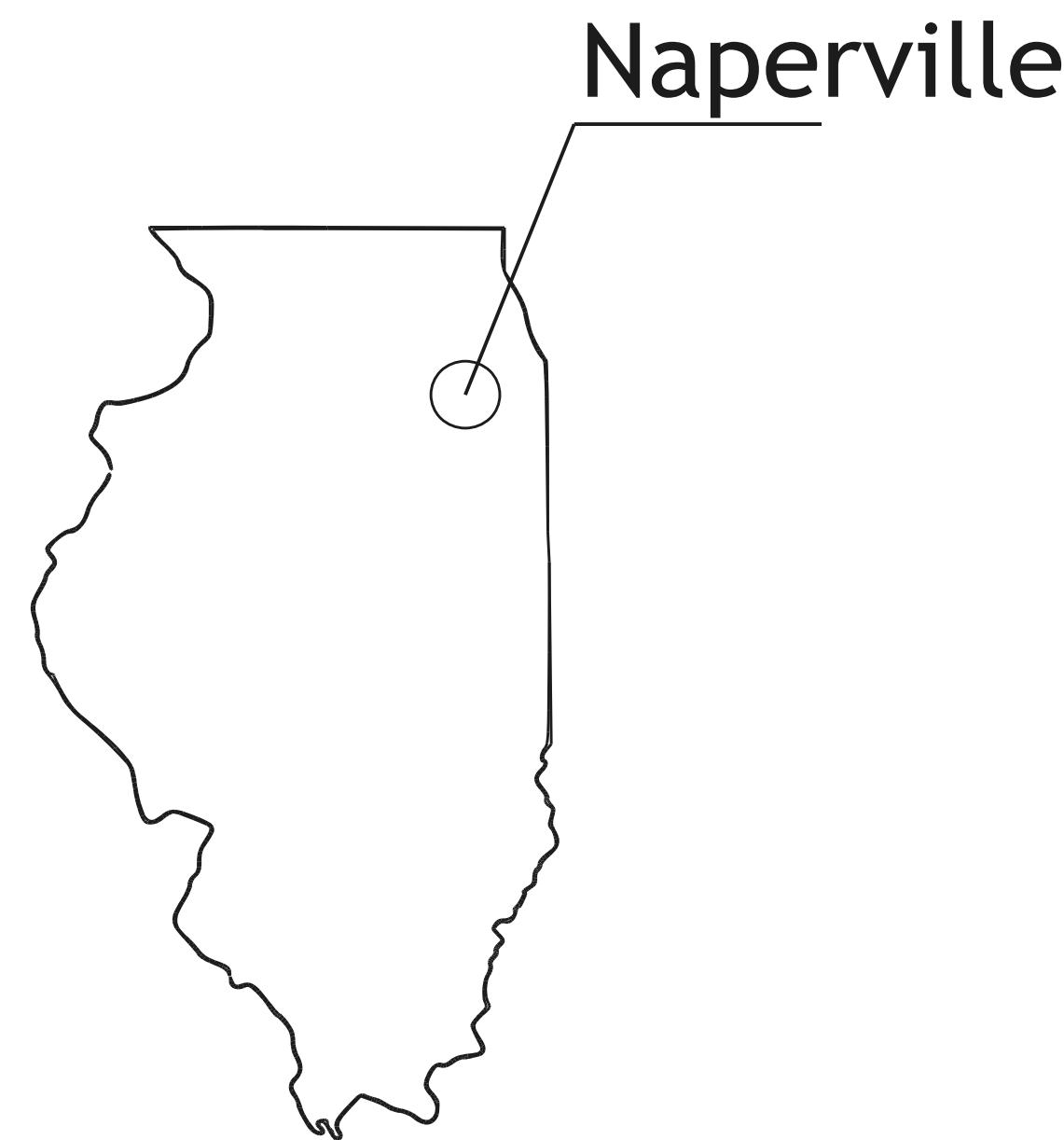


Final Site Plan

Commercial Development

1936 Springbrook Square Dr., Naperville,
Illinois, DuPage County, 60564



Civil Engineer:
Val Lykhlop
Fluenta Consulting
201 E. Lakeside Dr.
Vernon Hills, IL 60061
Tel: (773)-349-5881

Client:
AM Realty
4117 W. Oakton St.
Skokie, IL 60076
Tel: (847)626-0500

BENCHMARKS

REFERENCE BENCHMARK:

NAPERVILLE BENCHMARK STATION 1003

BERNSTEN 3D TOP SECURITY MONUMENT
CONSISTING OF A 9/16" DIA. STAINLESS STEEL
DATUM POINT ON THREADED 9/16" X 4' LONG ROD
TOTALING (16") IN LENGTH WITH GREASED TOP
SECURITY SLEEVE ENCLOSED IN SAND AND 6" PVC
PIPE WITH BMAC 6 ALUMINUM ACCESS COVER.

DATUM: NAVD 88
ELEVATION = 691.88

SITE BENCHMARKS:

SITE BENCHMARK #1

SOUTHWEST BOLT WITH TAG ON FIRE HYDRANT
NEAR SOUTHEAST CORNER OF SITE

ELEVATION = 694.01

SITE BENCHMARK #2

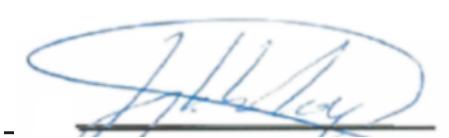
NORTHWEST BOLT WITH TAG ON FIRE HYDRANT AT
NORTH SIDE OF SITE

ELEVATION = 698.27

Index of sheets:

- C1 - Cover Sheet
- C2 - Site Plan
- C3 - Drainage Plan
- C4 - Erosion Control Plan
- C5 - Utility Plan
- C6 - General Notes
- C7 - Details
- C8 - Details
- C9 - Landscaping Plan



By: 
January 28, 2025
Illinois Professional Engineer
Certificate No. 062.067021
Expiration date: 11-30-2025

No.	Revision/Issue	Date
2	Village Revision	10/13/24
3	Village Revision	10/28/24
4	Village Revision	01/28/25

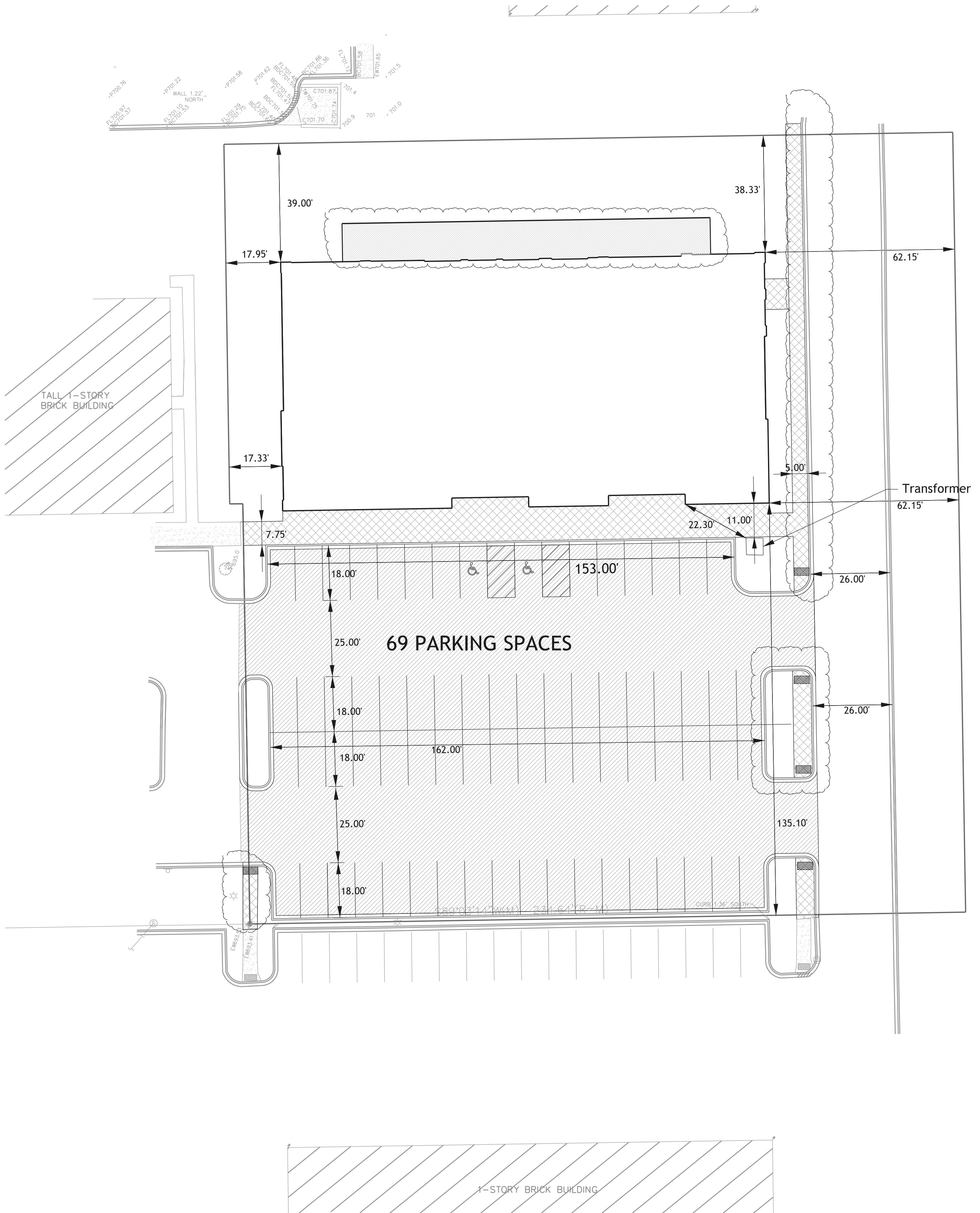
Commercial Development
1936 Springbrook Square Dr., Naperville



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201 E. Lakeside Dr.,
Vernon Hills, IL 60061
Tel: 773-349-5881

Project	Sheet
Date	
Scale	

C1



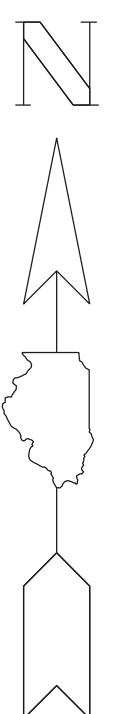
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Commercial Development
1936 Springbrook Square Dr., Naperville

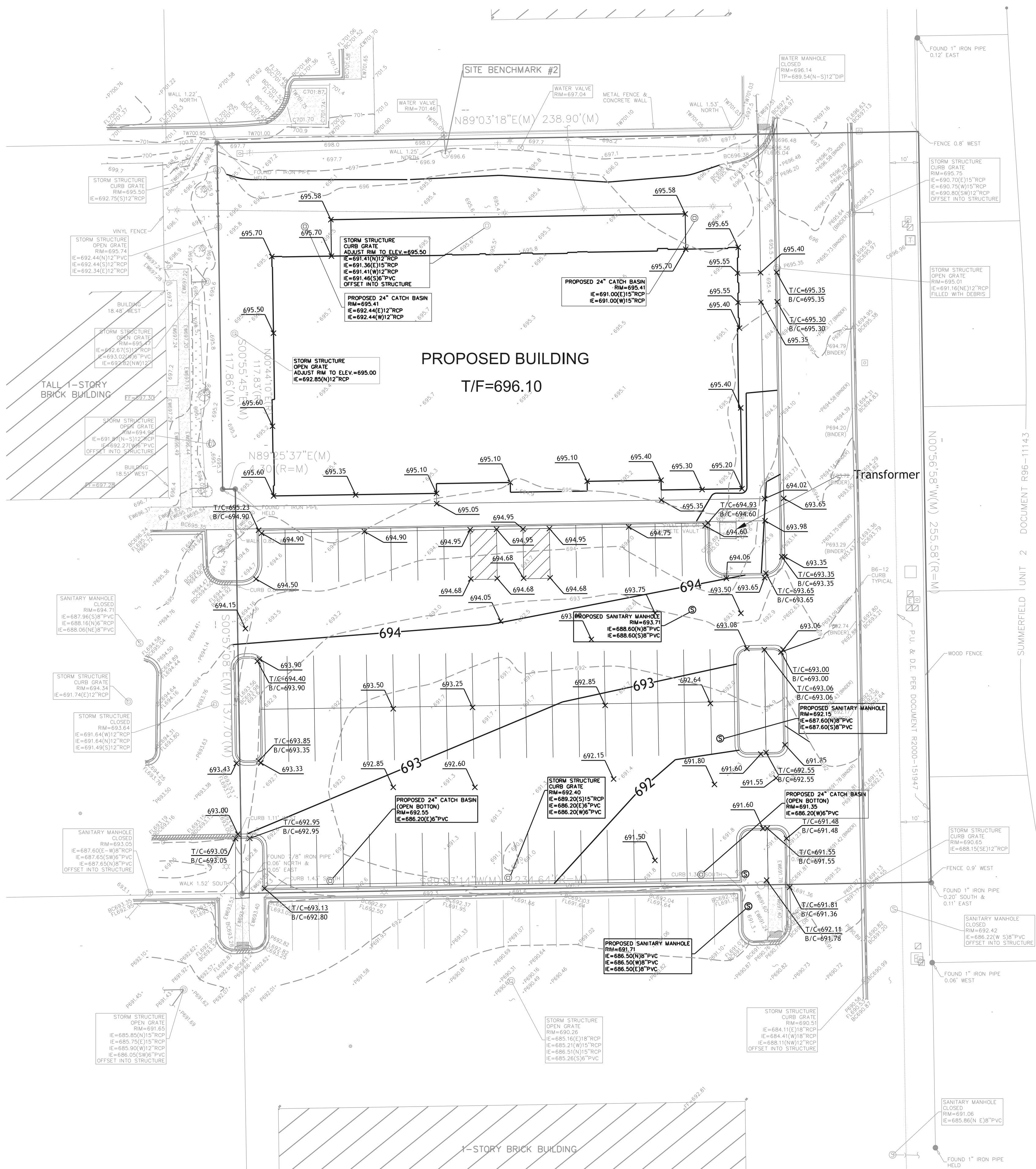
Site Plan

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Project
Date
Scale 1" - 20'
C2



LEGEND

- PROPOSED ELEVATION
- EXISTING ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR
- DRAINAGE FLOW
- SILT FENCE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING SANITARY SEWER
- PROPOSED STORM MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING STORM CATCH BASIN
- EMERGENCY OVERFLOW ROUTE
- EXISTING FIRE HYDRANT
- INLET BASKET PROTECTION
- H/P HIGH POINT
- T/R TOP OF RAMP
- B/R BOTTOM OF RAMP
- VOLUME CONTROL AREA
- CLEANOUT

No.	Revision/Issue	Date
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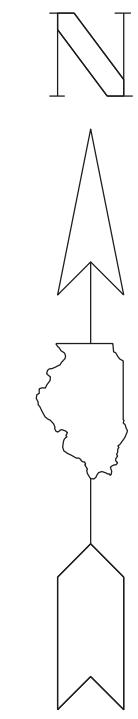
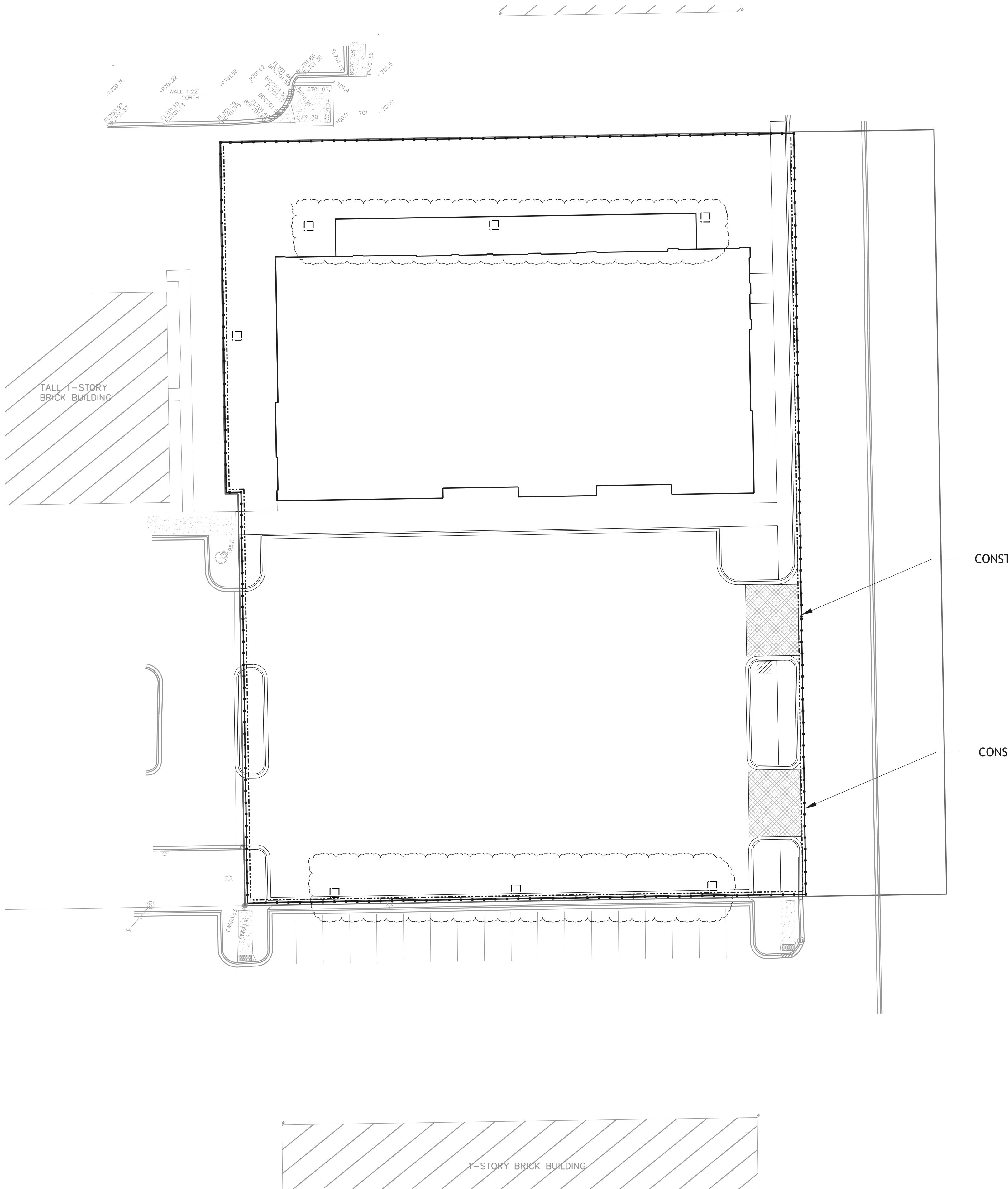
Commercial Development
1936 Springbrook Square Dr., Naperville

Drainage Plan

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Vernon Hills, IL 60061
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Project	Sheet
Date	
Scale 1" - 20'	C3



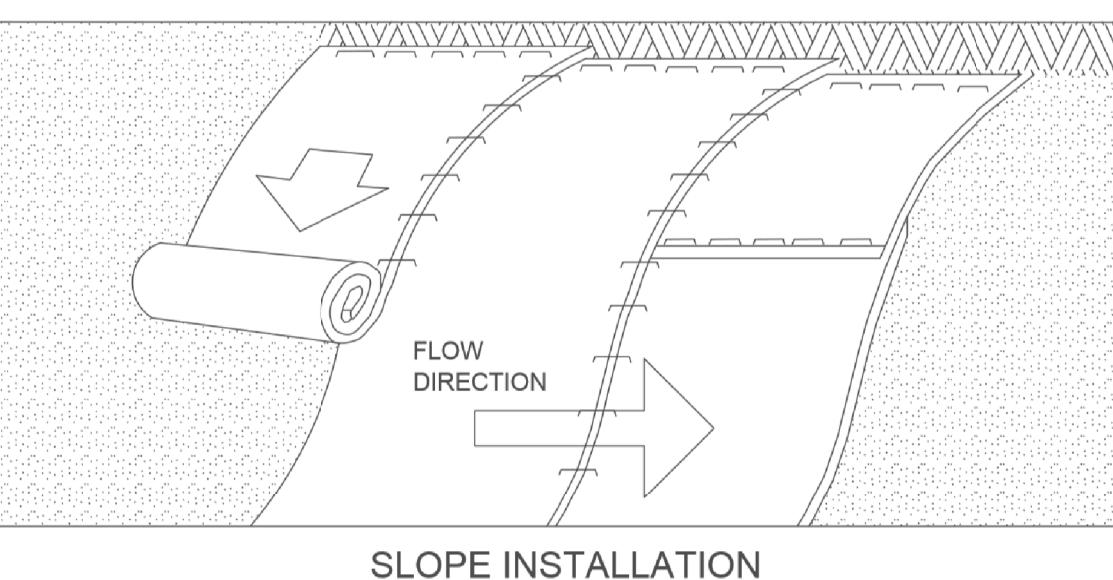
LEGEND

- SILT FENCE
- CONSTRUCTION FENCE
- EXISTING STORM MANHOLE
- EXISTING STORM CATCH BASIN
- EXISTING FIRE HYDRANT
- INLET BASKET PROTECTION
- ▨ CONSTRUCTION ENTRANCE
- ▨ WASHOUT AREA

EROSION CONTROL NOTES:

1. APPLY EROSION CONTROL BLANKET ON ALL DISTURBED AREAS.
2. STOCKPILES OF SOIL SHALL NOT BE LOCATED WITHIN SPECIAL MANAGEMENT AREAS.
3. STOCKPILES IN PLACE FOR MORE THAN THREE DAYS SHALL BE PROVIDED WITH SOIL EROSION AND SEDIMENT CONTROL PROCEDURES.
4. PUMPING SEDIMENT LADEN WATER INTO ANY STORMWATER FACILITY THAT IS NOT DESIGNATED TO BE A SEDIMENT CONTROL MEASURE, SEDIMENT TRAP, OR SEDIMENT BASIN EITHER DIRECTLY OR INDIRECTLY WITHOUT FILTRATION IS PROHIBITED.
5. WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION SHALL BE FILTERED.
6. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO PREVENT THE DEPOSITION OF SOIL ONTO PUBLIC OR PRIVATE ROADWAYS, ANY SOIL REACHING THE PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED BEFORE THE END OF EACH WORKDAY.
7. THE APPLICANT SHALL PROVIDE ADEQUATE RECEPTACLES FOR THE DEPOSITION OF ALL CONSTRUCTION DEBRIS GENERATED DURING THE DEVELOPMENT PROCESS. THE APPLICANT SHALL NOT CAUSE, OR PERMIT, THE DUMPING, DEPOSITION, DROPPING, THROWING, BLOWING, DISCARDING OR LEAVING OF CONSTRUCTION MATERIAL DEBRIS UPON OR INTO ANY DEVELOPMENT SITE, CHANNEL, POND, LAKE, WETLAND, BUFFER, OR WATERS OF DUPAGE COUNTY. THE APPLICANT SHALL MAINTAIN THE DEVELOPMENT SITE FREE OF UNCONTROLLED CONSTRUCTION DEBRIS. CONSTRUCTION SITE OPERATORS SHALL IMPLEMENT APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL, AND CONTROL WASTE SUCH AS, DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER, AND SANITARY WASTE THAT MAY CAUSE ADVERSE IMPACT TO WATER QUALITY.
8. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED. TRAPPED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION.

EROSION CONTROL DETAIL:



SLOPE INSTALLATION

NOTES:

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE (OR CHANNEL) BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS DOWN (STARTING AT DOWNSTREAM PROCEEDING UPSTREAM) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH AN APPROXIMATE (MIN) 4" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (HINGLE STYLE) WITH APPROXIMATELY A (MIN) 6" OVERLAP. USE A DOUBLE ROW OF STAPLED STAPLES 4" APART TO SECURE BLANKETS.
6. IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A ROW OF STAPLES 4" APART OVER ENTIRE WIDTH OF THE CHANNEL. PLACE A SECOND ROW 4" BELOW THE FIRST ROW IN A STAGGERED PATTERN.
7. THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

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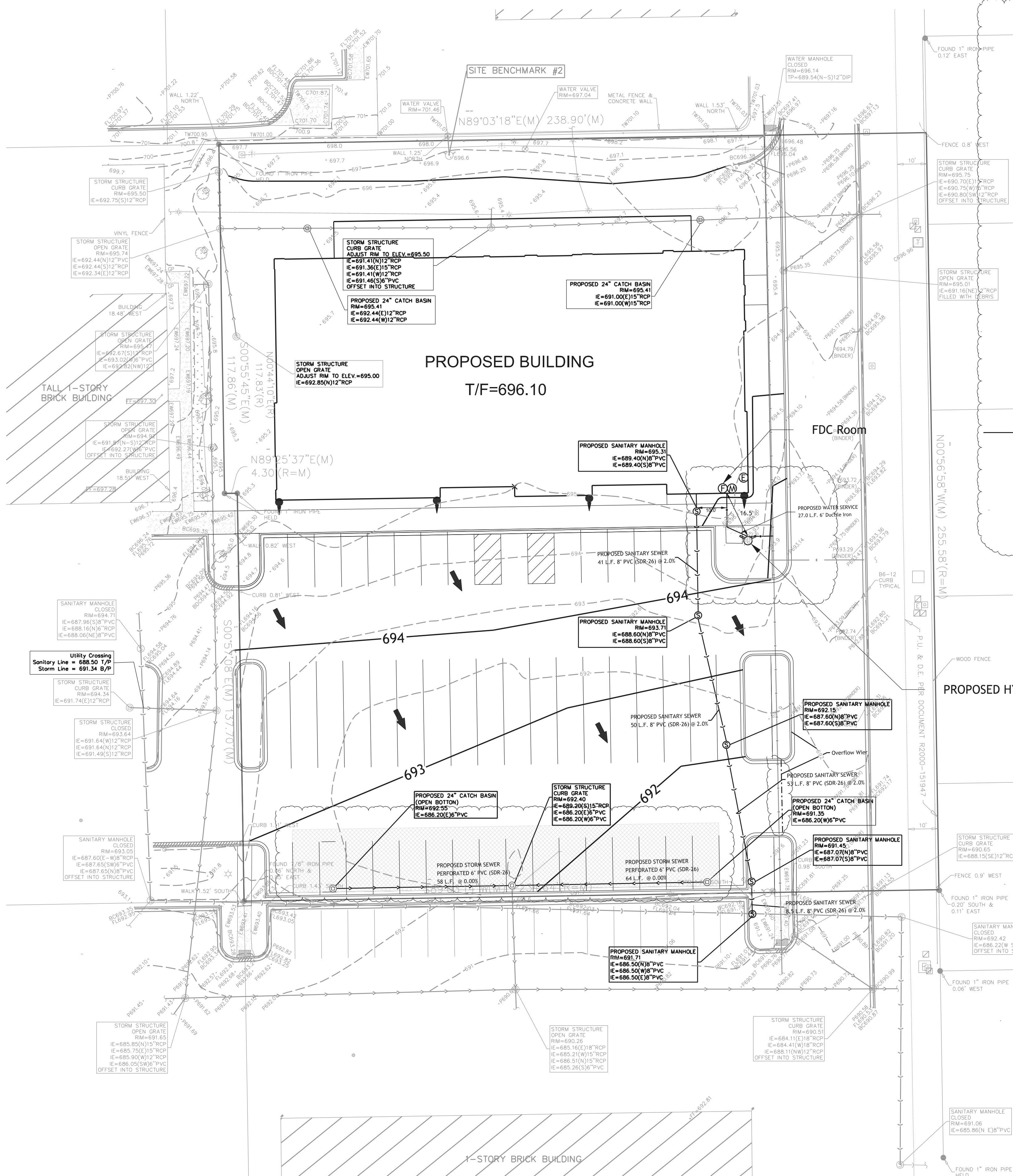
Commercial Development
1936 Springbrook Square Dr., Naperville

Erosion Control Plan



Fluenta Consulting
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Project	Sheet
Date	
Scale 1" - 20'	C4



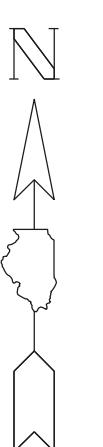
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Commercial Development
1936 Springbrook Square Dr., Naperville

Utility Plan

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Tel: 773-349-5881



LEGEND

684	PROPOSED ELEVATION
682.47	EXISTING ELEVATION
609	EXISTING CONTOUR
781	PROPOSED CONTOUR
~~~~~	DRAINAGE FLOW
—	SILT FENCE
—	EXISTING STORM SEWER
—	PROPOSED STORM SEWER
—	EXISTING SANITARY SEWER
—●—	PROPOSED SANITARY SEWER
○	EXISTING SANITARY SEWER
●	EXISTING STORM MANHOLE
○	EXISTING STORM CATCH BASIN
→	EMERGENCY OVERFLOW ROUTE
○	PROPOSED FIRE HYDRANT
□	INLET BASKET PROTECTION
H/P	HIGH POINT
T/R	TOP OF RAMP
B/R	BOTTOM OF RAMP
■	VOLUME CONTROL AREA
○	CLEANOUT
F	FIRE DEPT WATER LINE
M	METER
E	ELECTRIC METER

**C5**

## GENERAL NOTES & SPECIFICATIONS:

1. ALL UTILITY AND CONDUIT TRENCHES SHALL BE BACKILLED WITH IDOT CA-7 BACKFILL WHEN ANY PORTION OF THE TRENCH IS WITHIN 5' OF PROPOSED AND EXISTING PAVEMENT, SIDEWALK, CURB & GUTTER OR DRIVEWAYS..

2. ALL UNDERGROUND CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE 2014 "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", ILLINOIS MUNICIPAL LEAGUE, LATEST EDITION, EXCEPT AS MAY BE MODIFIED BY PROJECT PLANS AND SPECIFICATIONS.

3. ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR DUPAGE COUNTY. EACH CONTRACTOR SHALL BE PROVIDED WITH THE APPLICABLE SECTIONS OF THIS SPECIFICATION IN THE BID PACKAGE.

4. ALL ELEVATIONS SHOWN ARE USGS DATUM.

5. DUPAGE COUNTY BUILDING AND ENGINEERING DEPARTMENT SHALL BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE START CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ALL JURISDICTIONAL AGENCIES AND ALL UTILITY COMPANIES WITH FACILITIES THAT MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION, AND ENSURING THAT ALL UNDERGROUND LINES ARE LOCATED, PRIOR TO COMMENCING CONSTRUCTION.

6. ALL WORK TO MEET ALL STATE AND LOCAL CODES.

7. THE CONTRACTOR(S) SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC. FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION AND TESTING OF THE WORK ON THIS PROJECT.

8. ALL WORK SHALL COMPLY WITH THE IEPA "STANDARD SPECIFICATION FOR SOIL EROSION AND SEDIMENT CONTROL 2011 EDITION." THE CONTRACTOR SHALL TAKE WHATEVER STEPS ARE NECESSARY TO CONTROL EROSION ON THE SITE. EROSION CONTROL FEATURES SHALL BE CONSTRUCTED CONCURRENTLY WITH OTHER WORK ON THE SITE. THE CONTRACTOR SHALL TAKE SUFFICIENT PRECAUTIONS TO PREVENT POLLUTION OF STREAMS, LAKES AND RESERVOIRS WITH FUELS, OILS, BITUMS, CALCIUM CHLORIDE OR OTHER HARMFUL MATERIALS. HE SHALL CONDUCT AND SCHEDULE HIS OPERATIONS SO AS TO AVOID OR MINIMIZE SILTATION OF STREAMS, LAKES AND RESERVOIRS. HAULING WILL NOT BE ALLOWED WHEN THE WORK SITE IS TOO WET TO MAINTAIN ACCEPTABLE CONDITIONS ON ADJACENT STREETS. ADJACENT STREETS AND DRIVEWAYS SHALL BE MANUALLY OR MECHANICALLY SWEEP PERIODICALLY AS MAY BE RESPONSIBLE FOR REMOVING SEDIMENT RESULTING FROM THIS PROJECT FROM STORM SEWERS AND DRAINAGE STRUCTURES AT NO ADDITIONAL COST.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLIANCE WITH ALL OF THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT INCLUDING THOSE REQUIREMENTS FOR OPEN CUT TRENCHES AND SHEETING AND BRACING AS REQUIRED. AT NO TIME WILL THE ENGINEER OR ANY OF HIS EMPLOYEES BE HELD LIABLE, EITHER DIRECTLY OR AS THIRD PARTY PARTICIPANTS TO ANY LITIGATION CONCERNED WITH CONSTRUCTION PROJECT.

10. AREAS OF PAVEMENT FAILURE REQUIRE FULL DEPTH PATCHING.

## FIRE DEPARTMENT NOTES & SPECIFICATIONS:

1. ENSURE THAT THE DRIVABLE PAVEMENT, SERVICING AS FD ACCESS DRIVE/LANE, HAS A MINIMUM WIDTH OF 20 FEET WITH A CLEAR HEIGHT OF 13 FEET/ 6 INCHES. (IFC 503.2.1)

2. ENSURE PARKING SPACES TO NOT ENTRAOCH ON APPARATUS ACCEESS ROAD/LANE, TRUCK TURNING RADIUS SUBJECT TO FIELD TEST ON SITE. (CALL FIRE DISTRICT FOR TURNING RADIUS INFORMATION).

3. FIRE APPARATUS ACCESS ROAD/LANE MUST BE OPERATIONAL PRIOR TO THE INITIATION OF CONSTRUCTION. PLEASE CONTACT FIRE DISTRICT FOR SITE INSPECTION. (IFC 1410.1)

4. APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON SITE. (IFC 1412.1)

5. WHERE A FIRE HYDRANT IS LOCATED ON A FIRE APPARATUS ACCESS ROAD/LANE, THE MINIMUM ROAD WIDTH SHALL BE 26 FEET. (IFC D103.1)

## TRAFFIC CONTROL NOTES & SPECIFICATIONS:

1. THE CONTRACTOR IN ACCORDANCE WITH I.D.O.T. STANDARDS SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL AND SIGNS.

2. THE CONTRACTOR SHALL MAINTAIN TEMPORARY ACCESS TO ALL ROADWAYS AND DRIVEWAYS DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY HOMEOWNERS AT LEAST 24 HOURS IN ADVANCE OF TEMPORARY OPEN CUTS REQUIRED TO INSTALL UTILITIES ACROSS DRIVEWAYS.

## STORM SEWER NOTES & SPECIFICATIONS:

1. THERE SHALL BE A MAXIMUM OF 2 ADJUSTING RINGS WITH A MAXIMUM TOTAL HEIGHT OF 6".

2. ANY ADJUSTMENT IN PAVED AREAS SHALL USE PREFORMED RUBBER ADJUSTING RINGS, WHICH ARE 3" OR LESS IN THICKNESS.

3. CONNECTION TO EXISTING STORM SEWER STRUCTURES SHALL BE DONE BY CORING THE CONCRETE BARREL SECTION.

4. PRECAST CONCRETE SECTIONS FOR MANHOLES, CATCH BASINS, INLETS SHALL MEET ASTM C 478.

5. PRIOR IEPA APPROVAL IS REQUIRED IN ORDER TO CONSTRUCT STORM MAINS OVER WATER MAINS.

# General Notes

## EARTHWORK & SPECIFICATIONS:

6. ALL EXISTING FIELD DRAINAGE TILES ENCOUNTERED OR DAMAGED DURING CONSTRUCTION ARE TO BE RESTORED TO THEIR ORIGINAL CONDITION, PROPERLY REROUTED, AND/OR CONNECTED TO THE STORM SEWER SYSTEM. THE CONTRACTOR SHALL KEEP A RECORD OF ALL LOCATIONS OF FIELD DRAINAGE THE ENCOUNTERED UNLESS OTHERWISE NOTED.

7. ALL UTILITY COMPANY CONDUITS ARE NOT NECESSARILY SHOWN ON THE DRAWINGS AND MUST BE LOCATED IN THE FIELD PRIOR TO CONSTRUCTION.

8. THE CONTRACTOR SHALL FIELD VERIFY THE EXISTING CONDITIONS AND NOTIFY FLUENTA CONSULTING OF ANY DISCREPANCIES.

9. CONTRACTOR WILL BE RESPONSIBLE FOR REPAIRING ALL EXISTING PAVEMENT DAMAGED DURING CONSTRUCTION THAT IS NOT SPECIFIED.

10. SUBGRADE PREPARATION FOR ALL PAVEMENTS SHOWN ON THE DRAWINGS SHALL INCLUDE TOPSOIL STRIPPING AND REMOVAL OF ANY UNDERLYING UNSTABLE/DELETERIOUS MATERIAL. THE PAVEMENT SUBGRADE AND STONE BASE SHALL EACH BE PROOF ROLLED BY A LOADED SEMI DUMP TRUCK. UNSUITABLE MATERIAL IDENTIFIED DURING THE PROOF ROLL SHALL BE REMOVED. FOR THE SUBGRADE, UNDERCUTS SHALL BE FILLED WITH FABRIC AND 3" ROCK.

11. APPLY PRIME COAT UNIFORMLY OVER SURFACE OF COMPACTED AGGREGATE BASE AT A RATE OF 0.40 GAL/SY. APPLY ENOUGH MATERIAL TO PENETRATE AND SEAL, BUT NOT FLOOD SURFACE. ALLOW PRIME COAT TO CURE FOR 72 HOURS MINIMUM.

12. IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO NOTIFY J.U.L.I.E PRIOR TO PERFORMING ANY EXCAVATIONS.

13. THE CONTRACTOR SHALL PROVIDE THE MUNICIPALITY AND FLUENTA CONSULTING WITH A COMPLETE SET OF RECORD DRAWINGS WITHIN 30 DAYS OF COMPLETION OF THE WORK. DRAWINGS SHALL INCLUDE ELEVATIONS, LOCATION OF OTHER UTILITIES, SERVICES, FIELD TILES, ETC.

14. ALL PROPERTY DIMENSIONS AND AREAS ARE APPROXIMATE AND SUBJECT TO CHANGE PER FINAL SURVEY.

15. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.

16. ALL CURB RADII ARE FACE OF CURB UNLESS OTHERWISE NOTED.

17. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.

18. CONTRACTORS TO VERIFY DIMENSIONS PRIOR TO STARTING WORK AND NOTIFY ENGINEER IF ANY DISCREPANCIES ARE FOUND.

19. CONTRACTOR TO PROVIDE TEMPORARY TRAFFIC CONTROL MEASURES DURING CONSTRUCTION OF ENTRANCES OF R.O.W. IN ACCORDANCE WITH I.D.O.T. REQUIREMENTS.

20. CONTRACTOR SHALL VERIFY WITH LOCAL MUNICIPALITY OR CONTROLLING JURISDICTION AS TO THE NECESSITY FOR AND REQUIREMENTS RELATING TO THE INSPECTION BY AN APPROVED ON-SITE ENGINEER.

21. SHOULD THE GENERAL NOTES & SPECIFICATIONS OR DETAILS CONFLICT WITH DUPAGE COUNTY GENERAL NOTES & SPECIFICATIONS OR DETAILS THE MOST RESTRICTIVE SPECIFICATION OR DETAIL SHALL DICTATE.

## ELECTRICAL NOTES:

The developer SHALL supply the DPU-E engineer with catalog cuts for all CT/meter equipment (including but not limited to meter sockets, PT cabinet, CT cabinet, disconnect cabinet) and transformer pad/vault. The catalog cuts SHALL be approved by DPU-E prior to purchasing.

The CT/meter cabinet SHALL be top fed.

CT/meter equipment are long lead time items and DPU-E shall not be held responsible for delays resulting from non-compliant CT/meter equipment.

Please provide name and contact information for Electrical Contractor for this project.

DPU-E will provide, install, and maintain the transformers, all primary (15kV) cable and conduit, and the meters and instrument transformers. DPU-E will also make the final connections in the transformers once the inspection is complete and the building is ready to be energized.

The developer is responsible for providing, installing, and maintaining the transformer pad/vault, all service lateral (480V) cable and conduit, the service entrance equipment including the CT/meter cabinet and all banked meter sockets.

The developer SHALL coordinate site construction with DPU-E to allow electric facilities to be installed prior paving and curbing. DPU-E requires 30 working days advance written notice prior to pavement installation to allow for the installation of electric facilities. Grade elevation must be within 4" of final grading before electric facilities can be installed.

Electric facilities SHALL be installed pursuant to Section 8-1C-3 of the City of Naperville Municipal Code, which requires a construction fee payment for installation of electric facilities.

At all times, the Customer shall be solely responsible for maintaining a suitable approach to the meter location, with no obstructions within four (4') feet of the front and two (2') feet of the sides of the Meter. Per NAPERVILLE SERVICE RULES AND POLICIES 22.2F.

Clearance to transformer pad SHALL be 5' from all sides, 10' from front, and the area above must be completely clear of obstruction. No trees, shrubs, or other obstacles will be allowed within this area. Transformer pad SHALL maintain minimum clearance of 20' from egress points. Per DPU-E specifications C10-2130 AND C30-0016.

The transformer is located near vehicular traffic. Developer is responsible for providing and installing 8" bollards per DPU-E specification C10-2222. Additional easements are required. All DPU-E owned primary/secondary cable and equipment (transformers, switches, etc...) must be installed inside of a public utility easement.

## WATER UTILITIES GENERAL NOTES:

A. NEW WATER MAIN VALVES, INCLUDING PRESSURE TAP VALVES, ADJACENT TO AN EXISTING WATER MAIN, AND EXISTING WATER MAIN VALVES SHALL ONLY BE OPERATED BY THE CITY OF NAPERVILLE, DEPARTMENT OF PUBLIC UTILITIES CEE/CM DIVISION PERSONNEL WITH 48-HOUR NOTICE (MONDAY-FRIDAY). CONTACT NAPERVILLE TED BUSINESS GROUP AT 630-420-6082 FOR SCHEDULING.

B. ANY EXISTING UTILITY STRUCTURES REQUIRING ADJUSTMENT OR RECONSTRUCTION SHALL BE COMPLETED BY THE CONTRACTOR TO THE SATISFACTION OF THE UTILITY OWNER. ADJUSTMENTS AND/OR RECONSTRUCTIONS NOT CALLED FOR ON THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. NO MORE THAN A TOTAL OF 12 INCHES OF ADJUSTING RINGS AND/OR 2 ADJUSTING RINGS SHALL BE ALLOWED. ALL STRUCTURE FRAMES SHALL BE FLUSH WITH FINAL GRADE. CONCRETE ADJUSTMENT RINGS ARE NOT ALLOWED.

C. TREES SHALL BE INSTALLED A MINIMUM OF FIVE (5) FEET HORIZONTALLY FROM UNDERGROUND ELECTRICAL FEEDERS, SANITARY SEWERS, SANITARY SERVICES, WATER MAINS, AND WATER SERVICES. TREES SHALL BE INSTALLED A MINIMUM OF TEN (10) FEET HORIZONTALLY FROM UTILITY STRUCTURES AND APPURTENANCES, INCLUDING, BUT NOT LIMITED TO, MANHOLES, VALVE VAULTS, VALVE BOXES AND FIRE HYDRANTS. NO TREES, SHRUBS OR OBSTACLES WILL BE ALLOWED 10' IN FRONT OF, 5' ON THE SIDES, AND 7' TO THE REAR OF THE ELECTRICAL TRANSFORMER.

D. ALL RETAINER GLANDS WHEN REQUIRED TO RESTRAIN VALVES, FITTINGS, HYDRANTS, AND PIPE JOINTS SHALL BE MECHANICAL JOINT WEDGE ACTION TYPE MEGALUG 1100 SERIES AS MANUFACTURED BY EBBA IRON, INC. OR UNI-FLANGE BLOCKBUSTER 1400 SERIES AS MANUFACTURED BY FORD METER BOX CO. AND SHALL BE FOR USE ON DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.51, FOR NOMINAL PIPE SIZES 3" THROUGH 48".

E. EXISTING DUCTILE IRON SYSTEMS FOR RESTRAINING PUSH-ON PIPE BELLS SHALL BE MEGALUG SERIES 1100HD OR FORD SERIES 1390.

F. EXISTING DUCTILE IRON SYSTEMS REQUIRING RESTRAINT SHALL BE MEGALUG SERIES 1100SD (SPLIT MEGALUG) FOR MECHANICAL JOINTS.

G. DUCTILE IRON WATER MAIN TO BE CLASS 52, ALL DUCTILE IRON PIPE IS TO BE ENCASED IN POLYETHYLENE FILM POLYETHYLENE ENCASEMENT TO BE INSTALLED IN ACCORDANCE WITH ANSI/AWWA C105/A21.5-05.

H. A SET OF AS-BUILT RECORD DRAWING SHALL BE GIVEN TO THE CITY OF NAPERVILLE UPON COMPLETION OF IMPROVEMENTS SHOWING THE ELEVATION AND LOCATION (TIED TO TWO POINTS) OF ALL NEW AND EXISTING STRUCTURES INCLUDING FIRE HYDRANTS, VALVE BOXES AND VAULTS, LINESTOP SLEEVES, WATER SERVICE CORPORATION STOPS, WATER MAIN FITTINGS/ BENDS, MANHOLES, SANITARY SERVICE WYEs (MEASURED FROM DOWNSTREAM MANHOLE), AND ABDONED WATER OR SANITARY SERVICE LINES. ALL ELEVATIONS SHOULD BE REFERENCED TO THE SAME BENCHMARK DATUM AS THE ORIGINAL DESIGN PLANS. HORIZONTAL TIES SHALL BE REFERENCED TO LOT LINES, BACK OF CURB, OR PROPERTY CORNERS.

I. ALL SANITARY SEWER PIPING SHALL BE PVC PIPING MEETING THE REQUIREMENTS OF ASTM D-2241 WITH JOINT CONFORMING TO ASTM D-3139. ALL SANITARY SEWER FITTINGS SHALL BE PVC MEETING THE FOLLOWING REQUIREMENTS: 4" TO 12" SHALL BE INJECTION MOLDED FITTINGS MEETING ASTM D-2241. GREATER THAN 12" SHALL BE FABRICATED FITTINGS MEETING ASTM D-2241 OR C905. MINIMUM PRESSURE RATING SHALL BE 150 PSI.

J. THE VALVES LESS THAN 16" SHALL BE STANDARD PATTERN, GATE VALVES AND SHALL HAVE THE NAME OR MARK OF THE MANUFACTURER, SIZE AND WORKING PRESSURE PLAINLY CAST IN RAISED LETTERS ON THE VALVE BODY. VALVES MAY BE APPROVED FROM ONE OF THE FOLLOWING MANUFACTURERS: AMERICAN, CLOW, WATEROUS OR KENNEDY.

K. STAINLESS STEEL NUTS, BOLTS/T-BOLTS, AND WASHERS, TYPE 304 OR BETTER, WILL BE REQUIRED ON ALL WATER MAIN INSTALLATIONS. THIS WILL APPLY TO HYDRANTS, TAPPING SLEEVES, VALVES, FITTINGS, RESTRAINT, AND OTHER APPURTENANCES BURIED OR IN VALVE VAULTS. MECHANICAL JOINTS AND RESTRAINT GLANDS REQUIRE 304 STAINLESS STEEL T-BOLTS. AN ANTI-SEIZE COMPOUND SHALL BE FACTORY APPLIED TO NUTS OR BOLTS - ANY DAMAGE TO THIS COATING SHALL BE REPAIR WITH FIELD APPROVED ANTI-SEIZE COMPOUND THAT IS A MOLYBDENUM-BASE LUBRICANT, BOSTIK NEVER-SEEZ OR APPROVED EQUAL.

L. THE CONTRACTOR SHALL ROTATE AND/OR ADJUST ANY EXISTING AND/OR NEW HYDRANT TO THE SATISFACTION OF THE DEPARTMENT OF PUBLIC UTILITIES.

M. WATER MAINS SHALL BE SUBJECT TO A HYDROSTATIC/LEAKAGE TEST IN ACCORDANCE WITH NAPERVILLE STANDARD SPECIFICATIONS. TEST PRESSURE SHALL BE NO LESS THAN 150 PSI FOR A PERIOD OF 4 HOURS AND NOT VARY BY MORE THAN + 5 PSI. DURING THE TEST, THE TEST GAUGE SHALL BE APPROVED BY THE CITY AND SHALL BE GLYCERIN OR OIL FILLED, WITH A RANGE OF NOT MORE THAN 200 PSI AND INCREMENTS NOT GREATER THAN 5 PSI, 4" MINIMUM DIAL SIZE. WATER RECOVERY TEST SHALL BE COMPLETED AT THE END OF THE TESTING PERIOD TO SHOW ACTUAL LEAKING AND THAT THE WATER MAIN DID NOT HAVE TOO MUCH TRAPPED AIR IN THE TESTED SECTION.

N. THE CITY OF NAPERVILLE PUBLIC UTILITIES DOES NOT GUARANTEE THAT ANY VALVE OR FITTING IN THE EXISTING WATER DISTRIBUTION SYSTEM WILL HOLD AGAINST A HYDROSTATIC/LEAKAGE TEST. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROVIDING AND ACCEPTABLE PRESSURE TEST WHICH SHALL INCLUDE PROVISIONS AROUND EXISTING VALVES AND FITTINGS.

O. FIRE HYDRANT SHOULD BE BAGGED "NOT IN SERVICE" UNTIL ALL TESTING AND DISINFECTION HAS BEEN COMPLETED AND NEW WATER MAIN SECTION IS SERVICE.

P. SANITARY SEWER AND WATER SHALL BE CONSTRUCTED, TESTED, AND PLACED INTO SERVICE IN ACCORDANCE WITH CITY OF NAPERVILLE STANDARD SPECIFICATION AND SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION.

Q. ALL VALVE BOXES, VAULTS, HYDRANTS, AND MANHOLES SHALL NOT BE COVERED WITH CONSTRUCTION DEBRIS AND SHALL REMAIN ACCESSIBLE TO THE RESPECTIVE UTILITY COMPANY.

R. WATER SERVICE LINE SMALLER THAN 3" SHALL BE TYPE K COPPER. IF JOINTS ARE REQUIRED DUE TO LENGTH OF SERVICE, THEN ONLY COMPRESSION TYPE COUPLING SHALL BE PERMITTED. NO SOLDERED OR FLARED TYPE JOINTS ARE ALLOWED.

S. ALL SANITARY MANHOLES SHALL BE TESTED FOR LEAKAGE BY VACUUM TESTING. THE MANHOLE FRAME AND ADJUSTING RINGS SHALL BE IN PLACE WHEN TESTING. ANY LEAKS SHALL BE REPAIRED FROM EXTERIOR OF MANHOLE - PATCHING INSIDE OF MANHOLE SHALL NOT BE ACCEPTABLE. A VACUUM OF 10" (254 MM) HG SHALL BE PLACE ON THE MANHOLE AND THE TIME SHALL BE MEASURED FOR THE VACUUM TO DROP TO 9" (229 MM) HG. THE VACUUM SHALL NOT DROP BELOW 9" (229 MM) HG FOR THE FOLLOWING TIME PERIODS FOR EACH SIZE OF MANHOLE:

A) 48-INCH DIAMETER - 60 SECONDS

B) 60-INCH DIAMETER - 75 SECONDS

C) 72-INCH DIAMETER - 90 SECONDS

D) 84-INCH DIAMETER - 105 SECONDS

ANY MANHOLES THAT FAIL THE TEST SHALL BE SEALED AND RE-TESTED UNTIL ACCEPTABLE.

E. THE CONTRACTOR SHALL PROVIDE INTERNAL TELEVISION INSPECTION OF ALL INSTALLED SANITARY SEWER, LATERALS, MANHOLES AND CONNECTIONS TO THE PUBLIC SYSTEM. FOLLOWING COMPLETION OF TELEVISION WORK, THE CONTRACTOR SHALL SUBMIT VIDEO RECORDINGS ON DVD OR FLASH DRIVE ALONG WITH A COMPREHENSIVE TELEVISION REPORT WHICH WILL INDICATE THE LOCATION, FOOTAGES AND NATURE OF ANY DEFECTS. PRIOR TO FINAL ACCEPTANCE, THESE DEFECTS SHALL BE REPAIRED TO THE SATISFACTION OF THE WATER/WASTEWATER UTILITY AND RE-TELEVISION.

F. CONTRACTOR WORK HOURS ARE ONLY ALLOWED FROM 7:00 A.M. TO 5:00 P.M., MONDAY THROUGH SATURDAY. NO WORK SHALL BE PERMITTED ON SUNDAYS.

G. SANITARY PIPES WITH LESS THAN 4 FEET OR MORE THAN 25 FEET OF COVER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPING (CLASS 50, MINIMUM) AND ENCASED IN POLYVOR.

H. ALL EXCAVATIONS MORE THAN 20 FEET DEEP MUST BE PROTECTED BY A SYSTEM DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.

I. CONTRACTOR SHALL MAINTAIN 2' MINIMUM CLEARANCE BETWEEN EXISTING UTILITIES AND NEW FOUNDATIONS AND UNDERGROUND FACILITIES. IN AREAS WHERE FOUNDATIONS AND UNDERGROUND FACILITIES ARE PROPOSED ADJACENT TO EXISTING UTILITIES, THE CONTRACTOR SHALL POT HOLE BY VACUUM EXCAVATION OR HAND EXCAVATION TO LOCATE THE EXISTING UTILITY TO VERIFY MINIMUM CLEARANCE REQUIREMENT.

J. FENCES SHALL BE INSTALLED A MINIMUM OF 5 FEET FROM ANY WATER OR SANITARY MAINS WHEN RUNNING PARALLEL WITH THEM. WHERE FENCES ARE INSTALLED CROSSING WATER OR SANITARY MAINS, THE POSTS SHALL BE LOCATED TO HAVE THE MAIN BETWEEN THEM.

K. ALL BRASS COMPONENTS SHALL BE CERTIFIED TO BE LEAD FREE IN COMPLIANCE WITH NSF 61 AND NSF 372 AND IDENTIFIED WITH APPLICABLE MARKINGS.

L. SANITARY FORCE MAIN - FORCE MAIN SHALL BE TESTED A MINIMUM OF 1 HOUR AT 1.5 THE SHUT OFF HEAD OF THE PUMP, 2.5 TIMES THE OPERATING PRESSURE, OR 20 PSI WHICHEVER IS GREATEST. ALLOWABLE LEAKAGE SHALL BE IN ACCORDANCE WITH SECTION 41-2, 74C

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4	Village Revision	01/28/25

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1936 Springbrook Square Dr., Naperville

General Notes

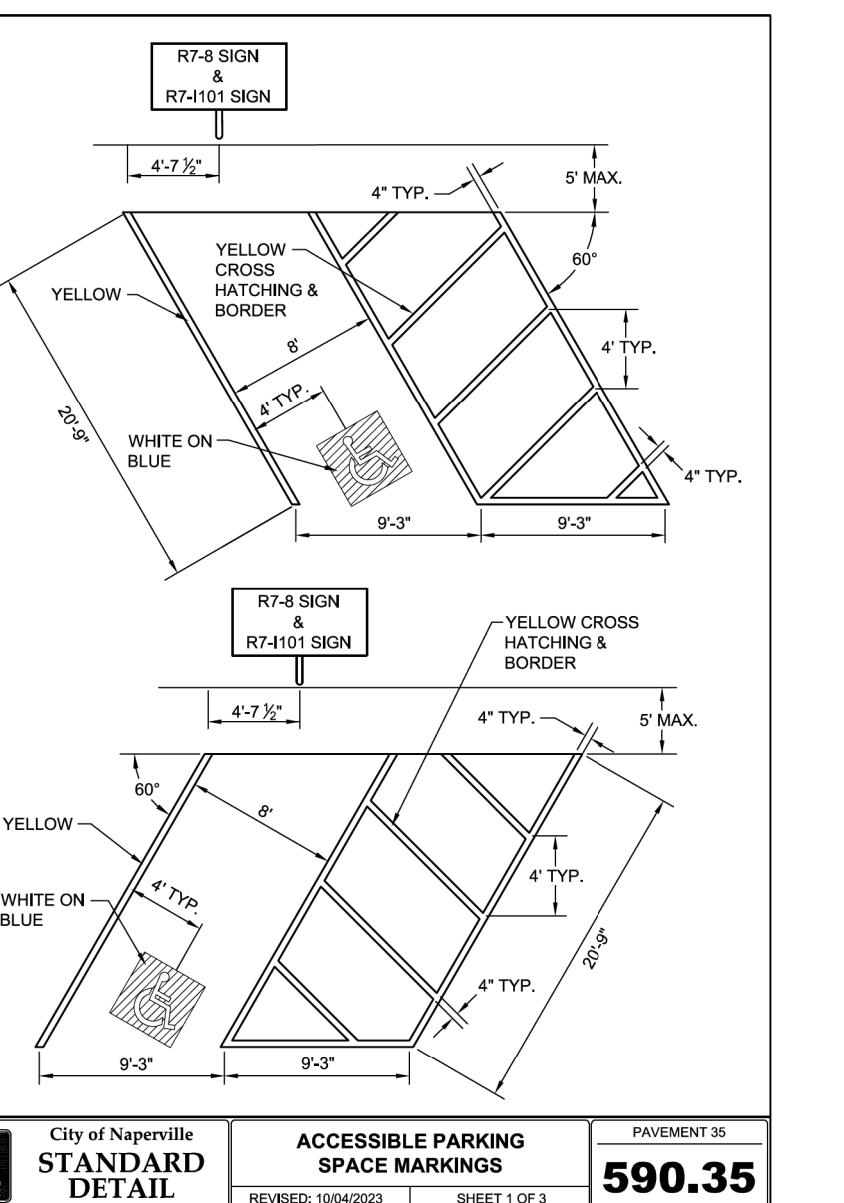
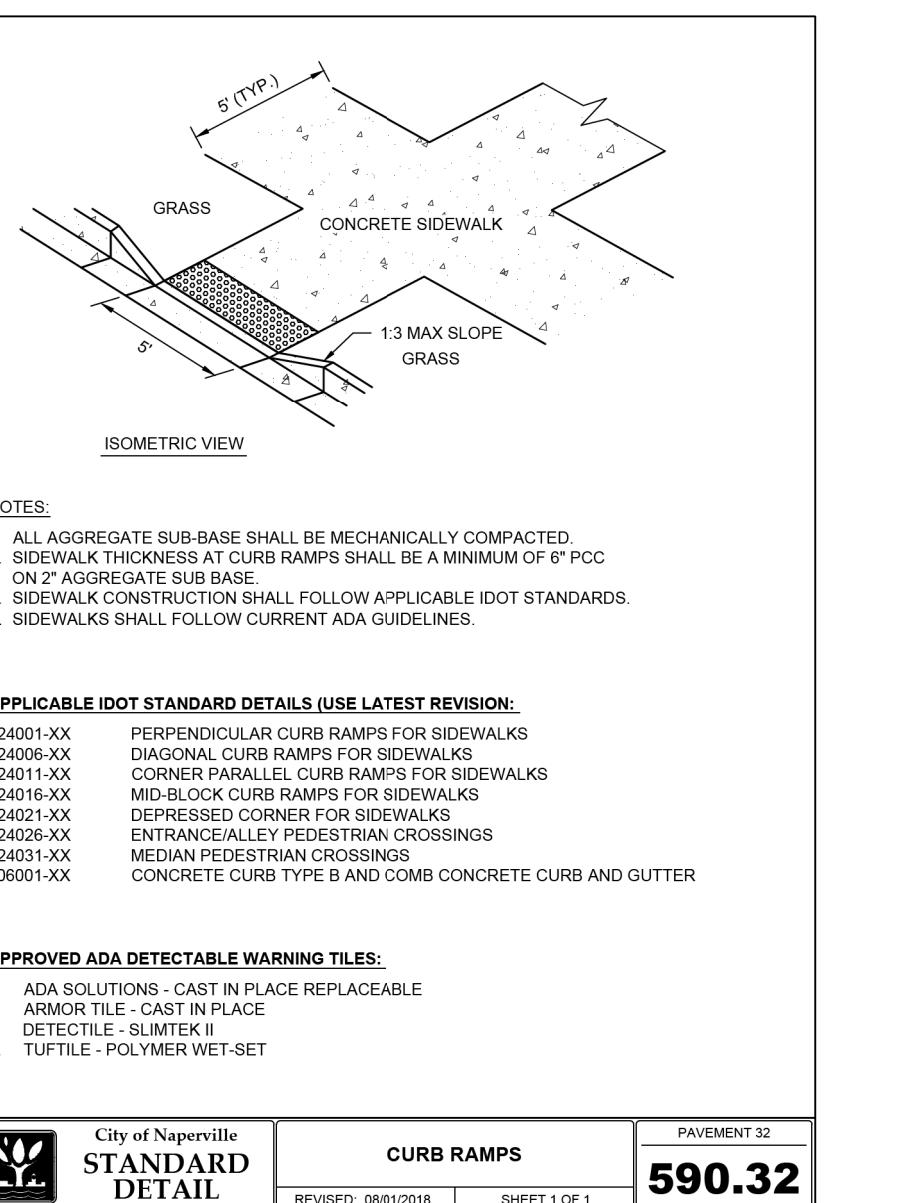
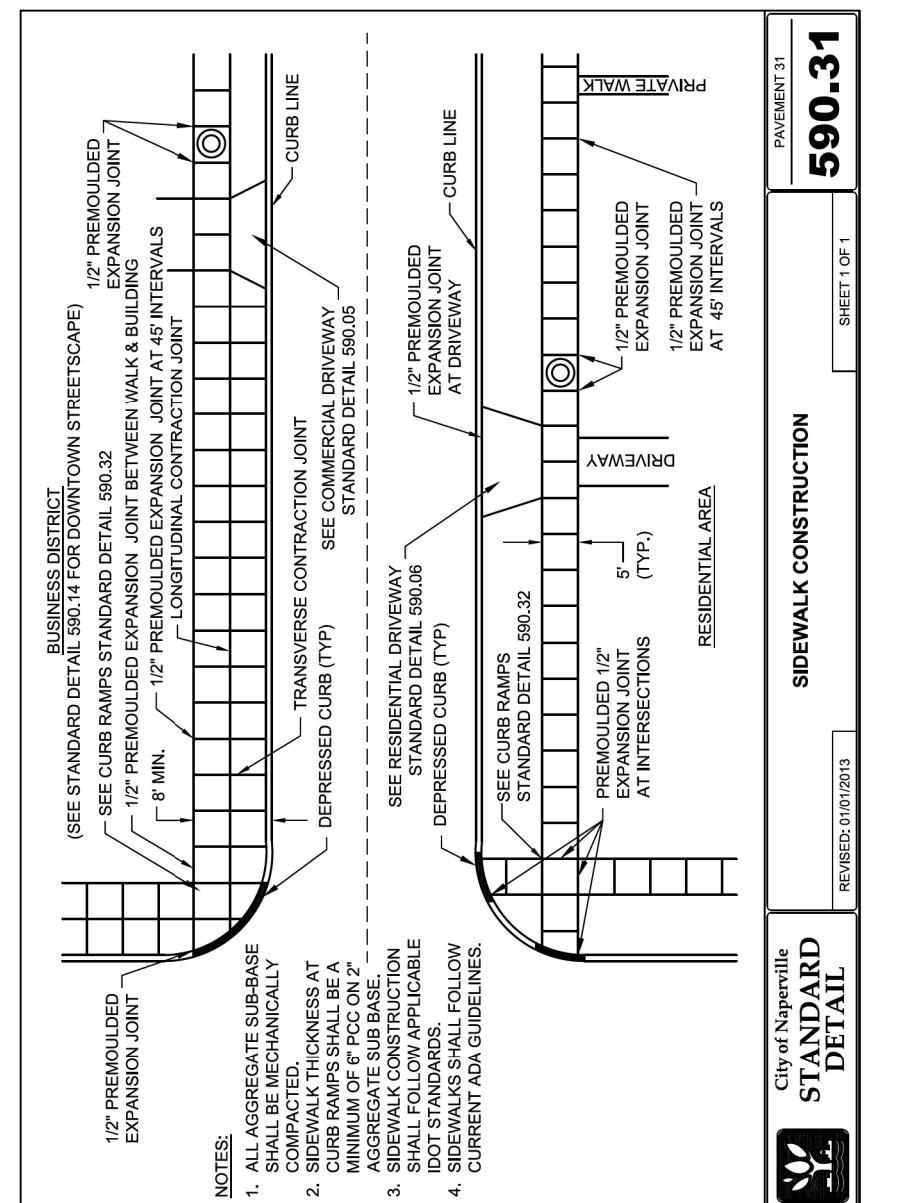
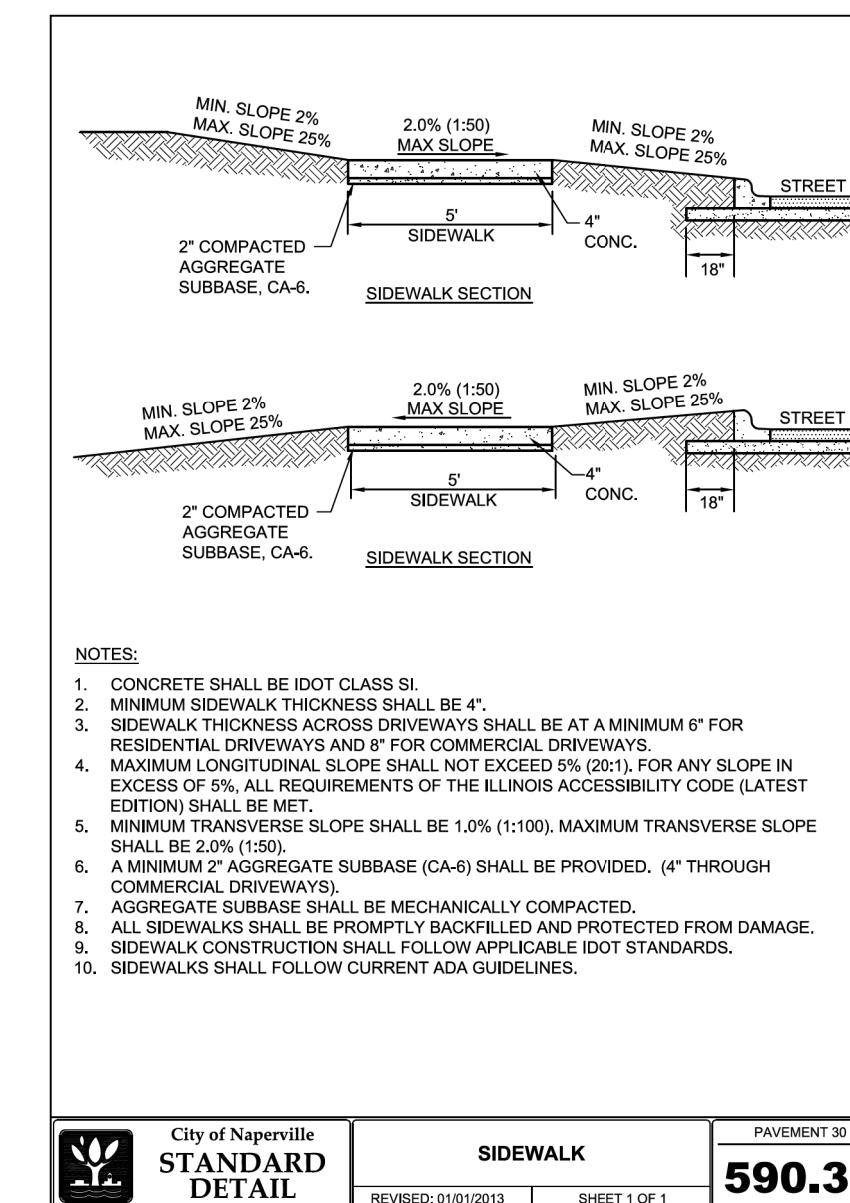
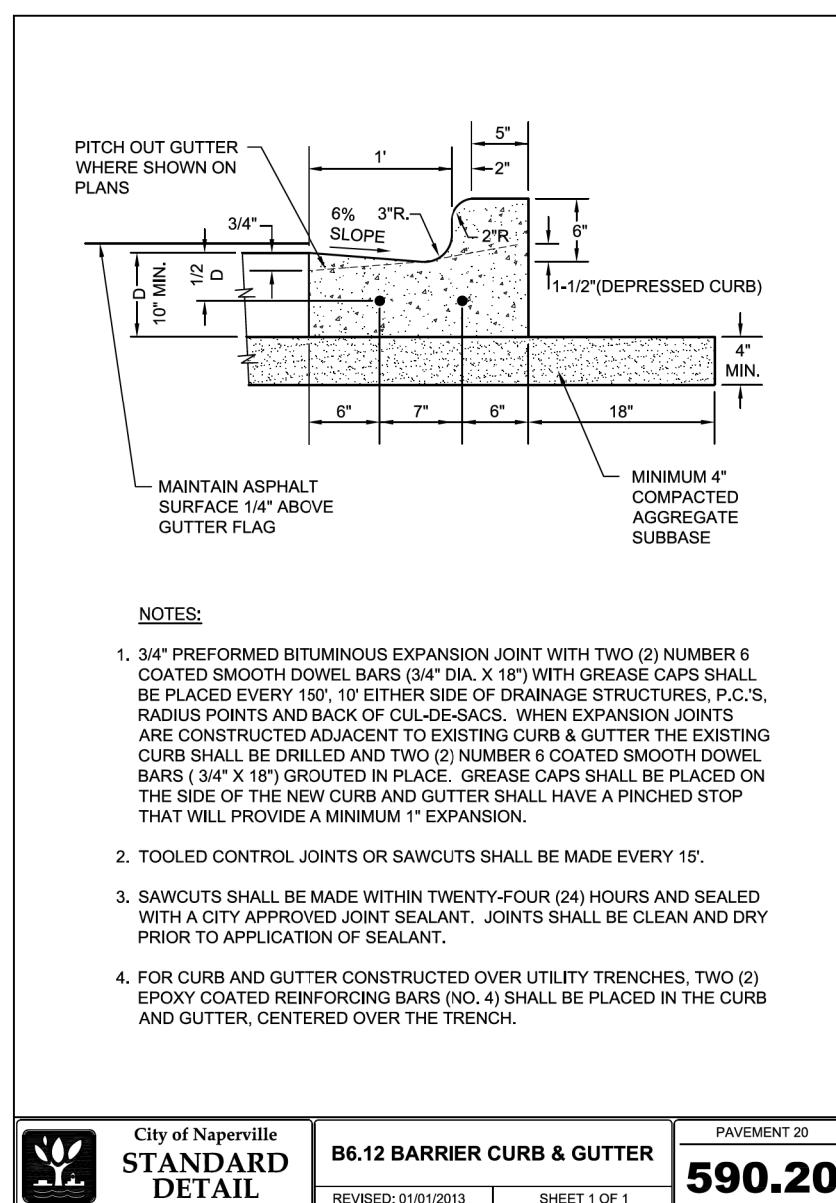
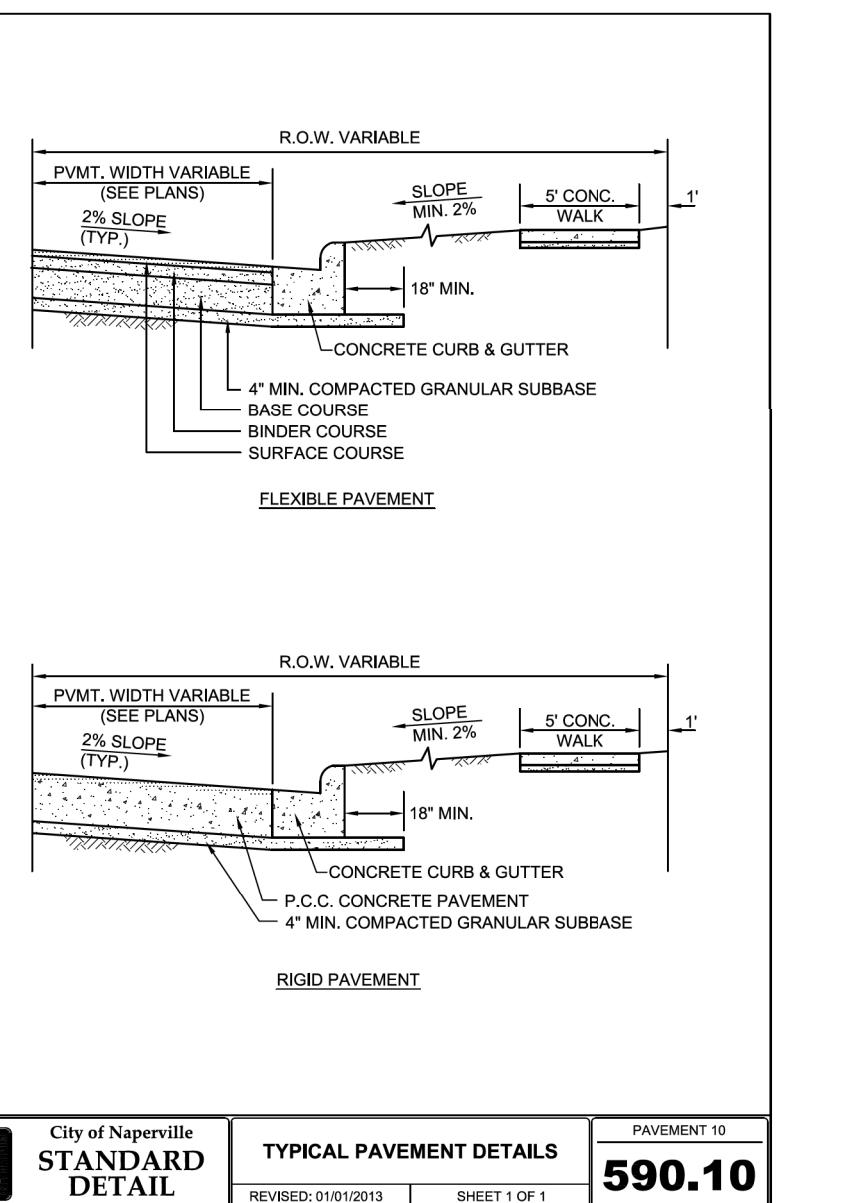
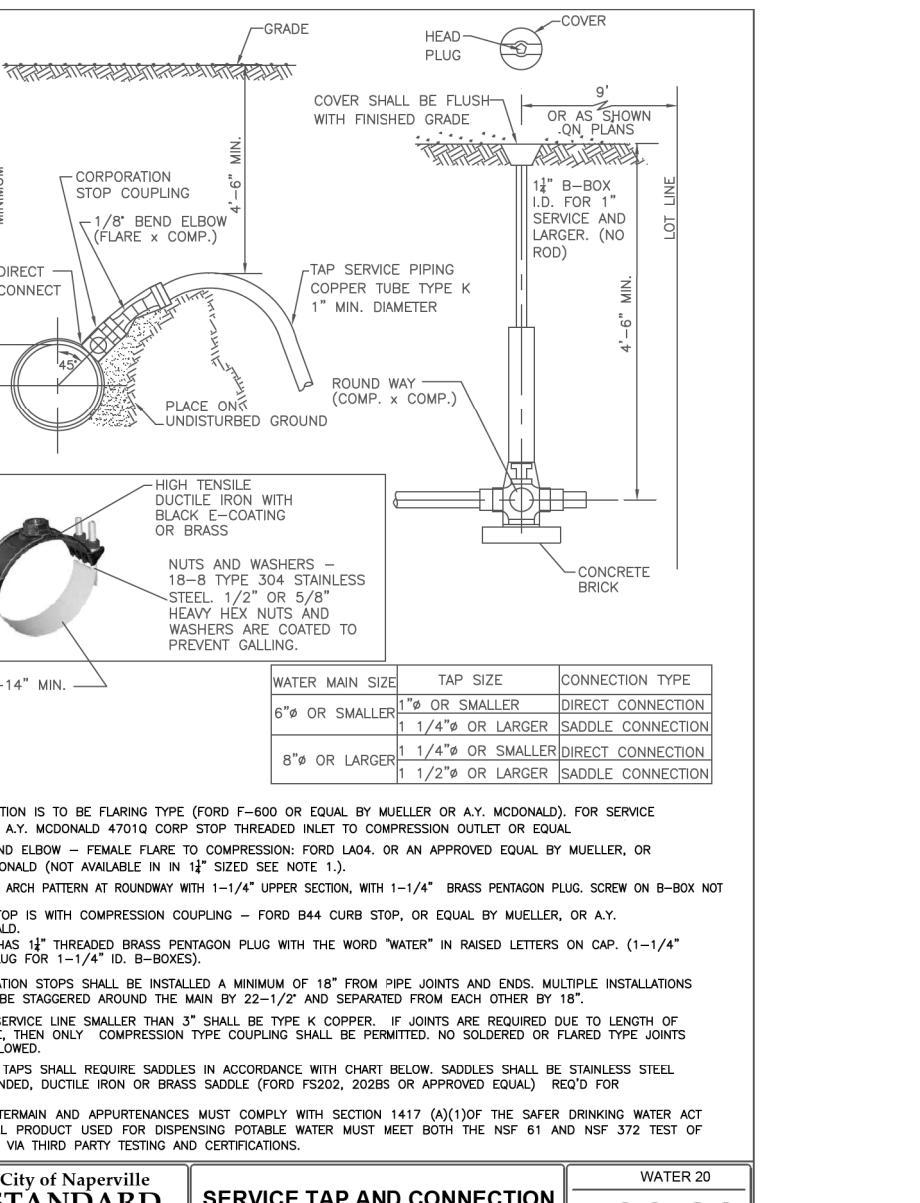
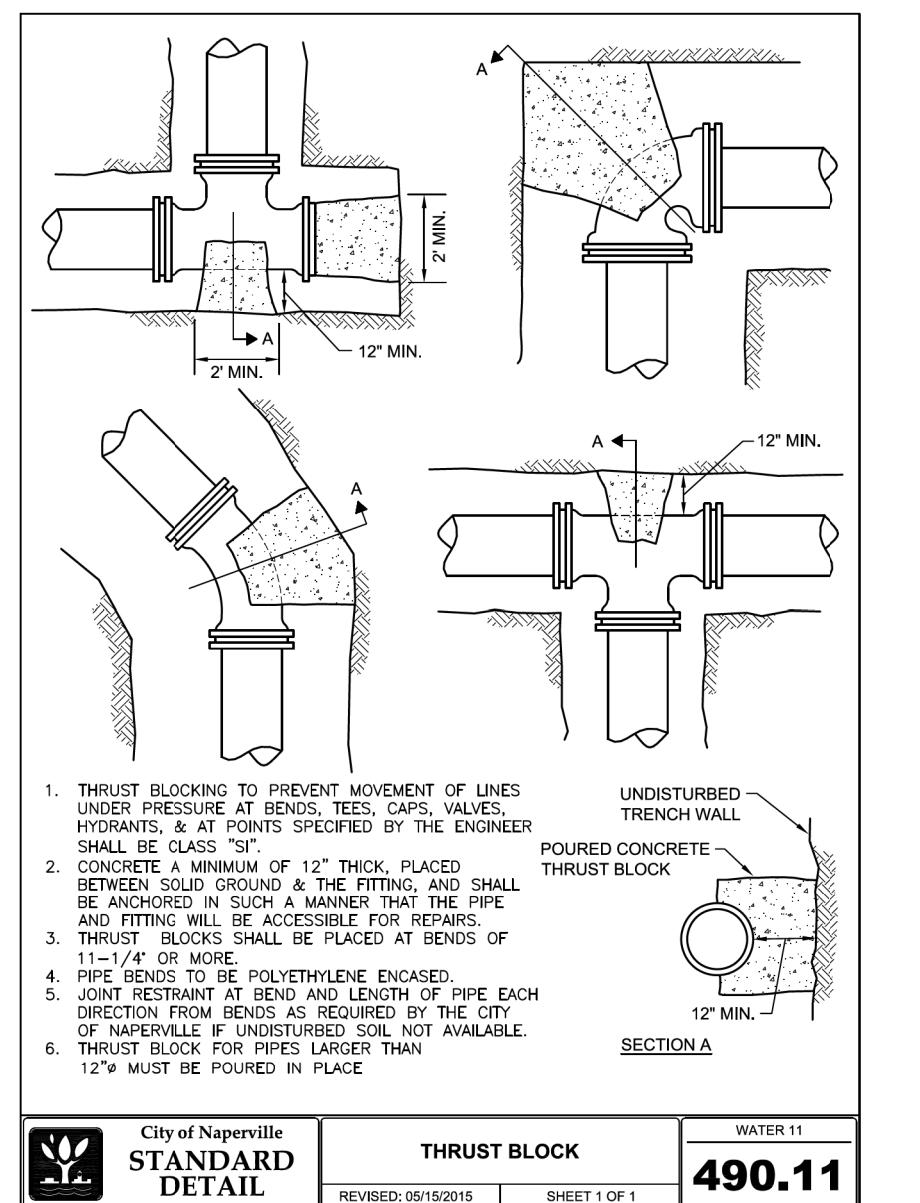
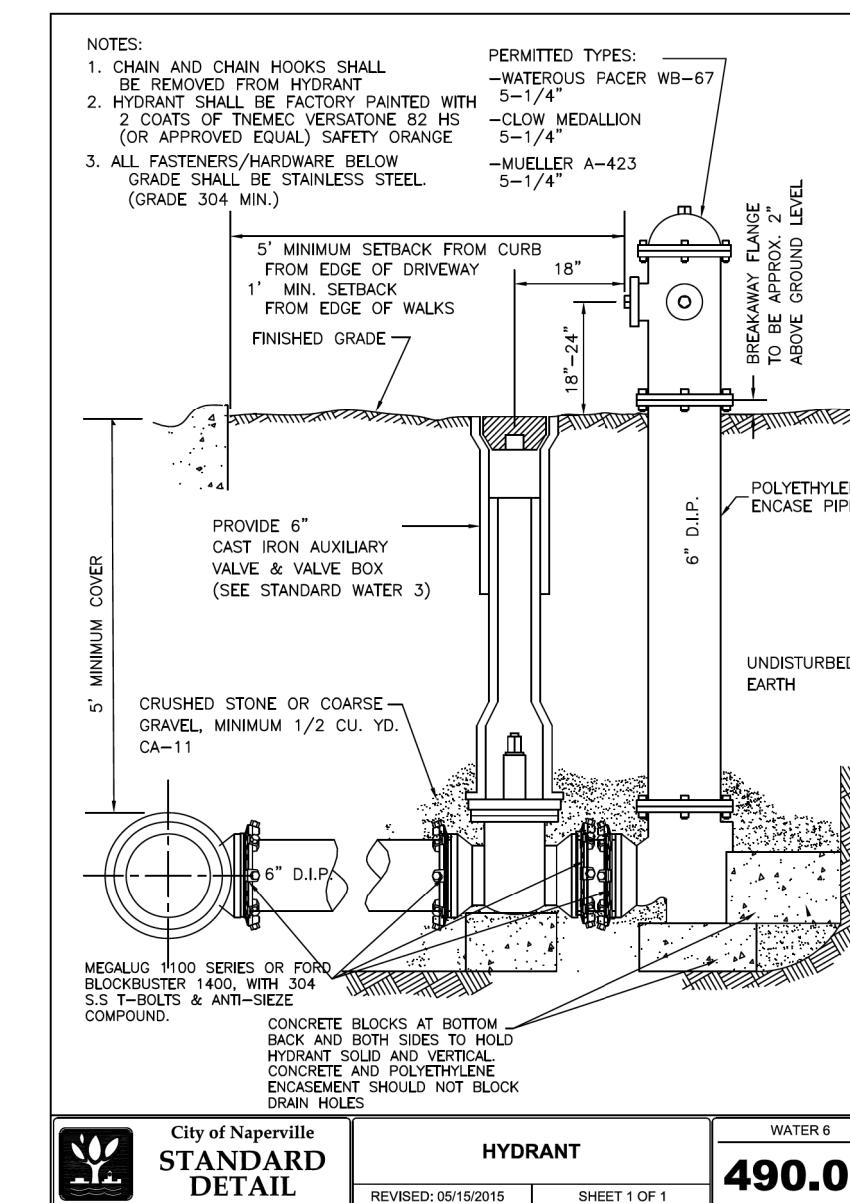
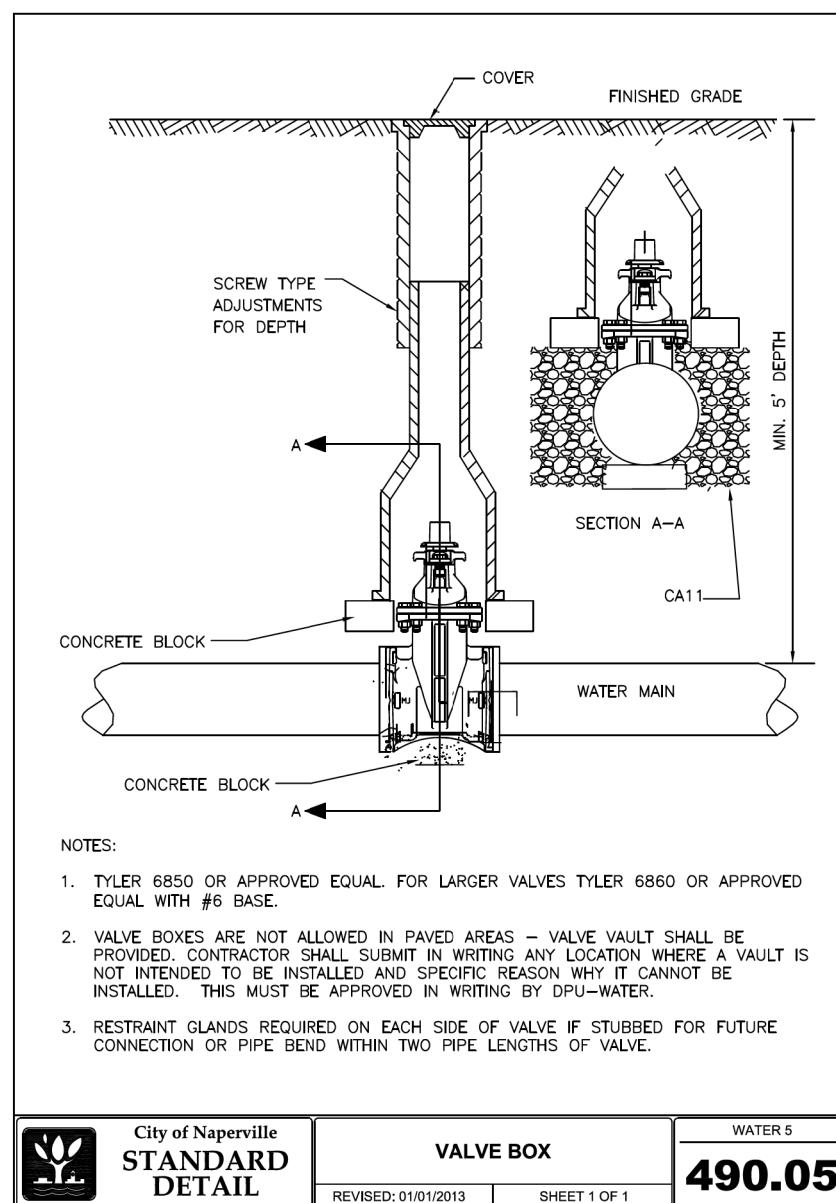
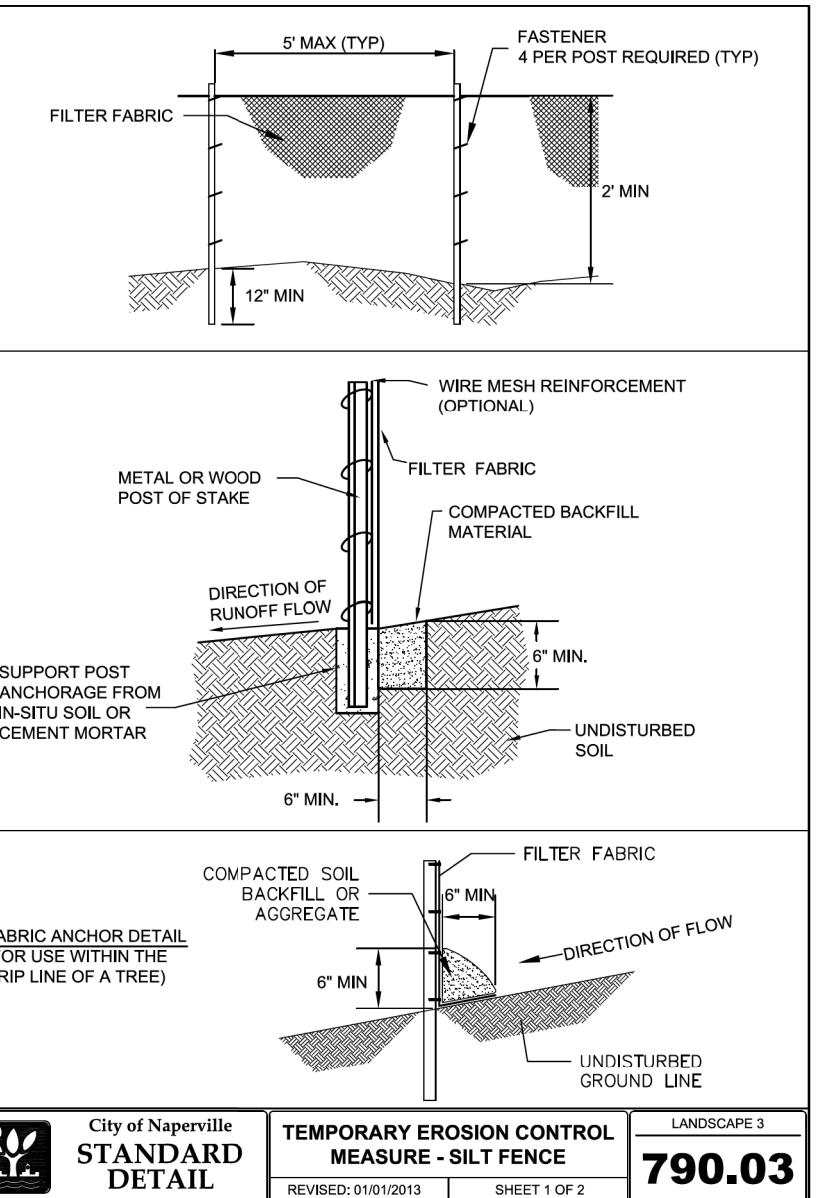
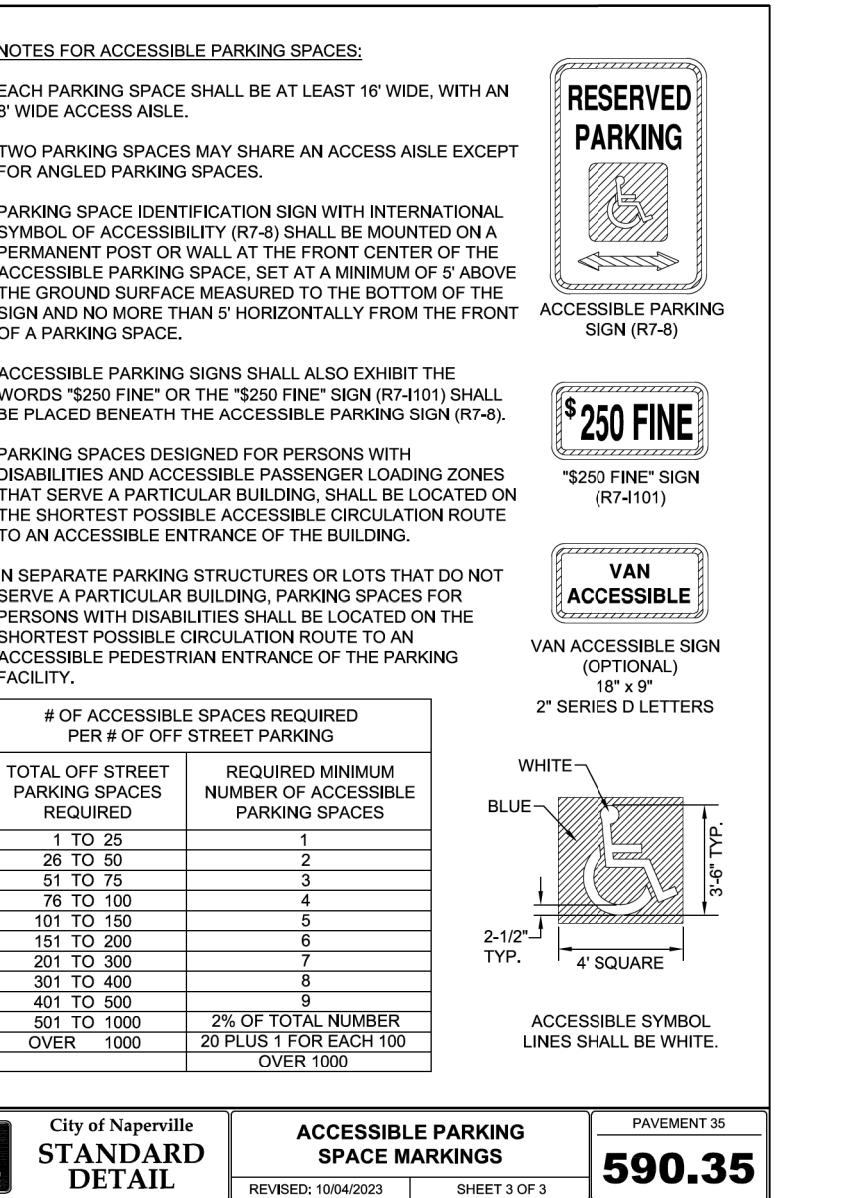
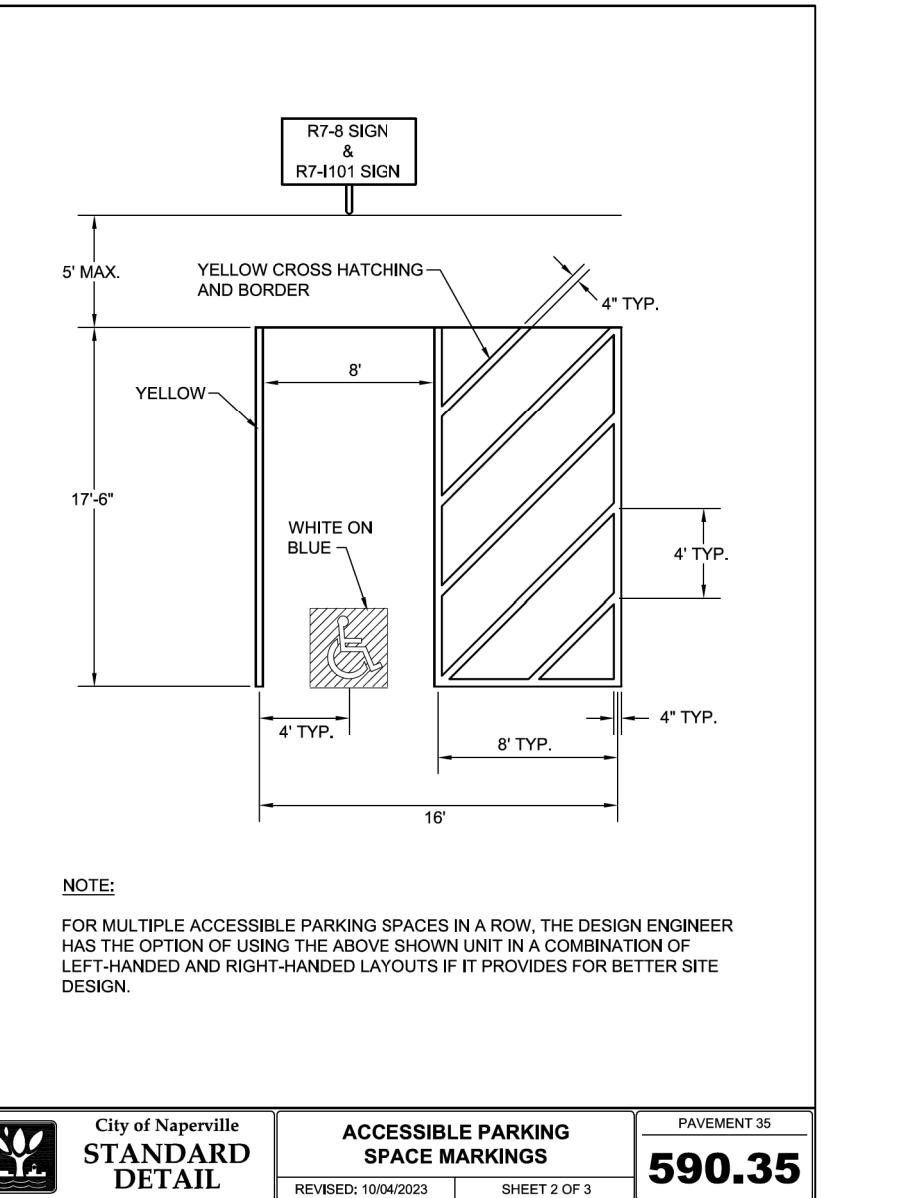
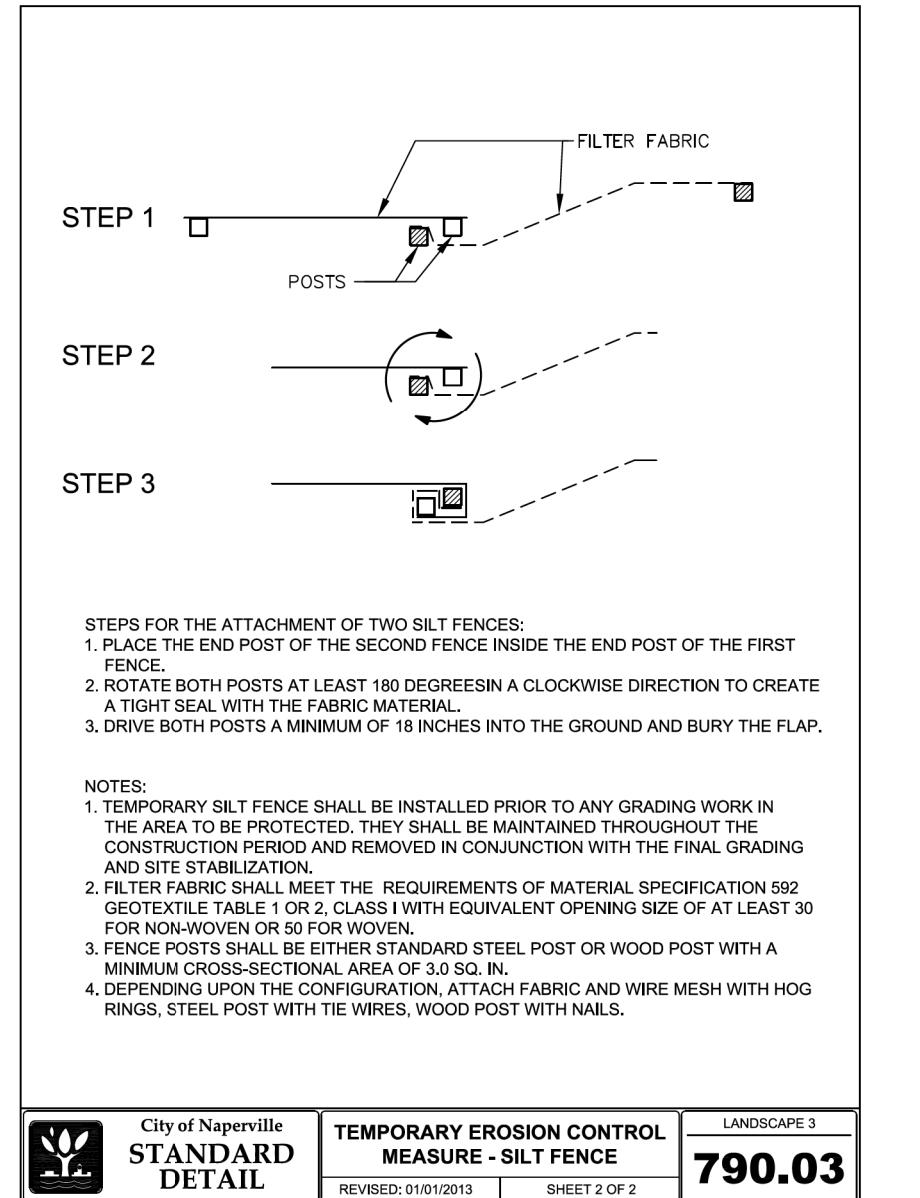
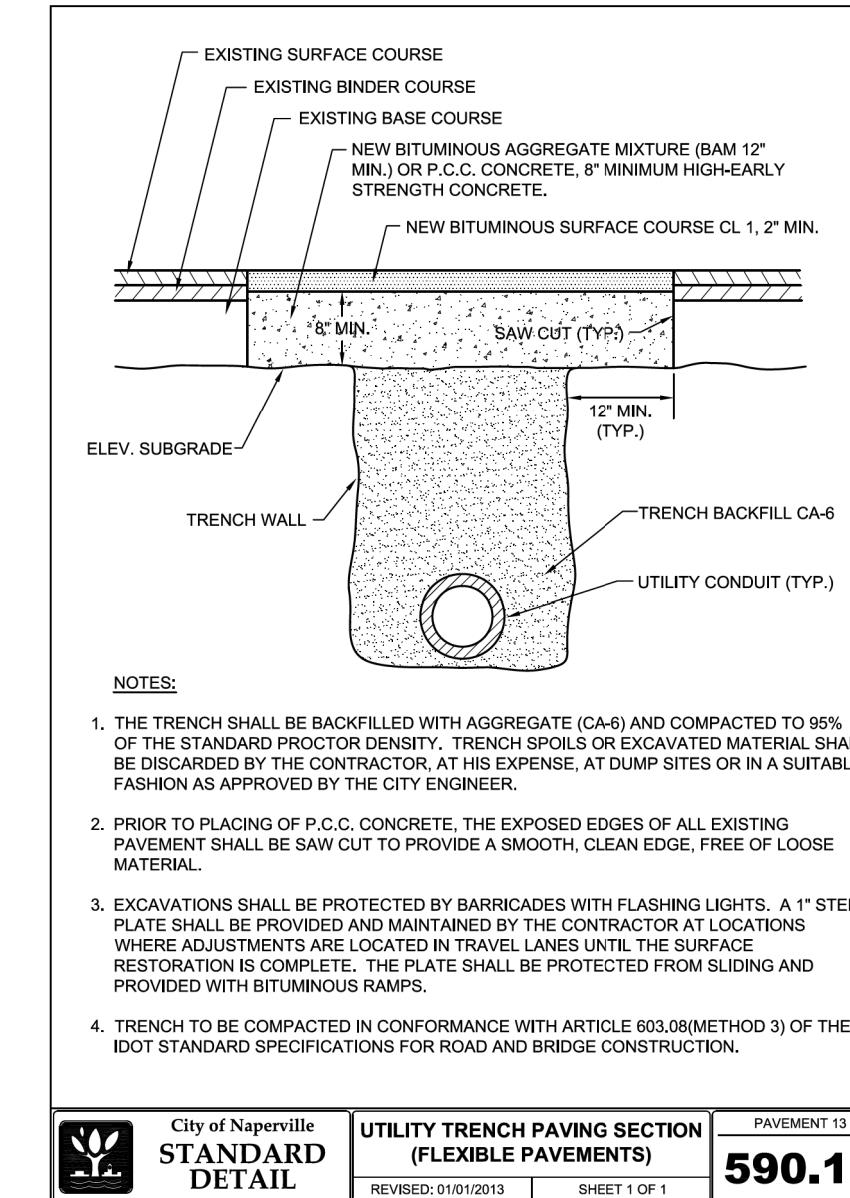
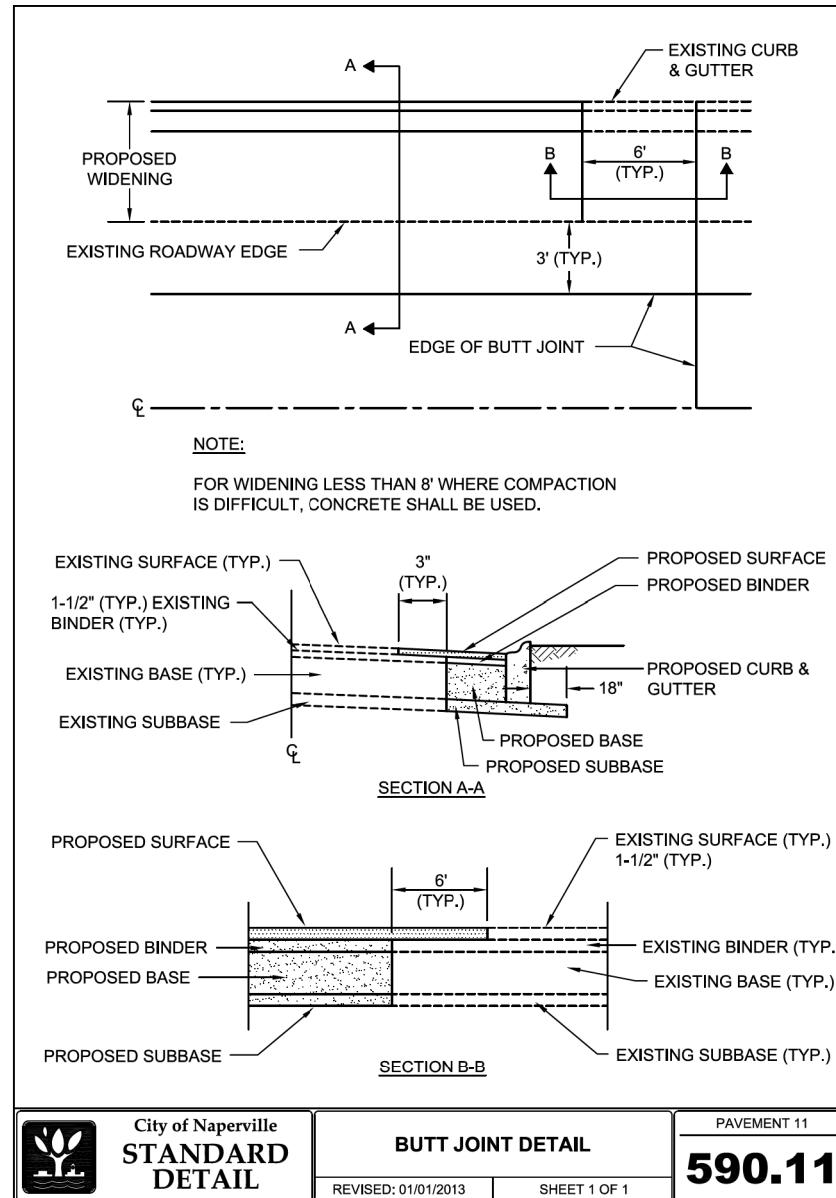


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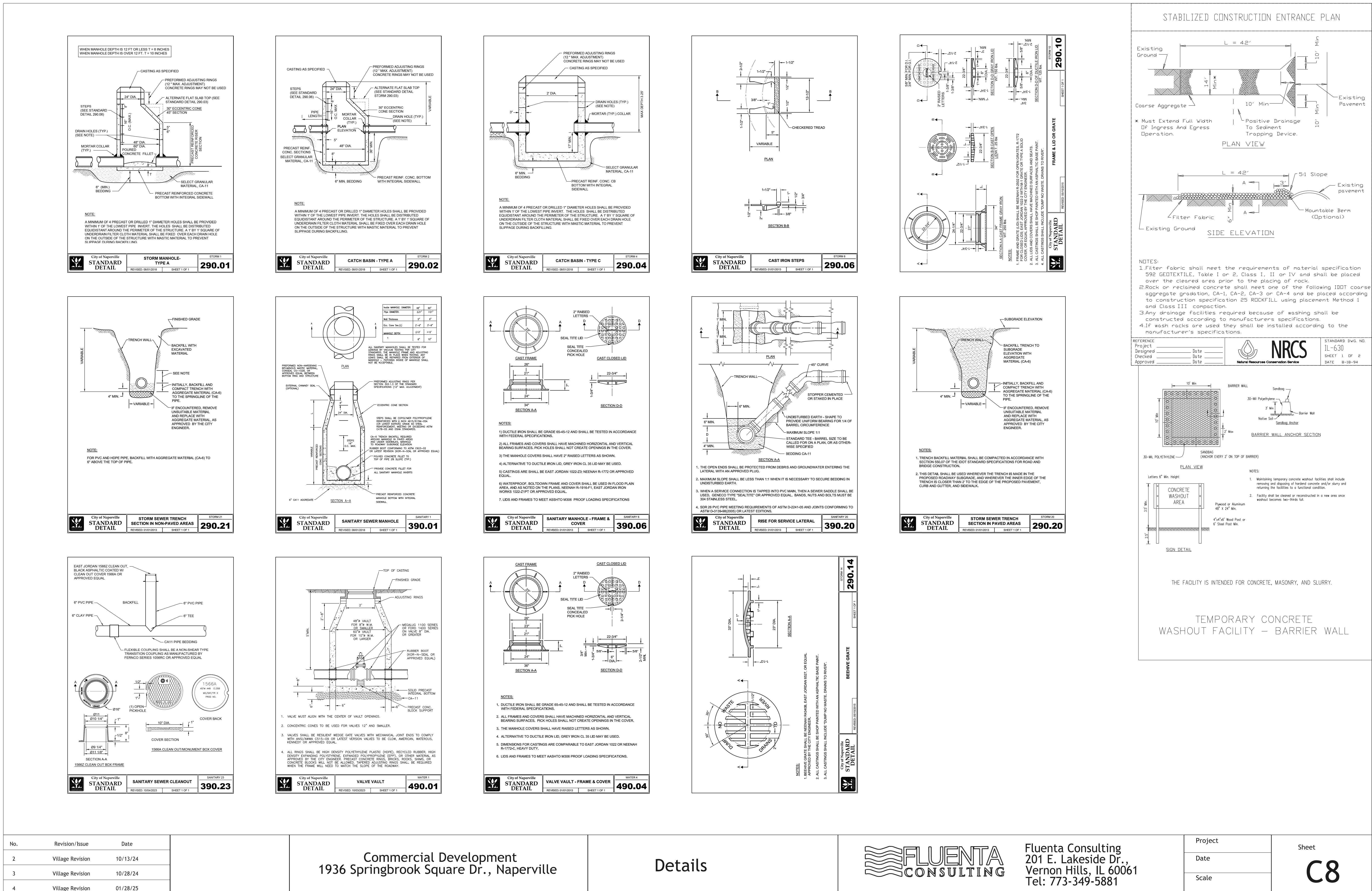
# Commercial Development 1936 Springbrook Square Dr., Naperville

## Details

The logo for FLUENTA CONSULTING. It features a stylized graphic on the left composed of five horizontal wavy lines of varying heights, rendered in a light gray color. To the right of this graphic, the word "FLUENTA" is written in a large, bold, black, sans-serif font. Below "FLUENTA", the word "CONSULTING" is written in a slightly smaller, bold, black, sans-serif font.

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Project	Sheet
Date	
Scale	C7



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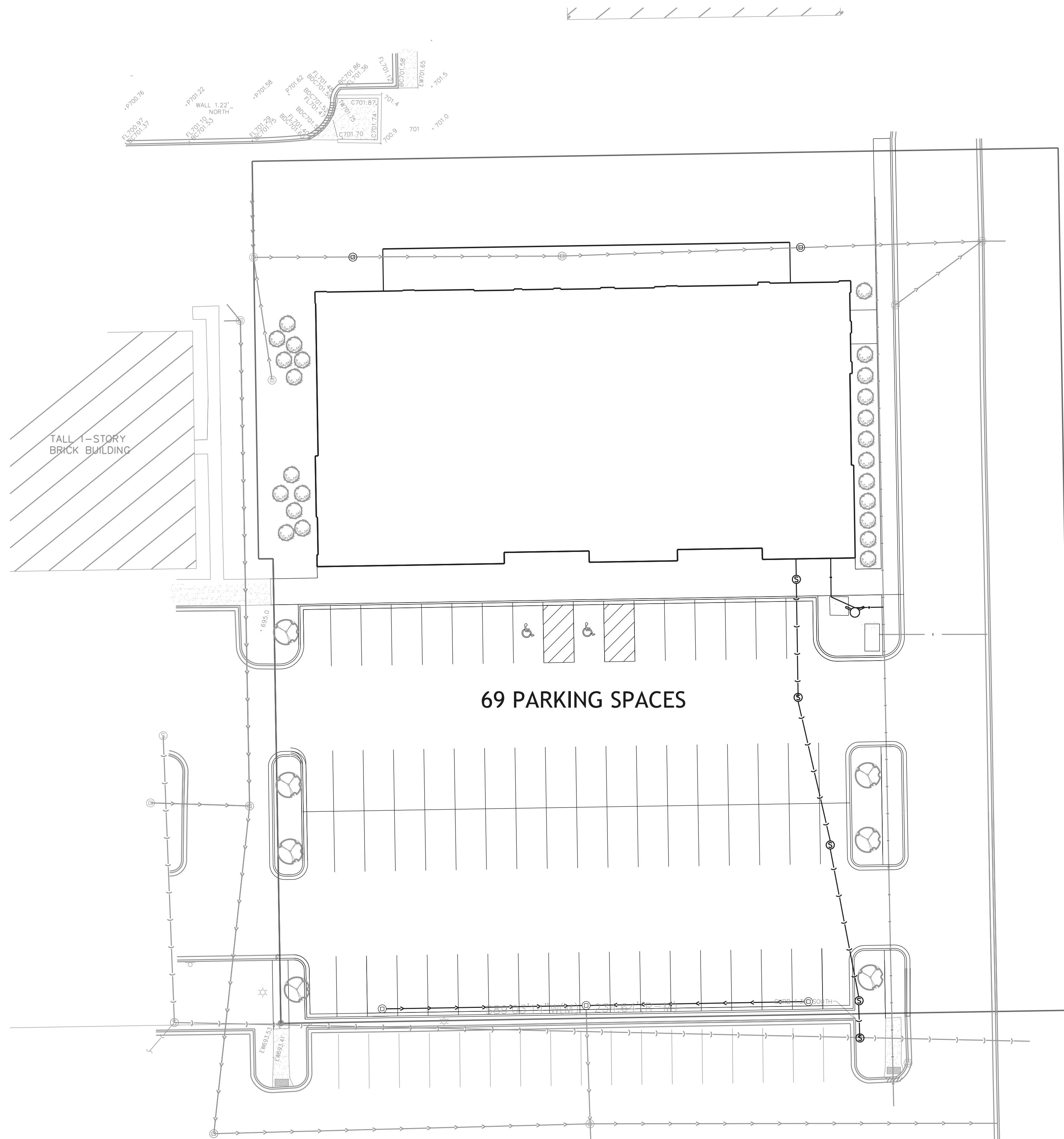
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**FLUENTA**  
CONSULTING

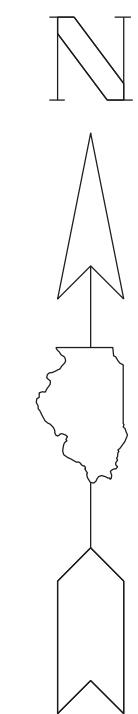
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Project	Sheet
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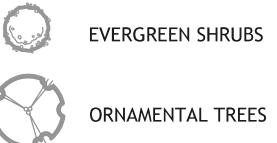
**C8**



Code	Botanical Name	Common Name	Size
<b>Overshadowing Trees</b>			
APO	Acer platanoides "emerald queen"	Emerald Queen Norway Maple	2.5" CM
BNH	Betula Nigra "Heritage"	Heritage River Birch	4' Ht.
COF	Gymnocladus dioicus	Kentucky Coffee Tree	2.5" CM
<b>Ornamental Trees</b>			
AMA	Amelanchier Autumn "brilliance"	Autumn Brilliance Service berry	8' Ht.
CTM	Cornus Mas	Cornelian Cherry Dogwood	38" BAB
CYR	Crataegus viridis "Winter King"	Winter King Green Hawthorn	5' HT
<b>Evergreen Trees</b>			
ABO	Abies Concolor	White Fir	9' HT
JNC	Juniperus Virginiana "Canaertii"	Eastern Red Cedar	6' HT
PAP	Picea pungens	Colorado Spruce	9' HT
<b>Deciduous Shrubs</b>			
AAB	Aronia arbutifolia "brilliantissima"	Brilliant Red Chokeberry	30" RSB
COI	Cornus Sericea "Isanti"	Isanti Red Twig Dogwood	36" RSB
VGI	Viburnum Dentatum	Arrowwood Viburnum	3 CAL
<b>Evergreen Shrubs</b>			
JCX	Juniperus chinensis "Kallay's Compacta"	Kallay Compact Chinese Juniper	24" B&B
JSG	Juniperus chinensis "Sea Green"	Sea Green Chinese Juniper	30" B&B
FPJ	Rhododendron "P.J.M.™"	P.J.M. Rhododendron	24" B&B
<b>Groundcovers</b>			
EFC	Euonymus Fortunei 'Coloratus'	Purple Wintercreeper	3" POT
HHT	Hedera Helix "Thorndale"	Thorndale English Ivy	3" POT
LSP	Liriopspicata	Creeping Lily Turf	3" POT
<b>Perennials/Annuals</b>			
AWP	Achillea Millefolium "Paprika"	Paprika Red Yarrow	1/2 Gal
WSC	Pennisetum Alopecuroides	Wand grass	7 Gal
PAH	Pennisetum Alopecuroides "hameln"	Dwarf fountain grass	1 Gal

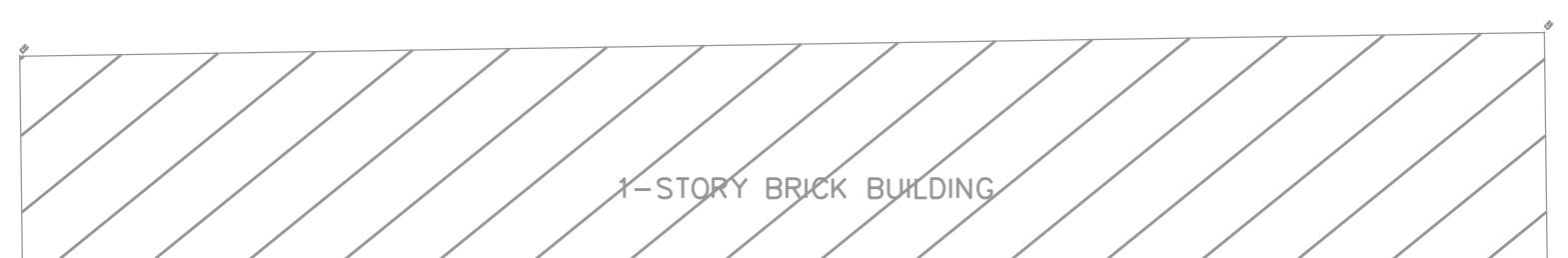


## LEGEND



### GENERAL NOTES:

1. Clearance to transformer pad SHALL be 5' from all sides, 10' from front, and the area above must be completely clear of obstruction. No trees, shrubs, or other obstacles will be allowed within this area. Transformer pad SHALL maintain minimum clearance of 20' from egress points. Per DPUE specifications C10-2130 AND C30-0016.
2. All planting must be at least 2' away from underground electric service conductors



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Landscaping Plan



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Project	Sheet
Date	
Scale 1" - 20'	C9