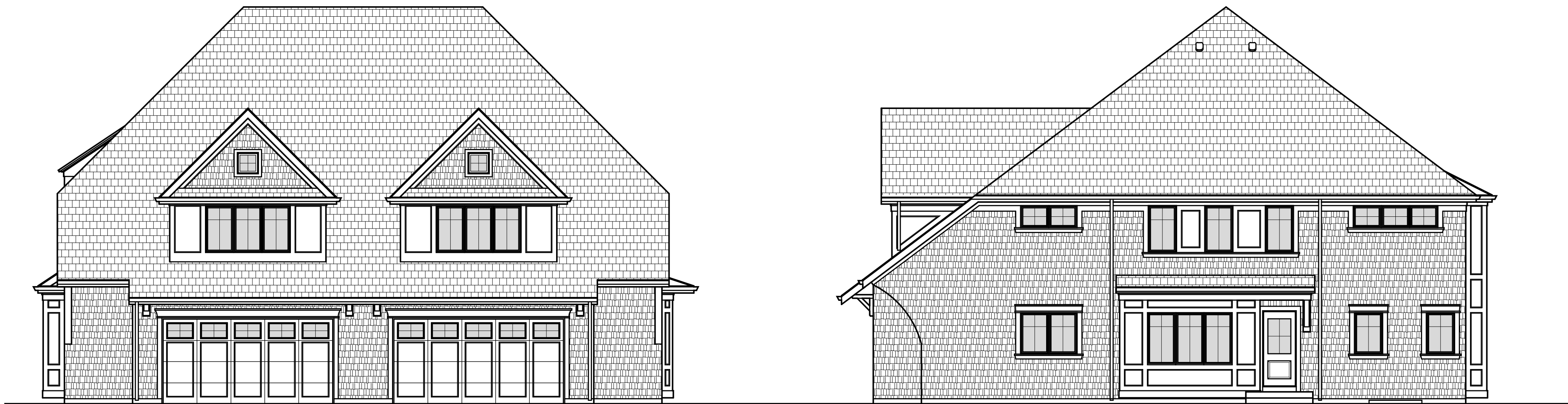


Franklin Flats

818 E Franklin and 25 N Huffman, Naperville IL 60540

Lakewest Custom Homes



CODES REFERENCED

2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL FIRE CODE
2018 INTERNATIONAL PROPERTY MAINTENANCE CODE
2018 INTERNATIONAL ELECTRIC CODE
2018 INTERNATIONAL FUEL GAS CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL PLUMBING CODE
2017 NATIONAL ELECTRIC CODE
CURRENT ILLINOIS STATE PLUMBING CODE
ILLINOIS ACCESSIBILITY CODE, CURRENT EDITION
CURRENT ILLINOIS ENERGY CONSERVATION CODE
NAPERVILLE BUILDING CODE AMMENDS. TITLE V

design criteria

FLOOR = 40 * LL 10 * DL ALL AREAS EXCEPT SLEEPING
WALL = 60 * PLF OR ACTUAL LOAD
CEILING = 20 * LL 10 * DL ROOF SLOPES OVER 3 IN 12
ROOF = 30 * LL 10 * DL
CATHEDRAL = 30 * LL 15 * DL ALL SLOPES
EXT. DECK = 40 * LL 10 * DL
BALCONY = 60 * LL 10 * DL EXTERIOR

STRUCTURAL FRAMING LUMBER
FLOOR JOISTS, CEILING JOISTS, HEADERS, AND RAFTERS
IN-GRADE BASE VALUE (USE NO MULTIPLIERS AGAINST BASE VALUE)
GRADE * 2 SPECIES HEM-FIR DOMESTIC BASE F_b * 2500

SPECIFY MANUFACTURER AND NAME OF SPECIFIC BEAM PRODUCT
WITH THE CURRENT SIZE, F_b AND E VALUES PER MANUFACTURER
MANUFACTURER TRUS-JOIST PRODUCT MICRO LAM LVL
SIZE PER PLAN F_b * 2600 E = 19 x 10 * F81

city of naperville ammendments

- ALL BATHS SHALL BE PROVIDED WITH WOOD BLOCKING INSTALLED WITHIN WALL FRAMING TO SUPPORT GRAB BARS AS NEEDED. THE WOOD BLOCKING WHEN MEASURED TO THE CENTER SHALL BE LOCATED BETWEEN 33" AND 36" ABOVE FINISHED FLOOR. THE WOOD BLOCKING SHALL BE LOCATED IN ALL WALLS ADJACENT TO A TOILET, SHOWER, STALL, OR BATH TUB PER 2018 IRC R3202 NAPERVILLE AMMENDMENT
- ALL ACCESSIBLE FIRST FLOOR DOORWAYS SHALL PROVIDE A MIN CLEAR OPENING OF 32 INCHES WITH THE DOOR OPEN NINETY DEGREES, MEASURED BETWEEN THE FACE OF THE DOOR AND THE OPPOSITE STOP.
- ALL WALL SWITCHES CONTROLLING LIGHT FIXTURES AND FANS SHALL BE LOCATED AT A HEIGHT NOT TO EXCEED 48" ABOVE FINISHED FLOOR. HEIGHT SHALL BE DETERMINED BY MEASURING FROM THE FINISHED FLOOR TO THE CENTER OF THE SWITCH.
- ALL RECEPTACLES SHALL BE LOCATED AT A HEIGHT NOT LESS THAN 15" ABOVE THE FINISHED FLOOR. HEIGHT SHALL BE DETERMINED BY MEASURING FROM THE FINISHED FLOOR TO THE CENTER OF THE RECEPTACLE WHEN THE RECEPTACLE PLACEMENT IS PROHIBITED BY THE HEIGHT OF A WINDOW OR DESIGN.
- ARC-FAULT INTERRUPTER PROTECTION (AFCI) SHALL BE REQUIRED IN ALL BEDROOMS.
- ON ALL NEW RESIDENTIAL CONSTRUCTION, A MINIMUM OF 10 % FREE PANEL SPACE SHALL BE MAINTAINED FOR FUTURE EXPANSION.

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA				
GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	WEATHERING FROST LINE DEPTH	TERMITES
30	15/3 SECOND GUST	A	42"	MODERATE TO HEAVY
WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
-4° F	YES	REFER TO LOCAL ORDINANCES	1635	48.1° F

drawing index

- T101 Cover Sheet
C101 Site Plan
G001 General notes
G002 General notes
A100 Foundation Plan – 25 N Huffman
A101 Foundation Plan – 818 E Franklin
A102 First Floor Plan – 25 N Huffman
A103 First Floor Plan – 818 E Franklin
A104 Second Floor Plan – 25 N Huffman
A105 Second Floor Plan – 818 E Franklin
A106 Roof Plan – 25 N Huffman
A107 Roof Plan – 818 E Franklin
A201 Exterior Elevations – 25 N Huffman
A202 Exterior Elevations – 25 N Huffman
A203 Exterior Elevations – 818 E Franklin
A204 Exterior Elevations – 818 E Franklin
A301 Wall Sections
A302 Wall Sections
A303 Wall Details
E100 Basement Elec. Plan – 25 N Huffman
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E103 First Floor Elec. Plan – 818 E Franklin
E104 Second Floor Elec. Plan – 25 N Huffman
E105 Second Floor Elec. Plan – 818 E Franklin
P101 Plumbing Riser Diagrams
S101 1st Flr braced wall plan– 25 N Huffman
S102 1st Flr braced wall plan– 818 E Franklin
S103 2nd Flr braced wall plan– 25 N Huffman
S104 2nd Flr braced wall plan– 818 E Franklin

I DO HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT THEY COMPLY WITH THE CODES AND ORDINANCES OF

NAPERVILLE, ILLINOIS

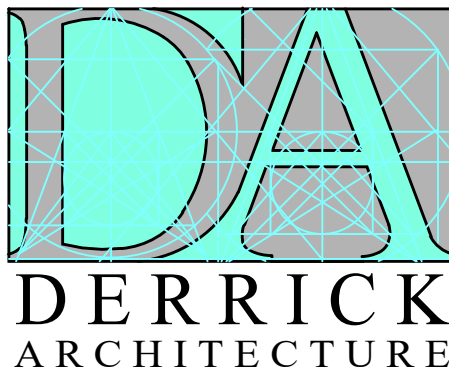
DATE: 4/19/2023

CHRISTOPHER E. DERRICK 001-018678

ILLINOIS LICENSED ARCHITECT DESIGN FIRM REG. 184020121-0001

EXPIRES 11-30-2024

I will not allow release for FOIA requests



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WHEATON, ILLINOIS 60187

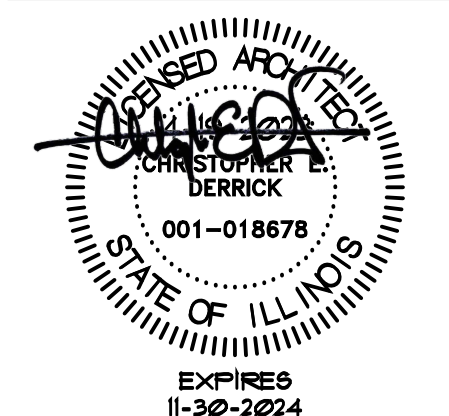
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818 E Franklin/25 N Huffman
Naperville, IL 60540



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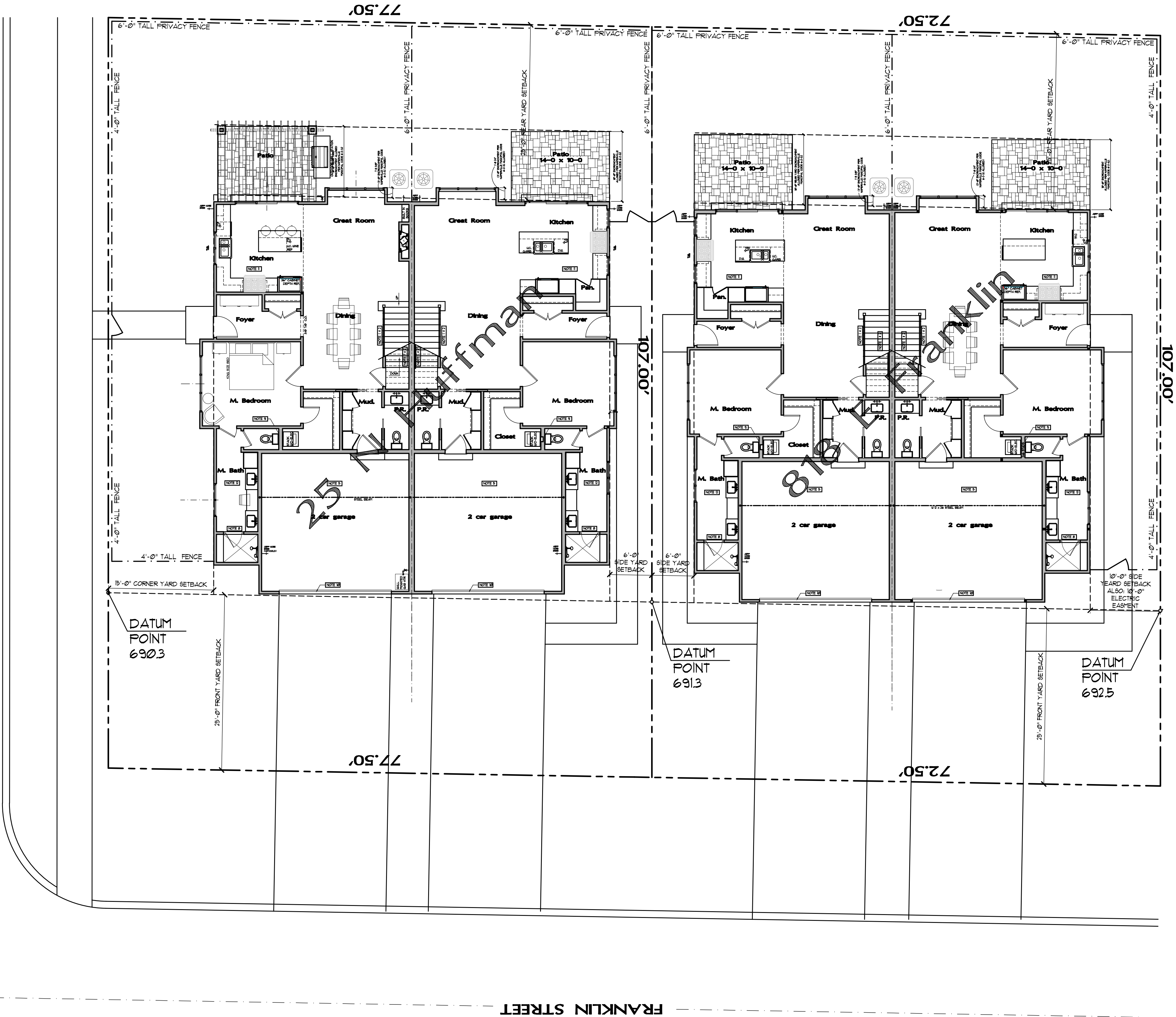
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PROJECT NO: 2210

SHEET TITLE:
Cover Sheet

SHEET NUMBER:
T101

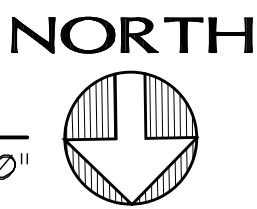
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HUFFMAN STREET



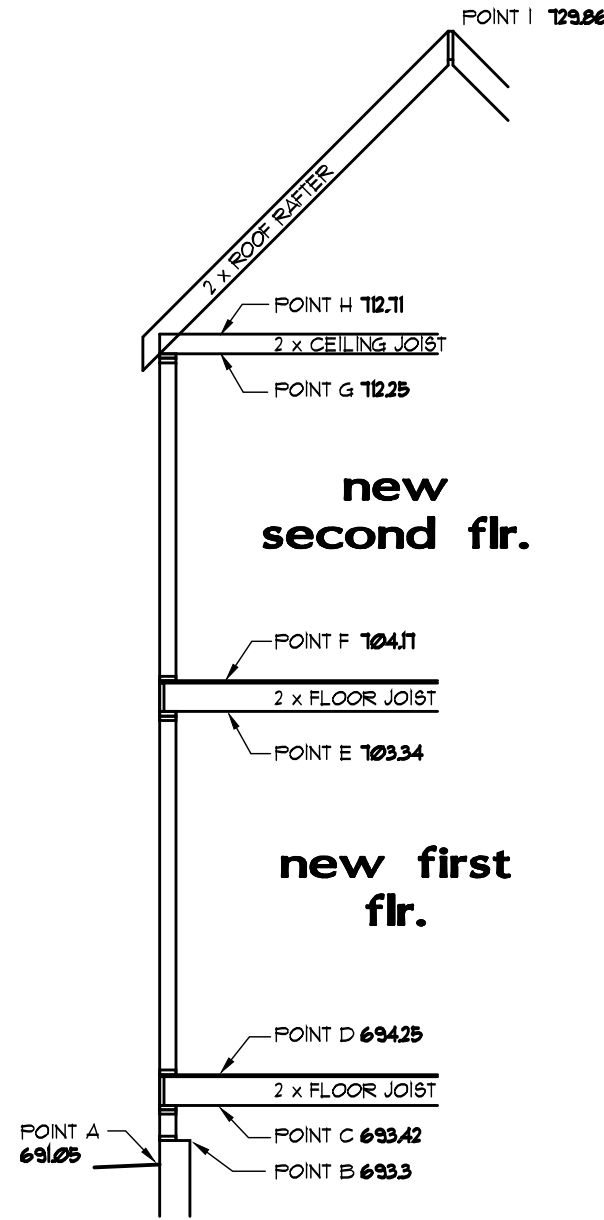
1 proposed site plan
T101

SCALE: 1/8" = 1'-0"



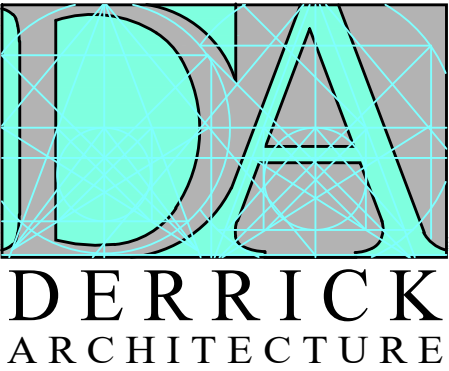
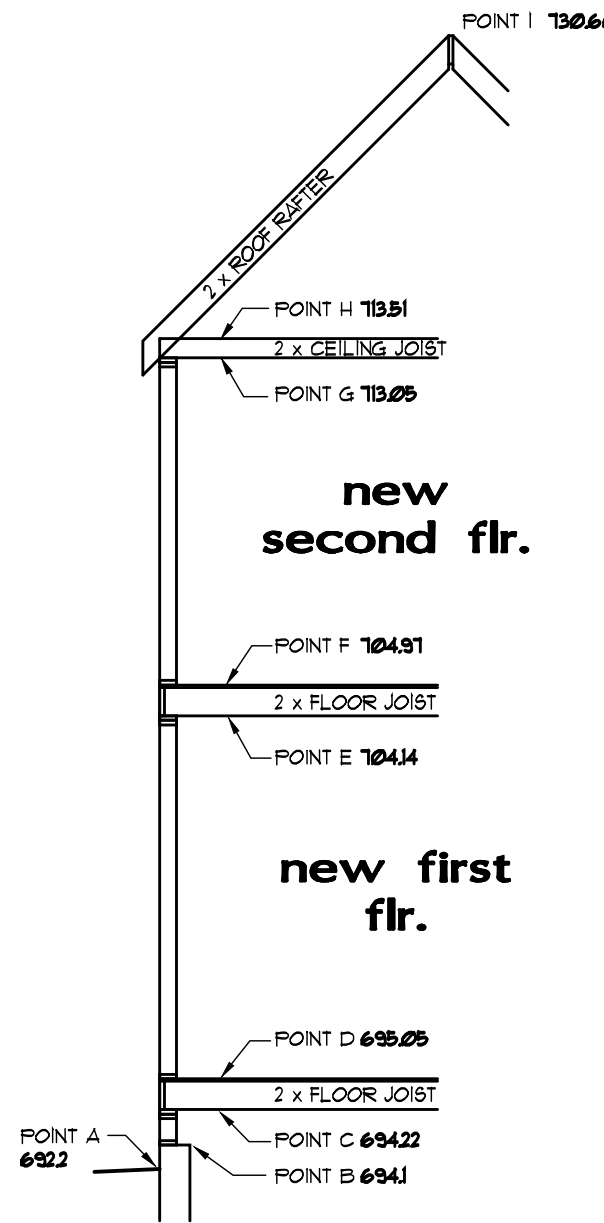
25 Huffman

LINE SEGMENT	DESCRIPTION	
POINT A	DATUM POINT (AVG. ELEV. OF BOTH PROP. LINES AT FRONT YARD SETBACK)	690.25
	ELEVATION #1 (USED ABOVE AT FRONT YARD SETBACKS)	690.8
	ELEVATION #2 (USED ABOVE AT FRONT YARD SETBACKS)	690.8
G-1	HGT. OF ROOF (BOTTOM OF CEILING JOIST OR TOP OF PLATE TO TALLEST PEAK)	17.61
AG + (0.5 X G1)	MEAN HEIGHT	30.02
AC	DATUM POINT TO BASEMENT CEILING	2.21
AD	DATUM POINT TO FIRST STORY FINISH FLOOR	3.10
AB	HEIGHT OF FOUNDATION	2.25
BC	HEIGHT OF KNEE WALL ABOVE FOUNDATION	0.125
DF	HEIGHT OF FIRST STORY (B/FLOOR JOISTS TO B/ CEILING JOISTS)	9.92
FH	HEIGHT OF 2nd STORY (B/FLOOR JOISTS TO B/CEILING JOISTS)	8.54
AI	PEAK HEIGHT	38.81
COLUMN	DESCRIPTION	
1	FOOTPRINT OF PRINCIPAL STRUCTURE	3179
2	FOOTPRINT OF DETACHED GARAGE (FOOTPRINT - 480 SF.)	N/A
3	TOTAL LOT SQUARE FOOTAGE	829.33 SF
4	BUILDING COVERAGE (COL. 1 + COL. 2) / COL. 3	384
5	GROSS SQUARE FOOTAGE OF 1st FLOOR	2583
6	GROSS SQUARE FOOTAGE OF 2nd FLOOR	1580
7	GROSS SQUARE FOOTAGE OF ANY 1/2 STORY	n/a
8	GROSS SQUARE FOOTAGE OF BASEMENT (FINISHED)	692
9	GROSS SQUARE FOOTAGE OF BASEMENT (UNFINISHED)	1598
10	GROSS SQUARE FOOTAGE OF GARAGE	860.1



818 Franklin

LINE SEGMENT	DESCRIPTION	
POINT A	DATUM POINT (AVG. ELEV. OF BOTH PROP. LINES AT FRONT YARD SETBACK)	692.2
	ELEVATION #1 (USED ABOVE AT FRONT YARD SETBACKS)	692.8
	ELEVATION #2 (USED ABOVE AT FRONT YARD SETBACKS)	692.8
G-1	HGT. OF ROOF (BOTTOM OF CEILING JOIST OR TOP OF PLATE TO TALLEST PEAK)	17.61
AG + (0.5 X G1)	MEAN HEIGHT	29.65
AC	DATUM POINT TO BASEMENT CEILING	2.02
AD	DATUM POINT TO FIRST STORY FINISH FLOOR	2.85
AB	HEIGHT OF FOUNDATION	1.50
BC	HEIGHT OF KNEE WALL ABOVE FOUNDATION	0.125
DF	HEIGHT OF FIRST STORY (B/FLOOR JOISTS TO B/ CEILING JOISTS)	11.4
FH	HEIGHT OF 2nd STORY (B/FLOOR JOISTS TO B/CEILING JOISTS)	9.68
AI	PEAK HEIGHT	38.46
COLUMN	DESCRIPTION	
1	FOOTPRINT OF PRINCIPAL STRUCTURE	3179
2	FOOTPRINT OF DETACHED GARAGE (FOOTPRINT - 480 SF.)	N/A
3	TOTAL LOT SQUARE FOOTAGE	1756.33 SF
4	BUILDING COVERAGE (COL. 1 + COL. 2) / COL. 3	41
5	GROSS SQUARE FOOTAGE OF 1st FLOOR	2318.3
6	GROSS SQUARE FOOTAGE OF 2nd FLOOR	1580
7	GROSS SQUARE FOOTAGE OF ANY 1/2 STORY	n/a
8	GROSS SQUARE FOOTAGE OF BASEMENT (FINISHED)	0
9	GROSS SQUARE FOOTAGE OF BASEMENT (UNFINISHED)	2090
10	GROSS SQUARE FOOTAGE OF GARAGE	860.1



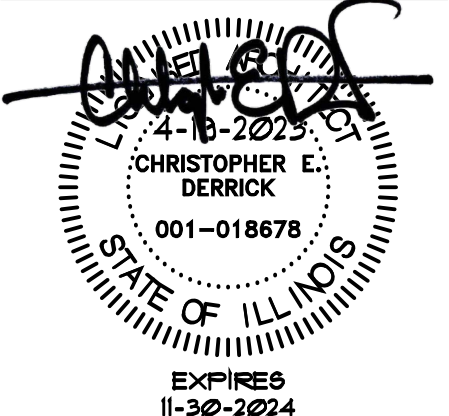
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Franklin Flats
818 E Franklin/25 N Huffman
Naperville, IL 60540



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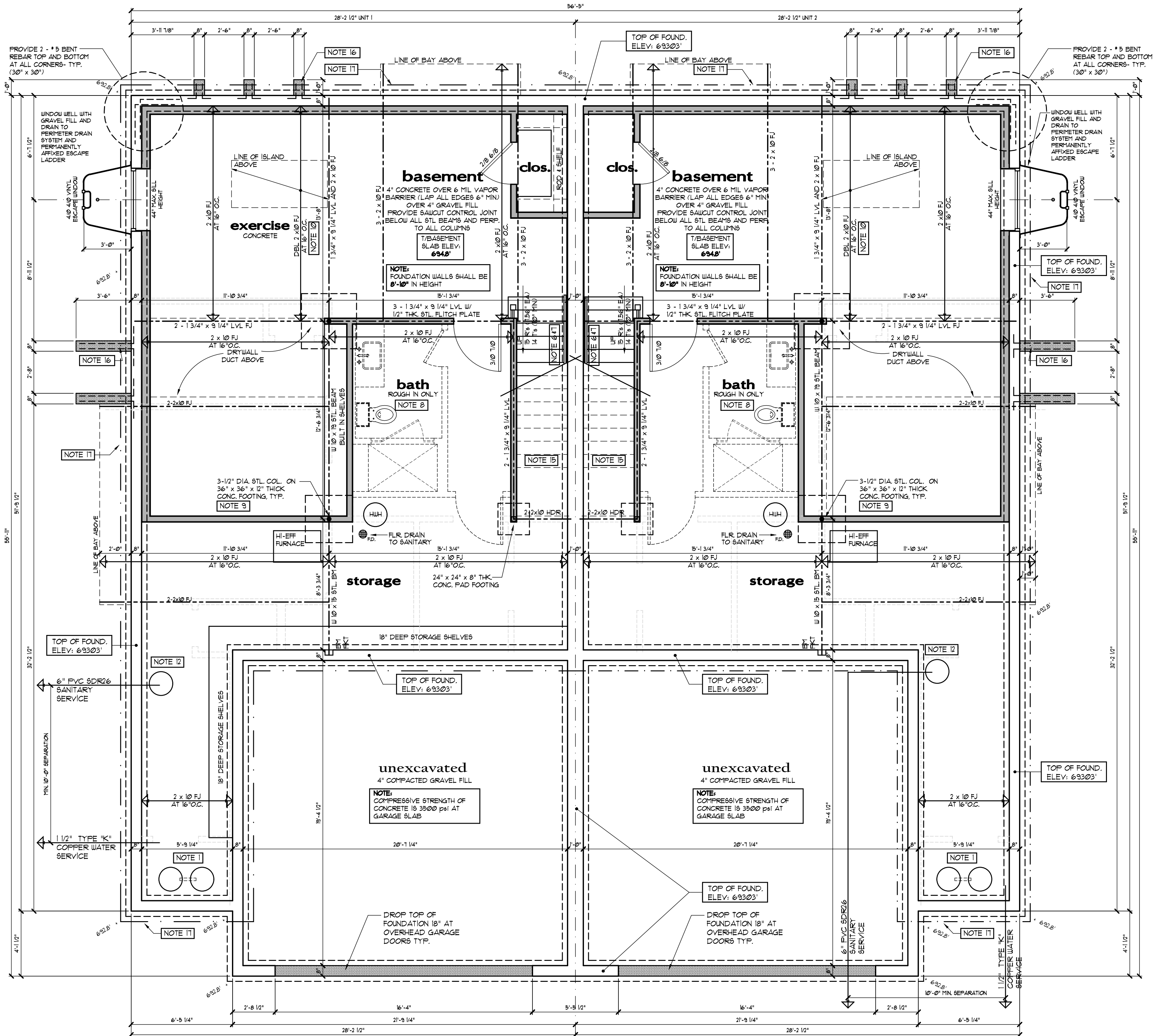
SHEET TITLE:
Proposed Site Plan

SHEET NUMBER:
C101

REVIEW COMMENTS 5.15.2023

min. specified conc. strength	
TYPE OR LOCATION OF CONC. CONSTRUCTION	BEVERE WEATHERING
BASEMENT WALLS, FOUNDATIONS AND OTHER CONCRETE NOT EXPOSED TO THE WEATHER	2500 PSI
BASEMENT SLABS AND INTERIOR SLABS ON GRADE, EXCEPT GARAGE FLOOR SLABS	2500 PSI
BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE WORK EXPOSED TO THE WEATHER	3000 PSI
PORCHES, CANOPYS, SLABS AND STEPS EXPOSED TO THE WEATHER, AND GARAGE FLOOR SLABS	3500 PSI

1. STRENGTH AT 28 DAYS PSI
2. TAKEN FROM 2006 IBC, TABLE R402.2



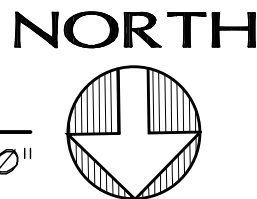
Unit 1

Unit 2

25 N Huffman
Foundation plan

1
A100

SCALE: 1/4" = 1'-0"



floor joist schedule		
JOIST & SPACING	MAXIMUM SPAN	
	NON-SLEEPING ROOFS	SLEEPING ROOFS
L / 360	40' LL - 10' DL	30' LL - 10' DL
2 x 8 AT 12" O.C.	13'-6"	14'-11"
2 x 8 AT 16" O.C.	12'-3"	13'-6"
2 x 10 AT 12" O.C.	17'-3"	19'-0"
2 x 10 AT 16" O.C.	15'-5"	17'-2"
2 x 10 AT 16" O.C.	15'-5"	17'-5"
DBL. EVERY OTHER JOIST		
2 x 12 AT 12" O.C.	20'-1"	23'-0"
2 x 12 AT 16" O.C.	17'-10"	19'-11"
2 x 12 AT 16" O.C.	19'-11"	21'-4"
DBL. EVERY OTHER JOIST		

PROVIDE DBL. FLOOR JOIST BELOW ALL PARALLEL PARTITIONS, UNLESS NOTED OTHERWISE ON PLANS. ALL FLOOR JOISTS SHALL BE #2 DOMESTIC HEM-FIR, CANADIAN SPRUCE, PINE, FIR, OR BETTER. PROVIDE 1 x CROSS BRIDGING AT MAX. 8'-0" O.C.

concrete foundation walls	
FOUNDATION WALLS ARE DESIGNED IN ACCORDANCE WITH 2010 ACI 332-10 RESIDENTIAL CODE REQUIREMENTS FOR STRUCTURAL CONCRETE	
8"	THICKNESS OF WALLS
8'-10"	MAXIMUM HEIGHT OF WALL
8'-0"	MAXIMUM HEIGHT OF UNBALANCED BACKFILL
CL	BACKFILL MATERIAL (CLAY/DIRT) GW (GRAVEL/GRAVELAR)
NO. 6 AT 30" O.C.	MINIMUM VERTICAL REINFORCEMENT SIZE AND SPACING
NO. 4 - SEE NOTE 1	MINIMUM HORIZONTAL REINFORCEMENT SIZE AND SPACING

NOTES:
1. PROVIDE FOUR CONTINUOUS HORIZONTAL BARS. A MINIMUM OF ONE HORIZONTAL BAR SHALL BE LOCATED WITHIN THE TOP 24 IN. AND A MINIMUM OF ONE IN THE BOTTOM 24 IN. THE REMAINING BARS SHALL BE SPACED OVER THE HEIGHT OF THE WALL AS EQUALLY AS PRACTICAL.
2. REINFORCING LAP LENGTH SHALL NOT BE LESS THAN 24 INCHES.
3. AT ALL CORNERS, HORIZONTAL REINFORCEMENT SHALL EXTEND AROUND THE CORNERS AND LAP REINFORCEMENT A MINIMUM OF 30 x BAR DIAMETER.

code requirements for residential concrete (ACI 332-10)	
Table A6 - Vertical reinforcing bar spacing for conc. basement walls	
MAXIMUM WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT (FEET)
REINFORCING BAR	SPECIFIED MINIMUM WALL THICKNESS, IN.
5'-0"	15
	15
	15
	15
6'-0"	15
	15
	15
	15
7'-0"	15
	15
	15
	15
8'-0"	15
	15
	15
	15

ALL INFORMATION TAKEN FROM ACI 332-10

foundation notes	
NOTE 1	BUMP PUMPS MUST DISCHARGE A MINIMUM OF FIVE FEET (5'-0") FROM THE FOUNDATION WALLS. DISCHARGE MUST CONFORM TO THE APPROVED GRADING PLAN AND IN NO CASE SHALL BE EXTENDED CLOSER THAN THREE FEET (3'-0") FROM THE REAR OR SIDE PROPERTY LINE.
NOTE 2	PROVIDE CONTROL JOINTS UNDER ALL STEEL BEAMS AND RADIATING AT 30 DEGREES FROM STEEL COLUMNS AND ALL FOUNDATION OFFSETS.
NOTE 3	ALL HVAC SUPPLY AND RETURN DUCTS SHALL BE LOCATED IN FIELD. HVAC CONTRACTOR SHALL PROVIDE HI/LOW SUPPLY AND RETURN DUCTS.
NOTE 4	PROVIDE GALVANIZED LUMBER FOR ALL POSTS OR BILL PLATES RESTING ON CONCRETE FOUNDATION OR CONCRETE FLOOR.
NOTE 5	PROVIDE 2 x SOLID BLOCKING OR POSTING DOWN TO STEEL OR CONCRETE FOUNDATION WALLS AT ALL POINT LOADS.
NOTE 6	HANDRAIL HEIGHT AT STAIRS SHALL BE MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING AND SHALL BE NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES.
NOTE 7	HANDRAILS AT STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. ALL HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN THE NEEL POSTS OR SAFETY TERMINAL. HANDRAILS ADJACENT TO WALLS SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCH BETWEEN THE WALL AND THE HANDRAIL, PER 2012 IRC R313.6.
NOTE 8	PROVIDE ROUGH IN FOR FUTURE BATH.
NOTE 9	ALL STEEL COLUMNS SHALL BE 3 1/2" O.D. x 0.331 STEEL COLUMN (F _y =36K) UNLESS NOTED OTHERWISE ON PLANS - SEE FOOTING SCHEDULE FOR SIZE OF FOOTING.
NOTE 10	PROVIDE DOUBLE FLOOR JOISTS UNDER KITCHEN ISLAND.
NOTE 11	PROVIDE 1 x CROSS BRIDGING AT MAX. 8'-0" O.C.
NOTE 12	ELECTOR FIT - CONNECT TO FLOOR DRAIN AND OVERHEAD SEWER LOCATION AS REQUIRED BY SITE - TOP EDGE SHALL BE A MIN. 2" ABOVE FIN FLOOR.
NOTE 13	TEMP. GLASS SHOWER ENCLOSURE.
NOTE 14	PROVIDE PASSIVE RADON SYSTEM WITH ELECTRIC FOR FUTURE ABATEMENT. LOCATION T.B.D. IN FIELD. SEE DETAIL 3 SHEET A300.
NOTE 15	PROVIDE 5/8" GYP BOARD AT UNDERSIDE OF STAIRS.
NOTE 16	8" THICK CONCRETE WING WALL WITH 2-#5 BENT BAR.
NOTE 17	4" DIA. PERIMETER DRAIN TILE IN 2" CLEAN GRAVEL FILL.

■ 2X POST FROM ABOVE

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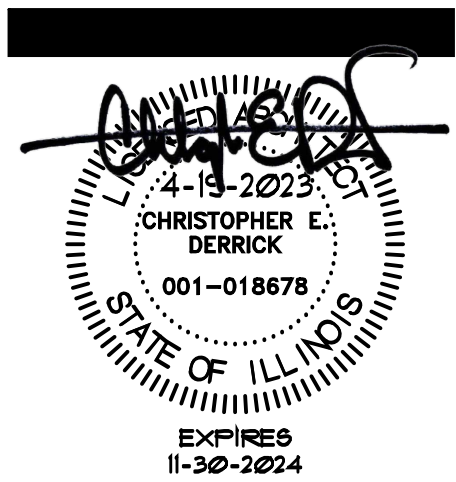
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5.15.2023

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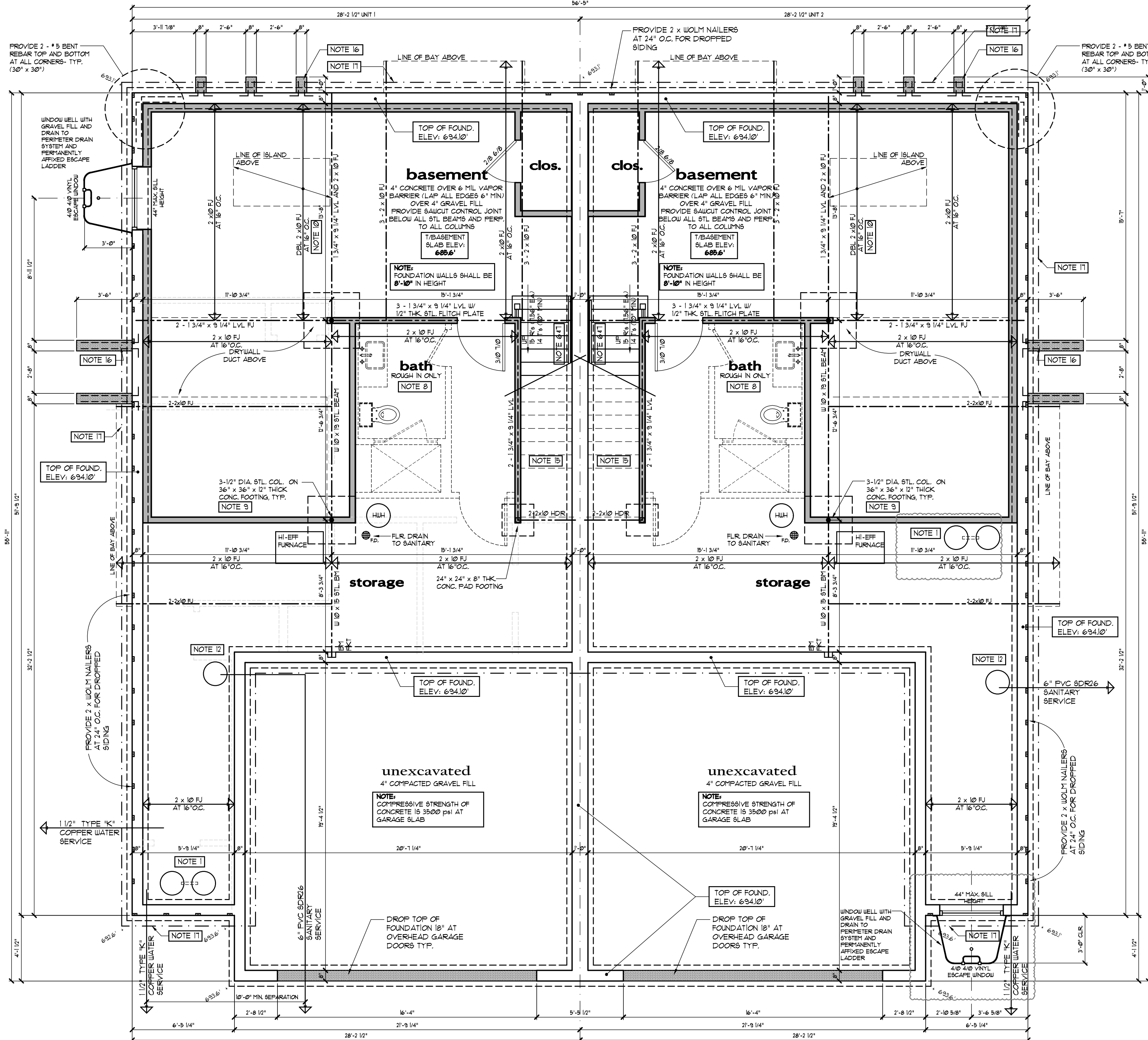
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PROJECT NO: 2210

SHEET TITLE:
Foundation Plan
25 N Huffman

SHEET NUMBER:
A100

min. specified conc. strength	
TYPE OR LOCATION OF CONC CONSTRUCTION	BEVERE WEATHERING
BASEMENT WALLS, FOUNDATIONS AND OTHER CONCRETE NOT EXPOSED TO THE WEATHER	2500 PSI
BASEMENT SLABS AND INTERIOR SLABS ON GRADE, EXCEPT GARAGE FLOOR SLABS	2500 PSI
BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE WORK EXPOSED TO THE WEATHER	3000 PSI
PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER, AND GARAGE FLOOR SLABS	3500 PSI
1. STRENGTH AT 28 DAYS PSI 2. TAKEN FROM 2006 IBC, TABLE R402.2	



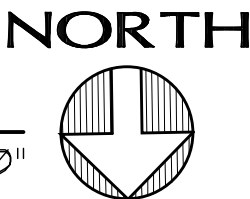
Unit 3

Unit 4

818 E Franklin
Foundation plan

1
A101

SCALE: 1/4" = 1'-0"



floor joist schedule

JOIST SPACING	MAXIMUM SPAN	
	NON-SLEEPING ROOFS	SLEEPING ROOFS
L / 360	40' LL - 10' DL	30' LL - 10' DL
2 x 8 AT 12" O.C.	13'-6"	14'-11"
2 x 8 AT 16" O.C.	12'-3"	13'-6"
2 x 10 AT 12" O.C.	17'-3"	19'-0"
2 x 10 AT 16" O.C.	15'-5"	17'-2"
2 x 10 AT 16" O.C.	15'-9"	17'-5"
DBL. EVERY OTHER JOIST		
2 x 12 AT 12" O.C.	20'-1"	23'-0"
2 x 12 AT 16" O.C.	17'-10"	19'-11"
2 x 12 AT 16" O.C.	19'-11"	21'-4"
DBL. EVERY OTHER JOIST		

PROVIDE DBL. FLOOR JOIST BELOW ALL PARALLEL PARTITIONS, UNLESS NOTED OTHERWISE ON PLANS. ALL FLOOR JOISTS SHALL BE #2 DOMESTIC HEM-FIR, CANADIAN SPRUCE, PINE, FIR, OR BETTER. PROVIDE 1 x CROSS BRIDGING AT MAX. 8'-0" O.C.

concrete foundation walls

FOUNDATION WALLS ARE DESIGNED IN ACCORDANCE WITH 2010 ACI 332-10 RESIDENTIAL CODE REQUIREMENTS FOR STRUCTURAL CONCRETE

8"	THICKNESS OF WALLS
8'-10"	MAXIMUM HEIGHT OF WALL
8'-0"	MAXIMUM HEIGHT OF UNBALANCED BACKFILL
CL	BACKFILL MATERIAL CL (CLAY/DIRT) GW (GRAVEL/GRAVELULAR)
NO. 6 AT 30" O.C.	MINIMUM VERTICAL REINFORCEMENT SIZE AND SPACING
NO. 4 - SEE NOTE 1	MINIMUM HORIZONTAL REINFORCEMENT SIZE AND SPACING

NOTES:
1. PROVIDE FOUR CONTINUOUS HORIZONTAL BARS. A MINIMUM OF ONE HORIZONTAL BAR SHALL BE LOCATED WITHIN THE TOP 24 IN. AND A MINIMUM OF ONE IN THE BOTTOM 24 IN. THE REMAINING BARS SHALL BE SPACED OVER THE HEIGHT OF THE WALL AS EQUALLY AS PRACTICAL.
2. REINFORCING LAP LENGTH SHALL NOT BE LESS THAN 24 INCHES.
3. AT ALL CORNERS, HORIZONTAL REINFORCEMENT SHALL EXTEND AROUND THE CORNERS AND LAP REINFORCEMENT A MINIMUM OF 30 x BAR DIAMETER.

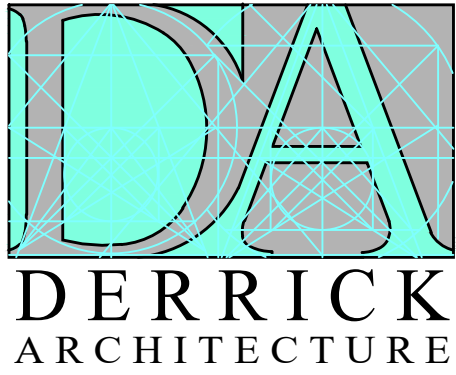
code requirements for residential concrete (ACI 332-10)
Table A6 - Vertical reinforcing bar spacing for conc. basement walls

MAXIMUM HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT (FEET)	REINFORCING BAR	SPECIFIED MAX. EQUIVALENT FLUID PRESSURE OF SOIL, psf/ft		
			60		
			SPECIFIED MINIMUM WALL THICKNESS, IN.		
			15	35	15
5'-0"	5'-0"	NO. 4 @ 36"	PLAN	PLAN	PLAN
		NO. 5 @ 36"	PLAN	PLAN	PLAN
		NO. 6 @ 36"	PLAN	PLAN	PLAN
	6'-0"	NO. 4 @ 36"	PLAN	PLAN	PLAN
		NO. 5 @ 36"	PLAN	PLAN	PLAN
		NO. 6 @ 36"	PLAN	PLAN	PLAN
6'-0"	7'-0"	NO. 4 @ 36"	15	PLAN	PLAN
		NO. 5 @ 36"	30	PLAN	PLAN
	8'-0"	NO. 4 @ 36"	30	PLAN	PLAN
		NO. 5 @ 36"	30	PLAN	PLAN

ALL INFORMATION TAKEN FROM ACI 332-10

foundation notes

- NOTE 1** BUMP PUMPS MUST DISCHARGE A MINIMUM OF FIVE FEET (5'-0") FROM THE FOUNDATION WALLS. DISCHARGE MUST CONFORM TO THE APPROVED GRADING PLAN AND IN NO CASE SHALL BE EXTENDED CLOSER THAN THREE FEET (3'-0") FROM THE REAR OR SIDE PROPERTY LINE.
- NOTE 2** PROVIDE CONTROL JOINTS UNDER ALL STEEL BEAMS AND RADIATING AT 30 DEGREES FROM STEEL COLUMNS AND ALL FOUNDATION OFFSETS.
- NOTE 3** ALL HVAC SUPPLY AND RETURN DUCTS SHALL BE LOCATED IN FIELD. HVAC CONTRACTOR SHALL PROVIDE HI/LO SUPPLY AND RETURN DUCTS.
- NOTE 4** PROVIDE WOLMANIZED LUMBER FOR ALL POSTS OR BILL PLATES RESTING ON CONCRETE FOUNDATION OR CONCRETE FLOOR.
- NOTE 5** PROVIDE 2 x SOLID BLOCKING OR POSTING DOWN TO STEEL OR CONCRETE FOUNDATION WALLS AT ALL POINT LOADS.
- NOTE 6** HANDRAIL HEIGHT AT STAIRS SHALL BE MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING AND SHALL BE NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES.
- NOTE 7** HANDRAILS AT STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. ALL HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN THE NEEL POSTS OR SAFETY TERMINAL. HANDRAILS ADJACENT TO WALLS SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCH BETWEEN THE WALL AND THE HANDRAIL, PER 2012 IBC R013.6.
- NOTE 8** PROVIDE ROUGH IN FOR FUTURE BATH.
- NOTE 9** ALL STEEL COLUMNS SHALL BE 3 1/2" O.D. x 0.331 STEEL COLUMN (F_y=36KSI) UNLESS NOTED OTHERWISE ON PLANS - SEE FOOTING SCHEDULE FOR SIZE OF FOOTING.
- NOTE 10** PROVIDE DOUBLE FLOOR JOISTS UNDER KITCHEN ISLAND.
- NOTE 11** PROVIDE 1 x CROSS BRIDGING AT MAX. 8'-0" O.C.
- NOTE 12** EJECTOR PIT - CONNECT TO FLOOR DRAIN AND OVERHEAD SEWER LOCATION AS REQUIRED BY SITE - TOP EDGE SHALL BE A MIN. 2" ABOVE FIN FLOOR.
- NOTE 13** TEMP. GLASS SHOWER ENCLOSURE.
- NOTE 14** PROVIDE PASSIVE RADON SYSTEM WITH ELECTRIC FOR FUTURE ABATEMENT. LOCATION T.B.D. IN FIELD. SEE DETAIL 3 SHEET A300.
- NOTE 15** PROVIDE 5/8" GYP BOARD AT UNDERSIDE OF STAIRS.
- NOTE 16** 8" THICK CONCRETE WING WALL WITH 2-#5 BENT BAR.
- NOTE 17** 4" DIA. PERIMETER DRAIN TILE IN 12" CLEAN GRAVEL FILL.
- 2X POST FROM ABOVE



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Franklin Flats
818 E Franklin/25 N Huffman
Naperville, IL 60540



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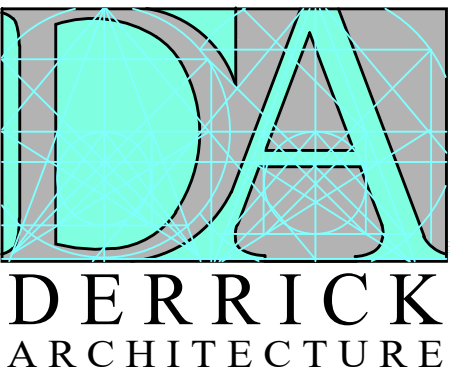
DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
Foundation Plan
818 E Franklin

SHEET NUMBER:

A101

REVIEW COMMENTS 5.15.2023



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Franklin Flats
818 E Franklin/25 N Huffman
Naperville, IL 60540



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DATE: 05/15/23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
First Floor Plan
25 N Huffman

SHEET NUMBER:
A102

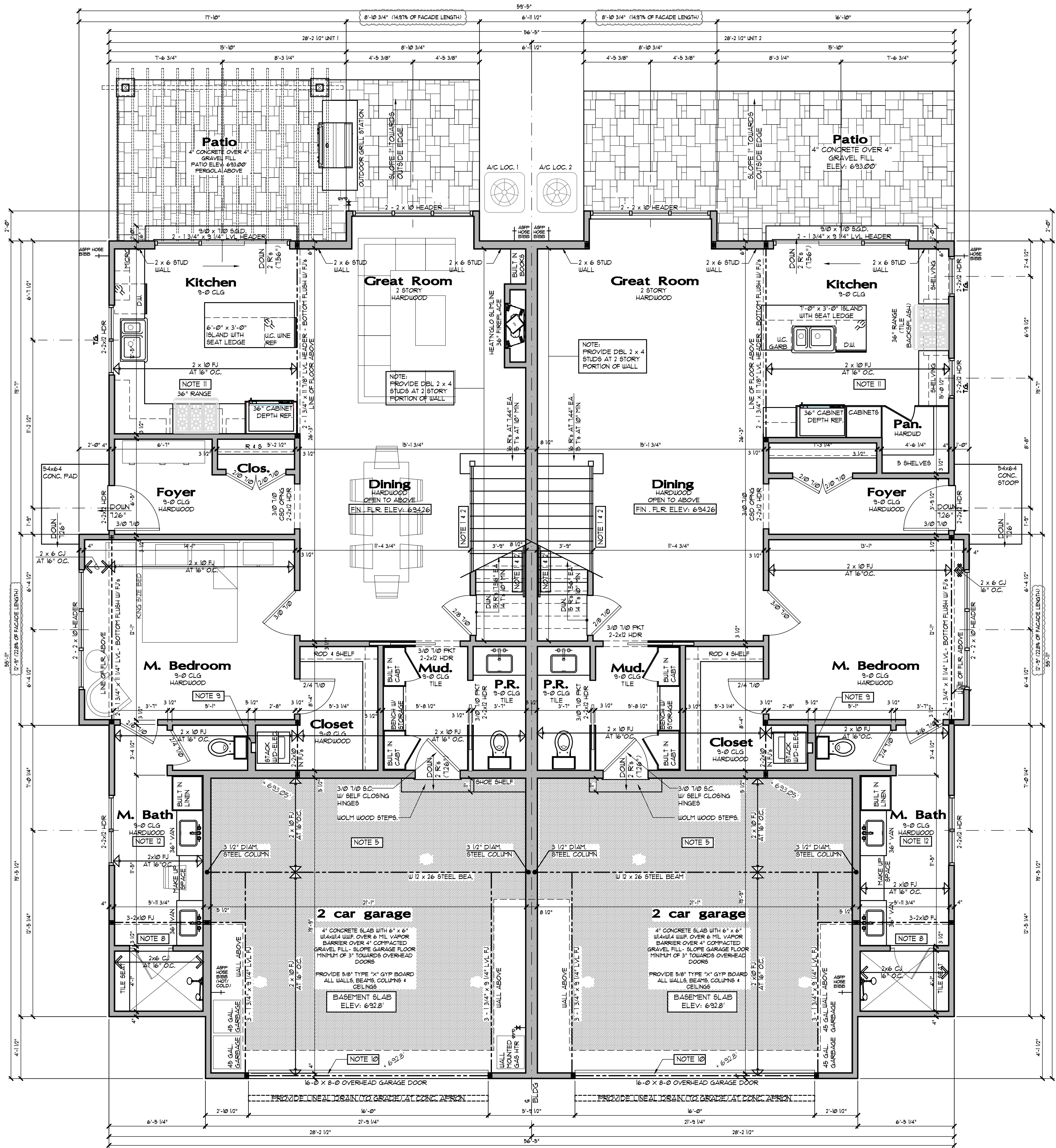
floor plan notes

- NOTE 1** HANDRAILS AT STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. ALL HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN THE NEEL POSTS OR SAFETY TERMINAL. HANDRAILS ADJACENT TO WALLS SHALL HAVE A SPACE OF NOT LESS THAN 1/2 INCH BETWEEN THE WALL AND THE HANDRAIL. PER 2018 IRC R312.5
- NOTE 2** HANDRAIL HEIGHT AT STAIRS SHALL BE MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING AND SHALL BE NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES.
- NOTE 3** ALL BALUSTERS SHALL BE SPACED SO AS TO NOT ALLOW THE PASSAGE OF AN OBJECT 4" OR GREATER IN DIAMETER.
- NOTE 4** 36" HIGH GUARDRAIL
- NOTE 5** PROVIDE 12" SORFT BELOW 2ND FLOOR IN GARAGE - PROVIDE R-38 INSULATION AND HEAT RING INTO PLENUM SPACE (SHADED AREA)
- NOTE 6** ALL ATTIC ACCESS SPACES WITH A MINIMUM OF 30 INCH VERTICAL HIGH AND AN AREA OF 30 SQUARE FEET SHALL HAVE AN ATTIC ACCESS HATCH. THE ROUGH FRAMED OPENING SHALL NOT BE LESS THAN 22 INCHES BY 30 INCHES AND SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. PER 2018 IRC R502.1
- NOTE 7** ACCESS HATCHES AND DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES SUCH AS ATTICS AND CRAWL SPACES SHALL BE WEATHER STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES. PER 2018 IECC R402.4
- NOTE 8** TEMPERED GLASS SHOWER DOOR AND ENCLOSURE ON TILED LEDGE
- NOTE 9** GREY BOX
- NOTE 10** 1" RECESS IN CONCRETE AT OVERHEAD DOORS (TYPICAL ELEV. 692.11 FOR 25 HUFFMAN 693.5 FOR 818 FRANKLIN)
- NOTE 11** EXHAUST HOOD SYSTEM CAPABLE OF EXHAUSTING IN EXCESS OF 400 CUBIC FEET PER MINUTE SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. MAKEUP AIR SYSTEM SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM
- NOTE 12** BATHS SHALL BE PROVIDED WITH WOOD BLOCKING INSTALLED WITHIN WALL FRAMING TO SUPPORT GRAB BARS AS NEEDED. THE WOOD BLOCKING WHEN MEASURED TO THE CENTER SHALL BE LOCATED BETWEEN 33" AND 36" ABOVE FINISHED FLOOR. THE WOOD BLOCKING SHALL BE LOCATED IN ALL WALLS ADJACENT TO A TOILET, SHOWER STALL, OR BATH TUB.
- NOTE 13** INDICATE AN ACCESSIBLE AND APPROVED GAS SHUT OFF VALVE WITHIN 6'-0" OF THE APPLIANCE IT SERVES
- NOTE 14** PROVIDE 2 x SOLID BLOCKING IN JOIST SPACES ABOVE DOUBLE SILL PLATE FOR FIRE STOPPING
- NOTE 15** PROVIDE DOUBLE FLOOR JOISTS BELOW PARALLEL WALLS ABOVE
- NOTE 16** PROVIDE DOUBLE FLOOR JOISTS UNDER ALL TUBS ABOVE

floor joist schedule

JOIST & SPACING	MAXIMUM SPAN	
	NON-SLEEPING ROOFS	SLEEPING ROOFS
L / 360	40' LL - 10' DL	30' LL - 10' DL
2 x 8 AT 12" O.C.	13'-6"	14'-11"
2 x 8 AT 16" O.C.	12'-5"	13'-6"
2 x 10 AT 12" O.C.	17'-3"	19'-0"
2 x 10 AT 16" O.C.	15'-5"	17'-2"
2 x 10 AT 16" O.C. DBL. EVERY OTHER JOIST	15'-5"	17'-5"
2 x 12 AT 12" O.C.	20'-1"	23'-0"
2 x 12 AT 16" O.C.	19'-10"	19'-11"
2 x 12 AT 16" O.C. DBL. EVERY OTHER JOIST	19'-10"	21'-4"

PROVIDE DBL. FLOOR JOIST BELOW ALL PARALLEL PARTITIONS, UNLESS NOTED OTHERWISE ON PLANS.
ALL FLOOR JOISTS SHALL BE 12 DOMESTIC HEM-FIR, CANADIAN SPRUCE, PINE, FIR, OR BETTER.
PROVIDE 1 x CROSS BRIDGING AT MAX. 8'-0" O.C.



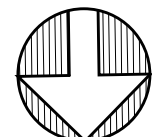
Unit 1

Unit 2

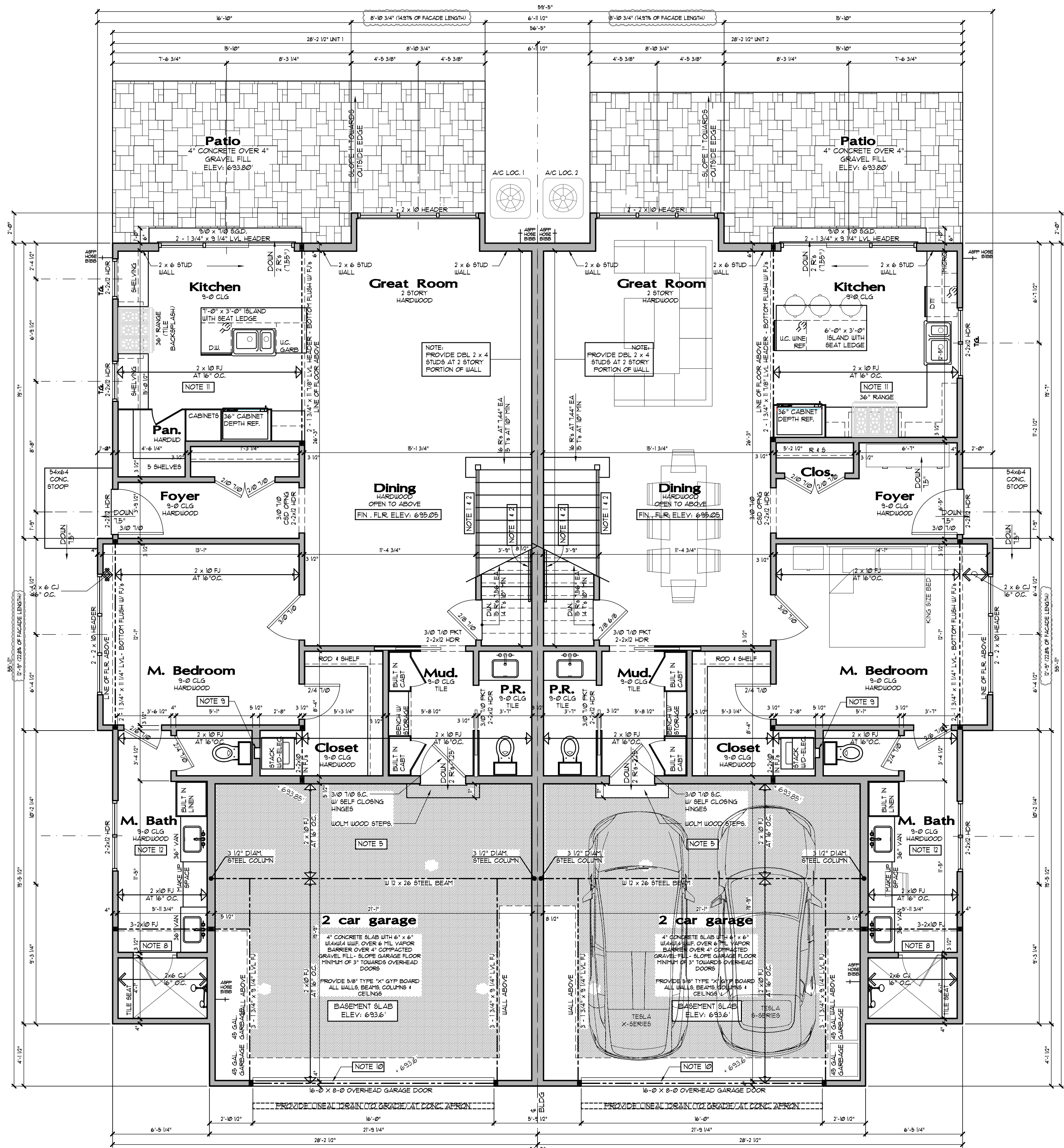
25 N Huffman
First Floor plan

1
A102

NORTH



SCALE: 1/4" = 1'-0"



- ### floor plan notes

NOTE 1 HANDRAILS AT STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. ALL HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN THE NEEL FOOT OR SAFETY TERMINAL. HANDRAILS ADJACENT TO WALLS SHALL HAVE A SPACE OF NOT LESS THAN 1/2 INCH BETWEEN THE WALL AND THE HANDRAIL. PER 2018 IRC R313.5

NOTE 2 HANDRAIL HEIGHT AT STAIRS SHALL BE MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING AND SHALL BE NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES.

NOTE 3 ALL BALUSTERS SHALL BE SPACED SO AS TO NOT ALLOW THE PASSAGE OF AN OBJECT 4" OR GREATER IN DIAMETER.

NOTE 4 36" HIGH GUARDRAIL

NOTE 5 PROVIDE 12" SORFT BELOW 2ND FLOOR IN GARAGE - PROVIDE R-38 INSULATION AND HEAT RING INTO PLENUM SPACE (SHADED AREA)

NOTE 6 ALL ATTIC ACCESS SPACES WITH A MINIMUM OF 30 INCH VERTICAL HIGH AND AN AREA OF 30 SQUARE FEET SHALL HAVE AN ATTIC ACCESS HATCH. THE ROUGH FRAMED OPENING SHALL NOT BE LESS THAN 22 INCHES BY 30 INCHES AND SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION PER 2018 IRC R802.1

NOTE 7 ACCESS HATCHES AND DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES SUCH AS ATTICS AND CRAWL SPACES SHALL BE WEATHER STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES PER 2018 ECC R402.4

NOTE 8 TEMPERED GLASS SHOWER DOOR AND ENCLOSURE ON TILED LEDGE

NOTE 9 GREY BOX

NOTE 10 1" RECESS IN CONCRETE AT OVERHEAD DOORS (TYPICAL ELEV. 6'0" FOR 25 HUFFMAN 6'0" FOR 818 FRANKLIN)

NOTE 11 EXHAUST HOOD SYSTEM CAPABLE OF EXHAUSTING IN EXCESS OF 400 CUBIC FEET PER MINUTE SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. MAKEUP AIR SYSTEM SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM

NOTE 12 BATHS SHALL BE PROVIDED WITH WOOD BLOCKING INSTALLED WITHIN WALL FRAMING TO SUPPORT GRAB BARS AS NEEDED. THE WOOD BLOCKING WHEN MEASURED TO THE CENTER SHALL BE LOCATED BETWEEN 33" AND 36" ABOVE FINISHED FLOOR. THE WOOD BLOCKING SHALL BE LOCATED IN ALL WALLS ADJACENT TO A TOILET, SHOWER STALL, OR BATH TUB.

NOTE 13 INDICATE AN ACCESSIBLE AND APPROVED GAS SHUT OFF VALVE WITHIN 6'-0" OF THE APPLIANCE IT SERVES

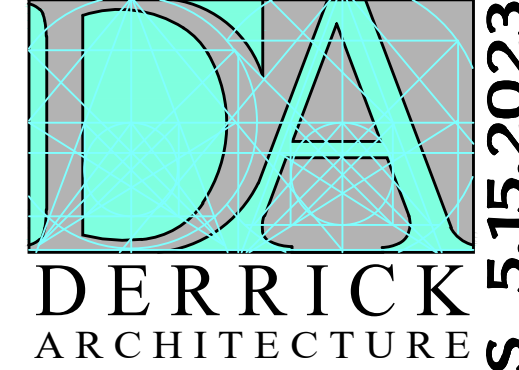
NOTE 14 PROVIDE 2 x 4 SOLID BLOCKING IN JOIST SPACES ABOVE DOUBLE SILL PLATE FOR FIRE STOPPING

NOTE 15 PROVIDE DOUBLE FLOOR JOISTS BELOW PARALLEL WALLS ABOVE

NOTE 16 PROVIDE DOUBLE FLOOR JOISTS UNDER ALL TUBS ABOVE
- ### floor joist schedule

JOIST & SPACING	MAXIMUM SPAN	
	NON-SLEEPING ROOFS	SLEEPING ROOFS
L / 360	40'-0" LL - 10' DL	30'-0" LL - 10' DL
2 x 8 AT 12" O.C.	13'-6"	14'-11"
2 x 8 AT 16" O.C.	12'-5"	13'-6"
2 x 10 AT 12" O.C.	17'-3"	19'-0"
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2 x 10 AT 16" O.C. - DBL. EVERY OTHER JOIST	15'-5"	17'-5"
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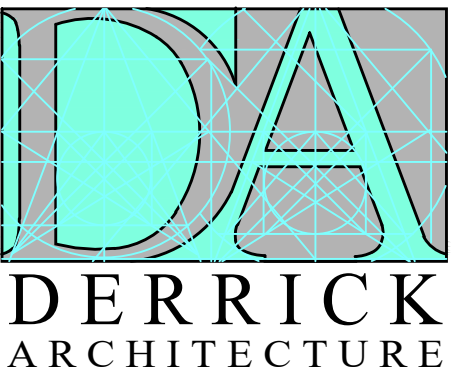
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Naperville, IL 60540



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DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210
SHEET TITLE:
First Floor Plan
818 E Franklin

SHEET NUMBER:
A103

818 E Franklin
First Floor plan
1 A103
SCALE: 1/4" = 1'-0"
NORTH



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818 E Franklin/25 N Huffman
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DATE: 05/15/23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
Second Floor Plan
25 N Huffman

SHEET NUMBER:
A104

JOIST SIZE	JOIST SPACING	MAX. SPAN
2 x 4	AT 16" O.C.	8'-1"
2 x 6	AT 16" O.C.	12'-10"
2 x 8	AT 16" O.C.	16'-3"
2 x 8	AT 12" O.C.	18'-9"
2 x 10	AT 16" O.C.	19'-10"
2 x 10	AT 12" O.C.	22'-1"
2 x 12	AT 16" O.C.	22'-8"
2 x 12	AT 12" O.C.	26'-3"

CEILING JOISTS SHALL BE #2 HEM - FIR, #2 CANADIAN
SPRUE FINE FIR OR BETTER. ALL JOISTS SHALL BE
MINIMUM SIZE AND SPACING PER SCHEDULE ABOVE UNLESS
OTHERWISE NOTED OTHERWISE ON PLANS.

floor plan notes

- NOTE 1** HANDRAILS AT STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. ALL HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN THE NEIGH. POSTS OR SAFETY TERMINAL. HANDRAILS ADJACENT TO WALLS SHALL HAVE A SPACE OF NOT LESS THAN 1/2" INCH BETWEEN THE WALL AND THE HANDRAIL. PER 2009 IRC R315.6
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- NOTE 16** PROVIDE DOUBLE FLOOR JOISTS UNDER ALL TUBS ABOVE

UNIT 1 light / vent calculation					
ROOM	AREA	LT. REQUIRED	PROVIDED	LT.	PROVIDED
KITCHEN/ GREAT ROOM/ DINING	572.3	45.8	22.3	136.6	615
MASTER BEDROOM	166	12.4	6.1	39.3	26.2
MASTER BATH	119	9.8	4.3	20.8	20.8
PUD ROOM	46.4	3.1	1.3	NOTE 1	NOTE 2
POUNDER ROOM	28.3	2.3	1.2	NOTE 1	NOTE 3
OFFICE	150	12.0	6.0	51.9	23.5
BEDROOM 2	182	14.6	7.3	39.3	23.5
BATH 2	52.0	4.2	2.1	11.1	11.1
BATH 3	52.1	4.2	2.1	NOTE 1	NOTE 3
LAUNDRY	90.2	7.2	3.6	11.1	11.1
LOFT	199.0	17.1	6.4	23.5	23.5

NOTE 1: IN ROOMS NOT MEETING REQUIRED GLAZING AREAS, ARTIFICIAL LIGHTING SHALL BE PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. PER 2009 IRC R303

NOTE 2: IN ROOMS NOT MEETING MINIMUM OPENABLE VENTILATION AREA SHALL BE VENTILATED WITH AN APPROVED MECHANICAL VENTILATION SYSTEM CAPABLE OF PRODUCING 0.35 AIR CHANGES PER HOUR IN THE ROOM OR A WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM CAPABLE OF SUPPLYING OUTDOOR VENTILATION AIR.

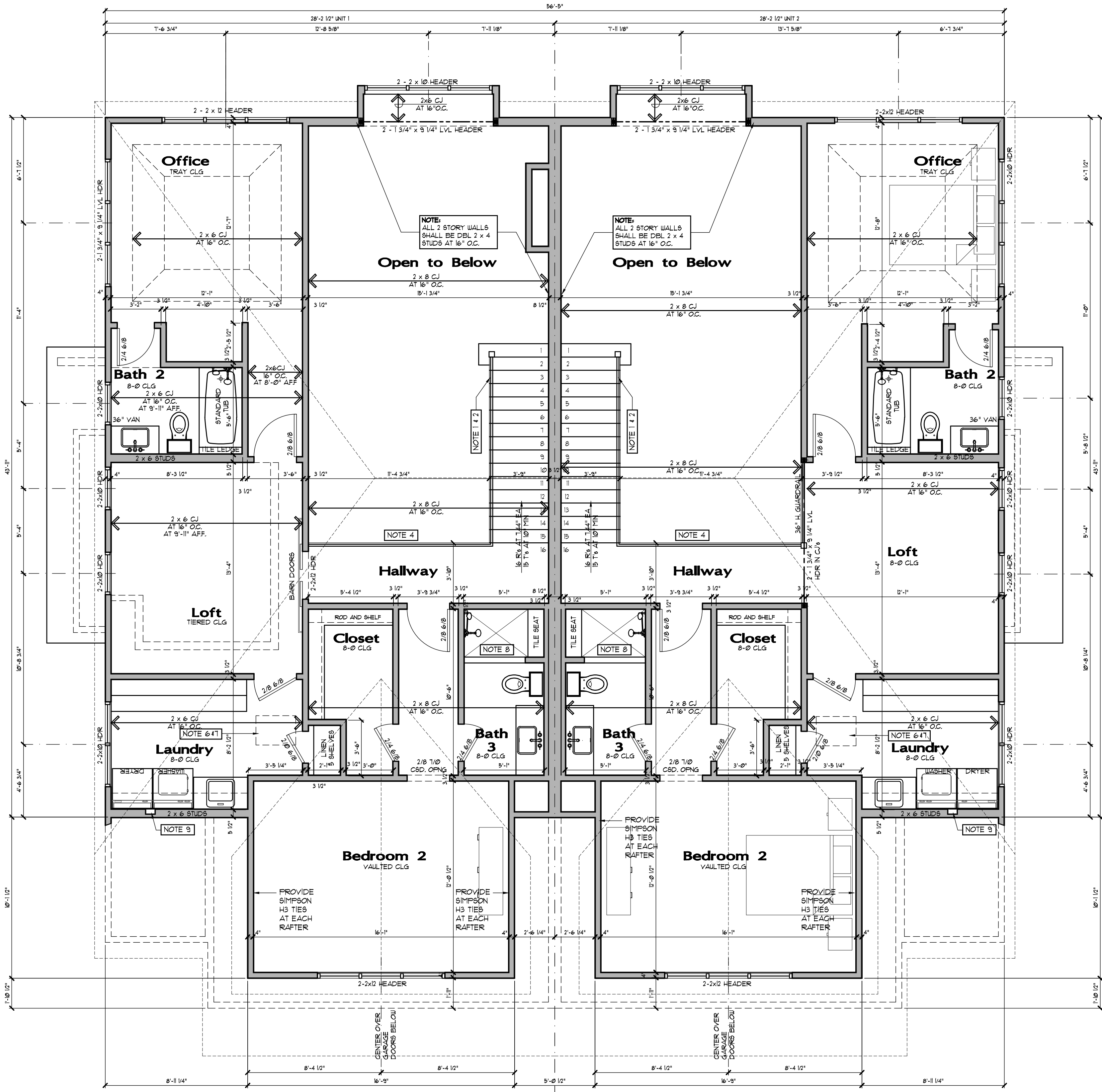
NOTE 3: VENTILATION PROVIDED - VENT TO EXTERIOR

UNIT 2 light / vent calculation					
ROOM	AREA	LT. REQUIRED	PROVIDED	LT.	PROVIDED
KITCHEN/ GREAT ROOM/ DINING	572.3	45.8	22.3	136.6	615
MASTER BEDROOM	166	12.4	6.1	39.3	26.2
MASTER BATH	119	9.8	4.3	20.8	20.8
PUD ROOM	46.4	3.1	1.3	NOTE 1	NOTE 2
POUNDER ROOM	28.3	2.3	1.2	NOTE 1	NOTE 3
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BEDROOM 2	182	14.6	7.3	39.3	23.5
BATH 2	52.0	4.2	2.1	11.1	11.1
BATH 3	52.1	4.2	2.1	NOTE 1	NOTE 3
LAUNDRY	90.2	7.2	3.6	11.1	11.1
LOFT	199.0	17.1	6.4	23.5	23.5

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NOTE 3: VENTILATION PROVIDED - VENT TO EXTERIOR

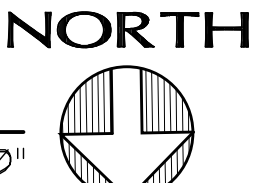


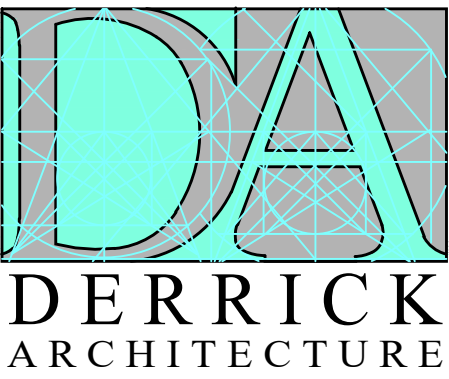
Unit 1

Unit 2

25 N Huffman
Second Floor plan

SCALE: 1/4" = 1'-0"





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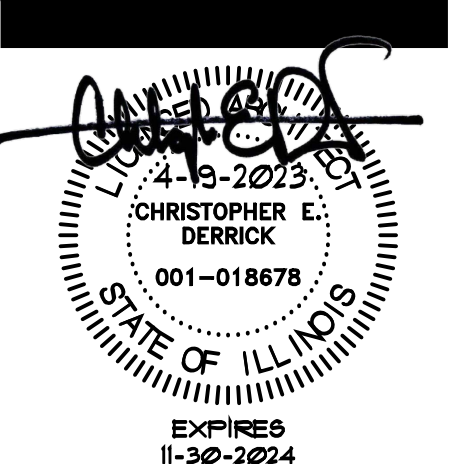
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REVISIONS	DATE
PRELIMINARY DESIGN	4/27/2022
PRELIMINARY DESIGN	5/6/2022
PRELIM DESIGN	6/12/2022
CLIENT REVISIONS	6/27/2022
UNIT RELEASE	8/22/2022
BID SETS	2/15/2023
PERMIT RELEASE	4/19/2023
REVIEW COMMENTS	5/15/2023

Franklin Flats
818 E Franklin/25 N Huffman
Naperville, IL 60540



DRAWN BY: CED

DATE: 05/15/23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
Second Floor Plan
818 E Franklin

SHEET NUMBER:
A105

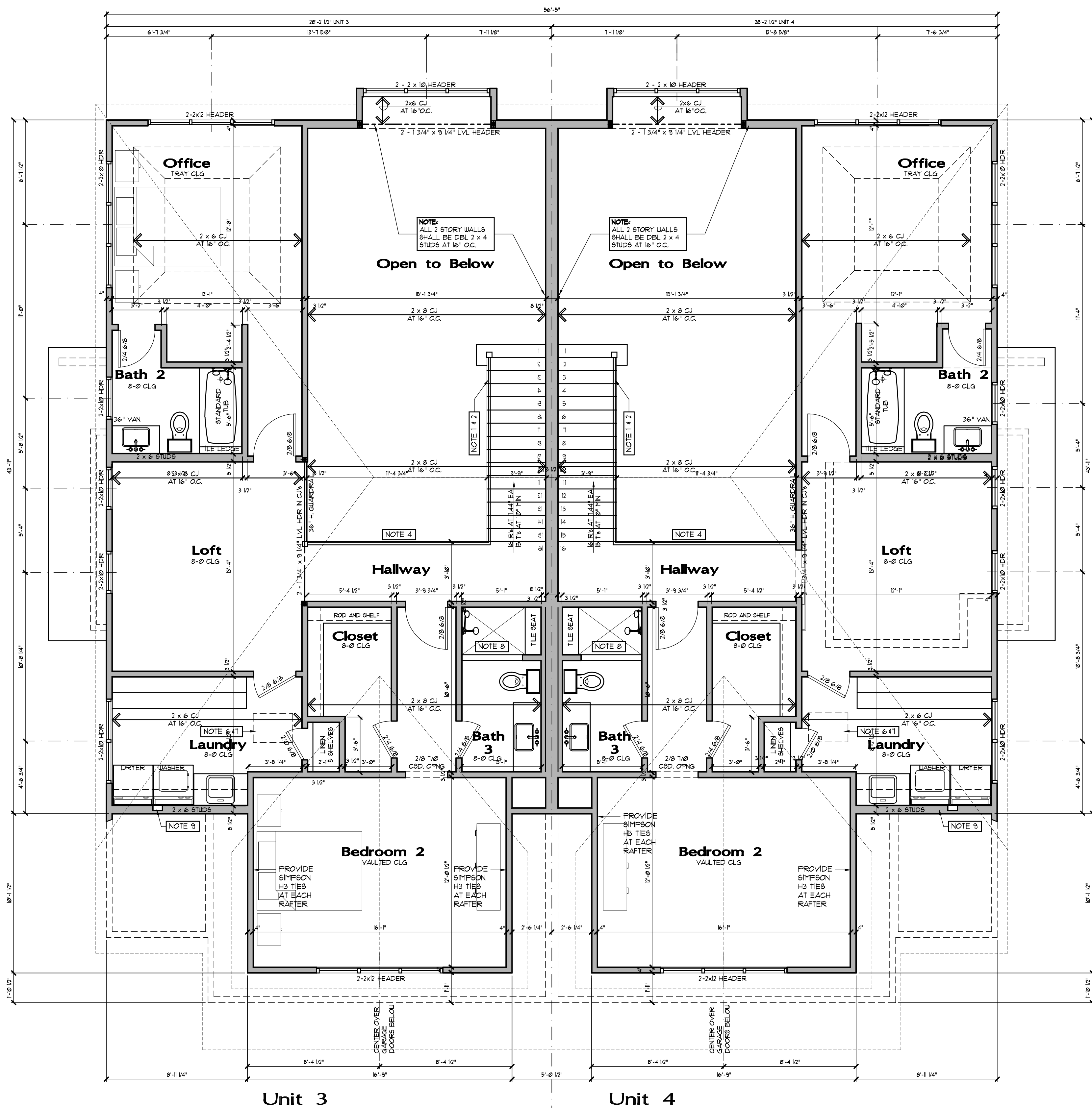
ceiling joist schedule

JOIST SIZE	JOIST SPACING	MAX. SPAN
2 x 4	AT 16" O.C.	8'-11"
2 x 6	AT 16" O.C.	12'-10"
2 x 8	AT 16" O.C.	16'-3"
2 x 8	AT 12" O.C.	18'-9"
2 x 10	AT 16" O.C.	19'-10"
2 x 10	AT 12" O.C.	22'-11"
2 x 12	AT 16" O.C.	22'-8"
2 x 12	AT 12" O.C.	26'-3"

CEILING JOISTS SHALL BE #2 HEM - FIR, #2 CANADIAN
SPRUCE PINE FIR OR BETTER. ALL JOISTS SHALL BE
MINIMUM SIZE AND SPACING PER SCHEDULE ABOVE UNLESS
OTHERWISE NOTED OTHERWISE ON PLANS.

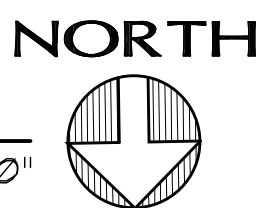
floor plan notes

- NOTE 1** HANDRAILS AT STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. ALL HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN THE NEIGHBORHOOD OR SAFETY TERMINAL. HANDRAILS ADJACENT TO WALLS SHALL HAVE A SPACE OF NOT LESS THAN 1/2" INCH BETWEEN THE WALL AND THE HANDRAIL. PER 2009 IRC R315.6
- NOTE 2** HANDRAIL HEIGHT AT STAIRS SHALL BE MEASURED VERTICALLY FROM THE 60DEGREE PLANE ADJOINING THE TREAD NOSING AND SHALL BE NOT LESS THAN 34" INCHES AND NOT MORE THAN 38" INCHES.
- NOTE 3** ALL BALUSTERS SHALL BE SPACED SO AS TO NOT ALLOW THE PASSAGE OF AN OBJECT 4" OR GREATER IN DIAMETER
- NOTE 4** 36" HIGH GUARDRAIL
- NOTE 5** PROVIDE 1" SOFFIT BELOW 2ND FLOOR IN GARAGE - PROVIDE R-38 INSULATION AND HEAT RUNS INTO FLETHM SPACE (SHADED AREA)
- NOTE 6** ALL ATTIC ACCESS SPACES WITH A MINIMUM OF 30" INCH VERTICAL HIGH AND AN AREA OF 30 SQUARE FEET SHALL HAVE AN ATTIC ACCESS HATCH. THE ROUGH FRAMED OPENING SHALL NOT BE LESS THAN 22" INCHES BY 30" INCHES AND SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. PER 2009 IRC R202.1
- NOTE 7** ACCESS HATCHES AND DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES SUCH AS ATTICS AND CRAWL SPACES SHALL BE LEATHER STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES PER 2009 IECC R402.4
- NOTE 8** TEMPERED GLASS SHOWER DOOR AND ENCLOSURE ON TILED LEDGE
- NOTE 9** GREY BOX
- NOTE 10** 1" RECESSED IN CONCRETE AT OVERHEAD DOORS (TYPICAL ELEV: 6'02.1" FOR 75" HUFFMAN 6'03.5" FOR 818 FRANKLIN)
- NOTE 11** EXHAUST HOOD SYSTEM CAPABLE OF EXHAUSTING IN EXCESS OF 400 CUBIC FEET PER MINUTE SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. MAKEUP AIR SYSTEM SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM
- NOTE 12** BATHS SHALL BE PROVIDED WITH WOOD BLOCKING INSTALLED WITHIN WALL FRAMING TO SUPPORT GRAB BARS AS NEEDED. THE WOOD BLOCKING WHEN MEASURED TO THE CENTER SHALL BE LOCATED BETWEEN 35" AND 36" ABOVE FINISHED FLOOR. THE WOOD BLOCKING SHALL BE LOCATED IN ALL WALLS ADJACENT TO A TOILET, SHOWER, STALL, OR BATH TUB.
- NOTE 13** INDICATE AN ACCESSIBLE AND APPROVED GAS SHUT OFF VALVE WITHIN 6'-0" OF THE APPLIANCE IT SERVES
- NOTE 14** PROVIDE 2" SOLID BLOCKING IN JOIST SPACES ABOVE DOUBLE SILL PLATE FOR FIRE STOPPING
- NOTE 15** PROVIDE DOUBLE FLOOR JOISTS BELOW PARALLEL WALLS ABOVE
- NOTE 16** PROVIDE DOUBLE FLOOR JOISTS UNDER ALL TUBS ABOVE



818 E Franklin
Second Floor plan

SCALE: 1/4" = 1'-0"



UNIT 3 light / vent calculation					
ROOM	AREA	LT.	REQUIRED VNT.	PROVIDED VNT.	LT.
KITCHEN/ GREAT ROOM/ DINING	572.3	49.8	22.3	136.6	61.5
MASTER BEDROOM	16.8	13.4	6.1	39.3	26.2
MASTER BATH	119.5	9.8	4.3	20.8	20.8
TUB ROOM	46.4	3.1	1.3	NOTE 1	NOTE 2
POUNDER ROOM	28.3	2.3	1.2	NOTE 1	NOTE 3
OFFICE	15.0	12.0	6.0	51.9	23.5
BEDROOM 2	182	14.6	1.3	35.3	23.5
BATH 2	52.0	4.2	2.1	11.1	11.1
BATH 3	52.1	4.2	2.1	NOTE 1	NOTE 3
LAUNDRY	90.2	1.2	3.6	11.1	11.1
LOFT	199.0	5.1	6.4	23.5	23.5

NOTE 1: IN ROOMS NOT MEETING REQUIRED GLAZING AREAS, ARTIFICIAL LIGHTING SHALL BE PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. PER 2009 IRC R303

NOTE 2: IN ROOMS NOT MEETING MINIMUM OPENABLE VENTILATION AREA SHALL BE VENTILATED WITH AN APPROVED MECHANICAL VENTILATION SYSTEM CAPABLE OF PRODUCING 0.35 AIR CHANGES PER HOUR IN THE ROOM OR A WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM CAPABLE OF SUPPLYING OUTDOOR VENTILATION AIR.

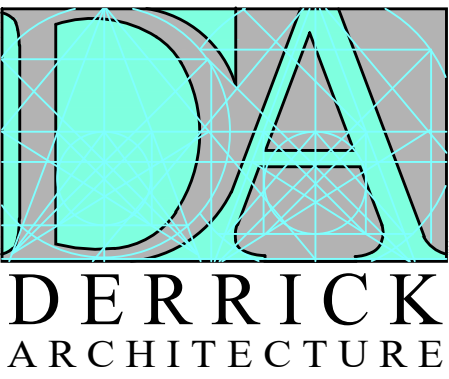
NOTE 3: VENTILATION PROVIDED - VENT TO EXTERIOR

UNIT 4 light / vent calculation					
ROOM	AREA	LT.	REQUIRED VNT.	PROVIDED VNT.	LT.
KITCHEN/ GREAT ROOM/ DINING	572.3	49.8	22.3	136.6	61.5
MASTER BEDROOM	16.8	13.4	6.1	39.3	26.2
MASTER BATH	119.5	9.8	4.3	20.8	20.8
TUB ROOM	46.4	3.1	1.3	NOTE 1	NOTE 2
POUNDER ROOM	28.3	2.3	1.2	NOTE 1	NOTE 3
OFFICE	15.0	12.0	6.0	51.9	23.5
BEDROOM 2	182	14.6	1.3	35.3	23.5
BATH 2	52.0	4.2	2.1	11.1	11.1
BATH 3	52.1	4.2	2.1	NOTE 1	NOTE 3
LAUNDRY	90.2	1.2	3.6	11.1	11.1
LOFT	199.0	5.1	6.4	23.5	23.5

NOTE 1: IN ROOMS NOT MEETING REQUIRED GLAZING AREAS, ARTIFICIAL LIGHTING SHALL BE PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. PER 2009 IRC R303

NOTE 2: IN ROOMS NOT MEETING MINIMUM OPENABLE VENTILATION AREA SHALL BE VENTILATED WITH AN APPROVED MECHANICAL VENTILATION SYSTEM CAPABLE OF PRODUCING 0.35 AIR CHANGES PER HOUR IN THE ROOM OR A WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM CAPABLE OF SUPPLYING OUTDOOR VENTILATION AIR.

NOTE 3: VENTILATION PROVIDED - VENT TO EXTERIOR



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Franklin Flats
818 E Franklin/25 N Huffman
Naperville, IL 60540



DRAWN BY: CED

DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
Roof Plan
25 N Huffman

SHEET NUMBER:
A106

roof rafter schedule

RAFTER SIZE	RAFTER SPACING	MAX SPAN NON-VAULTED
2 x 12	16" O.C.	21'-1"
2 x 12	12" O.C.	24'-4"
2 x 10	16" O.C.	18'-2"
2 x 10	12" O.C.	21'-0"
2 x 8	16" O.C.	14'-11"

DESIGN CRITERIA: L/80 DEFLECTION
LOADS: 30 PSF LIVE AND 10 PSF DEAD
CEILING JOISTS SHALL BE #2 HEM - FIR OR BETTER
(BENDING STRESS Fb = 1200 PSI). ALL JOISTS SHALL BE
MINIMUM SIZE AND SPACING PER SCHEDULE ABOVE UNLESS
OTHERWISE NOTED OTHERWISE ON PLANS.
SPANS TAKEN FROM 2009 SPAN TABLES BY THE 2009
INTERNATIONAL RESIDENTIAL CODE TABLE R202.5.3)

general roof notes

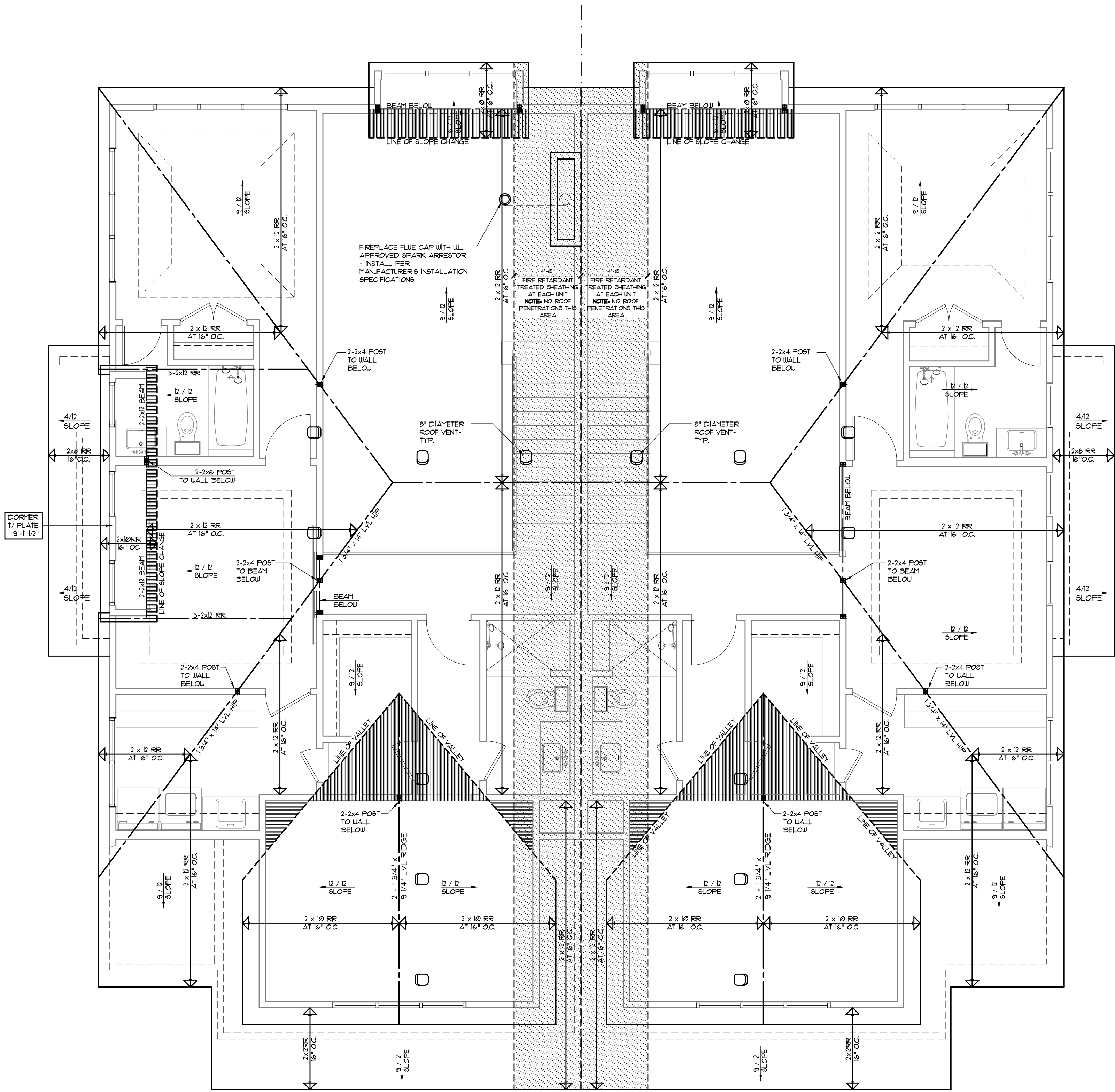
- NOTES:**
- FIRE STOPPING AND DRAFT STOPPING AT ALL SOFFITED AND ENCLOSED SPACES WILL BE INSTALLED WITH APPROVED SOLID BLOCKING, PLYWOOD, DRYWALL, OR 2006 IBC AND/OR UL APPROVED FIRE STOPPING.
 - ALL EXPOSED INSULATION TYPICAL AT THE RM JOISTS AND AT UNFINISHED BASEMENT WALLS, TO HAVE A FLAME SPREAD RATING OF 25 OR LESS.
 - PROVIDE SIMPSON H3 TIES AT EACH ROOF RAFTER FOR CONNECTIONS OF RAFTER TO WALL PLATE AT THE FOLLOWING CONDITIONS:
 - CEILING JOISTS ARE NOT PRESENT
 - CEILING JOISTS ARE NOT PARALLEL TO ROOF RAFTERS
 - CEILING JOISTS ARE NOT CONNECTED TO ROOF RAFTERS AT WALL PLATE
 - PROVIDE ICE AND WATER SHIELD AT ALL EAVES, VALLEYS AND PANS AND ALL ROOFS WITH A SLOPE 4/12 OR LESS. ICE AND WATER SHIELDS SHALL EXTEND FROM THE EDGE OF THE EAVE TO A POINT 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. TYPICAL AT ALL EAVES.
- 2 - 2 x 4 POST DOWN TO WALL OR BEAM BELOW

HATCHED AREAS DENOTE OVERFRAMING - TYP.

attic ventilation calculation (Unit B)

1505 SQUARE FEET x 1 / 300 = 5.01 SF. VENTILATION REQUIRED
(8) 8" DIAMETER ROOF VENTS = 2.80 SF.
(38 L.F.) 2" x 12" SOFFIT VENTS @ 36" O.C. = 6.33 SF.

VENTILATION PROVIDED = 9.13 SF.



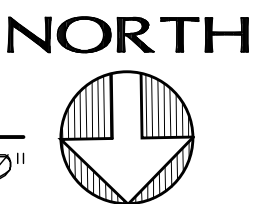
Unit 1

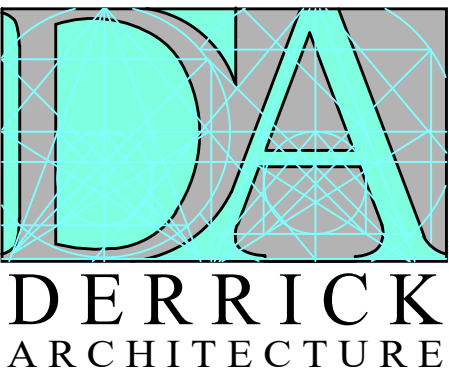
Unit 2

25 N Huffman
Roof plan

1
A106

SCALE: 1/4" = 1'-0"





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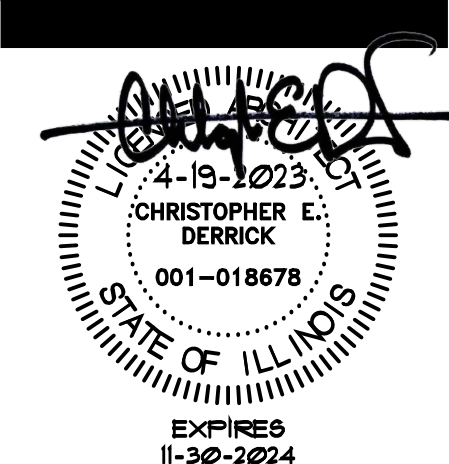
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Franklin Flats
818 E Franklin/25 N Huffman
Naperville, IL 60540



DRAWN BY: CED

DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
Roof Plan
818 E Franklin

SHEET NUMBER:
A107

roof rafter schedule

RAFTER SIZE	RAFTER SPACING	MAX SPAN NON-VAULTED
2 x 12	16" O.C.	21'-1"
2 x 12	12" O.C.	24'-4"
2 x 10	16" O.C.	18'-2"
2 x 10	12" O.C.	21'-0"
2 x 8	16" O.C.	14'-11"

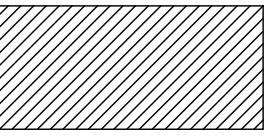
DESIGN CRITERIA: L/80 DEFLECTION
LOADS: 30 PSF LIVE AND 10 PSF DEAD
CEILING JOISTS SHALL BE #2 HEM - FIR OR BETTER
(BENDING STRESS Fb = 1200 PSI). ALL JOISTS SHALL BE
MINIMUM SIZE AND SPACING PER SCHEDULE ABOVE UNLESS
OTHERWISE NOTED OTHERWISE ON PLANS.
SPANS TAKEN FROM 2009 SPAN TABLES BY THE 2009
INTERNATIONAL RESIDENTIAL CODE TABLE R202.3(3)

general roof notes

NOTES:

- FIRE STOPPING AND DRAFT STOPPING AT ALL
SOFFITTED AND ENCLOSED SPACES WILL BE INSTALLED
WITH APPROVED SOLID BLOCKING, PLYWOOD,
DRYWALL, OR 2006 IBC AND/OR UL APPROVED FIRE
STOPPING.
- ALL EXPOSED INSULATION TYPICAL AT THE RM
JOISTS AND AT UNFINISHED BASEMENT WALLS, TO HAVE
A FLAME SPREAD RATING OF 25 OR LESS.
- PROVIDE SIMPSON H3 TIES AT EACH ROOF RAFTER
FOR CONNECTIONS OF RAFTER TO WALL PLATE AT THE
FOLLOWING CONDITIONS:
 - CEILING JOISTS ARE NOT PRESENT
 - CEILING JOISTS ARE NOT PARALLEL TO ROOF
RAFTERS
 - CEILING JOISTS ARE NOT CONNECTED TO ROOF
RAFTERS AT WALL PLATE
- PROVIDE ICE AND WATER SHIELD AT ALL EAVES,
VALLEYS AND PANS AND ALL ROOFS WITH A SLOPE
4/12 OR LESS. ICE AND WATER SHIELDS SHALL
EXTEND FROM THE EDGE OF THE EAVE TO A POINT 24
INCHES INSIDE THE EXTERIOR WALL LINE OF THE
BUILDING. TYPICAL AT ALL EAVES.

2 - 2 x 4 POST DOWN TO
WALL OR BEAM BELOW

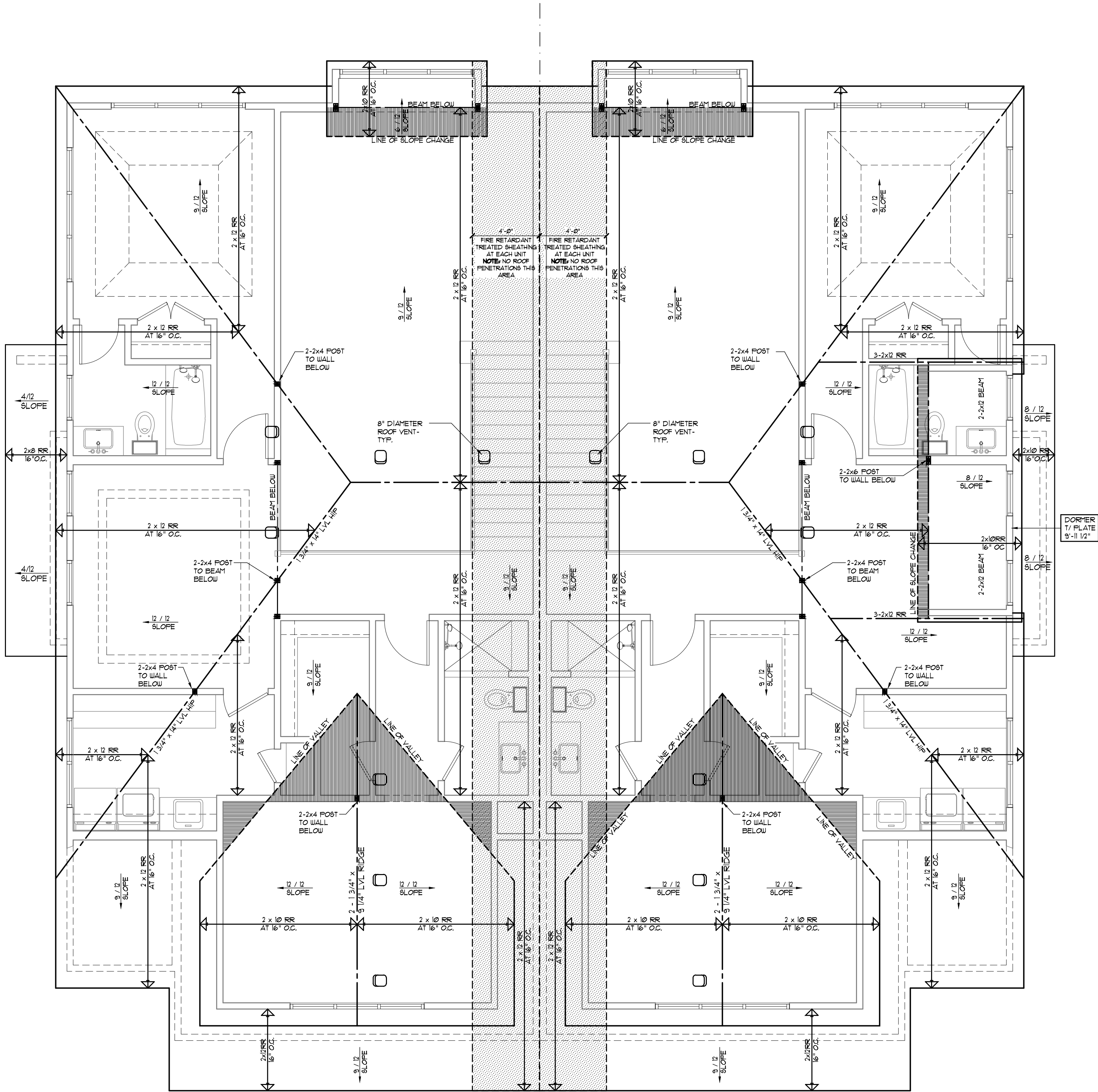


HATCHED AREAS DENOTE
OVERFRAMING - TYP.

attic ventilation calculation (Unit B)

1505 SQUARE FEET x 1 / 300 = 5.01 SF. VENTILATION REQUIRED
(8) 8" DIAMETER ROOF VENTS 2.80 SF.
(38) 1" x 12" SOFFIT VENTS @ 36" O.C. = 6.33 SF.

VENTILATION PROVIDED = 9.13 SF.



Unit 3

Unit 4

818 E Franklin
Roof plan

NORTH

1
A107

SCALE: 1/4" = 1'-0"

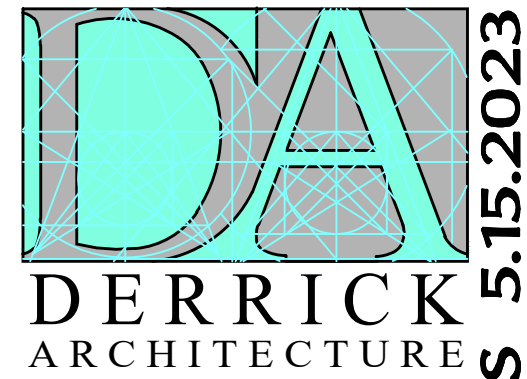


25 N Huffman
North Elevation
2
A201
SCALE: 1/4" = 1'-0"



25 N Huffman
East Elevation
1
A201
SCALE: 1/4" = 1'-0"

elevation key notes	
1	CONCRETE
2	8" THICK X 16" WIDE CONCRETE FOOTING, TYP
3	CONCRETE STEPS
4	CONCRETE PORCH
5	8" WIDE CONCRETE WING WALLS
6	SIDING AND TRIM
7	COMPOSITE SHAKE SIDING - MITRED CORNER DETAILS - SEE DETAIL X SHEET A300
8	5/4 x 4 WINDOW SURROUND
9	1 1/2 x 3" SILL OVER 5/4 SKIRT
10	5/8 x 6 HEAD DETAILS W/ 2 x CAP AND ALUM FLASING
11	PANEL DETAIL
12	HORIZONTAL COMPOSITE SIDING - SEE DETAIL X SHEET A300
13	5/4 x 8 BASE BOARD
14	1 x 4 OVER 4/5 x 8 FRIEZE
15	HARDIE SHINGLES IN WAVE PATTERN
16	5/4 x 8 HEAD DETAIL WITH 2 x CAP AND ALUM FLASING
17	1 x 8 FASCIA
18	1 x 4 OVER 5/4 x 6 FRIEZE
19	WINDOWS
20	ALUMINUM CLAD WINDOWS BY PELLA
21	4/8 4/8 VINYL ESCAPE WINDOW
22	ROOF SHINGLES
23	ASPHALT SHINGLES OVER GRACE'S FULLY ADHERED ICE AND WATER SHIELD
24	STANDING SEAM PAC-CLAD ROOF OVER GRACE'S ICE & WATER MEMBRANE
25	8" DIAM. ROOF VENT
26	ARCHITECTURAL DETAILINGS
27	VERTICAL WOOD PANEL DETAIL - SEE DETAIL X SHEET A300
28	WOOD BRACKET - SEE DETAIL X SHEET A301
29	FLASHING
30	26 GAUGE G.I. STEP FLASHING
31	GUTTER
32	5" ALUMINUM GUTTER - "K" STYLE
33	3" x 4" OVERSIZED ALUMINUM DOWNSPOUT
34	GARAGE DOORS
35	16'-0" WIDE X 8'-0" TALL GARAGE DOOR

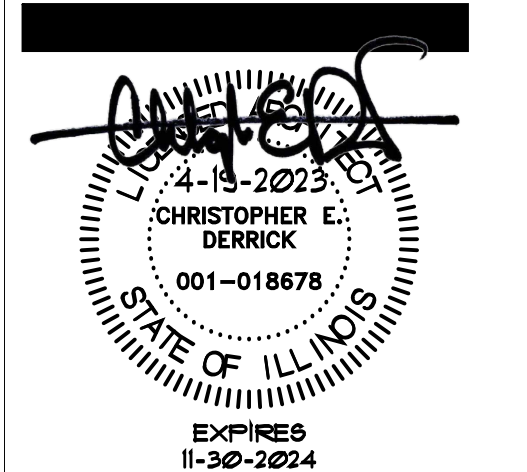


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Franklin Flats
818 E Franklin/25 N Huffman
Naperville, IL 60540



DRAWN BY: CED

DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
Exterior
Elevations
25 N Huffman

SHEET NUMBER:
A201

REVIEW COMMENTS 5.15.2023

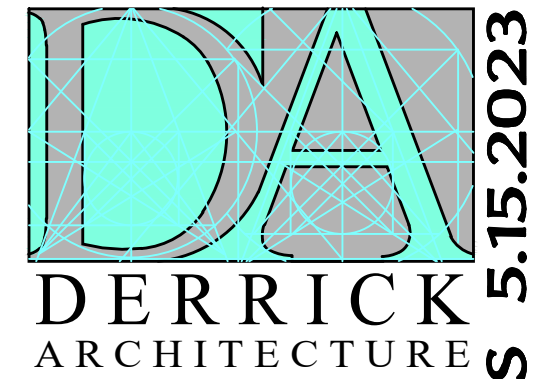


25 N Huffman
South Elevation
2
A202
SCALE: 1/4" = 1'-0"



25 N Huffman
West Elevation
1
A202
SCALE: 1/4" = 1'-0"

elevation key notes	
1	CONCRETE
2	8" THICK X 16" WIDE CONCRETE FOOTING, TYP
3	CONCRETE STEP(S)
4	CONCRETE PORCH
5	8" WIDE CONCRETE WING WALLS
6	SIDING AND TRIM
7	COMPOSITE SHAKE SIDING - MITRED CORNER DETAILS - SEE DETAIL X SHEET A300
8	5/4 x 4 WINDOW SURROUND
9	1 1/2 x 3" SILL OVER 5/4 SKIRT
10	5/8 x 6 HEAD DETAILS W/ 2 x CAP AND ALUM FLASING
11	PANEL DETAIL
12	HORIZONTAL COMPOSITE SIDING - SEE DETAIL X SHEET A300
13	5/4 x 8 BASE BOARD
14	1 x 4 OVER 4/5 x 8 FRIEZE
15	HARDIE SHINGLES IN WAVE PATTERN
16	5/4 x 8 HEAD DETAIL WITH 2 x CAP AND ALUM FLASING
17	1 x 8 FASCIA
18	1 x 4 OVER 5/4 x 6 FRIEZE
19	WINDOWS
20	ALUMINUM CLAD WINDOWS BY PELLA
21	410 410 VINYL ESCAPE WINDOW
22	ROOF SHINGLES
23	ASPHALT SHINGLES OVER GRACE'S FULLY ADHERED ICE AND WATER SHIELD
24	STANDING SEAM PAC-CLAD ROOF OVER GRACE'S ICE & WATER MEMBRANE
25	8" DIAM. ROOF VENT
26	ARCHITECTURAL DETAILS
27	VERTICAL WOOD PANEL DETAIL - SEE DETAIL X SHEET A300
28	WOOD BRACKET - SEE DETAIL X SHEET A301
29	FLASHING
30	26 GAUGE G.I. STEP FLASHING
31	GUTTER
32	5" ALUMINUM GUTTER - "K" STYLE
33	3" x 4" OVERSIZED ALUMINUM DOWNSPOUT
34	GARAGE DOORS
35	16'-0" WIDE X 8'-0" TALL GARAGE DOOR



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818 E Franklin/25 N Huffman
Naperville, IL 60540



DRAWN BY: CED

DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
Exterior
Elevations
25 N Huffman

SHEET NUMBER:
A202

REVIEW COMMENTS 5.15.2023

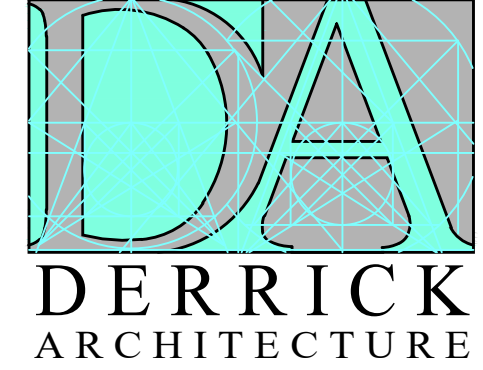


818 E Franklin
North Elevation
2
A203
SCALE: 1/4" = 1'-0"



818 E Franklin
East Elevation
1
A203
SCALE: 1/4" = 1'-0"

elevation key notes	
1	CONCRETE
2	8" THICK x 16" WIDE CONCRETE FOOTING, TYP
3	CONCRETE STEP(S)
4	CONCRETE PORCH
5	8" WIDE CONCRETE WING WALLS
6	SIDING AND TRIM
7	COMPOSITE SHAKE SIDING - MITRED CORNER DETAILS - SEE DETAIL X SHEET A300
8	5/4 x 4 UNDOU SURROUND
9	1 1/2 x 3" SILL OVER 5/4 SKIRT
10	5/8 x 6 HEAD DETAILS W/ 2 x CAP AND ALUM FLASHING
11	PANEL DETAIL
12	HORIZONTAL COMPOSITE SIDING - SEE DETAIL X SHEET A300
13	5/4 x 8 BASE BOARD
14	1 x 4 OVER 4/5 x 8 FRIEZE
15	HARDIE SHINGLES IN WAVE PATTERN
16	5/4 x 8 HEAD DETAIL WITH 2 x CAP AND ALUM FLASHING
17	1 x 8 FASCIA
18	1 x 4 OVER 5/4 x 6 FRIEZE
19	UNDUNDS
20	ALUMINUM CLAD UNDUNDS BY PELLA
21	410 410 VINYL ESCAPE UNDUNDU
22	ROOF SHINGLES
23	ASPHALT SHINGLES OVER GRACE'S FULLY ADHERED ICE AND WATER SHIELD
24	STANDING SEAM PAC-CLAD ROOF OVER GRACE'S ICE & WATER MEMBRANE
25	8" DIAM. ROOF VENT
26	ARCHITECTURAL DETAILINGS
27	VERTICAL WOOD PANEL DETAIL - SEE DETAIL X SHEET A300
28	WOOD BRACKET - SEE DETAIL X SHEET A301
29	FLASHING
30	26 GAUGE G.I. STEP FLASHING
31	GUTTER
32	5" ALUMINUM GUTTER - "K" STYLE
33	3" x 4" OVERSIZED ALUMINUM DOWNSPOUT
34	GARAGE DOORS
35	16'-0" WIDE X 8'-0" TALL GARAGE DOOR



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REVISIONS	DATE
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PERMIT RELEASE	4/13/2023
REVIEW COMMENTS	5/15/2023

Franklin Flats
818 E Franklin/25 N Huffman
Naperville, IL 60540



DRAWN BY: CED
DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
Exterior Elevations
818 E Franklin

SHEET NUMBER:
A203

REVIEW COMMENTS 5.15.2023



818 E Franklin
South Elevation

2
A204

SCALE: 1/4" = 1'-0"



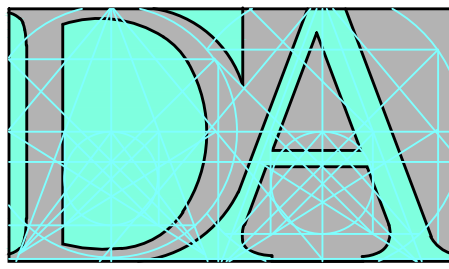
818 E Franklin
West Elevation

1
A204

SCALE: 1/4" = 1'-0"

elevation key notes

1. CONCRETE
2. 8" THICK X 16" WIDE CONCRETE FOOTING, TYP
3. CONCRETE STEPS
4. CONCRETE PORCH
5. 8" WIDE CONCRETE WING WALLS
6. SIDING AND TRIM
7. COMPOSITE SHAKE SIDING - MITRED CORNER DETAILS - SEE DETAIL X SHEET A300
8. 5/4 x 4 UNDOU SURROUND
9. 1 1/2 x 3" SILL OVER 5/4 SKIRT
10. 5/8 x 6 HEAD DETAILS W/ 2 x CAP AND ALUM FLASHING
11. PANEL DETAIL
12. HORIZONTAL COMPOSITE SIDING - SEE DETAIL X SHEET A300
13. 5/4 x 8 BASE BOARD
14. 1 x 4 OVER 4/5 x 8 FRIEZE
15. HARDIE SHINGLES IN WAVE PATTERN
16. 5/4 x 8 HEAD DETAIL WITH 2 x CAP AND ALUM FLASHING
17. 1 x 8 FASCIA
18. 1 x 4 OVER 5/4 x 6 FRIEZE
19. UNDOUS
20. ALUMINUM CLAD UNDOUS BY PELLA
21. 4/10 4/10 VINYL ESCAPE UNDOU
22. ROOF SHINGLES
23. ASPHALT SHINGLES OVER GRACE'S FULLY ADHERED ICE AND WATER SHIELD
24. STANDING SEAM PAC-CLAD ROOF OVER GRACE'S ICE & WATER MEMBRANE
25. 8" DIAM. ROOF VENT
26. ARCHITECTURAL DETAILING
27. VERTICAL WOOD PANEL DETAIL - SEE DETAIL X SHEET A300
28. WOOD BRACKET - SEE DETAIL X SHEET A300
29. FLASHING
30. 26 GAUGE G.I. STEP FLASHING
31. GUTTER
32. 5" ALUMINUM GUTTER - "K" STYLE
33. 3" x 4" OVERSIZED ALUMINUM DOWNSPOUT
34. GARAGE DOORS
35. 16'-0" WIDE X 8'-0" TALL GARAGE DOOR



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Naperville, IL 60540



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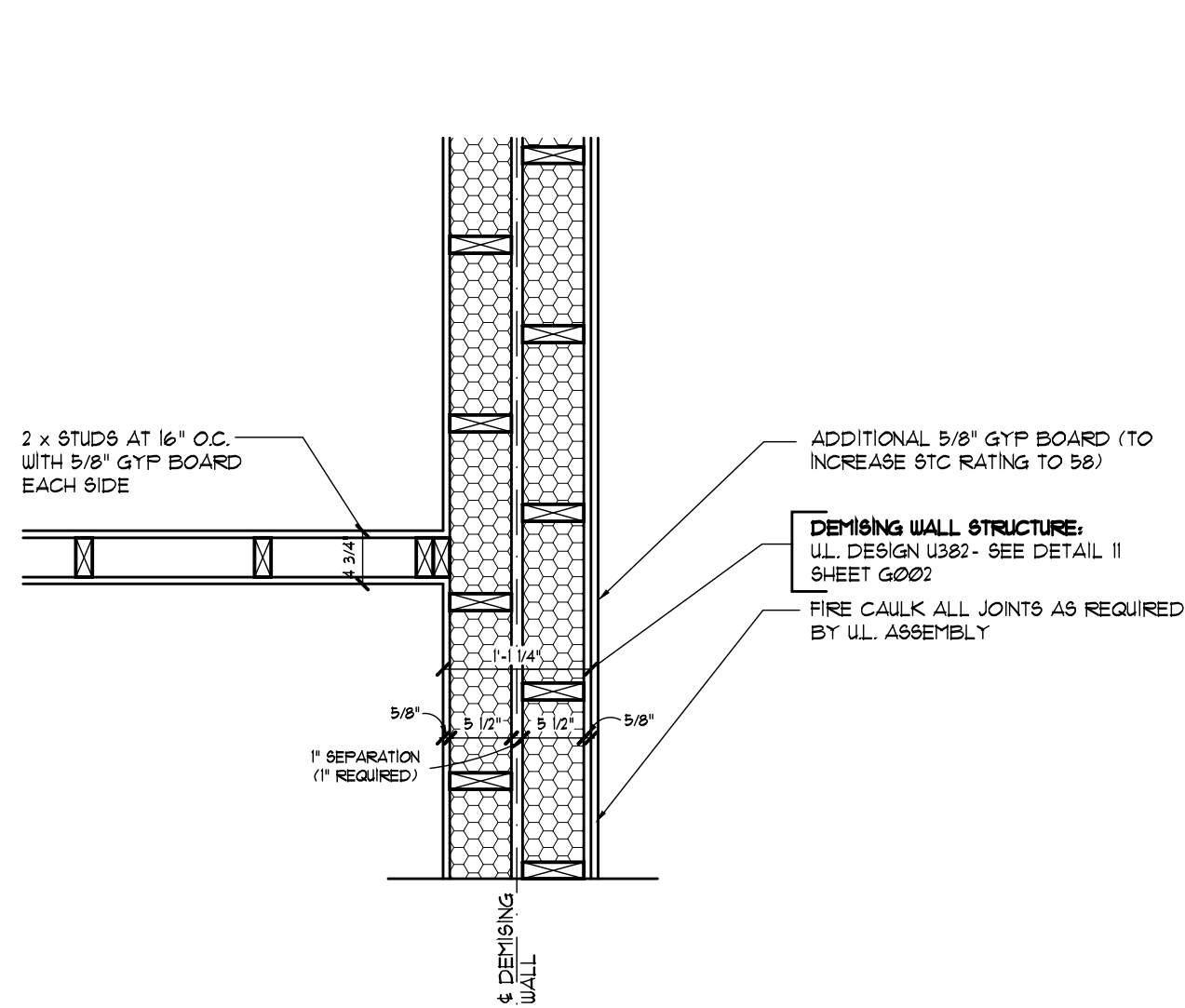
DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
Exterior Elevations
818 E Franklin

SHEET NUMBER:
A204

REVIEW COMMENTS 5.15.2023

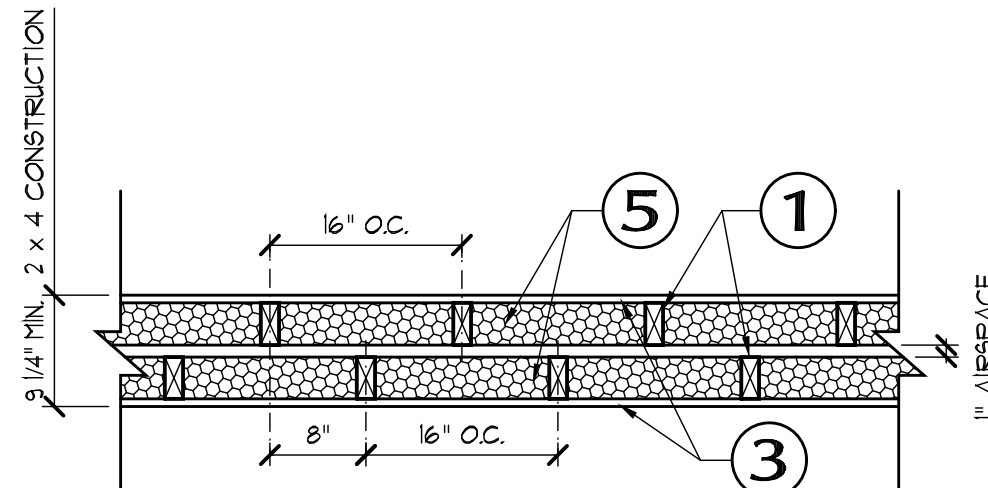
REVISIONS	DATE
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REVIEW COMMENTS	5/15/2023



Demising Wall plan detail
@ intermediate wall

4
A301

SCALE: 3/4" = 1'-0"



U.L. DESIGN No. U382
2 HOUR RATING
stc rating: 53

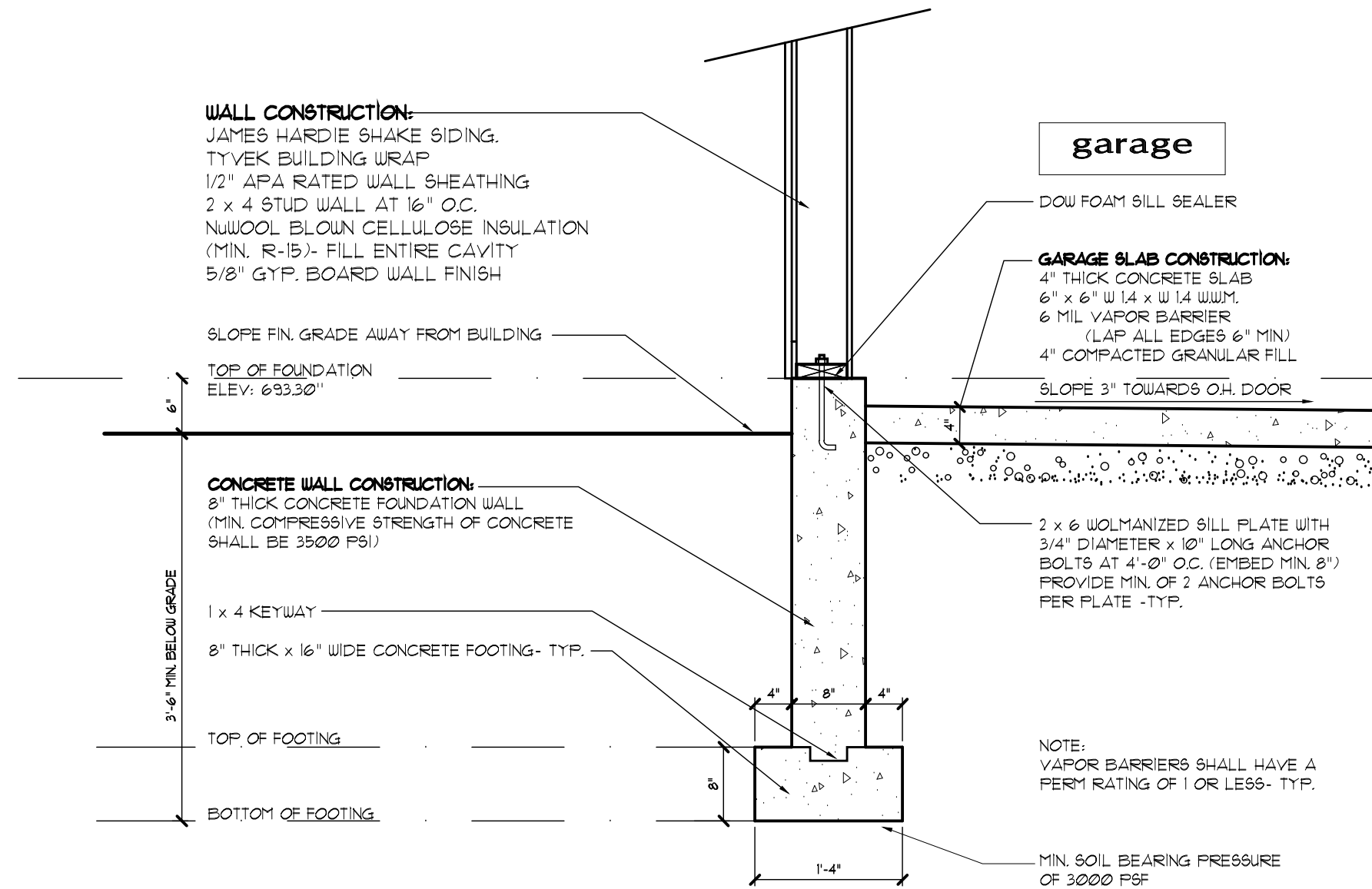
- WOOD STUDS** - DOUBLE ROW OF NOMINAL 2 BY 4 INCH STUDS, SPACED 16 INCH ON CENTER, AND CROSS-BRACED AT MID-HEIGHT. OPPOSITE ROWS SPACED 1 INCH APART, STAGGERED 8 INCHES ON CENTER AND JOINED AT THE TOP AND BOTTOM WITH BEARING PLATES.
- BEARING PLATES** - (NOT SHOWN) - NOMINAL 2 x 4 INCH, TWO LAYERS ON TOP AND ONE LAYER ON BOTTOM FOR EACH ROW OF STUDS.
- WALLBOARD, GYPSUM** - ONE LAYER OF 4 FEET WIDE, 5/8 INCH THICK GYPSUM WALLBOARD APPLIED VERTICALLY AND NAILED TO STUDS AND BEARING PLATES 1 INCH ON CENTER WITH 6d CEMENT COATED NAILS, 1 7/8" LONG, 0.0915 INCH SHANK DIAMETER AND 1/4" DIAMETER HEAD. GYPSUM WALLBOARD JOINTS CENTERED OVER STUDS.
- GEORGIA-PACIFIC GYPSUM LLC** - TYPE TG-C
- UNITED STATES GYPSUM CO.** - TYPE C
- USG Boral ZAWALL DRYWALL LLC** SFX - TYPE C
- JOINTS AND SCREWHEADS** - (NOT SHOWN) - WALLBOARD JOINTS TAPED AND BOTH JOINTS AND NAILHEADS COVERED WITH JOINT COMPOUND.
- FIBER, SPRAYED** - GREEN COLORED SPRAY APPLIED CELLULOSE MATERIAL. THE FIBER IS APPLIED WITH WATER TO COMPLETELY FILL THE ENCLOSED 8 INCH CAVITY IN ACCORDANCE WITH THE APPLICATION INSTRUCTIONS SUPPLIED WITH THE PRODUCT. THE MINIMUM DRY DENSITY IS 4.58 LBS PER CUBIC FOOT.
- NU-WOOL CO. INC.** - WALLSEAL FIRE AND SOUND INSULATION
- NU-WOOL CO. INC.** - CELLULOSE INSULATION
- MESH NETTING** - (NOT SHOWN) - ANY THIN, WOVEN OR NON-WOVEN FIBROUS NETTING MATERIAL ATTACHED WITH STAPLES TO THE OUTER DAGE OF ONE ROW OF STUDS TO FACILITATE THE INSTALLATION OF THE SPRAYED FIBER FROM THE OPPOSITE ROW.

* INDICATES SUCH PRODUCTS SHALL BEAR THE U.L. CLASSIFICATION MARK FOR JURISDICTIONS EMPLOYING THE U.L. CERTIFICATION

UL wall section U382
- demising wall

3
A301

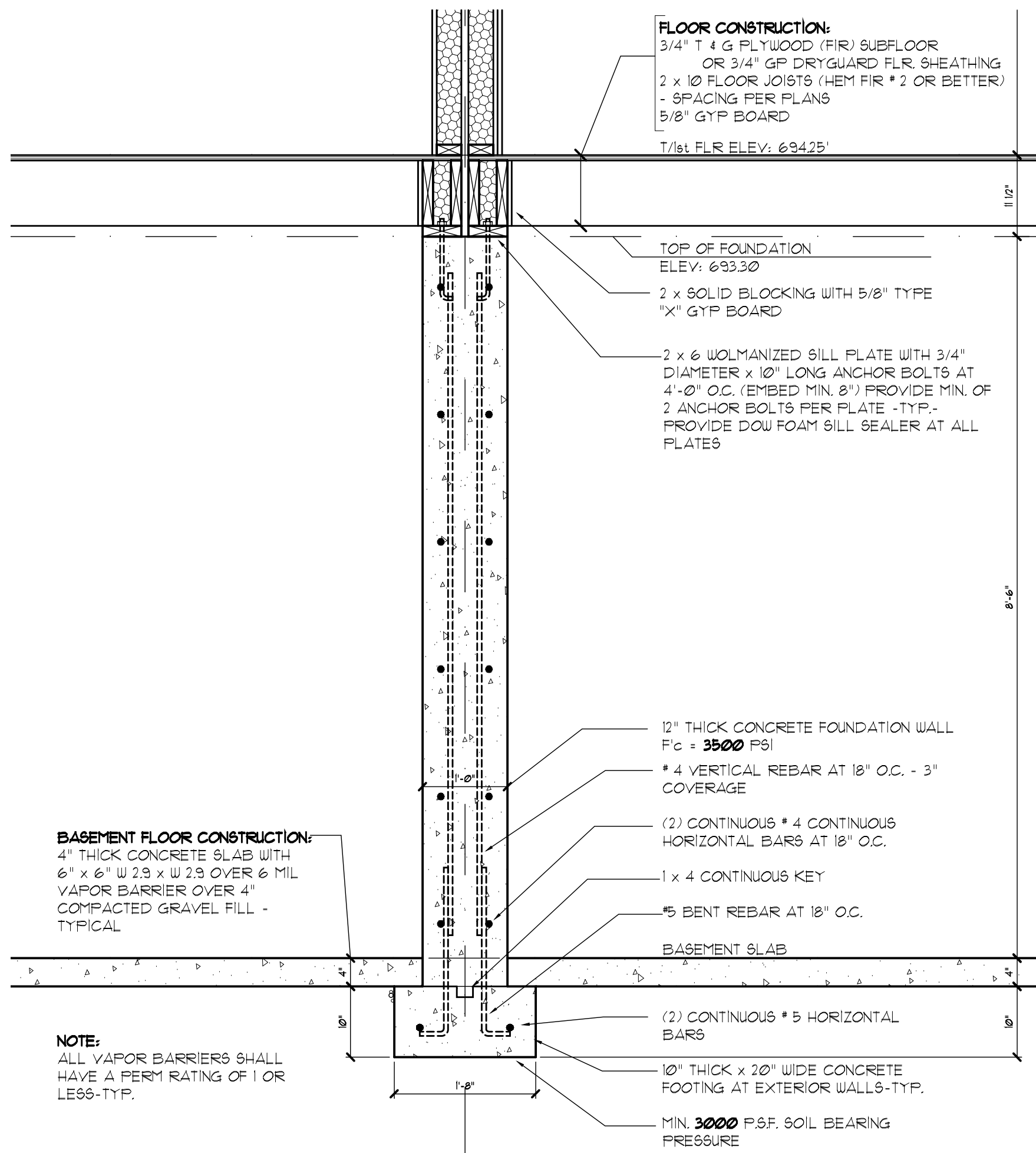
NOT TO SCALE



foundation detail at garage

5
A301

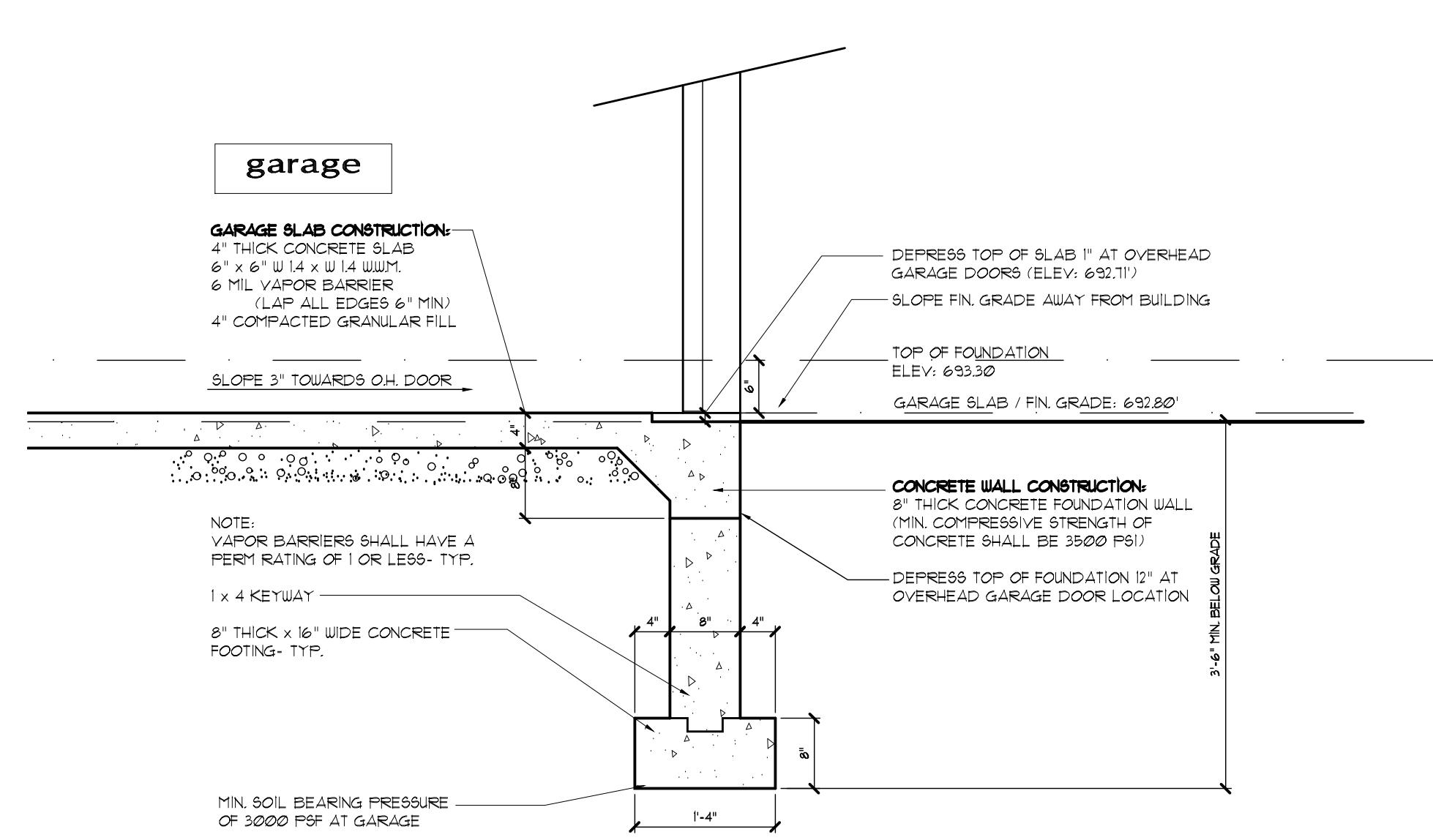
SCALE: 3/4" = 1'-0"



partial wall section- demising wall

2
A301

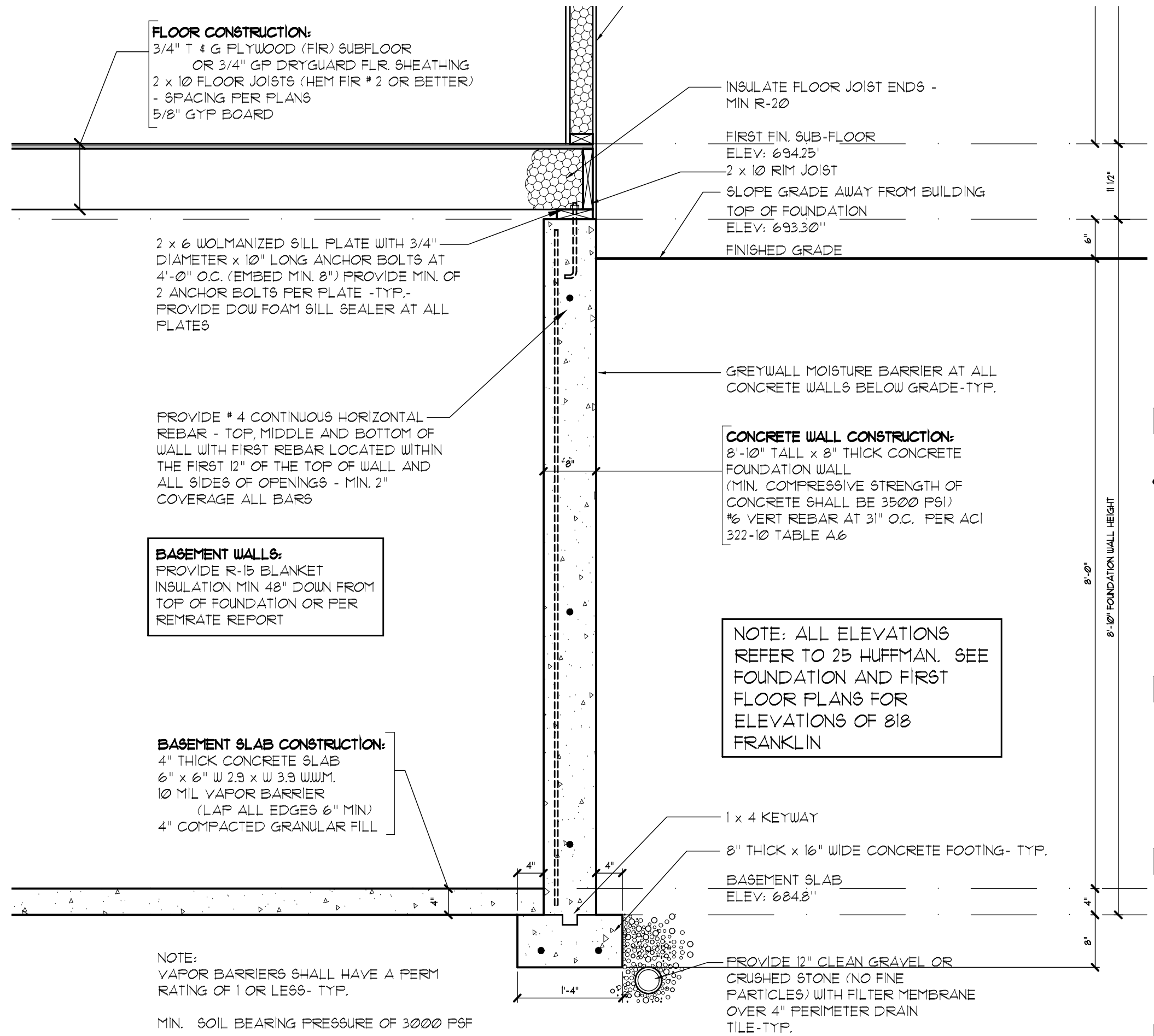
SCALE: 3/4" = 1'-0"



foundation detail at garage

6
A301

SCALE: 3/4" = 1'-0"

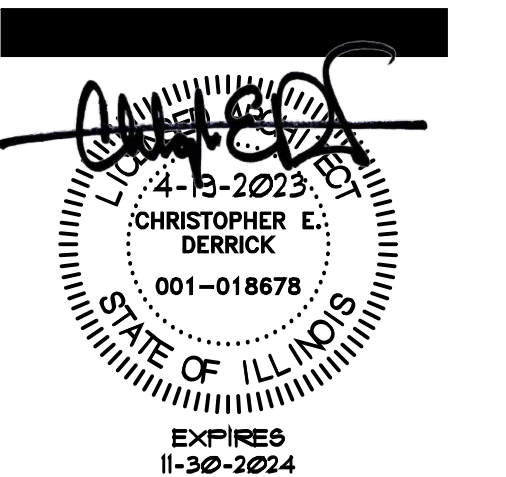


partial wall section- exterior wall

1
A301

SCALE: 3/4" = 1'-0"

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818 E Franklin/25 N Huffman
Naperville, IL 60540



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DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
Foundation
Sections and
Details

SHEET NUMBER:
A301

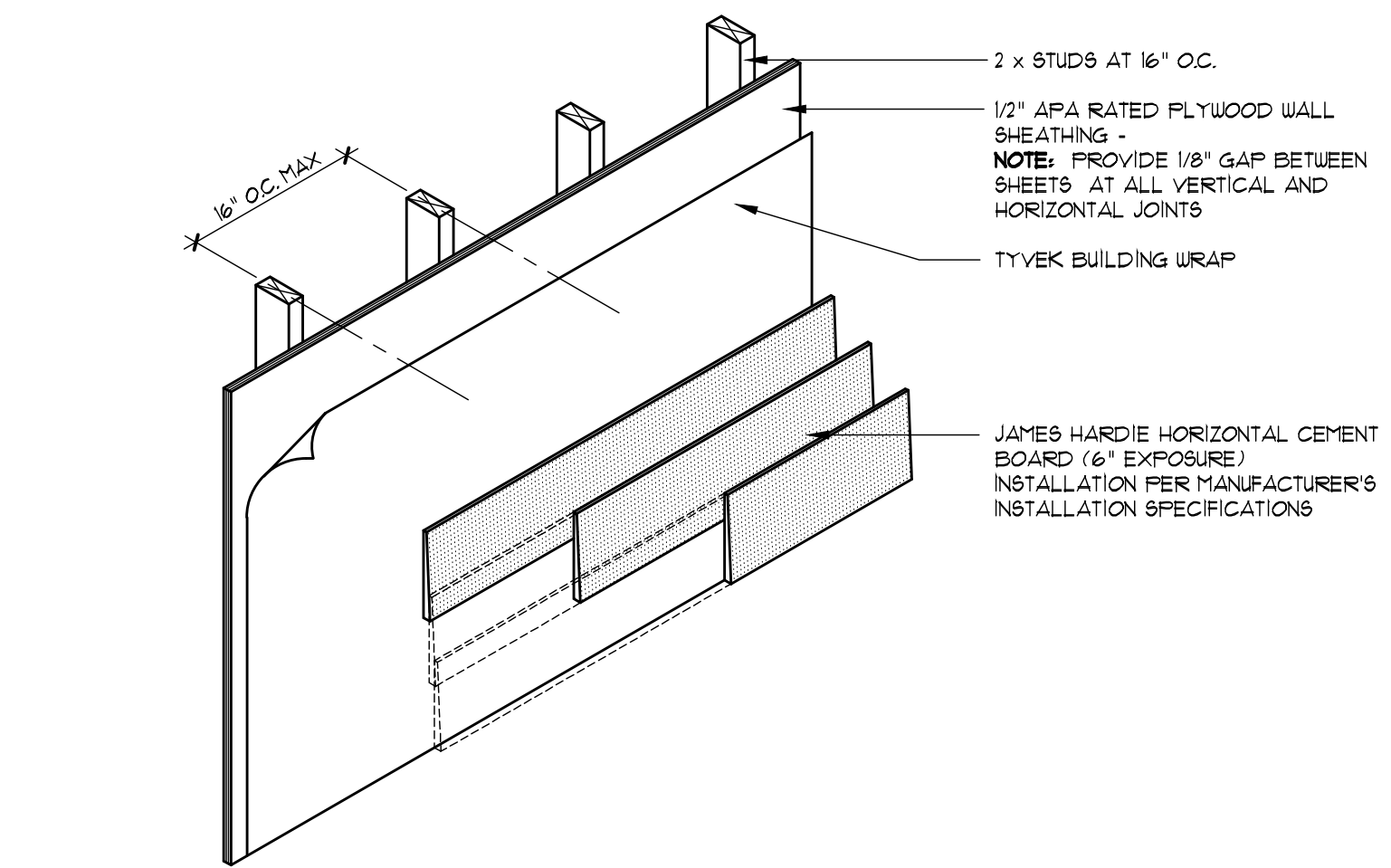
minimum insulation values

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION	CEILING R-VALUE
5 AND MARINE 4	0.32	0.55	NR	R-49

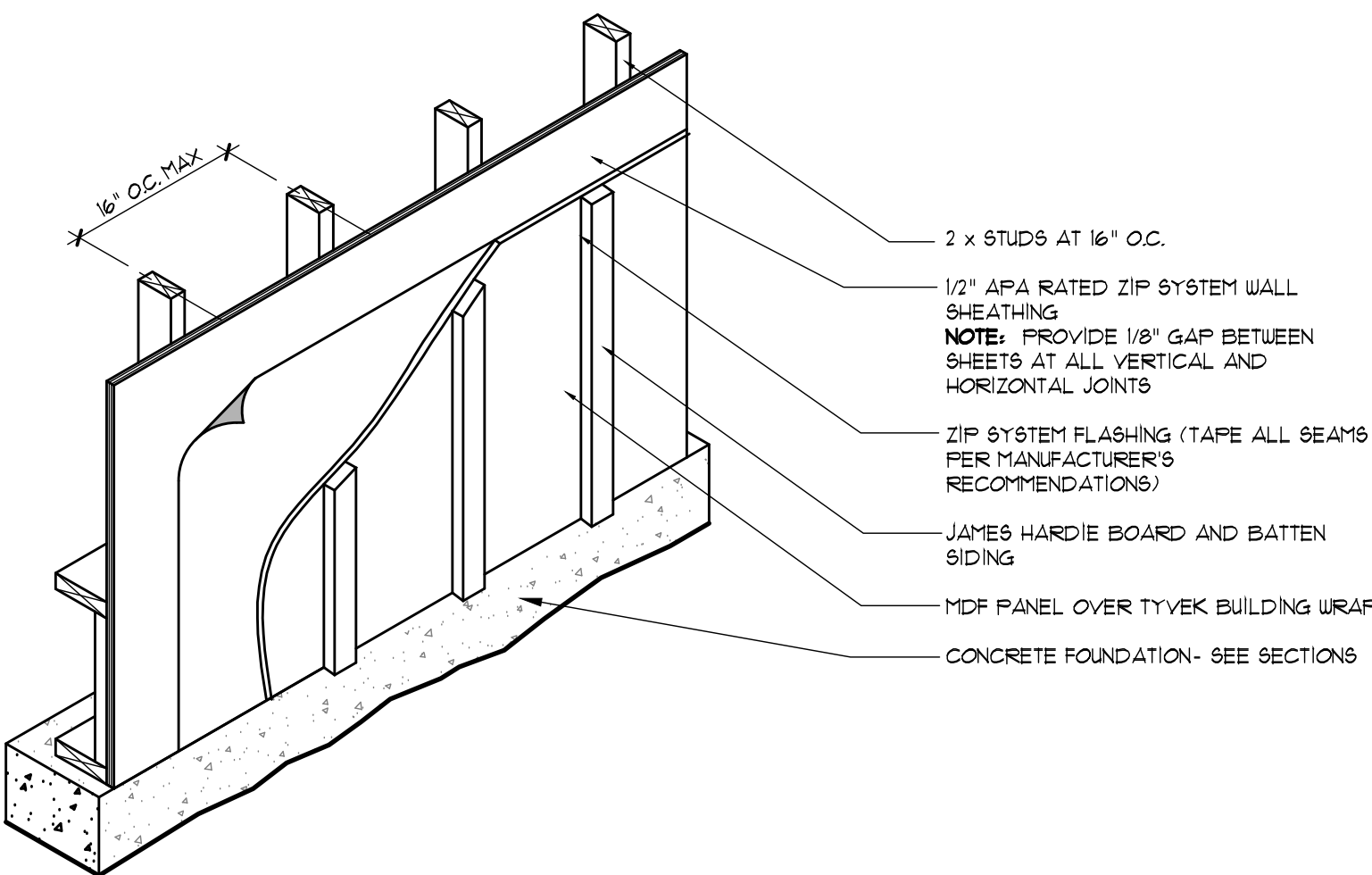
WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE 4 DEPTH	CRAWL SPACE WALL R-VALUE
R-20 OR 13 + 5	R-13/11	R-30	R-15/15	R-10 2 FEET	R-15/15

FROM TABLE 402.11 OF THE 2018 INTERNATIONAL ENERGY EFFICIENCY CODE

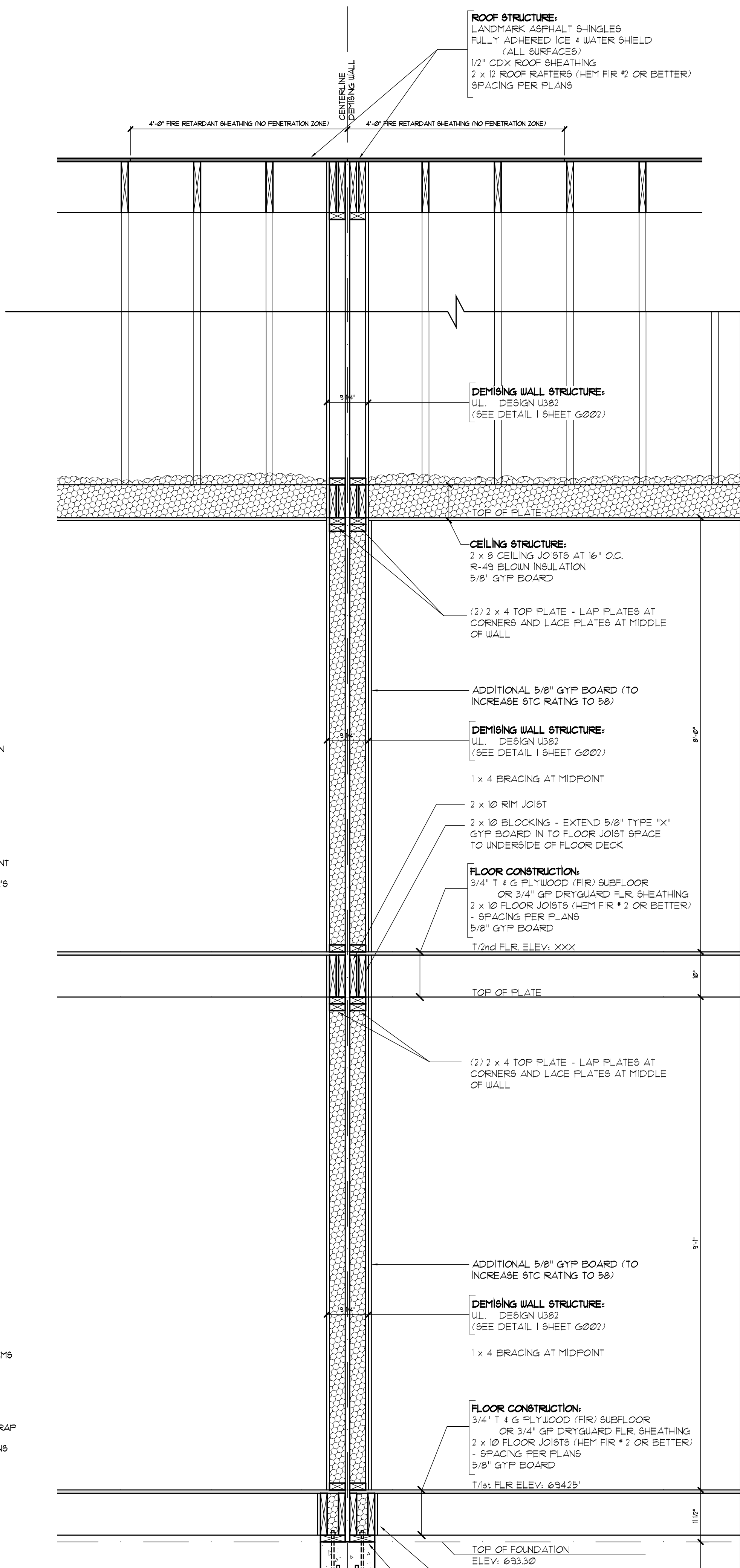
- a) R-values are minimums, U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table.
- b) The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration. . .
- c) "15/15" means R-15 continuous insulation on the interior or exterior of the home or R-15 cavity insulation at the interior of the basement wall. "15/13" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
- d) R-5 shall be added to the required slab edge R-values for heated slabs. . .
- e) There are no SHGC requirements in the Marine zone.
- f) Basement wall insulation not required in warm humid. . .
- g) Or insulation sufficient to fill the framing cavity, R-19 minimum.
- h) First value is cavity insulation, second is continuous insulation or insulated siding, so "13-5" means R-13 cavity insulation plus R-5 continuous insulation or insulated siding. If structural sheathing covers 40 percent or less of the exterior, continuous insulation R-value shall be permitted to be reduced by no more than R-3 in the locations where structural sheathing is used to maintain a consistent total sheathing thickness.
- i) The second R-value applies when more than half the insulation is on the interior of the mass wall.



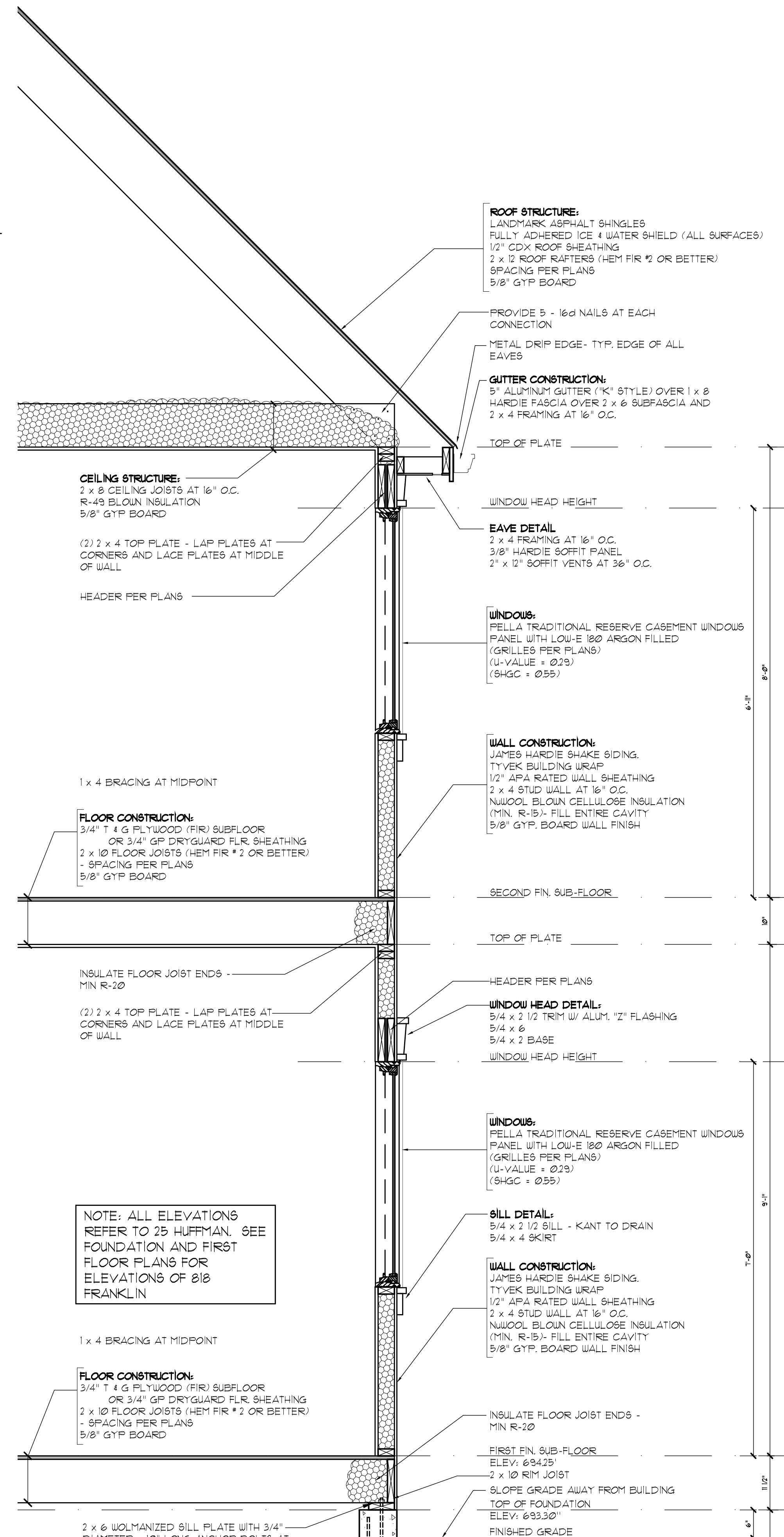
4 siding detail
A302 SCALE: 3/4" = 1'-0"



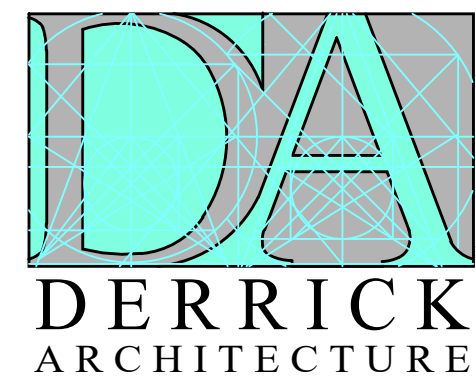
3 siding veneer detail
A302 SCALE: 3/4" = 1'-0"



2 wall section- demising wall
A302 SCALE: 3/4" = 1'-0"



1 wall section- exterior wall
A302 SCALE: 3/4" = 1'-0"



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818 E Franklin/25 N Huffman
Naperville, IL 60540



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DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
Wall Sections
and Details

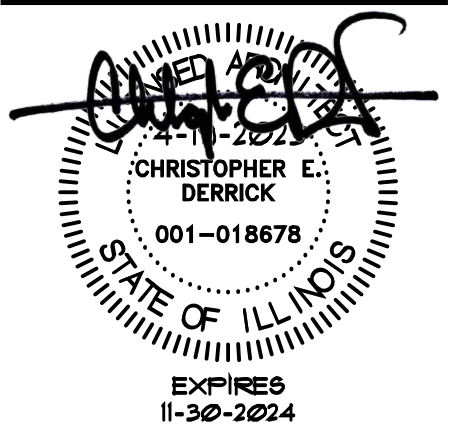
SHEET NUMBER:

A302

REVIEW COMMENTS 5.15.2023

REVISIONS	DATE
PRELIMINARY DESIGN	4.27.2022
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Naperville, IL 60540

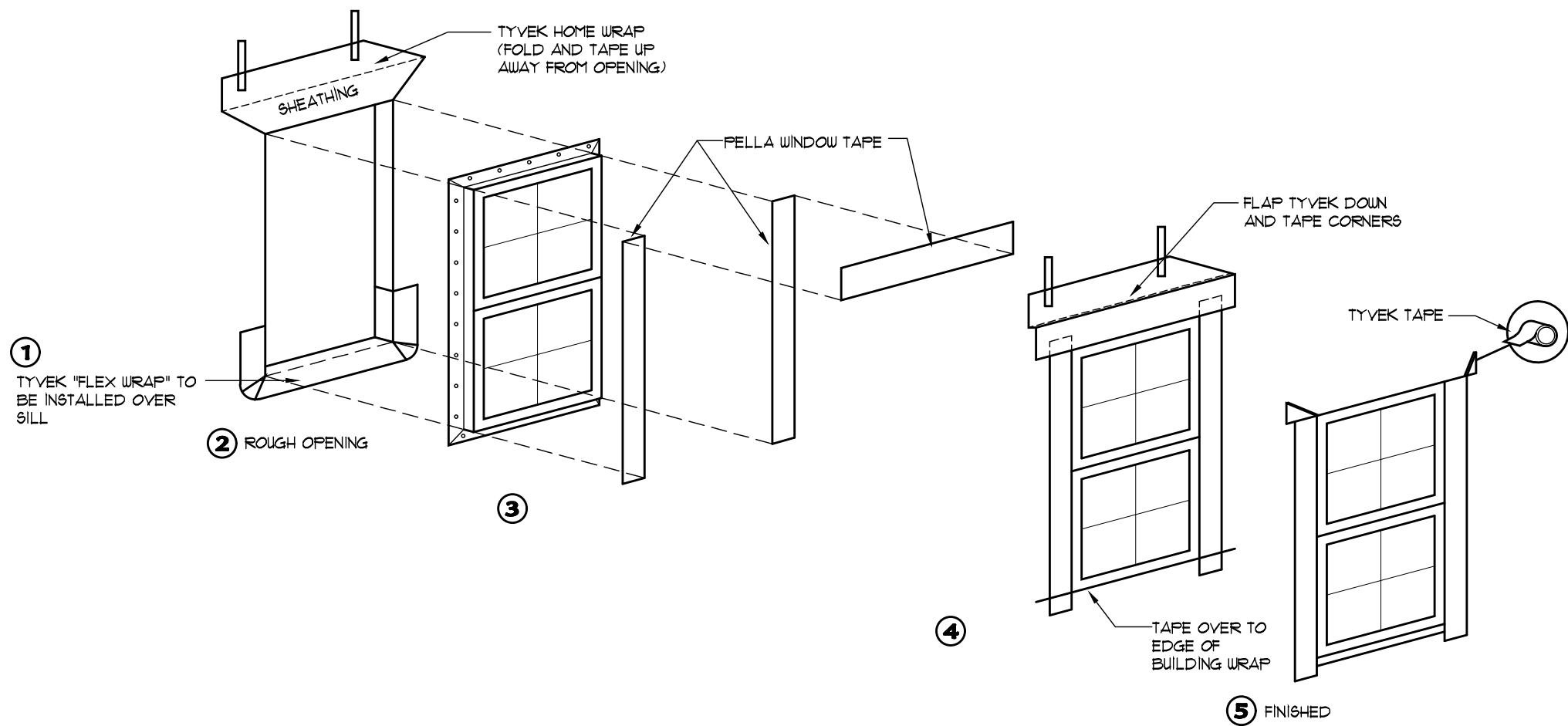


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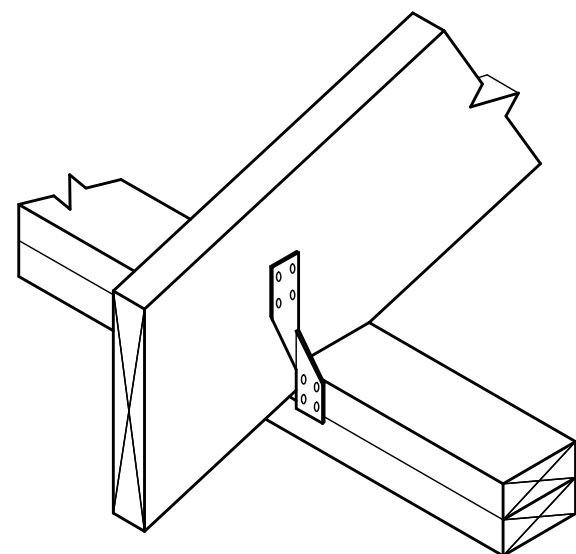
DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
Details

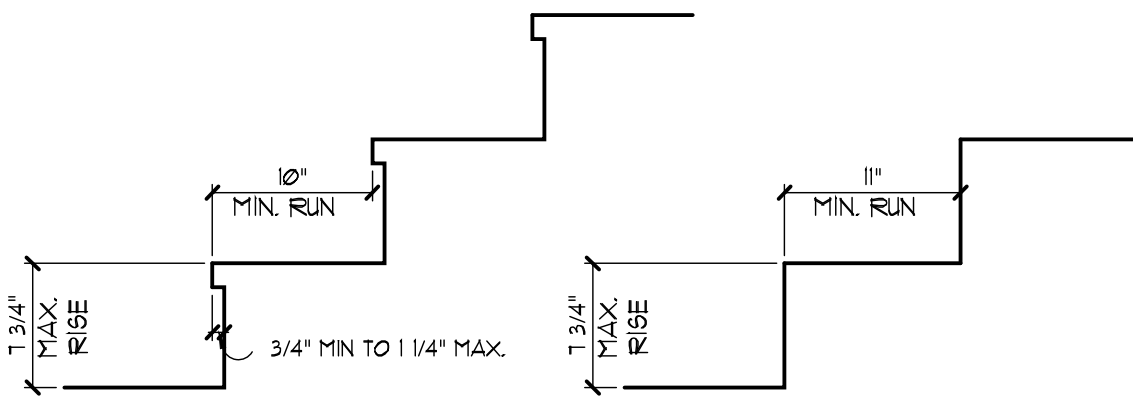
SHEET NUMBER:
A303



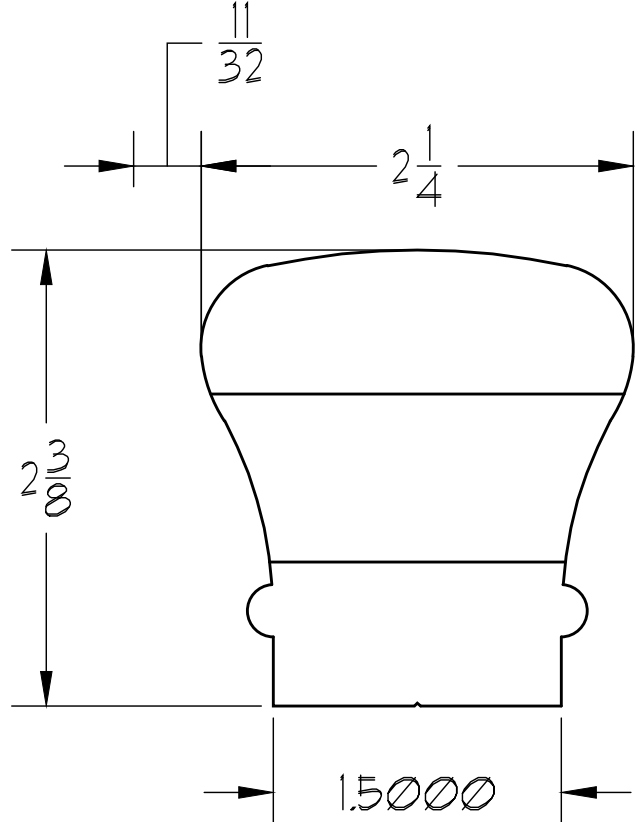
5 typical (tyvek) window wrap detail SCALE: N.T.S.



4 simpson rafter tie detail SCALE: 1 1/2" = 1'-0"

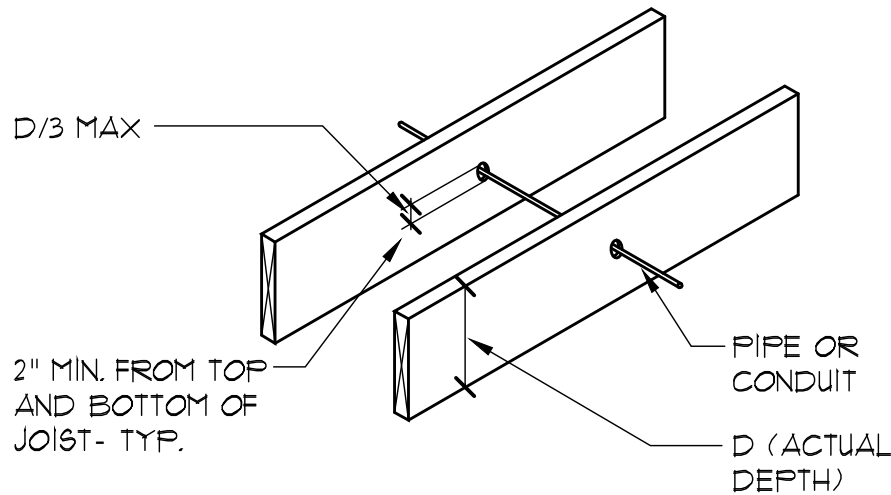
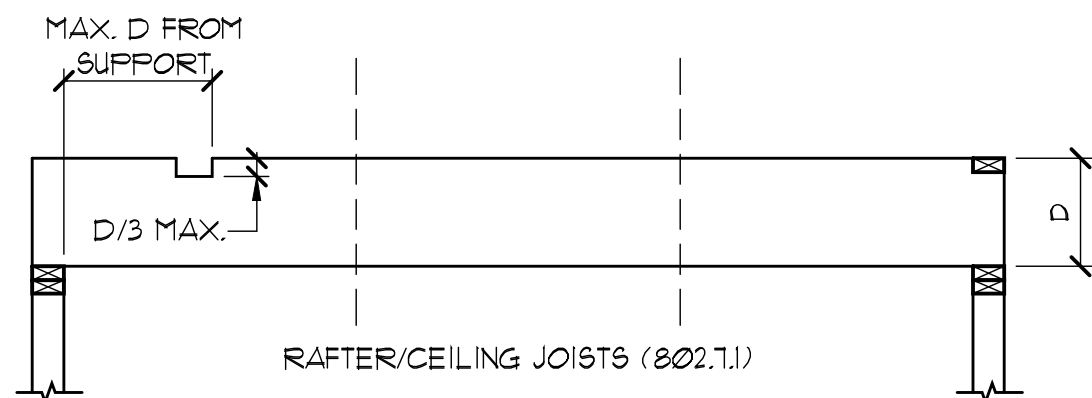
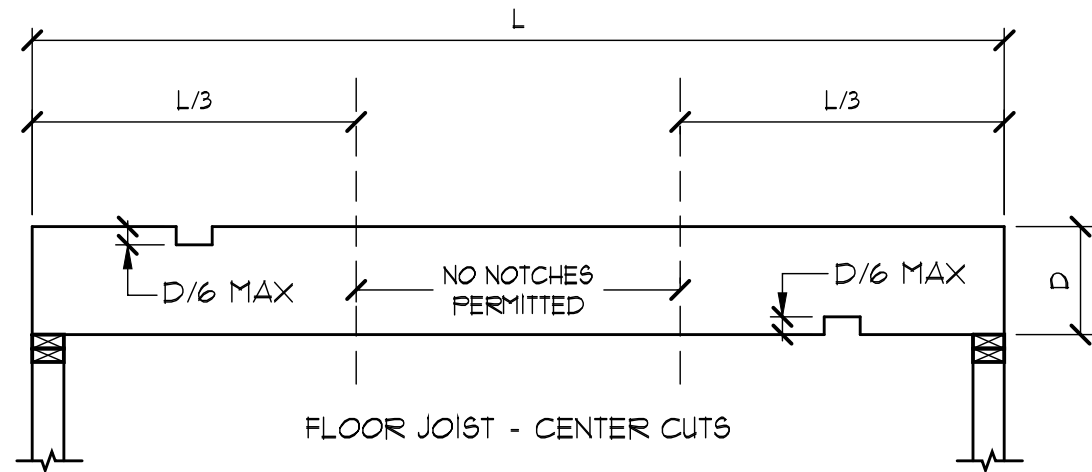


3 nosing profiles NOT TO SCALE

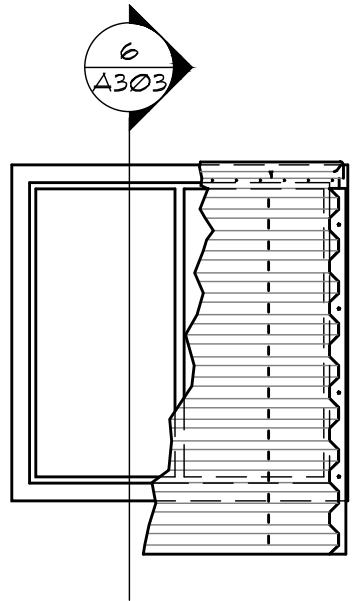


2 handrail cross section SCALE: 1" = 1"

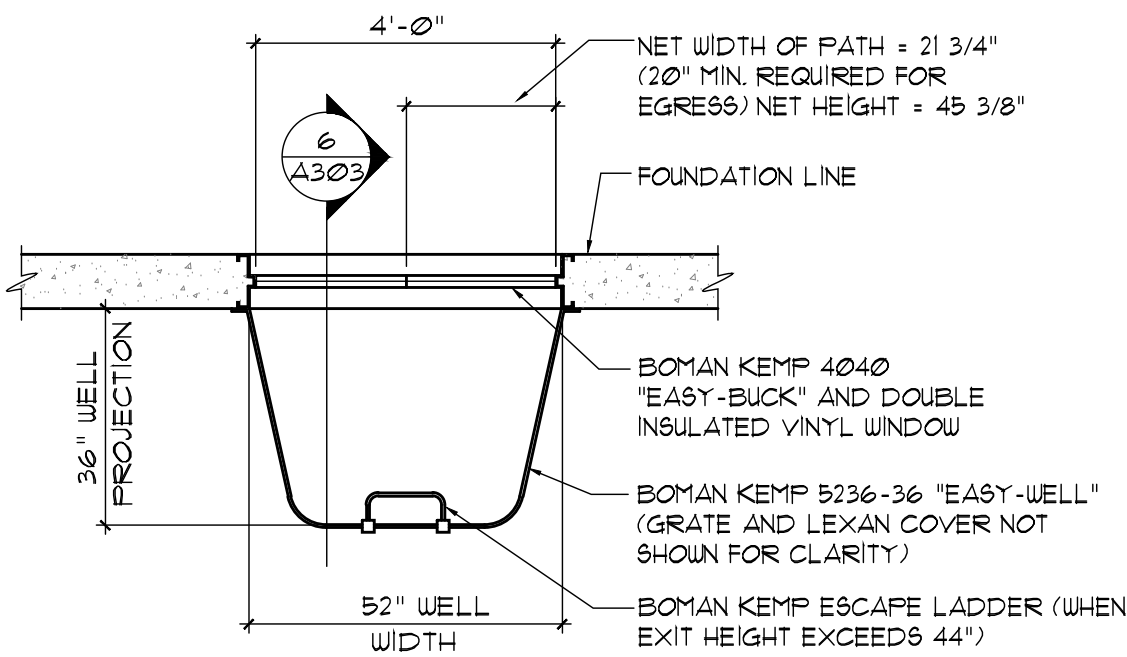
NOTE: ALL HANDRAILS SHALL BE OF EITHER TYPE 1 OR TYPE 2 OR PROVIDE EQUIVALENT GRASPABILITY PER 2018 IRC R315.6.5



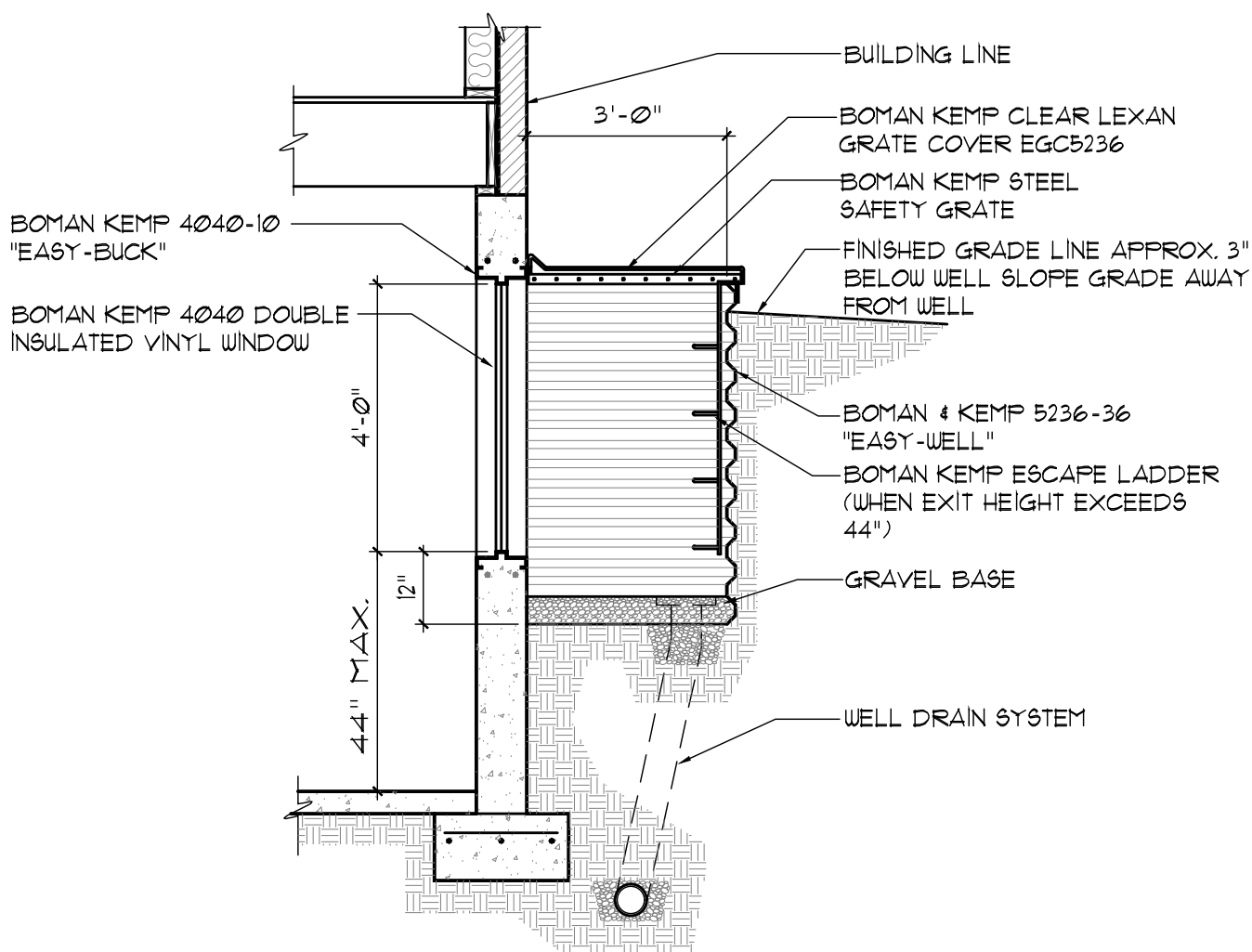
CUTTING, NOTCHING AND DRILLING ALLOWANCES (NOTCHES ALLOWED IN NOMINAL LUMBER ONLY; DOES NOT APPLY TO BEAMS)



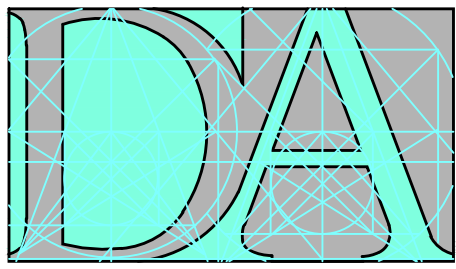
8 Escape Window Elev. SCALE: 3/8" = 1'-0"



7 Escape Window Plan SCALE: 3/8" = 1'-0"



6 Escape Window Section SCALE: 3/8" = 1'-0"



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818 E Franklin/25 N Huffman
Naperville, IL 60540



DRAWN BY: CED

DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
Basement
Electrical Plan
25 N Huffman

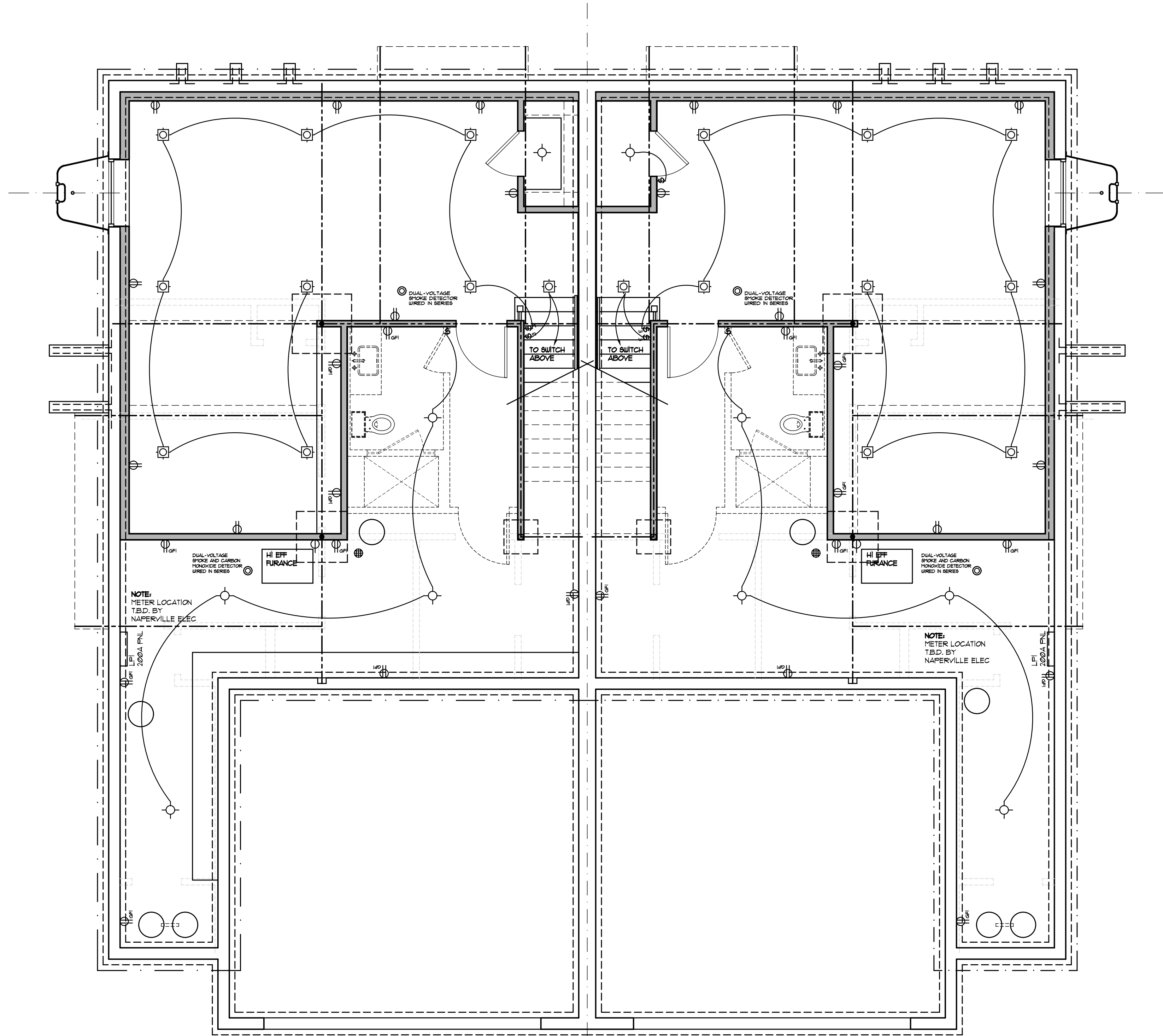
SHEET NUMBER:
E100

electrical key

- | | |
|---|-------------------|
| 120 V. DUPLEX OUTLET | RECESSED LED |
| 220 V. OUTLET | CEILING LED |
| DIMMER | FULL CHAN |
| SINGLE POLE SWITCH | WALL MOUNT LED |
| THREE WAY SWITCH | EXHAUST FAN |
| JAMB SWITCH | MOTOR |
| TV ANTENNA OUTLET | SMOKE DETECTOR |
| LED LIGHT | LOCATION BY OWNER |
| DUAL-VOLTAGE SMOKE DETECTOR WIRED IN SERIES | WATER PROOF GFI |
| | RECESSED LED |

electrical notes

- ALL ELECTRICAL INSTALLATION SHALL BE PER THE 2017 NATIONAL ELECTRIC CODE AND PER ANY LOCAL ORDINANCES.
- VERIFY ALL ELECTRIC FIXTURE LOCATION WITH OWNER AT THE TIME OF ROUGH ELECTRICAL.
- PROVIDE RECESSED INCANDESCENT LIGHT FIXTURE WITH SOLID LENS OR FLUORESCENTS IN ALL CLOSETS 2'-0" DEEP OR LESS. ALL RECESSED CAN FIXTURES SHALL HAVE LENS COVERS AND BE NO LESS THAN 6" HORIZONTALLY IN FRONT OF CLOSET SHELF OR STORAGE AREAS IN COMPLIANCE WITH 2017 NATIONAL ELECTRIC CODE SECT. 410-8.
- ALL PHONE JACKS TO HAVE TWO LINES EACH.
- ALL OUTLETS SHALL BE SELF-GROUNDING.
- ALL BATH OUTLETS SHALL BE 20 AMP ON 20 AMP CIRCUITS WITH GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION PER 2018 IRC E3802.1.
- ALL CEILING LIGHTS AND FANS TO HAVE A BOX LISTED FOR THE SUPPORT OF CEILING FANS.
- WHIRLPOOL TUBS TO BE ON SEPARATE GFCI BREAKER IN PANEL. BOND MOTOR ACCESS PANEL REQUIRED FOR MOTOR - INSTALL RECEPTACLES PER 2017 NEC CODE.
- ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION (AFCI) SHALL BE PROVIDED AS REQUIRED IN SECTION 210.2 OF THE 2017 NEC. ALL 120 VOLT SINGLE PHASE 15 AND 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHEN, BARS, BEDROOMS, LAUNDRY, FAMILY/LIVING/DINING/REC ROOMS/DENS, SUN ROOMS, FINISHED AREAS OF BASEMENTS, CLOSETS, HALLWAYS OR SIMILAR ROOMS/SPACES.
- DISCONNECT REQUIRED FOR MOTOR: 20 AMP DEVICE OR 20 AMP CIRCUIT FOR KITCHEN COUNTER AREAS.
- ELECTRIC METER SHALL PROVIDE A 600 AMP SERVICE - CITY TO PROVIDE REQUIRED METER LOCATION ON DETAILED GRADING PLAN.
- SMOKE DETECTORS REQUIRED: SMOKE DETECTORS SHALL BE INSTALLED IN EACH BEDROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, IN ALL FURNACE ROOMS AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAIL BRIGES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH MULTIPLE LEVELS A SMOKE DETECTOR NEED BE INSTALLED ONLY ON THE UPPER LEVEL, PROVIDED THE LOWER LEVEL IS LESS THAN ONE (1) FULL STORY BELOW THE UPPER LEVEL, EXCEPT THAT IF THERE IS A DOOR BETWEEN LEVELS, THEN A DETECTOR IS REQUIRED ON EACH LEVEL. ALL DETECTORS SHALL BE CONNECTED TO A SOUNDING DEVICE OR OTHER DETECTORS TO PROVIDE WHEN ACTIVATED, AN ALARM WHICH WILL BE AUDIBLE IN ALL SLEEPING AREAS. ALL DETECTORS SHALL BE APPROVED AND LISTED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS WHEN ADDITIONS, REPAIRS OR SUBSTANTIAL ALTERATIONS REQUIRING A PERMIT OCCUR, OR WHEN ONE (1) OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN EXISTING DWELLINGS, THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE DETECTORS LOCATED AS REQUIRED FOR NEW DWELLINGS.
- CARBON MONOXIDE DETECTORS REQUIRED: A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED WITHIN FIFTEEN FEET (15') OF EVERY ROOM USED FOR SLEEPING PURPOSES. CO DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED WITH BATTERY BACKUP.
- POWER SOURCE FOR SMOKE AND CO DETECTORS: POWER SOURCE FOR REQUIRED DETECTORS TO BE ONE HUNDRED TEN (100) VOLT WITH BATTERY BACK UP.
- ALL RECEPTACLES ON 20 AMP CIRCUITS SHALL BE 20 AMP RECEPTACLES.
- PROVIDE RECEPTACLE IN ATTIC SPACE FOR USE WITH THE RADON REDUCTION SYSTEM.
- ALL LOW VOLTAGE WIRING SHALL BE INSTALLED IN AN APPROVED RACEWAY.
- PROVIDE NEW GFCI RECEPTACLE WITHIN 25 FEET OF THE AIR CONDITIONING UNIT(S).
- ALL OUTLETS ON THE FIRST FLOOR SHALL BE LOCATED AT A HEIGHT NOT LESS THAN 15" ABOVE THE FINISH FLOOR. MEASURE FROM FLOOR TO THE CENTER OF THE RECEPTACLE.
- ALL SWITCHES ON THE FIRST FLOOR SHALL BE LOCATED AT A HEIGHT NOT TO EXCEED 48" ABOVE FINISH FLOOR. MEASURE FROM FLOOR TO CENTER OF THE SWITCH.
- ALL SWITCHES IN BATHROOMS SHALL BE AT LEAST 5'-0" FROM THE INSIDE EDGE OF ANY TUB OR SHOWER UNLESS GFCI PROTECTED PER 2017 NEC 210-10 (b).
- ALL OUTLETS SHALL BE TAMPER-RESISTANT THROUGHOUT DWELLING BELOW 60" AFF. - INTERIOR AND EXTERIOR.
- ALL OUTLETS IN GARAGE AND BATH SHALL BE GFCI AND TAMPER-RESISTANT.
- ALL OUTDOOR OUTLETS SHALL BE WEATHER PROOF GFCI AND TAMPER-RESISTANT.

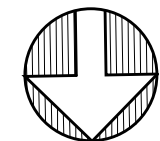


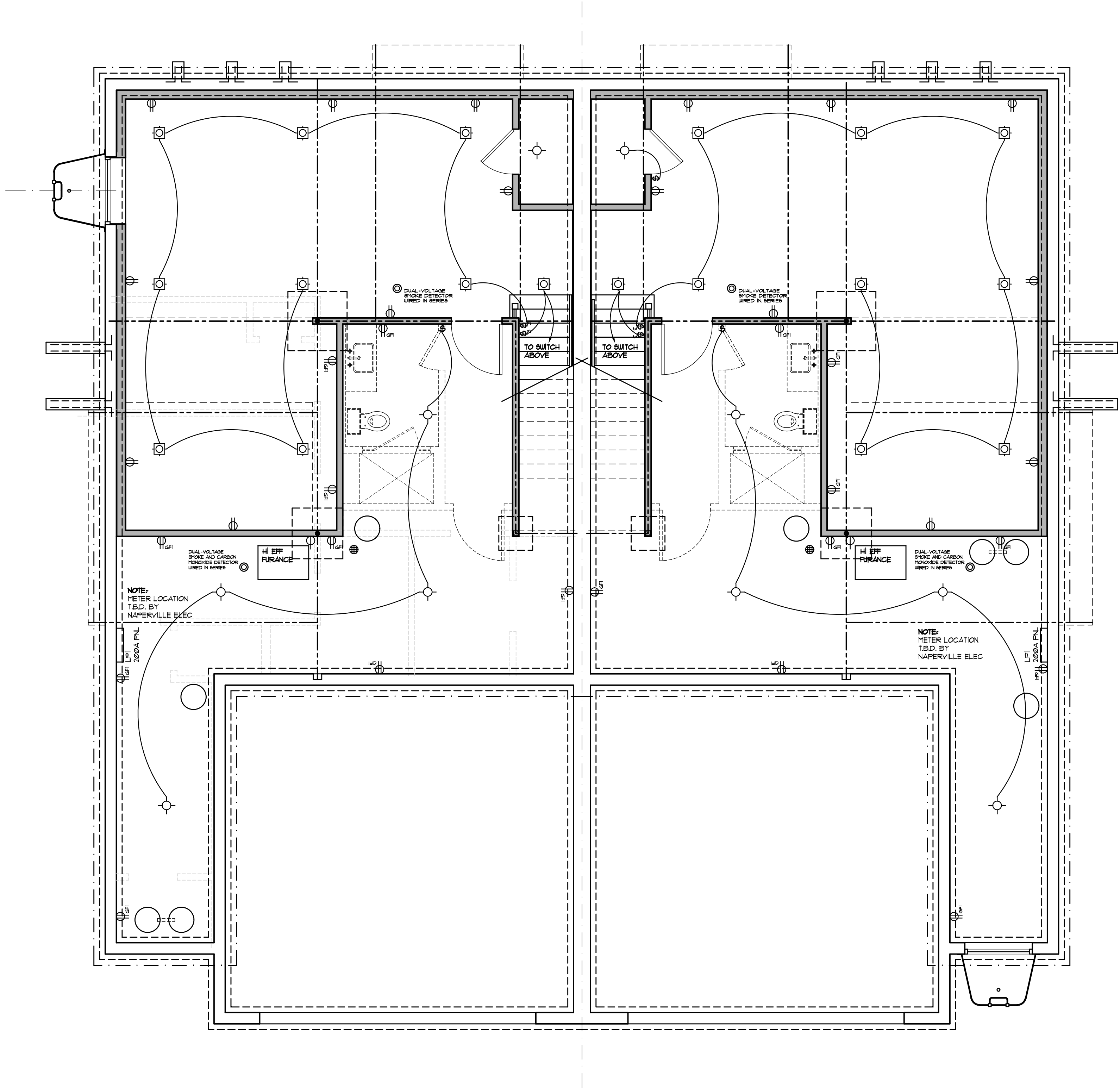
25 N Huffman
Basement Electrical plan

1
E100

SCALE: 1/4" = 1'-0"

NORTH





818 E Franklin
Basement Electrical plan

1
E101

NORTH

SCALE: 1/4" = 1'-0"

electrical key	
120 V. DUPLEX OUTLET	RECESSED LED
220 V. OUTLET	CEILING LED
DIMMER	FULL CHAN
SINGLE POLE SWITCH	WALL MOUNT LED
THREE WAY SWITCH	EXHAUST FAN
JAMB SWITCH	MOTOR
TV ANTENNA OUTLET	SMOKE DETECTOR
LED LIGHT	LOCATION BY OWNER
DUAL-VOLTAGE SMOKE DETECTOR WIRED IN SERIES	WATER PROOF GFI
	RECESSED LED

- electrical notes**
- ALL ELECTRICAL INSTALLATION SHALL BE PER THE 2017 NATIONAL ELECTRIC CODE AND PER ANY LOCAL ORDINANCES.
 - VERIFY ALL ELECTRIC FIXTURE LOCATION WITH OWNER AT THE TIME OF ROUGH ELECTRICAL.
 - PROVIDE RECESSED INCANDESCENT LIGHT FIXTURE WITH SOLID LENS OR FLUORESCENTS IN ALL CLOSETS 2'-0" DEEP OR LESS. ALL RECESSED CAN FIXTURES SHALL HAVE LENS COVERS AND BE NO LESS THAN 6" HORIZONTALLY IN FRONT OF CLOSET SHELF OR STORAGE AREAS IN COMPLIANCE WITH 2017 NATIONAL ELECTRIC CODE SECT. 410-8.
 - ALL PHONE JACKS TO HAVE TWO LINES EACH.
 - ALL OUTLETS SHALL BE SELF-GROUNDING.
 - ALL BATH OUTLETS SHALL BE 20 AMP ON 20 AMP CIRCUITS WITH GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION PER 2018 IRC E3802.1.
 - CEILING LIGHTS AND FANS TO HAVE A BOX LISTED FOR THE SUPPORT OF CEILING FANS.
 - WHIRLPOOL TUBS TO BE ON SEPARATE GFCI BREAKER IN PANEL. BOND MOTOR ACCESS PANEL REQUIRED FOR MOTOR - INSTALL RECEPTACLES PER 2011 NEC CODE.
 - ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION (AFCI) SHALL BE PROVIDED AS REQUIRED IN SECTION 210.2 OF THE 2017 NEC. ALL 120 VOLT SINGLE PHASE 15 AND 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHEN, BARS, BEDROOMS, LAUNDRY, FAMILY/LIVING/DINING/REC ROOMS/DENS, SUN ROOMS, FINISHED AREAS OF BASEMENTS, CLOSETS, HALLWAYS OR SIMILAR ROOMS/SPACES.
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DA

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REVISIONS	DATE
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PERMIT RELEASE	4/19/2023
REVIEW COMMENTS	5/15/2023

Franklin Flats
818 E Franklin/25 N Huffman
Naperville, IL 60540

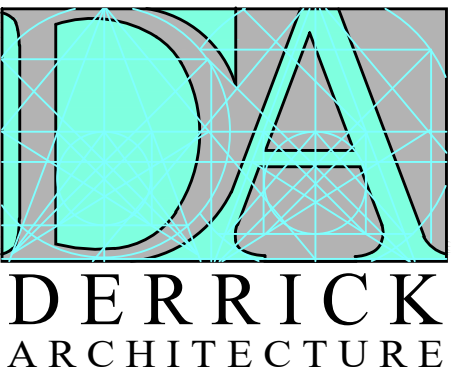


DRAWN BY: CED

DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
Basement
Electrical Plan
818 E Franklin

SHEET NUMBER:
E101



506 SOUTH GABLES BLVD
WHEATON, ILLINOIS 60187

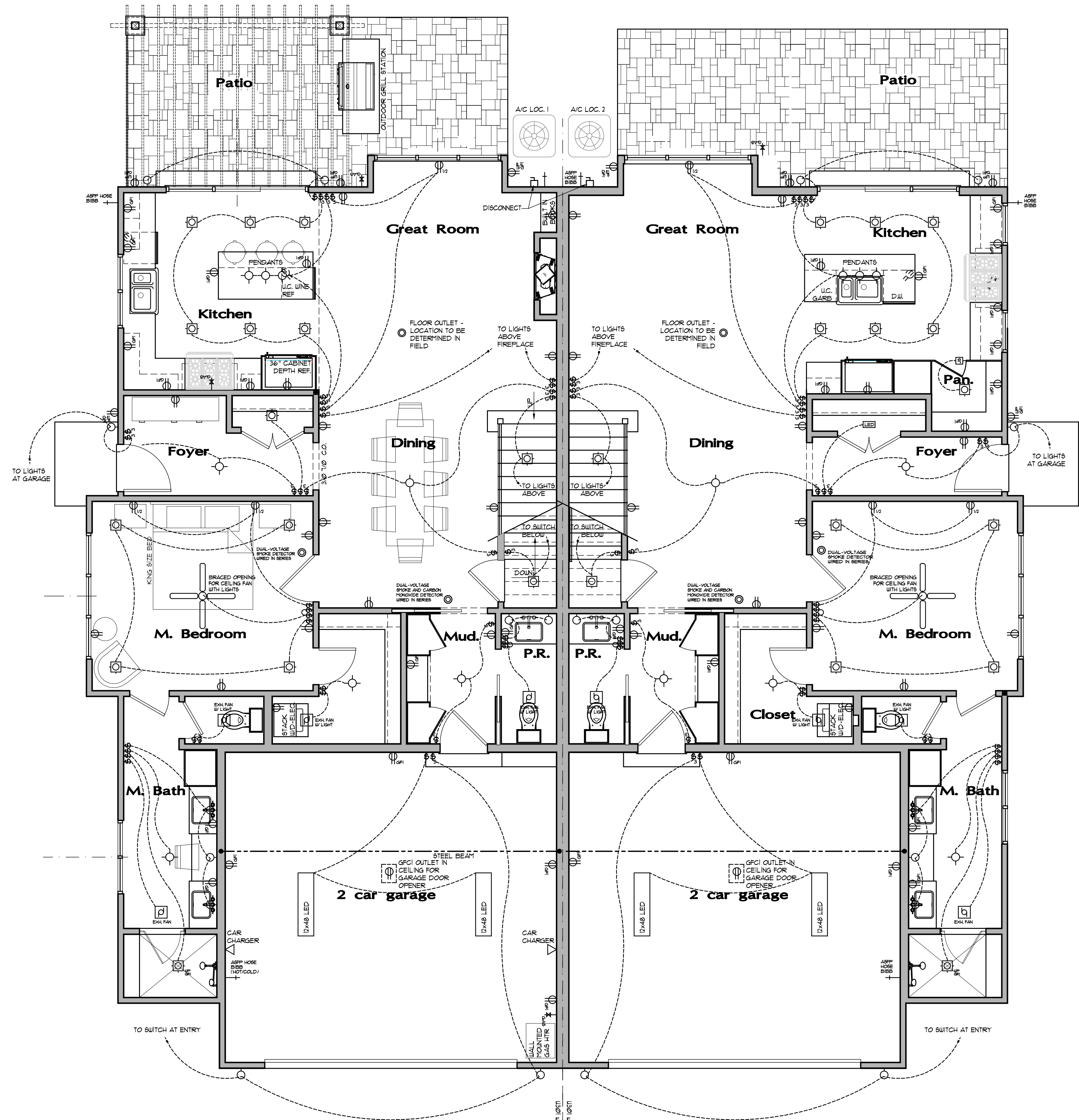
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REVIEW COMMENTS 5.15.2023

electrical key	
	RECESSED LED
	CEILING LED
	FULL CHAN
	WALL MOUNT LED
	EXHAUST FAN
	MOTOR
	SMOKE DETECTOR
	LOCATION BY OWNER
	WATER PROOF GFI
	RECESSED LED

electrical notes

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25 N Huffman
First Floor Electrical plan
SCALE: 1/4" = 1'-0"

REVISIONS	
REVISIONS	DATE
PRELIMINARY DESIGN	4/27/2022
PRELIMINARY DESIGN	5/6/2022
PRELIM DESIGN	6/12/2022
CLIENT REVISIONS	6/27/2022
UNIT RELEASE	8/22/2022
BID SETS	2/15/2023
PERMIT RELEASE	4/19/2023
REVIEW COMMENTS	5/15/2023

Franklin Flats
818 E Franklin/25 N Huffman
Naperville, IL 60540



DRAWN BY: CED

DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

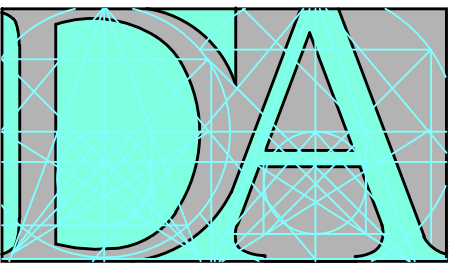
SHEET TITLE:
First Floor
Electrical Plan
25 N Huffman

SHEET NUMBER:
E102



SHEET NUMBER:
E103

REVIEW COMMENTS 5.15.2023



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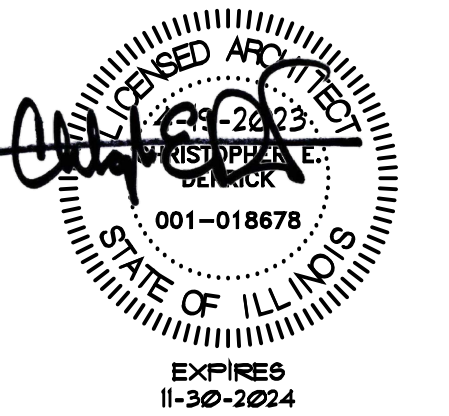
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BOULEVARD, WHEATON, ILLINOIS 60187

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Franklin Flats
818 E Franklin/25 N Huffman
Naperville, IL 60540



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DATE: 05 / 15 / 23
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SHEET TITLE:
Second Floor
Electrical Plan
25 N Huffman

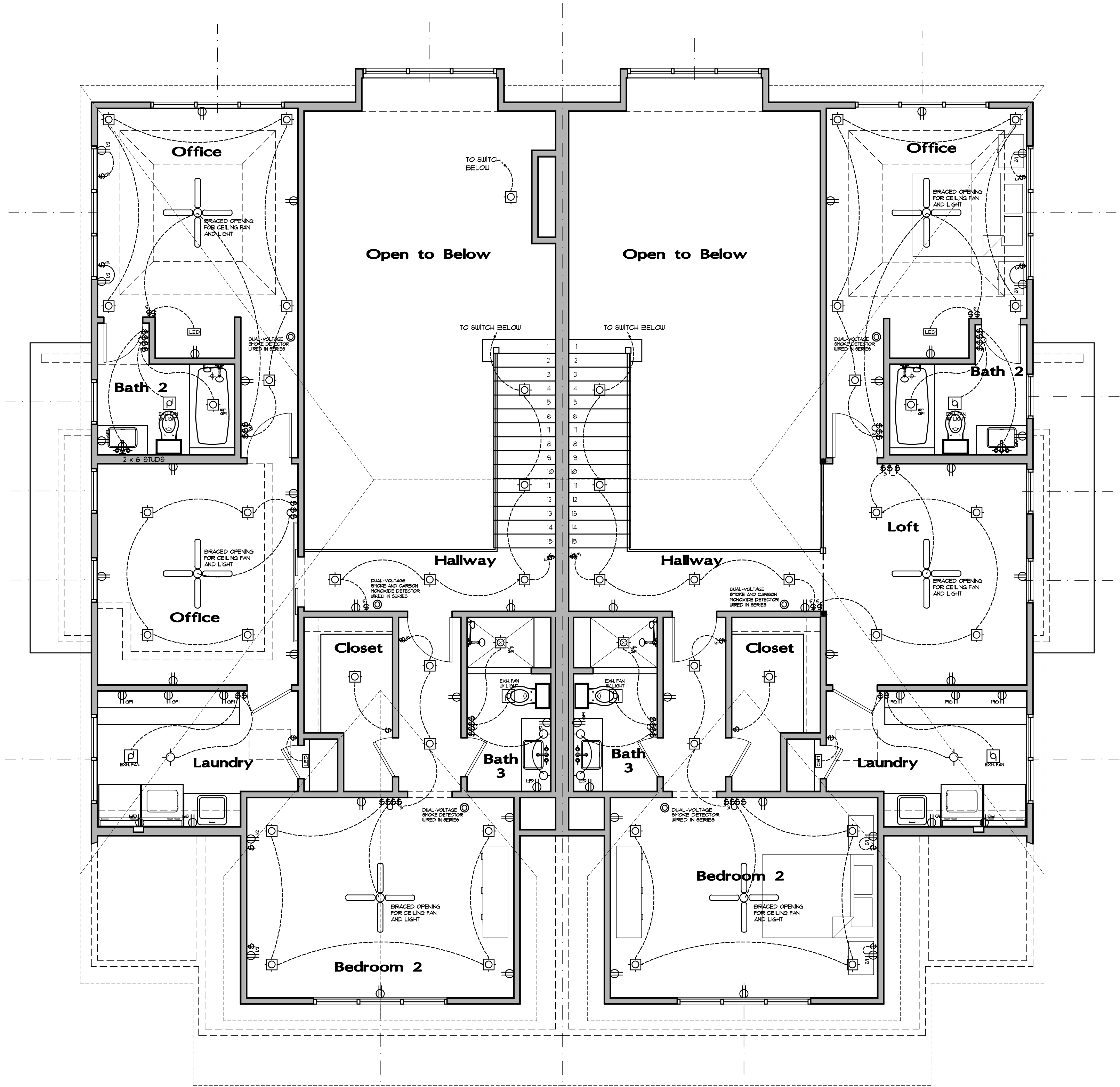
SHEET NUMBER:
E104

electrical key

- 120 V. DUPLEX OUTLET
- 220 V. OUTLET
- DIMMER
- SINGLE POLE SWITCH
- THREE WAY SWITCH
- JAMB SWITCH
- TV ANTENNA OUTLET
- LED LIGHT
- DUAL-VOLTAGE SMOKE DETECTOR WIRED IN SERIES
- RECESSED LED
- CEILING LED
- FULL CHAIN
- WALL MOUNT LED
- EXHAUST FAN
- MOTOR
- SMOKE DETECTOR
- LOCATION BY OWNER
- WATER PROOF GFI
- RECESSED LED

electrical notes

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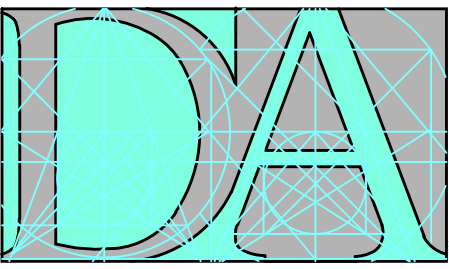


25 N Huffman
Second Floor Electrical plan

NORTH

1
E104

SCALE: 1/4" = 1'-0"



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Franklin Flats
818 E Franklin/25 N Huffman
Naperville, IL 60540



DRAWN BY: CED

DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
Second Floor
Electrical Plan
818 E Franklin

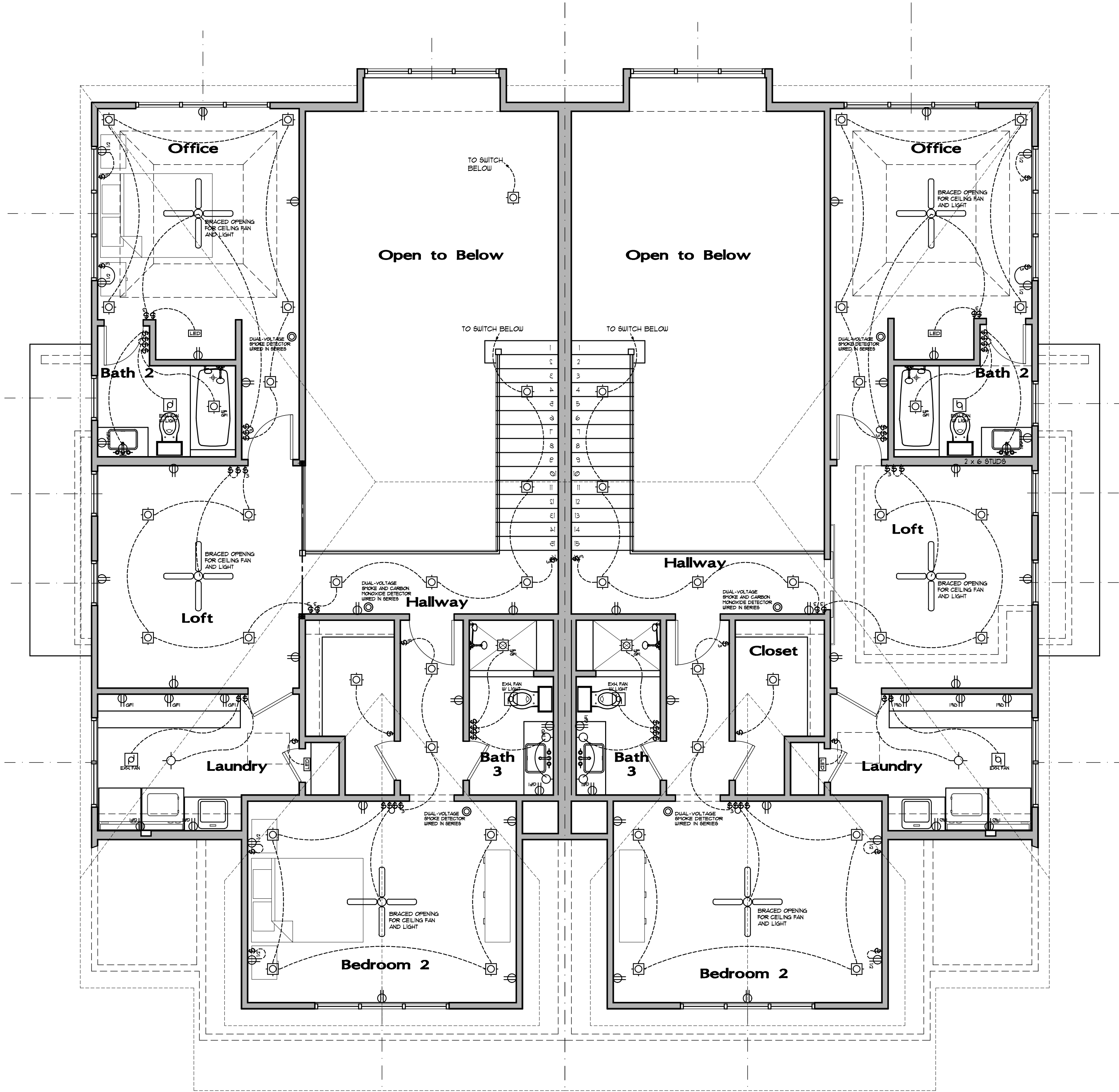
SHEET NUMBER:
E105

electrical key

- | | |
|---|-------------------|
| 120 V. DUPLEX OUTLET | RECESSED LED |
| 220 V. OUTLET | CEILING LED |
| DIMMER | FULL CHAN |
| SINGLE POLE SWITCH | WALL MOUNT LED |
| THREE WAY SWITCH | EXHAUST FAN |
| JAMB SWITCH | MOTOR |
| TV ANTENNA OUTLET | SMOKE DETECTOR |
| JUNCTION BOX | LOCATION BY OWNER |
| LED LIGHT | WATER PROOF GFI |
| DUAL-VOLTAGE SMOKE DETECTOR WIRED IN SERIES | RECESSED LED |

electrical notes

- ALL ELECTRICAL INSTALLATION SHALL BE PER THE 2017 NATIONAL ELECTRIC CODE AND PER ANY LOCAL ORDINANCES.
- VERIFY ALL ELECTRIC FIXTURE LOCATION WITH OWNER AT THE TIME OF ROUGH ELECTRICAL.
- PROVIDE RECESSED INCANDESCENT LIGHT FIXTURE WITH SOLID LENS OR FLUORESCENTS IN ALL CLOSETS 2'-0" DEEP OR LESS. ALL RECESSED CAN FIXTURES SHALL HAVE LENS COVERS AND BE NO LESS THAN 6" HORIZONTALLY IN FRONT OF CLOSET SHELF OR STORAGE AREAS IN COMPLIANCE WITH 2017 NATIONAL ELECTRIC CODE SECT. 410-8.
- ALL PHONE JACKS TO HAVE TWO LINES EACH.
- ALL OUTLETS SHALL BE SELF-GROUNDING.
- ALL BATH OUTLETS SHALL BE 20 AMP ON 20 AMP CIRCUITS WITH GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION PER 2018 IRC E3802.1.
- ALL CEILING LIGHTS AND FANS TO HAVE A BOX LISTED FOR THE SUPPORT OF CEILING FANS.
- WHIRLPOOL TUBS TO BE ON SEPARATE GFCI BREAKER IN PANEL. BOND MOTORS ACCESS PANEL REQUIRED FOR MOTOR - INSTALL RECEPTACLES PER 2011 NEC CODE.
- ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION (AFCI) SHALL BE PROVIDED AS REQUIRED IN SECTION 210.2 OF THE 2017 NEC. ALL 120 VOLT SINGLE PHASE, 15 AND 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHEN, BARS, BEDROOMS, LAUNDRY, FAMILY/LIVING/DINING/REC ROOMS/DENS, SUN ROOMS, FINISHED AREAS OF BASEMENTS, CLOSETS, HALLWAYS OR SIMILAR ROOMS/SPACES.
- DUI DISCONNECT REQUIRED FOR MOTOR: 20 AMP DEVICE OR 20 AMP CIRCUIT FOR KITCHEN COUNTER AREAS.
- ELECTRIC METER SHALL PROVIDE A 600 AMP SERVICE - CITY TO PROVIDE REQUIRED METER LOCATION ON DETAILED GRADING PLAN.
- SMOKE DETECTORS REQUIRED: SMOKE DETECTORS SHALL BE INSTALLED IN EACH BEDROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, IN ALL FURNACE ROOMS AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAIL, BRIGES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH MULTIPLE LEVELS A SMOKE DETECTOR NEED BE INSTALLED ONLY ON THE UPPER LEVEL. PROVIDED THE LOWER LEVEL IS LESS THAN ONE (1) FULL STORY BELOW THE UPPER LEVEL, EXCEPT THAT IF THERE IS A DOOR BETWEEN LEVELS, THEN A DETECTOR IS REQUIRED ON EACH LEVEL. ALL DETECTORS SHALL BE CONNECTED TO A SOUNDING DEVICE OR OTHER DETECTORS TO PROVIDE WHEN ACTUATED, AN ALARM WHICH WILL BE AUDIBLE IN ALL SLEEPING AREAS. ALL DETECTORS SHALL BE APPROVED AND LISTED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS WHEN ADDITIONS, REPAIRS OR SUBSTANTIAL ALTERATIONS REQUIRING A PERMIT OCCUR, OR WHEN ONE (1) OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN EXISTING DWELLINGS, THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE DETECTORS LOCATED AS REQUIRED FOR NEW DWELLINGS.
- CARBON MONOXIDE DETECTORS REQUIRED: A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED WITHIN FIFTEEN FEET (15') OF EVERY ROOM USED FOR SLEEPING PURPOSES. CO DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED WITH BATTERY BACKUP.
- POWER SOURCE FOR SMOKE AND CO DETECTORS: POWER SOURCE FOR REQUIRED DETECTORS TO BE ONE HUNDRED TEN (100) VOLT WITH BATTERY BACK UP.
- ALL RECEPTACLES ON 20 AMP CIRCUITS SHALL BE 20 AMP RECEPTACLES.
- PROVIDE RECEPTACLE IN ATTIC SPACE FOR USE WITH THE RADON REDUCTION SYSTEM.
- ALL LOW VOLTAGE WIRING SHALL BE INSTALLED IN AN APPROVED RACEWAY.
- PROVIDE NEW GFCI RECEPTACLE WITHIN 25 FEET OF THE AIR CONDITIONING UNIT(S).
- ALL OUTLETS ON THE FIRST FLOOR SHALL BE LOCATED AT A HEIGHT NOT LESS THAN 15" ABOVE THE FINISH FLOOR. MEASURE FROM FLOOR TO THE CENTER OF THE RECEPTACLE.
- ALL SWITCHES ON THE FIRST FLOOR SHALL BE LOCATED AT A HEIGHT NOT TO EXCEED 48" ABOVE FINISH FLOOR. MEASURE FROM FLOOR TO CENTER OF THE SWITCH.
- ALL SWITCHES IN BATHROOMS SHALL BE AT LEAST 5'-0" FROM THE INSIDE EDGE OF ANY TUB OR SHOWER UNLESS GFCI PROTECTED PER 2017 NEC 210-10 (d).
- ALL OUTLETS SHALL BE TAMPER-RESISTANT THROUGHOUT DWELLING BELOW 60" AFF. - INTERIOR AND EXTERIOR.
- ALL OUTLETS IN GARAGE AND BATH SHALL BE GFCI AND TAMPER-RESISTANT.
- ALL OUTDOOR OUTLETS SHALL BE WEATHER PROOF GFCI AND TAMPER-RESISTANT.



818 E Franklin
Second Floor Electrical plan
SCALE: 1/4" = 1'-0"
NORTH

1
E105

REVISIONS	DATE
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Naperville, IL 60540



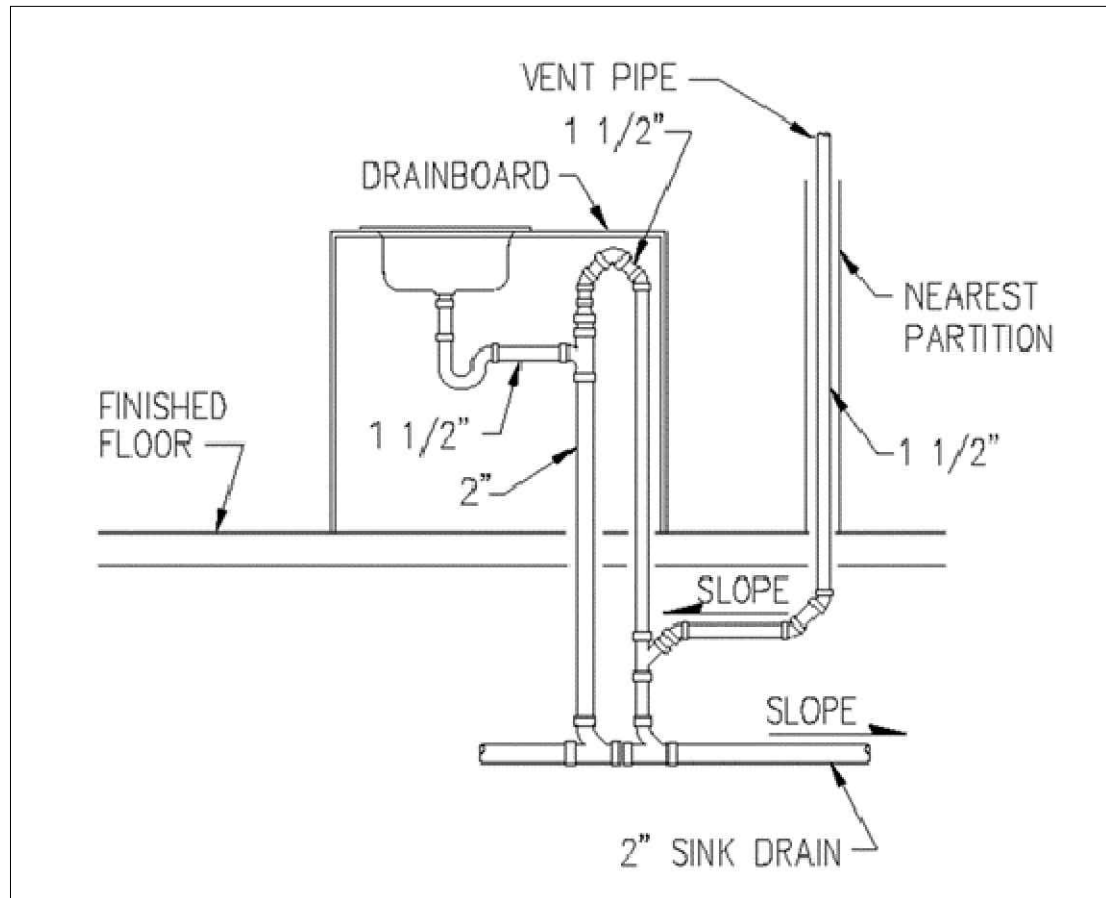
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DATE: 05 / 15 / 23
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PROJECT NO: 2210

SHEET TITLE:
Plumbing Riser
Diagrams

SHEET NUMBER:
P101

REVIEW COMMENTS 5.15.2023



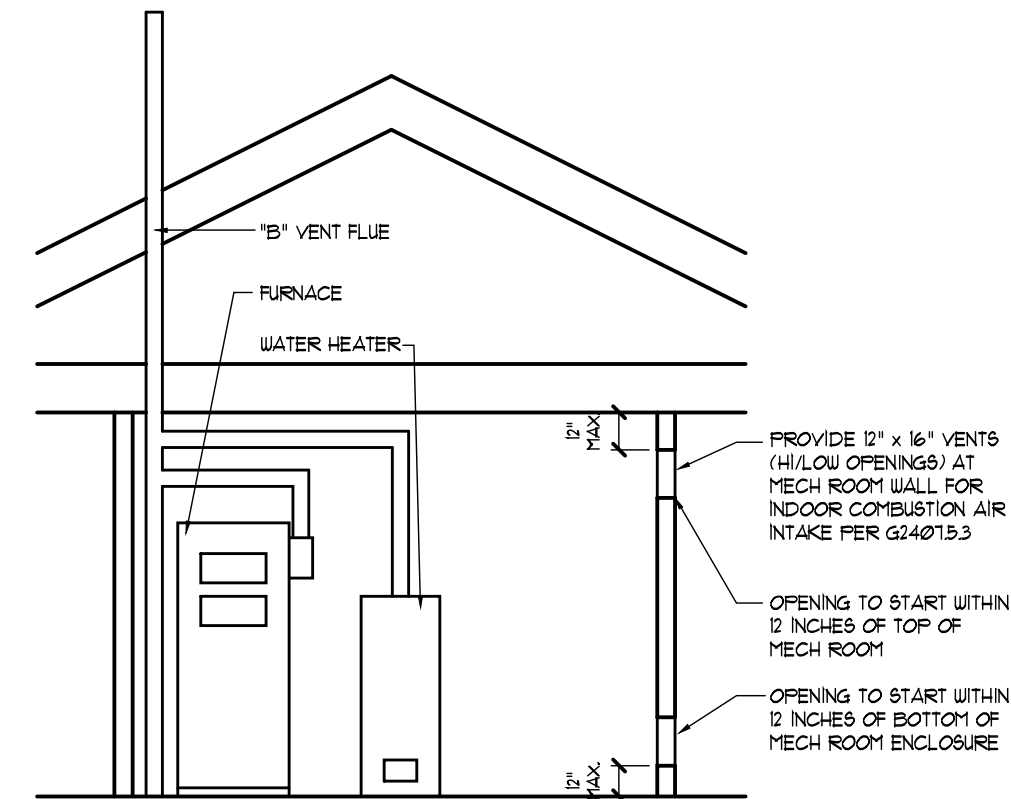
5 Special Venting for Island
P101 Fixtures NOT TO SCALE

water service line sizing

PROPOSED FIXTURES	LOAD VALUES	NO. OF FIXTURES	TWU/FU COUNT
KITCHEN SINK	2	1	2
DISHWASHER	1	1	1
WASHING MACHINE	1	1	4
LAUNDRY TUB	2	1	2
TOILET W/ FLUSH TANK	3	5	15
TOILET W/ FLUSH VALVE	6	-	-
BIDET	3	-	-
BATH/SHOWER	2	3	6
SHOWER STALL	2	6	12
LAVATORY (SINKS)	1	6	6
ICE MAKER	1	-	-
SILLCOCKS	5	-	10
WATER FOUNTAIN	2	-	-

TOTAL WATER SERVICE FIXTURE UNIT COUNT FOR EXISTING AND PROPOSED FIXTURES 58

REQUIRED WATER SERVICE SIZE 1 1/4" PIPE SIZE
REQUIRED METER SIZE 1"

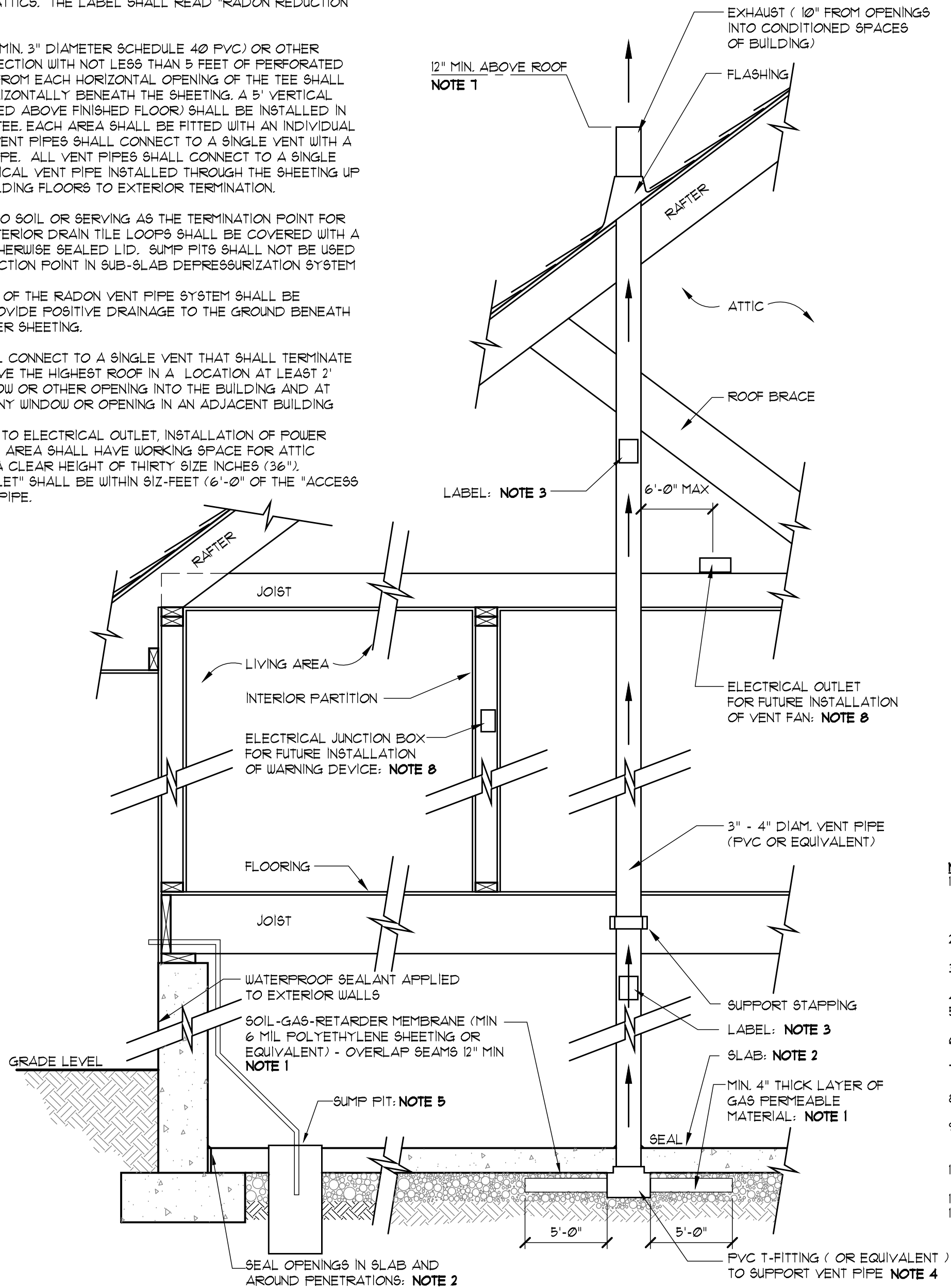


Indoor Combustion
Air Intake Diagram

4 P101 FIGURE G240153 SCALE: 1/4" = 1'-0"

NOTES:

- "SUBFLOOR PREPARATION" A LAYER OF GAS PERMEABLE MATERIAL SHALL BE PLACED UNDER ALL CONCRETE SLABS AND OTHER FLOOR SYSTEMS THAT DIRECTLY CONTACT THE GROUND. CLEAN AGGREGATE - 4" THICK STONE/SAND MIN. 6 MIL. POLYETHYLENE, 12" OVERLAP FIT TIGHT TO PENETRATIONS, CUTS, RIPS AND TEARS SHALL BE OVERLAPPED OR TAPED.
- ENTRY ROUTES: FLOOR OPENINGS AROUND ALL PENETRATIONS IN THE SLAB SHALL BE SEALED; PIPES, COLUMNS, PERIMETER JOINTS, CONTROL AND ISOLATION JOINTS SHALL BE CAULKED/SEALED (POLYURETHANE CAULK) FOR FINAL INSPECTION.
- ALL EXPOSED AND VISIBLE INTERIOR RADON VENT PIPES SHALL BE CONSPICUOUSLY IDENTIFIED WITH AT LEAST ONE LABEL ON EACH FLOOR OR ACCESSIBLE ATTICS. THE LABEL SHALL READ "RADON REDUCTION SYSTEM."
- A PLUMBING TEE (MIN. 3" DIAMETER SCHEDULE 40 PVC) OR OTHER APPROVED CONNECTION WITH NOT LESS THAN 5 FEET OF PERFORATED PIPE EXTENDING FROM EACH HORIZONTAL OPENING OF THE TEE SHALL BE INSERTED HORIZONTALLY BENEATH THE SHEETING. A 5' VERTICAL SECTION (MEASURED ABOVE FINISHED FLOOR) SHALL BE INSTALLED IN TOP OPENING OF TEE. EACH AREA SHALL BE FITTED WITH AN INDIVIDUAL VENT PIPE. ALL VENT PIPES SHALL CONNECT TO A SINGLE VENT WITH A VERTICAL VENT PIPE. ALL VENT PIPES SHALL CONNECT TO A SINGLE VENT WITH A VERTICAL VENT PIPE INSTALLED THROUGH THE SHEETING UP THROUGH THE BUILDING FLOORS TO EXTERIOR TERMINATION.
- SUMP PITS OPEN TO SOIL OR SERVING AS THE TERMINATION POINT FOR SUB-SLAB OR EXTERIOR DRAIN TILE LOOPS SHALL BE COVERED WITH A GASKETED OR OTHERWISE SEALED LID. SUMP PITS SHALL NOT BE USED AS A PRIMARY SUCTION POINT IN SUB-SLAB DEPRESSURIZATION SYSTEM.
- ALL COMPONENTS OF THE RADON VENT PIPE SYSTEM SHALL BE INSTALLED TO PROVIDE POSITIVE DRAINAGE TO THE GROUND BENEATH THE GAS RETARDER SHEETING.
- VENT PIPES SHALL CONNECT TO A SINGLE VENT THAT SHALL TERMINATE AT LEAST 12" ABOVE THE HIGHEST ROOF IN A LOCATION AT LEAST 2' ABOVE ANY WINDOW OR OTHER OPENING INTO THE BUILDING AND AT LEAST 10' FROM ANY WINDOW OR OPENING IN AN ADJACENT BUILDING.
- AREA OF ACCESS TO ELECTRICAL OUTLET, INSTALLATION OF POWER EXHAUSTER. THIS AREA SHALL HAVE WORKING SPACE FOR ATTIC APPLIANCE AND A CLEAR HEIGHT OF THIRTY SIZE INCHES (36"). ELECTRICAL "OUTLET" SHALL BE WITHIN SIX-FEET (6'-0") OF THE "ACCESS AREA" AND VENT PIPE.



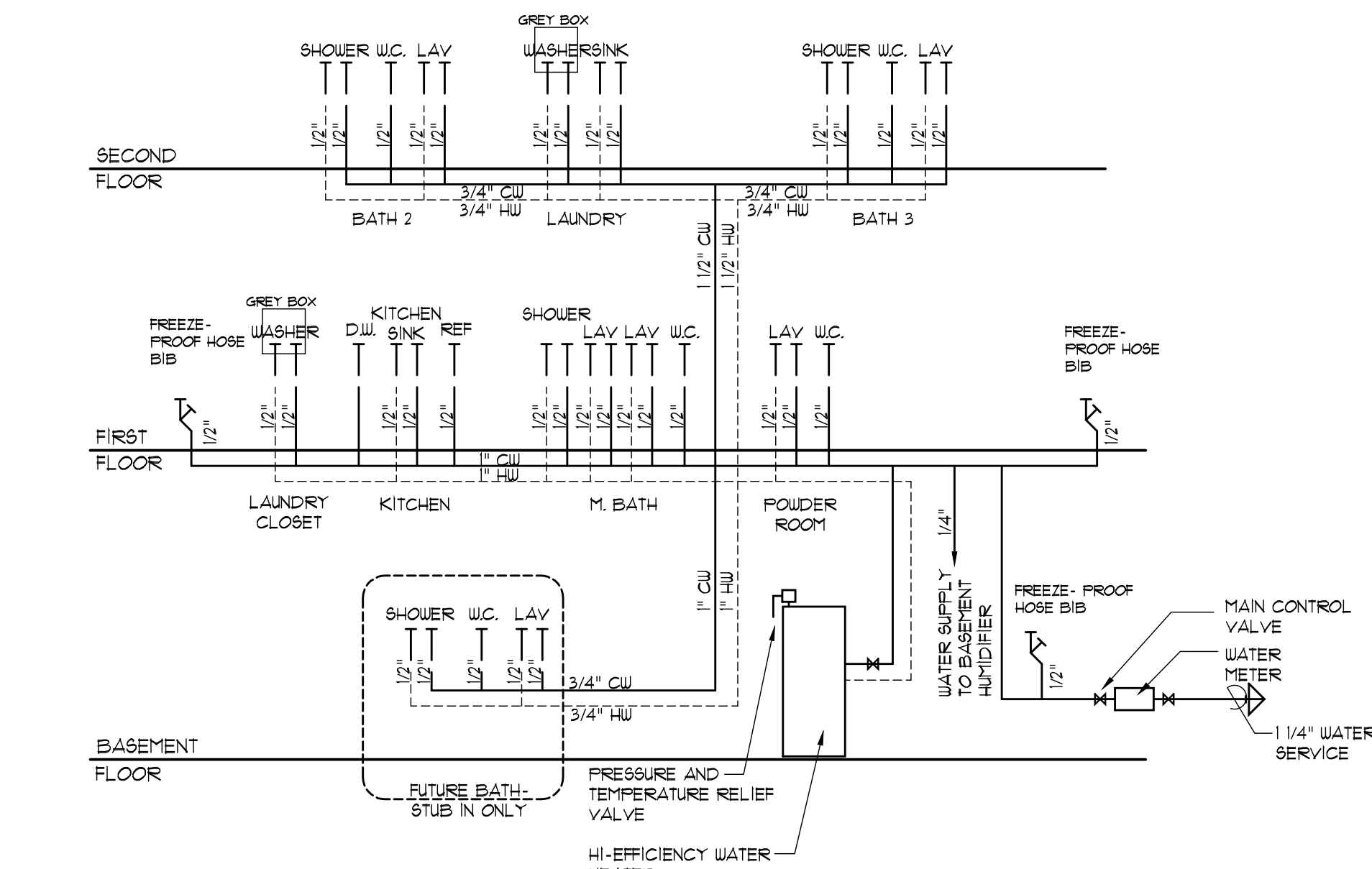
3 passive sub-slab depressurization radon
P101 control system for new construction NOT TO SCALE

NOTES:

- ALL WATER SUPPLY LINES SHALL BE COPPER AS FOLLOWS:
 - 1" TO FIRST OPENING
 - 3/4" MAINS, 40'-0" LENGTH MAXIMUM
 - 1/2" BRANCHES, 20'-0" LENGTH MAXIMUM
- PROVIDE SHUT-OFF VALVES AT ALL FIXTURES.
- WATER LINES SHALL BE TYPE K PIPE BELOW GRADE AND TYPE M OR L COPPER WITH NO LEAD SOLDER ABOVE GRADE.
- PROVIDE SHUT OFF VALVES WITH DRAINS FOR BOTH HOT AND COLD WATER SUPPLY LINES AT UTILITY SINK IN GARAGE. VALVES SHALL BE LOCATED IN CONDITIONED BASEMENT SPACE.
- PROVIDE INSULATED PIPING IN WALLS TO HOSE BIBS.
- NO WATER SUPPLY LINES SHALL BE LOCATED IN THE GARAGE CEILING CAVITY.
- CONFIRM ALL PIPE SIZES WITH PLUMBING CONTRACTOR.
- PROVIDE T510 AIR TEST OR WATER PRESSURE REQUIRED ON WATER PIPING AT TIME OF ROUGH INSPECTION.
- PROVIDE FULL SIZE RISER CHAMBERS FOR THE DOMESTIC WATER DISTRIBUTION SYSTEM TO BE INSTALLED AND SHALL BE AT LEAST 24 INCHES IN LENGTH AND THE SAME SIZE AS RISERS.
- APPROVED BACKFLOW PROTECTION REQUIRED ON THE WATER SUPPLY TO THE BOILER.
- ALL WATER SUPPLY LINES SHALL BE SIZED IN ACCORDANCE WITH ILLINOIS PLUMBING SECTION 830.120.
- DEAD ENDS GREATER THAN 24 INCHES ARE NOT ALLOWED.
- NO WATER PIPING SHALL BE INSTALLED IN ANY EXTERIOR WALL, GARAGE WALL, ATTIC, OR OTHER UNCONDITIONED AREA OR CHASE UNLESS INSTALLED IN A SEPARATE ISOLATED SECONDARY WALL OR CHASE.
- INSULATION ALONE SHALL NOT BE USED FOR ISOLATION OF WATER PIPING.
- PLUMBING FIXTURES, EQUIPMENT, APPLIANCES, APPURTENANCES AND DEVICES PER 830.210 FOR COMPLIANCE WITH APPLICABLE STANDARDS, LISTINGS AND LABELING BY APPROVED AGENCIES ONLY. (830 APPENDIX A/830 - TABLE A).
- ALL PLUMBING APPLIANCES SHALL BE WATERSERISE COMPLIANT.

COLD WATER --- HOT WATER ---

2 Typical unit
P101 plumbing supply diagram NOT TO SCALE



NOTES:

- ALL SANITARY WASTE AND VENT LINES SHALL BE CAST IRON OR COPPER (PVC IN JURISDICTIONS PERMITTING) EXCEPT PVC IS ALLOWED FOR PERIMETER DRAIN SUMP DISCHARGE.
- SIZE ALL SANITARY LINES ACCORDING TO ILLINOIS STATE PLUMBING CODE SECTION 830.1340.
- SIZE ALL VENT LINES ACCORDING TO ILLINOIS STATE PLUMBING CODE SECTION 830.1580.
- SANITARY SUMP TO HAVE AIR TIGHT COVER.
- INSTALLATIONS TO BE IN ACCORDANCE WITH ILLINOIS STATE PLUMBING CODES AND DUPAGE COUNTY ORDINANCES.
- PROVIDE 3" TO 4" INCREASER AT 4" VTR AND 2" TO 4" INCREASER AT 2" VTR.
- PROVIDE TRAPS AT ALL FIXTURES ACCORDING TO STATE PLUMBING CODES.
- ALL FLOOR DRAINS GOING INTO SEALED EJECTOR PITS SHALL BE VENTED SEPARATELY.
- ABOVE GROUND WASTE AND VENT PIPING SHALL BE COPPER TYPE M, L OR K, CAST IRON OR SCHEDULE 40 PVC.
- UNDERGROUND SANITARY SHALL BE SERVICE WEIGHT CAST IRON OR SCHEDULE 40 PVC. MINIMUM 4" DIAMETER.
- PROVIDE STACK TEST ON ALL WASTE AND VENTS.
- PROVIDE OVERHEAD SANITARY SEWER SYSTEM WITH EJECTOR PUMP.

VENT LINE --- SANITARY WASTE LINE

1 plumbing waste diagram
P101 NOT TO SCALE

MECHANICAL VENTILATION RATE

THE WHOLE HOUSE MECHANICAL VENTILATION SYSTEM SHALL PROVIDE OUTDOOR AIR AT A CONTINUOUS RATE OF NOT LESS THAN THAT DETERMINED IN ACCORDANCE WITH TABLE R403.6.4.3 (1).

EXCEPTION: THE WHOLE HOUSE MECHANICAL VENTILATION SYSTEM IS PERMITTED TO OPERATE INTERMITTENTLY WHEN THE SYSTEM HAS CONTROLS THAT ENABLE OPERATION FOR NOT LESS THAN 25 PERCENT OF EACH 4 HOUR SEGMENT AND THE VENTILATION RATE PRESCRIBED IN TABLE R403.6.4.3 (1) IS MULTIPLIED BY THE FACTOR DETERMINED IN ACCORDANCE WITH TABLE R403.6.4.3 (2).

TABLE R403.6.4.3 (1)
CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM
AIRFLOW RATE REQUIREMENTS

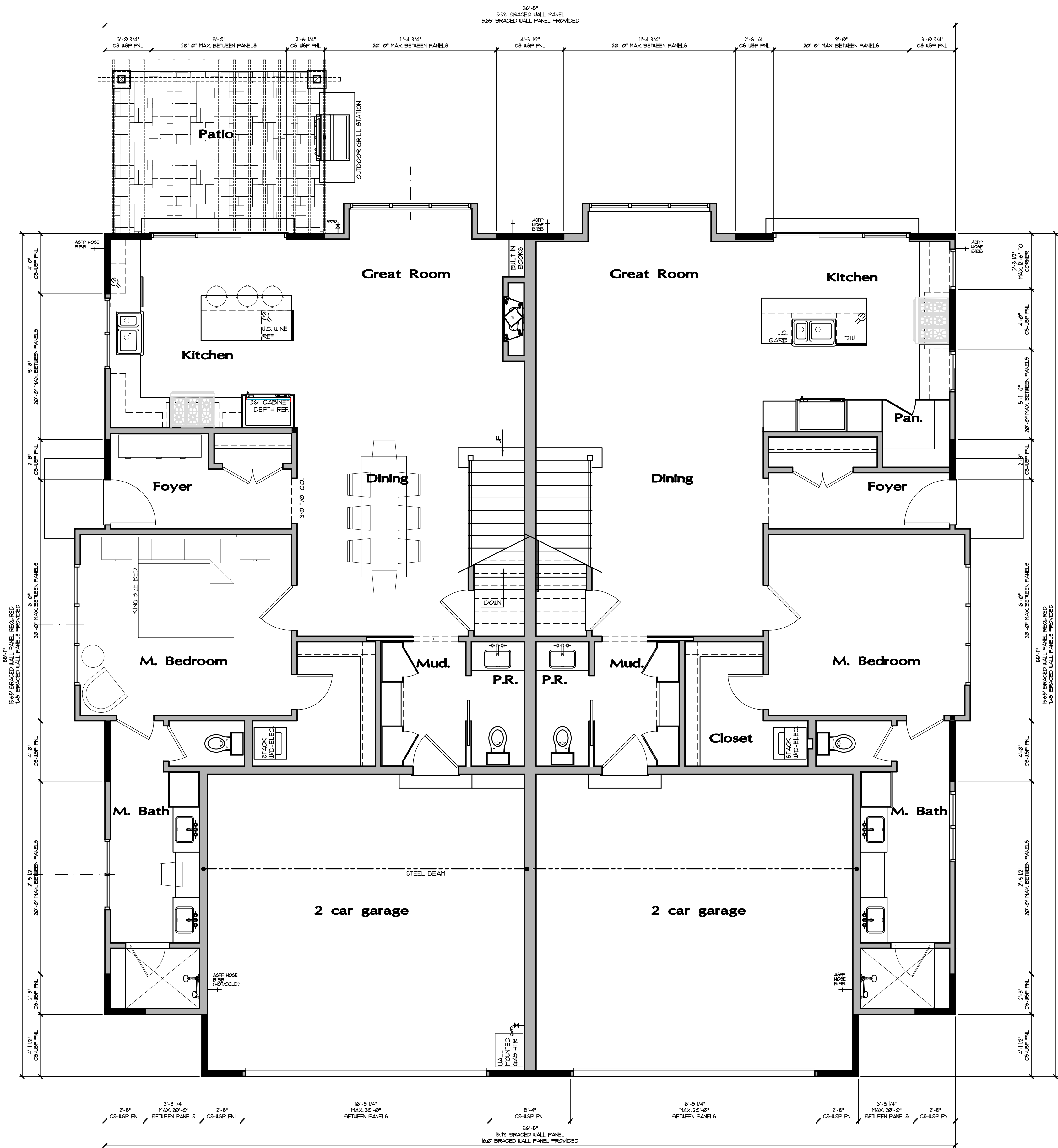
DUELLING UNIT FLOOR AREA (SF.)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
AIRFLOW IN CFM					
< 1500	30	45	60	75	90
1501-3000	45	60	75	90	105
3001-4500	60	75	90	105	120
4501-6000	75	90	105	120	135
6001-7500	90	105	120	135	150
> 7500	105	120	135	150	165

FOR 0.1 : 1 SQUARE FOOT = 0.0329 M2, 1 CUBIC FOOT PER MINUTE = 0.020418 M3/S

CALC:
 $(0.01 \times ((4993 \text{ SF.}) + (3313 \text{ SF.}) + (4991 \text{ SF.}))) + (15 \times (6 + 1))$
 $(0.01 \times (12603 \text{ SF.})) + (52.5)$
 $(126.03) + (52.5)$
178.53 CFM = VENTILATION RATE IN CUBIC FEET PER MIN.

TABLE R403.6.4.3 (2)
INTERMITTENT WHOLE-HOUSE MECHANICAL
VENTILATION RATE FACTORS

RUN-TIME PERCENTAGE IN EACH 4-HR SEGMENT	25 %	33 %	50 %	66 %	75 %	100 %
FACTOR	4	3	2	1.5	1.3	1.0



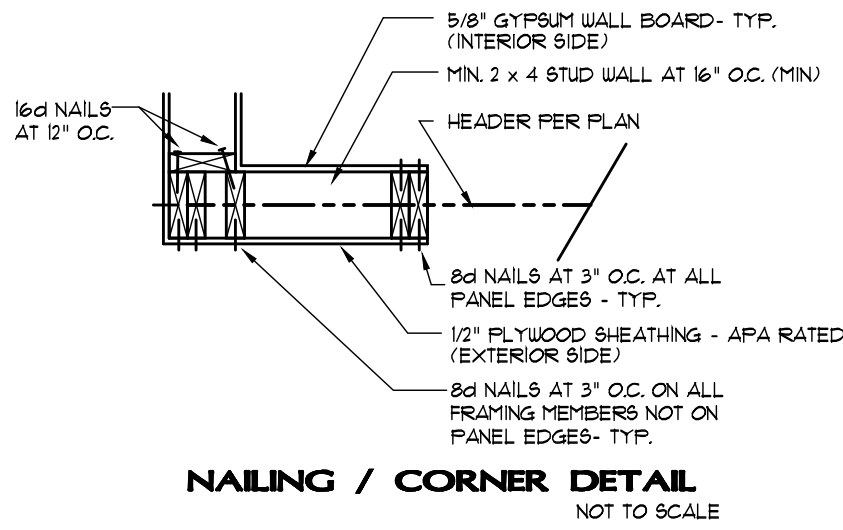
braced wall panel construction method CS-WSP (Continuous sheathing – Wood Structural Panel) per R602.10.4

WOOD STRUCTURAL PANEL SHEATHING WITH A THICKNESS NOT LESS THAN 5/16 INCH FOR 16 INCH STUD SPACING AND NOT LESS THAN 3/8 INCH FOR 24 INCH STUD SPACING. WOOD STRUCTURAL PANELS SHALL BE INSTALLED IN ACCORDANCE WITH TABLE R602.10.4

PANEL CONSTRUCTION:
1/2" PLYWOOD WALL SHEATHING OVER 2 x 4 MIN. STUDS AT 16" O.C.

PANEL LOCATION:
A BRACED WALL PANEL SHALL BEGIN WITHIN 10'-0" FROM EACH END OF A BRACED WALL LINE AS DETERMINED IN SECTION R602.10.1. THE DISTANCE BETWEEN ADJACENT EDGES OF BRACED WALL PANEL ALONG A BRACED WALL LINE SHALL BE NO GREATER THAN 20'-0"

NAILING PATTERN:
6d COMMON NAILS AT 6" O.C. AT EDGE OF SHEATHING
6d COMMON NAILS AT 12" O.C. AT INTERMEDIATE SUPPORTS



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Franklin Flats
818 E Franklin/25 N Huffman
Naperville, IL 60540



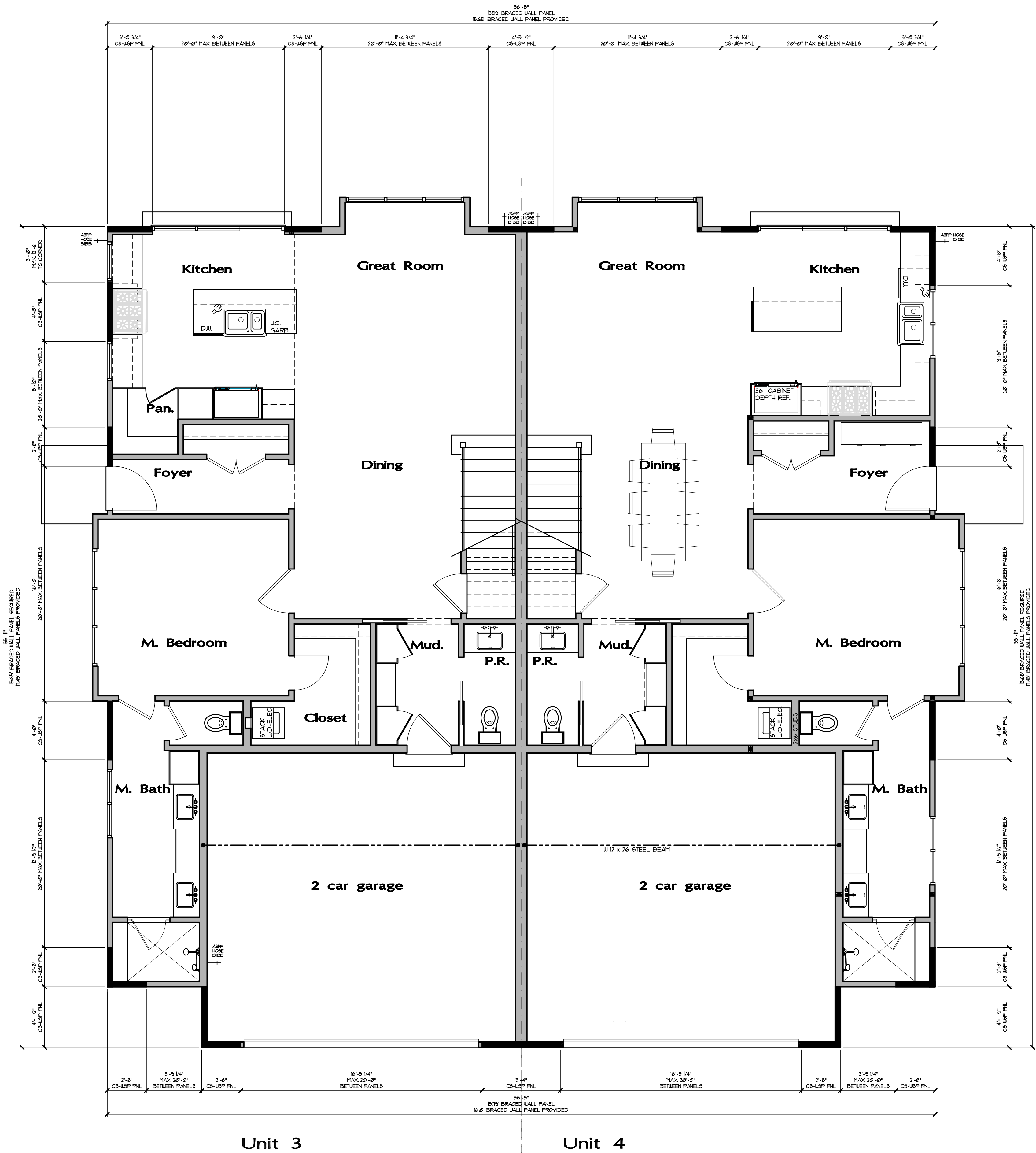
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DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
**First Floor
Braced Wall Plan
25 N Huffman**

SHEET NUMBER:
S101

25 N Huffman
First Floor Braced Wall plan
1
S101
SCALE: 1/4" = 1'-0"
NORTH



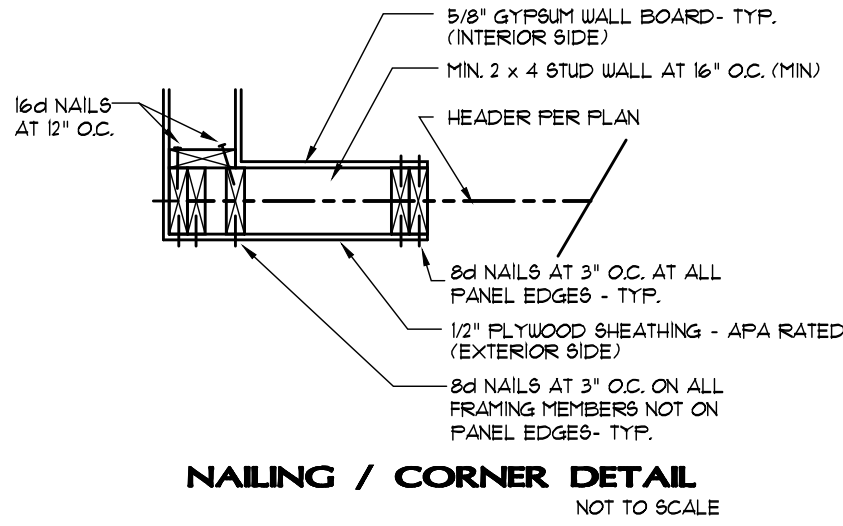
braced wall panel construction method CS-WSP (Continuous sheathing – Wood Structural Panel) per R602.10.4

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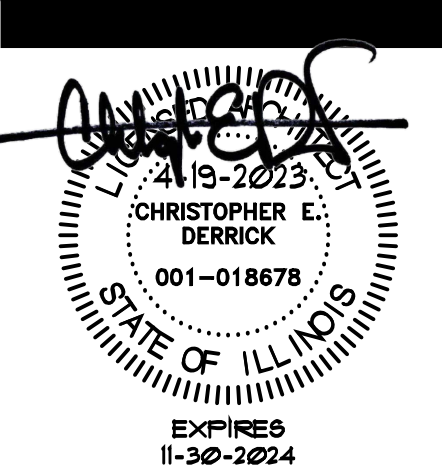
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Franklin Flats

818 E Franklin/25 N Huffman

Naperville, IL 60540

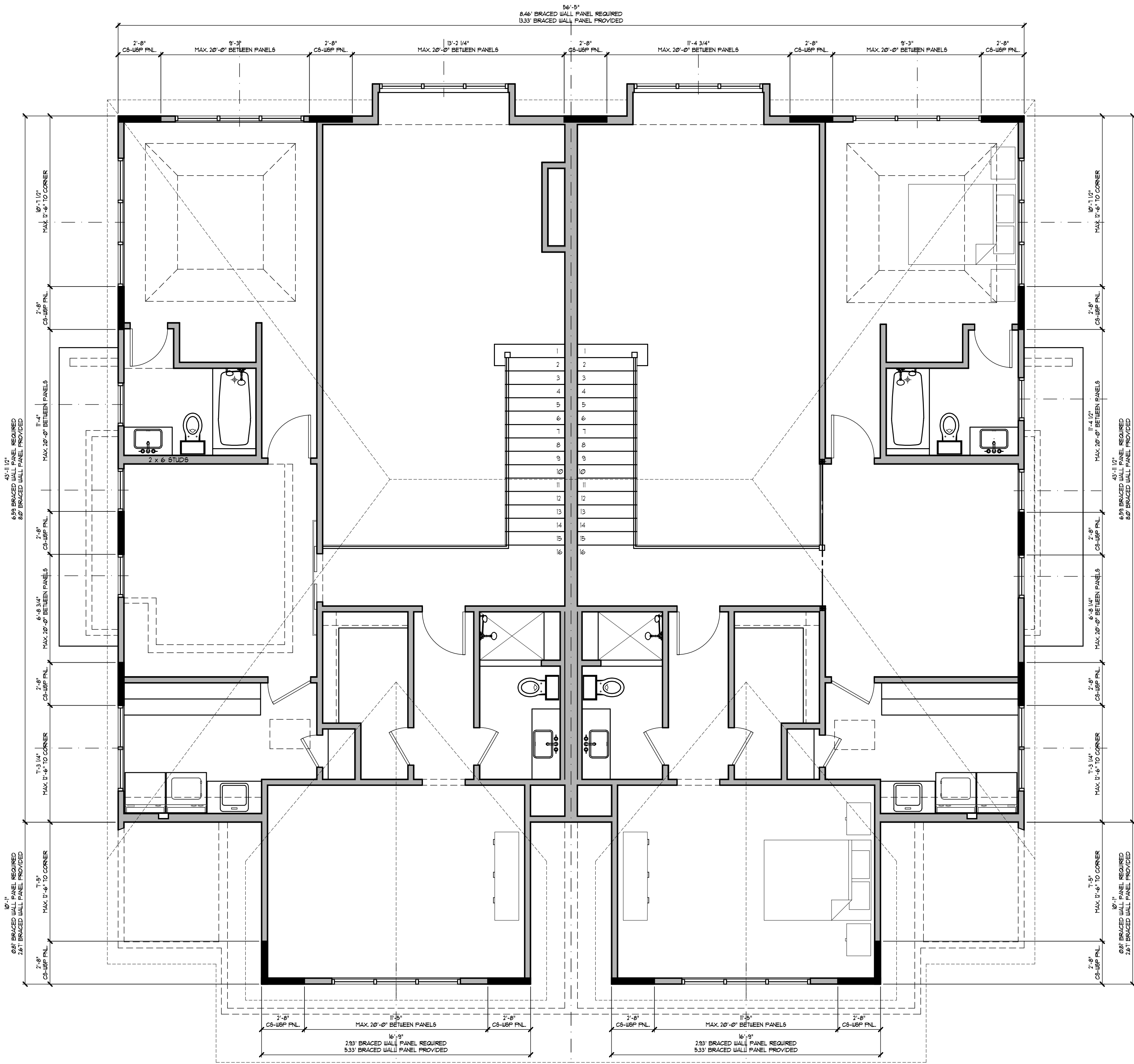


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DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
First Floor
Braced Wall Plan
818 E Franklin

SHEET NUMBER:
S102

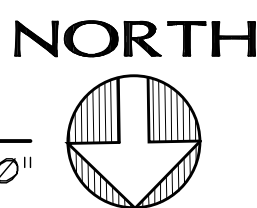


Unit 1

Unit 2

25 N Huffman
Second Floor Braced
Wall plan

SCALE: 1/4" = 1'-0"



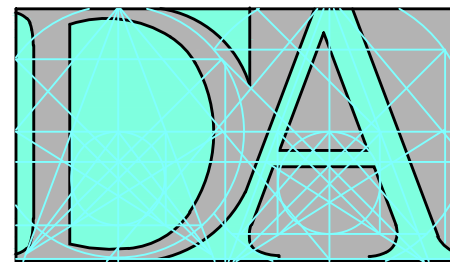
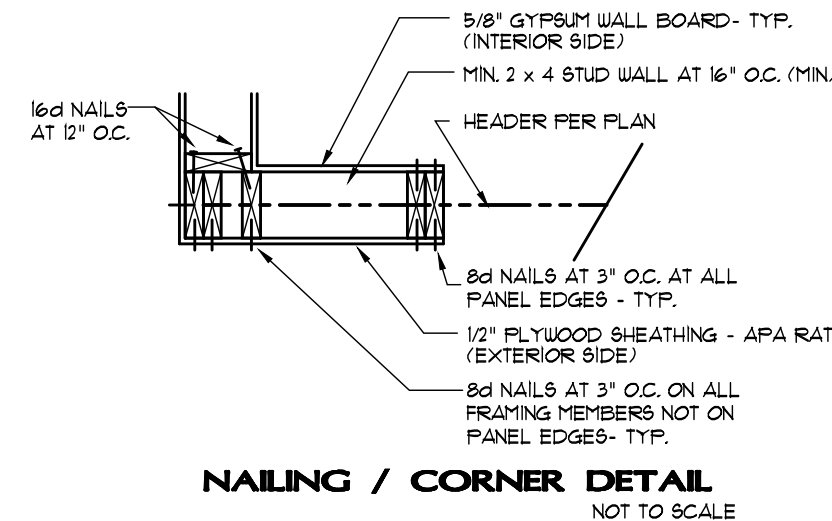
braced wall panel construction
method CS-WSP (Continuous
sheathing – Wood Structural
Panel) per R602.10.4

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EDGES OF BRACED WALL PANEL ALONG A BRACED WALL
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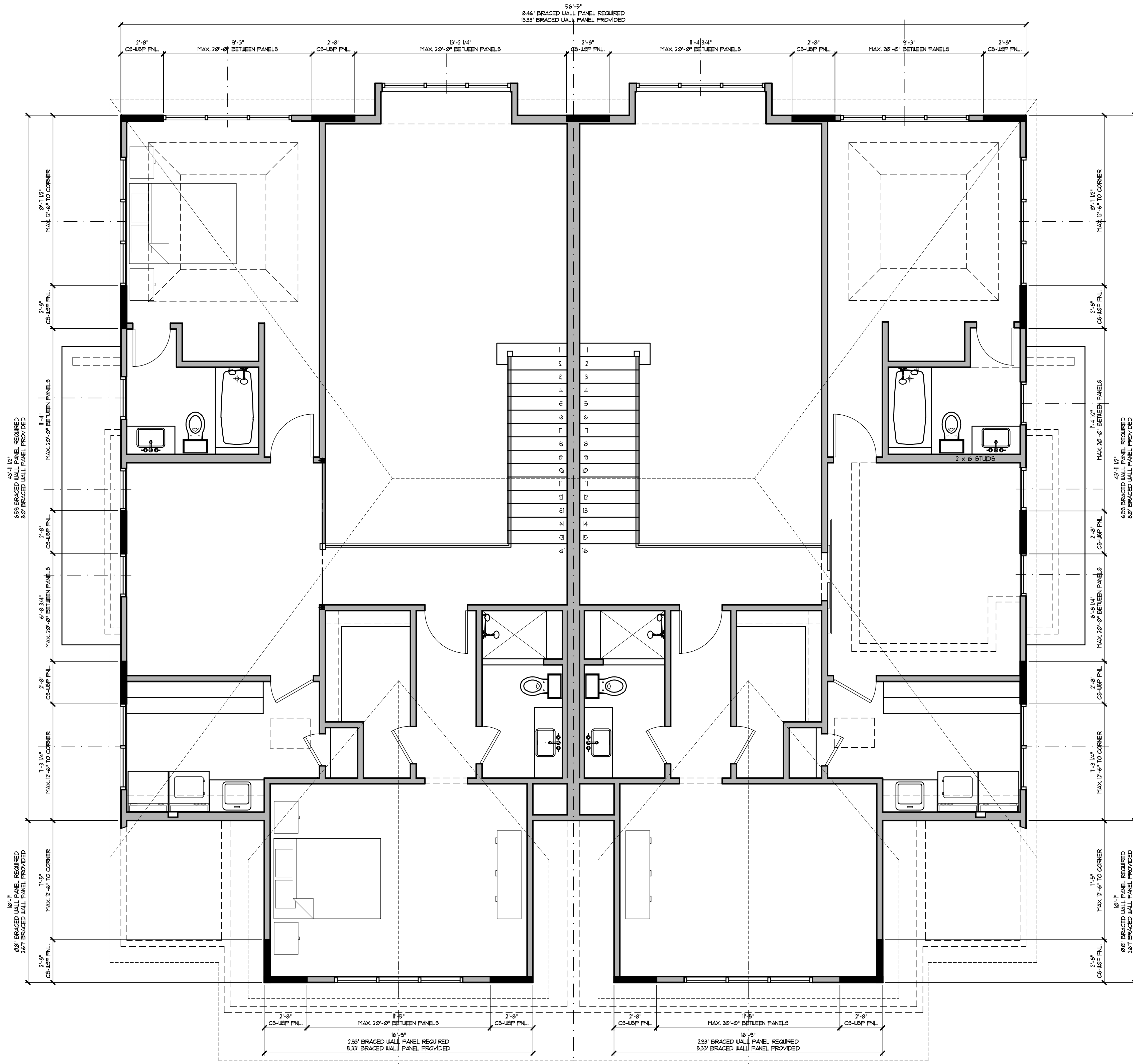
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PROJECT NO: 2210

SHEET TITLE:
Second Floor
Braced Wall Plan
25 N Huffman

SHEET NUMBER:
S103

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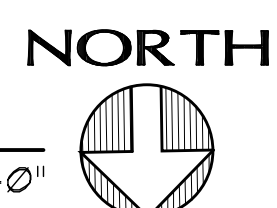


Unit 3

Unit 4

818 E Franklin
Second Floor Braced
Wall plan

SCALE: 1/4" = 1'-0"



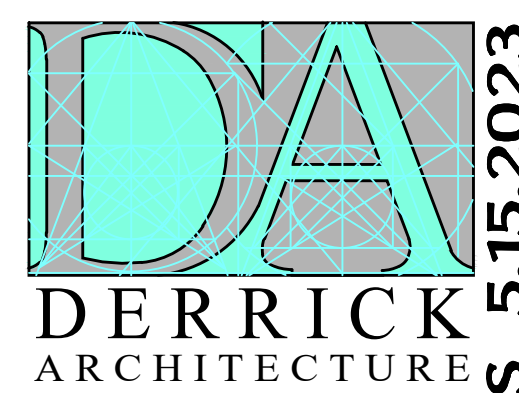
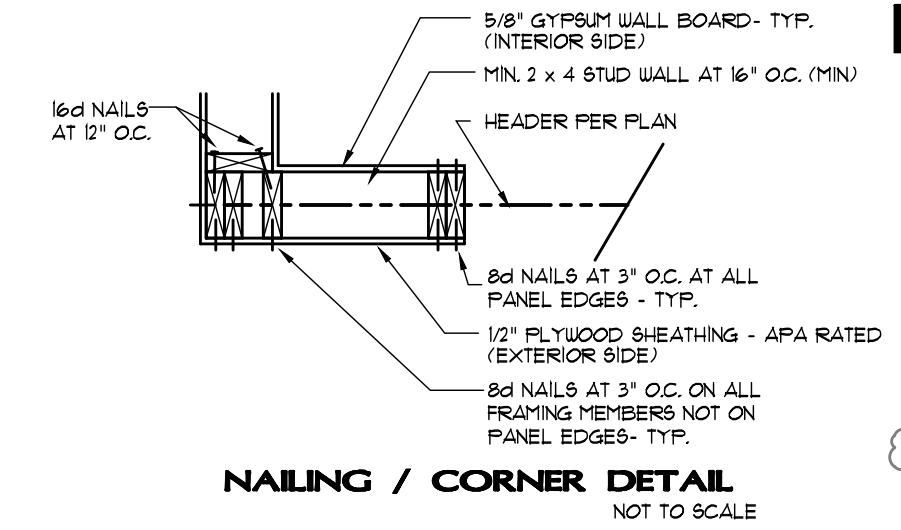
braced wall panel construction method CS-WSP (Continuous sheathing – Wood Structural Panel) per R602.10.4

WOOD STRUCTURAL PANEL SHEATHING WITH A THICKNESS NOT LESS THAN 5/16 INCH FOR 16 INCH STUD SPACING AND NOT LESS THAN 3/8 INCH FOR 24 INCH STUD SPACING. WOOD STRUCTURAL PANELS SHALL BE INSTALLED IN ACCORDANCE WITH TABLE R602.10.4

PANEL CONSTRUCTION:
1/2" PLYWOOD WALL SHEATHING OVER 2 x 4 MIN. STUDS AT 16" O.C.

PANEL LOCATION:
A BRACED WALL PANEL SHALL BEGIN WITHIN 10'-0" FROM EACH END OF A BRACED WALL LINE AS DETERMINED IN SECTION R602.10.11. THE DISTANCE BETWEEN ADJACENT EDGES OF BRACED WALL PANEL ALONG A BRACED WALL LINE SHALL BE NO GREATER THAN 20'-0"

NAILING PATTERN:
6d COMMON NAILS AT 6" O.C. AT EDGE OF SHEATHING
6d COMMON NAILS AT 12" O.C. AT INTERMEDIATE SUPPORTS



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REVISIONS	DATE
PRELIMINARY DESIGN	4/21/2022
PRELIMINARY DESIGN	5/6/2022
PRELIM DESIGN	6/12/2022
CLIENT REVISIONS	6/21/2022
UNIT RELEASE	8/22/2022
BID SETS	2/15/2023
PERMIT RELEASE	4/19/2023
REVIEW COMMENTS	5/15/2023

Franklin Flats
818 E Franklin/25 N Huffman
Naperville, IL 60540



DRAWN BY: CED

DATE: 05 / 15 / 23
SCALE: AS NOTED
PROJECT NO: 2210

SHEET TITLE:
Second Floor Braced Wall Plan
818 E Franklin

SHEET NUMBER:
S104

REVIEW COMMENTS 5.15.2023