
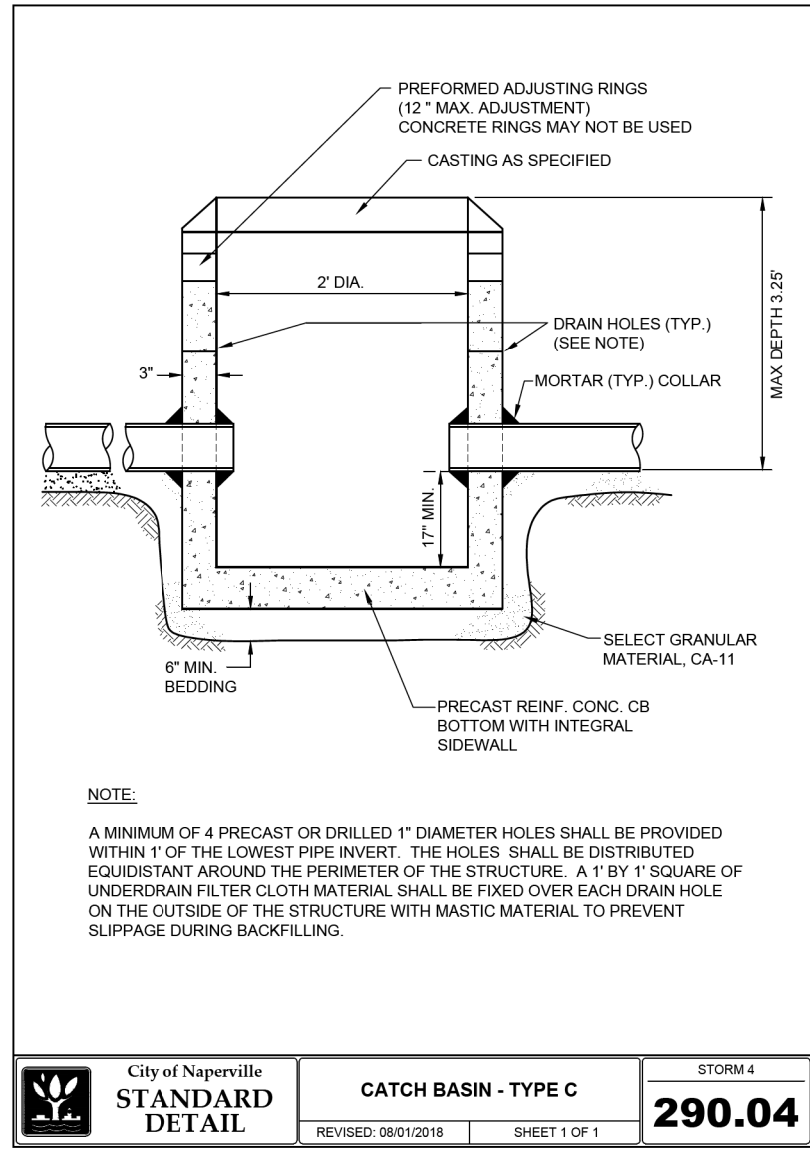
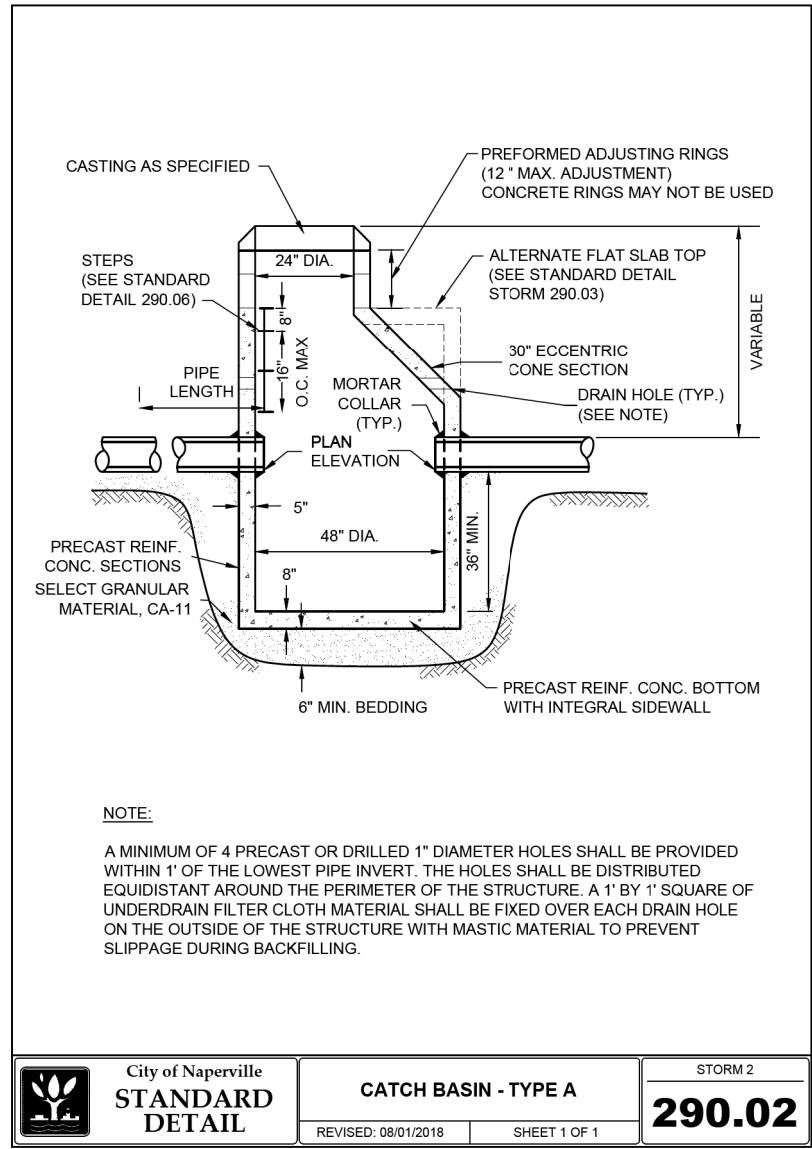
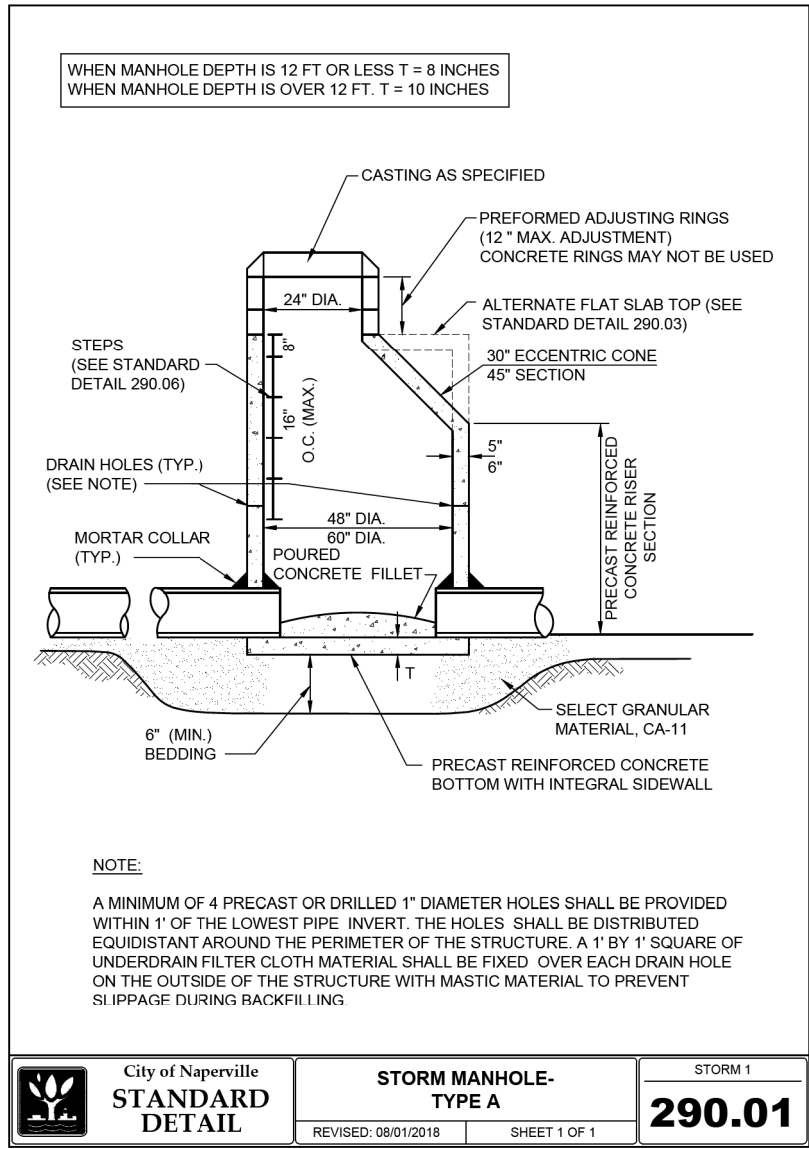
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No.	Revision/Issue	Date
2	Village Revision	10/13/24
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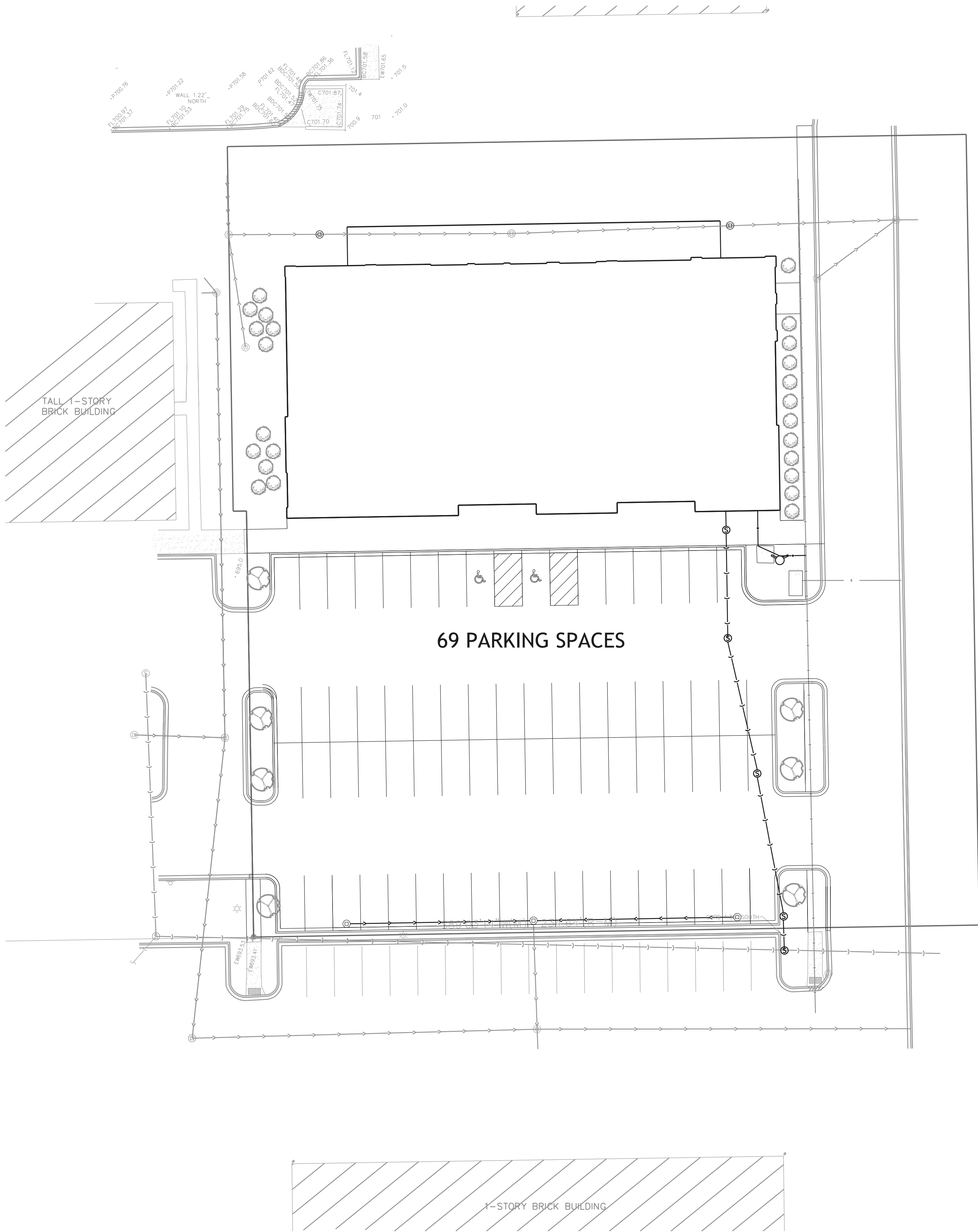
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Code	Botanical Name	Common Name	Size
Overstory Trees			
APO	Acer platanoides "emerald queen"	Emerald Queen Norway Maple	2.5" CM
BNH	Betula Nigra "Heritage"	Heritage River Birch	4' Ht.
COF	Gymnocaldus dioicus	Kentucky Coffee Tree	2.5" CM
Ornamental Trees			
AMA	Amelanchier Autumn "brilliance"	Autumn Brilliance Service berry	8' Ht.
CTM	Cornus Mas	Cornelian Cherry Dogwood	38" BAB
CYR	Crataegus viridis "Winter King"	Winter King Green Hawthorn	5' HT
Evergreen Trees			
ABO	Abies Concolor	White Fir	9' HT
JNC	Juniperus Virginiana "Canaertii"	Eastern Red Cedar	6' HT
PAP	Picea pungens	Colorado Spruce	9' HT
Deciduous Shrubs			
AAB	Aronia arbutifolia "brilliantissima"	Brilliant Red Chokeberry	30" RSB
COI	Cornus Sericea "Isanti"	Isanti Red Twig Dogwood	36" RSB
VGI	Viburnum Dentatum	Arrowwood Viburnum	3 CAL
Evergreen Shrubs			
JCX	Juniperus chinensis "Kallay's Compacta"	Kallay Compact Chinese Juniper	24" B&B
JSG	Juniperus chinensis "Sea Green"	Sea Green Chinese Juniper	30" B&B
FPJ	Rhododendron "P.J.M.""	P.J.M. Rhododendron	24" B&B
Groundcovers			
EFC	Euonymus Fortunei 'Coloratus'	Purple Wintercreeper	3" POT
HHT	Hedera Helix "Thorndale"	Thorndale English Ivy	3" POT
LSP	Liriope spicata	Creeping Lily Turf	3" POT
Perennials/Annuals			
AWP	Achillea Millefolium "Paprika"	Paprika Red Yarrow	1/2 Gal
WSC	Pennisetum Alopecuroides	Wanden grass	7 Gal
PAH	Pennisetum Alopecuroides "hameln"	Dwarf fountain grass	1 Gal

N

LEGEND

EVERGREEN SHRUBS

ORNAMENTAL TREES

GENERAL NOTES:

1. Clearance to transformer pad SHALL be 5’ from all sides, 10’ from front, and the area above must be completely clear of obstruction. No trees, shrubs, or other obstacles will be allowed within this area. Transformer pad SHALL maintain minimum clearance of 20’ from egress points. Per DPUE specifications C10-2130 AND C30-0016.
2. All planting must be at least 2’ away from underground electric service conductors

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Commercial Development
1936 Springbrook Square Dr., Naperville

Landscaping Plan



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Scale 1" - 20'

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