

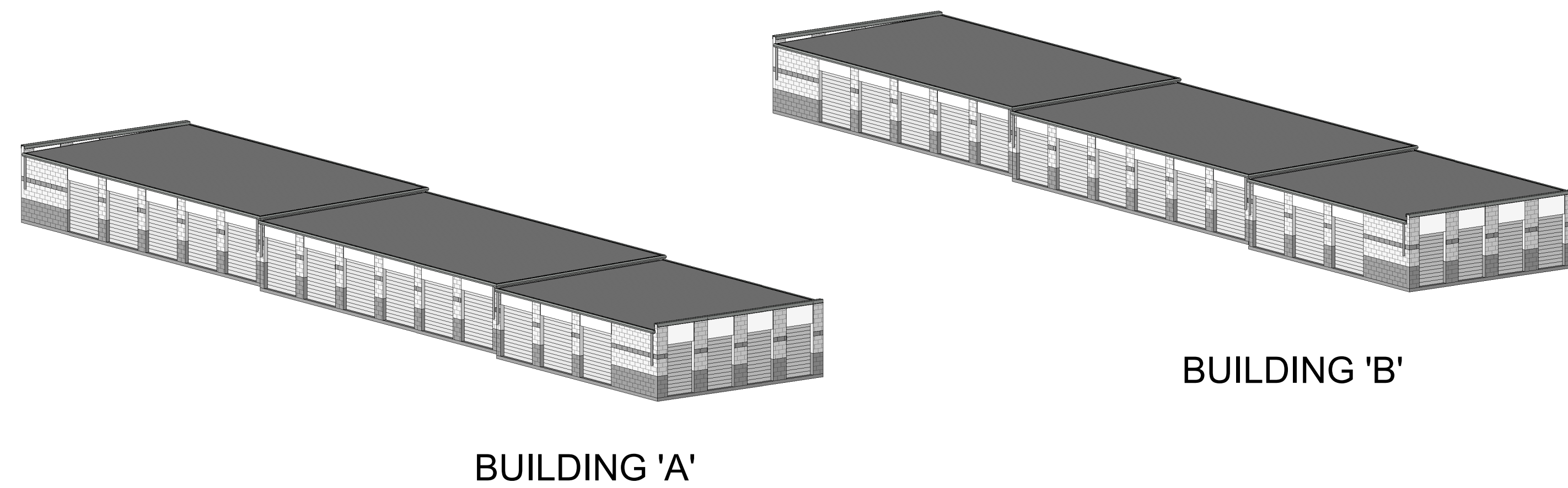
EXTRA SPACE STORAGE, INC.

EXR NAPERVILLE 1259

1432 W OGDEN AVE. NAPERVILLE, IL 60563

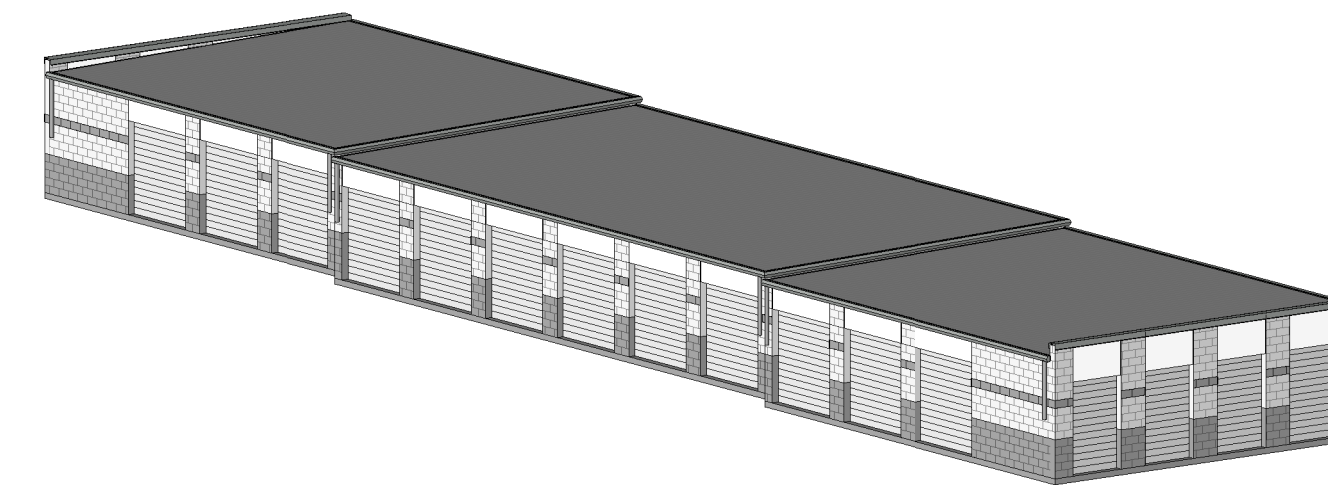


Project Number: 23-700-262

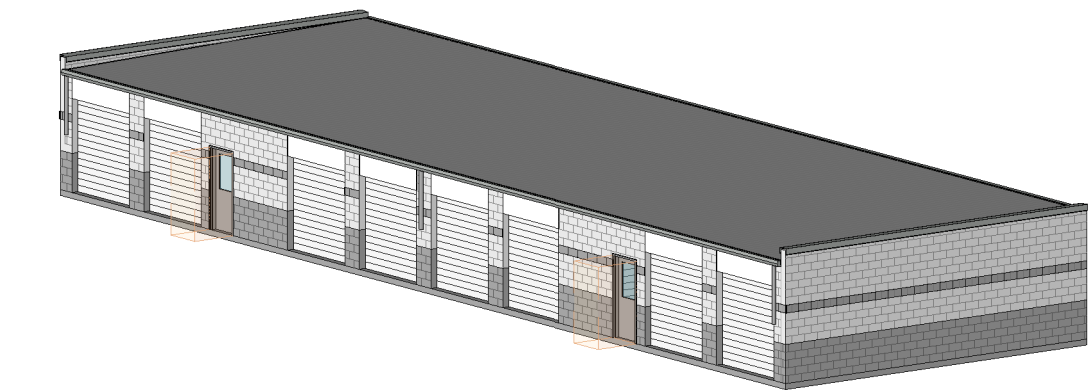


BUILDING 'A'

BUILDING 'B'



BUILDING 'C'



BUILDING 'D' & 'E'

Design Team

Architect/Civil Engineer

RQAW Consulting Engineers & Architects
8770 North Sreet, Ste. 110
Fishers, IN 46038
P: (317) 588-1798



Structural Engineer

Highland Engineering, P.C.
540 W. Frontage Rd. Ste. 2255
Northfield, IL 60093
P: (847) 639-9000



MEP Engineer

RQAW Consulting Engineers & Architects
8770 North Sreet, Ste. 110
Fishers, IN 46038
P: (317) 588-1798

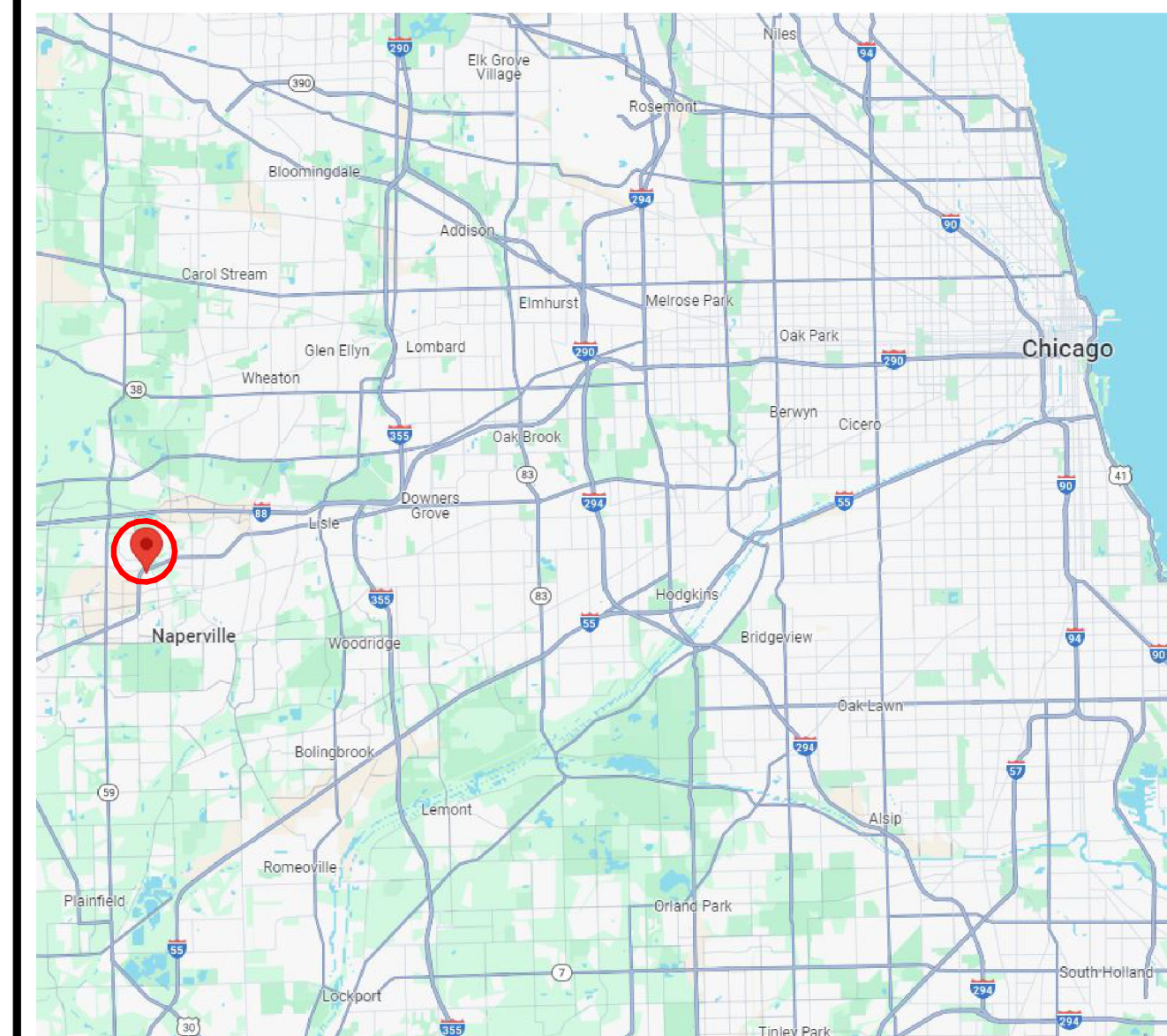


Construction Manager

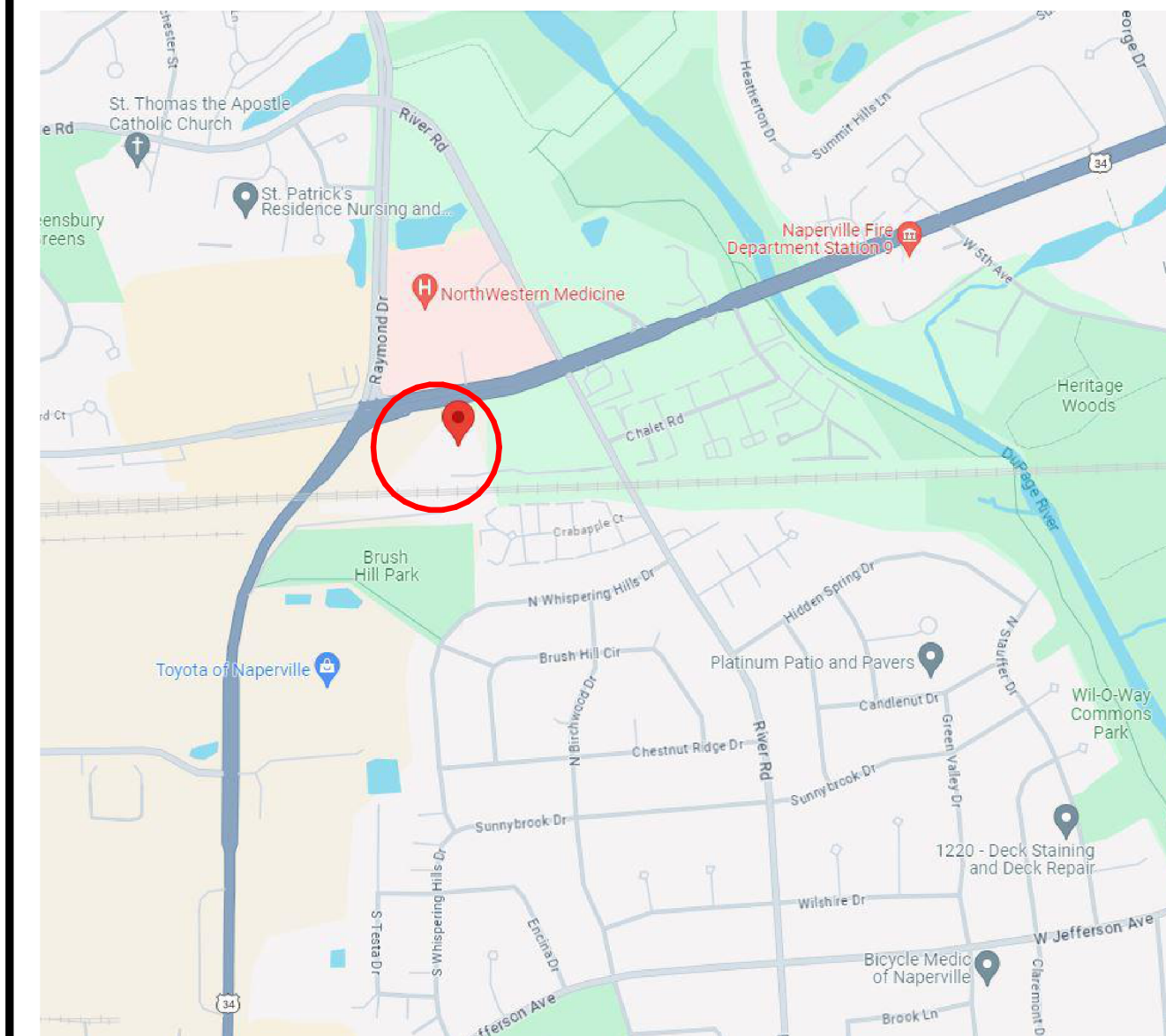
MLCO Construction
549 W Randolph Street, Suite 704
Chicago, IL 60661
P: (312) 846-6161



Site Location



Building Location



1 - General	
G-000	COVER SHEET
G-001	UNIT MIX SUMMARY
2 - Civil	
C-100	DEMOLITION PLAN
C-200	SITE PLAN
C-300	UTILITY PLAN
C-301	STORM SEWER PROFILE VIEWS
C-400	GRADING PLAN
C-401	STORM DRAINAGE PLAN
C-402	STORM DRAINAGE SECTION VIEWS
C-500	PRE-CONSTRUCTION EROSION CONTROL PLAN
C-501	CONSTRUCTION EROSION CONTROL PLAN
C-502	POST CONSTRUCTION EROSION CONTROL PLAN
C-503	EROSION CONTROL DETAILS
C-504	EROSION CONTROL DETAILS
C-505	SWPPP NOTES
C-600	CONSTRUCTION DETAILS
C-601	CONSTRUCTION DETAILS
C-602	CONSTRUCTION DETAILS
C-700	LANDSCAPE PLAN
C-800	SPECIFICATIONS
L-100	TREE REMOVAL AND PROTECTION PLAN
L-101	LANDSCAPE PLAN
L-102	LANDSCAPE DETAILS
3 - Structural	
S-001	GENERAL NOTES
S-101	BUILDING A FOUNDATION PLAN
S-102	BUILDING B FOUNDATION PLAN
S-103	BUILDING C FOUNDATION PLAN
S-300	FOUNDATION DETAILS
4 - Architectural	
A-002	ARCHITECTURAL GENERAL NOTES AND ABBREVIATIONS
ASP - 101	ARCHITECTURAL SITE PLAN
AL-101	LIFE SAFETY DIAGRAM & CODE ANALYSIS
A-101	BUILDING - FIRST FLOOR PLANS - BUILDING A AND B
A-102	BUILDING - FIRST FLOOR PLANS - BUILDING C, D AND E
A-103	BUILDING - ROOF PLANS
A-104	BUILDING - ROOF PLANS
A-201	BUILDING A - ELEVATIONS
A-202	BUILDING B - ELEVATIONS
A-203	BUILDING C - ELEVATIONS
A-204	BUILDING D & E - ELEVATIONS
A-310	WALL & BUILDING SECTIONS
A-311	WALL & BUILDING SECTIONS
A-600	DOOR AND WINDOW SCHEDULE
7 - Electrical	
E-001	ELECTRICAL SYMBOLS, ABBREVIATIONS, AND GENERAL NOTES
E-010	ELECTRICAL SITE PLAN
E-011	ELECTRICAL SITE PHOTOMETRIC PLAN
E-210	FIRST FLOOR ELECTRICAL PLANS
E-600	ELECTRICAL SCHEDULES
E-700	ELECTRICAL RISER DIAGRAM

EXR NAPERVILLE 1259

Project Number: 23-700-262

Project Issued: 08.22.2024

PERMIT SET

G-000

5

4

3

2

1

D

C

B

A

D

C

B

A

ACCESSIBLE UNIT REQUIREMENTS

BUILDING A - 40 UNITS @ 5% = 2
 ACCESSIBLE UNITS PROVIDED = 2
 BUILDING B - 41 UNITS @ 5% = 2.05
 ACCESSIBLE UNITS PROVIDED = 3
 BUILDING C - 38 UNITS @ 5% = 1.9
 ACCESSIBLE UNITS PROVIDED = 3
 BUILDING D - 25 UNITS @ 5% = 1.25
 ACCESSIBLE UNITS PROVIDED = 2
 BUILDING E - 25 UNITS @ 5% = 1.25
 ACCESSIBLE UNITS PROVIDED = 2

TOTAL UNIT MIX DATA

UNIT	DOWN OUT	C.C. DOWN OUT	DOWN IN	C.C. DOWN IN	UP IN	C.C. UP IN	TOTAL	% OF UNITS	NET SQ. FT.
5X5	0	0	8	0	0	0	8	5	200
5X10	10	0	10	0	0	0	20	12	1,000
5X15	12	0	0	0	0	0	12	7	900
7.5X10	24	0	0	0	0	0	24	15	1,800
10X10	21	0	12	0	0	0	33	20	3,300
10X15	46	0	0	0	0	0	46	28	6,900
10X20	14	0	4	0	0	0	18	11	3,600
10X30	4	0	0	0	0	0	4	2	1,200
TOTAL	131	0	34	0	0	0	165	100	18,900

NET RENTABLE 18,900 AVG. UNIT SIZE 115
 GROSS SQ.FT. 19,800 EFFICIENCY 95%

BUILDING 'A' UNIT MIX DATA

UNIT	DOWN OUT	C.C. DOWN OUT	DOWN IN	C.C. DOWN IN	UP IN	C.C. UP IN	TOTAL	% OF UNITS	NET SQ. FT.
7.5X10	8	0	0	0	0	0	8	22	600
10X15	28	0	0	0	0	0	28	78	4,200
TOTAL	36	0	0	0	0	0	40	100	4,800

NET RENTABLE 4,800
 AVG. UNIT SIZE 133

BUILDING 'B' UNIT MIX DATA

UNIT	DOWN OUT	C.C. DOWN OUT	DOWN IN	C.C. DOWN IN	UP IN	C.C. UP IN	TOTAL	% OF UNITS	NET SQ. FT.
5X10	10	0	0	0	0	0	10	24	500
7.5X10	8	0	0	0	0	0	8	20	600
10X10	9	0	0	0	0	0	9	22	900
10X20	14	0	0	0	0	0	14	34	2,800
TOTAL	41	0	0	0	0	0	41	100	4,800

NET RENTABLE 4,800
 AVG. UNIT SIZE 117

BUILDING 'C' UNIT MIX DATA

UNIT	DOWN OUT	C.C. DOWN OUT	DOWN IN	C.C. DOWN IN	UP IN	C.C. UP IN	TOTAL	% OF UNITS	NET SQ. FT.
5X15	12	0	0	0	0	0	12	32	900
7.5X10	8	0	0	0	0	0	8	21	600
10X15	18	0	0	0	0	0	18	47	2,700
TOTAL	38	0	0	0	0	0	38	100	4,200

NET RENTABLE 4,200
 AVG. UNIT SIZE 111

BUILDING 'D' AND 'E' UNIT MIX DATA

UNIT	DOWN OUT	C.C. DOWN OUT	DOWN IN	C.C. DOWN IN	UP IN	C.C. UP IN	TOTAL	% OF UNITS	NET SQ. FT.
5X5	0	0	8	0	0	0	8	16	200
5X10	0	0	10	0	0	0	10	20	500
10X10	12	0	12	0	0	0	24	48	2,400
10X20	0	0	4	0	0	0	4	8	800
10X30	4	0	0	0	0	0	4	8	1,200
TOTAL	16	0	34	0	0	0	50	100	5,100

NET RENTABLE 5,100
 AVG. UNIT SIZE 102

RQAW

DCCM

PERMIT SET

EXTRA SPACE STORAGE, INC.
 EXR NAPERVILLE
 STORAGE #1259
 1432 W OGDEN AVE. NAPERVILLE, IL 60563

#	Revision	Date
A1	Addendum 01	12/28/2023
A2	CITY REVIEW COMMENTS	8/22/2024

Project #: 23-700-262
 Designed By: TCH
 Drawn By: TCH
 Checked By: TCH / VT
 Date: 08.22.2024



Victoria Templeton

UNIT MIX SUMMARY

G-001

PERMIT SET
EXTRA SPACE STORAGE, INC.
EXR NAPERVILLE
STORAGE #1259
1432 W OGDEN AVE. NAPERVILLE, IL 60563

#	Revision	Date
A2	CITY REVIEW COMMENTS	8/22/2024

Project #: 23-700-262

Designed By: TCH

Drawn By: TCH

Checked By: TCH / VT

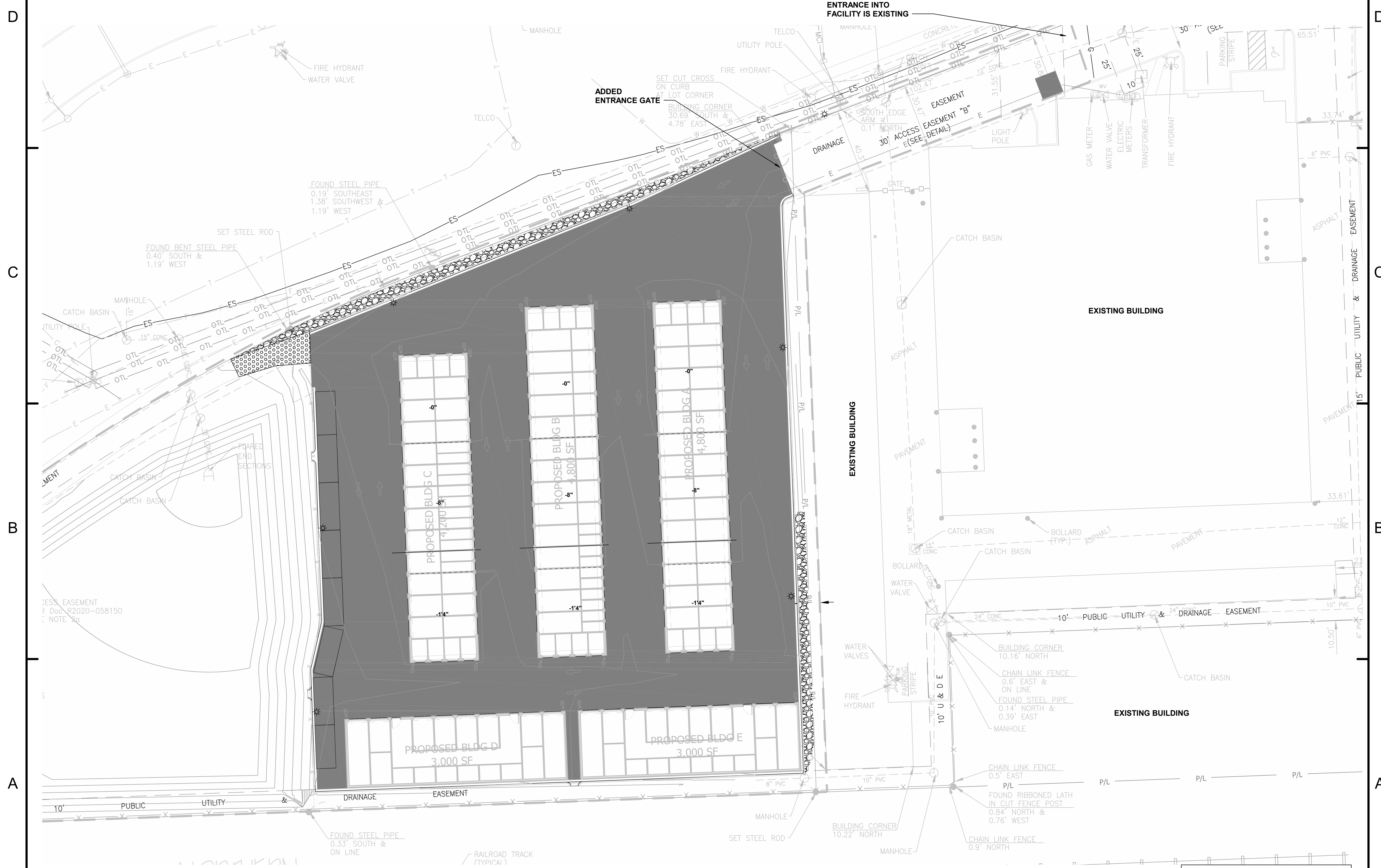
Date: 08.22.2024



Victoria Templeton

ARCHITECTURAL SITE PLAN

ASP - 101



ARCHITECTURAL SITE PLAN - NEW

THE ARCHITECTURAL IS FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR OVERALL SITE PLAN AND DETAILS

5

4

3

2

1

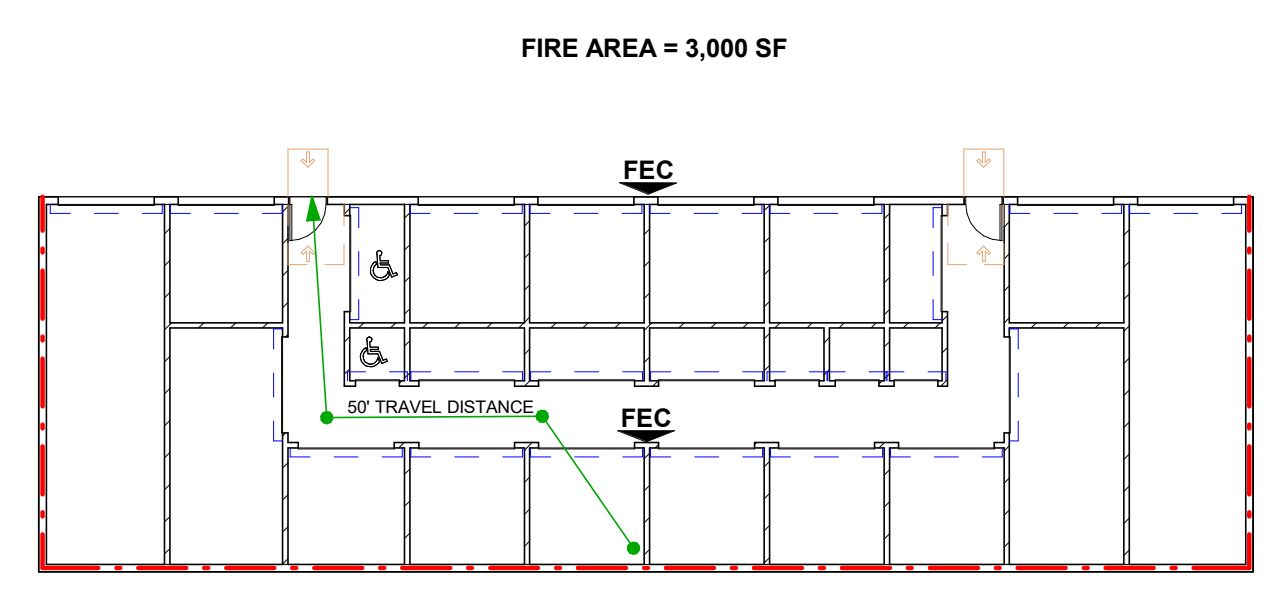
D

C

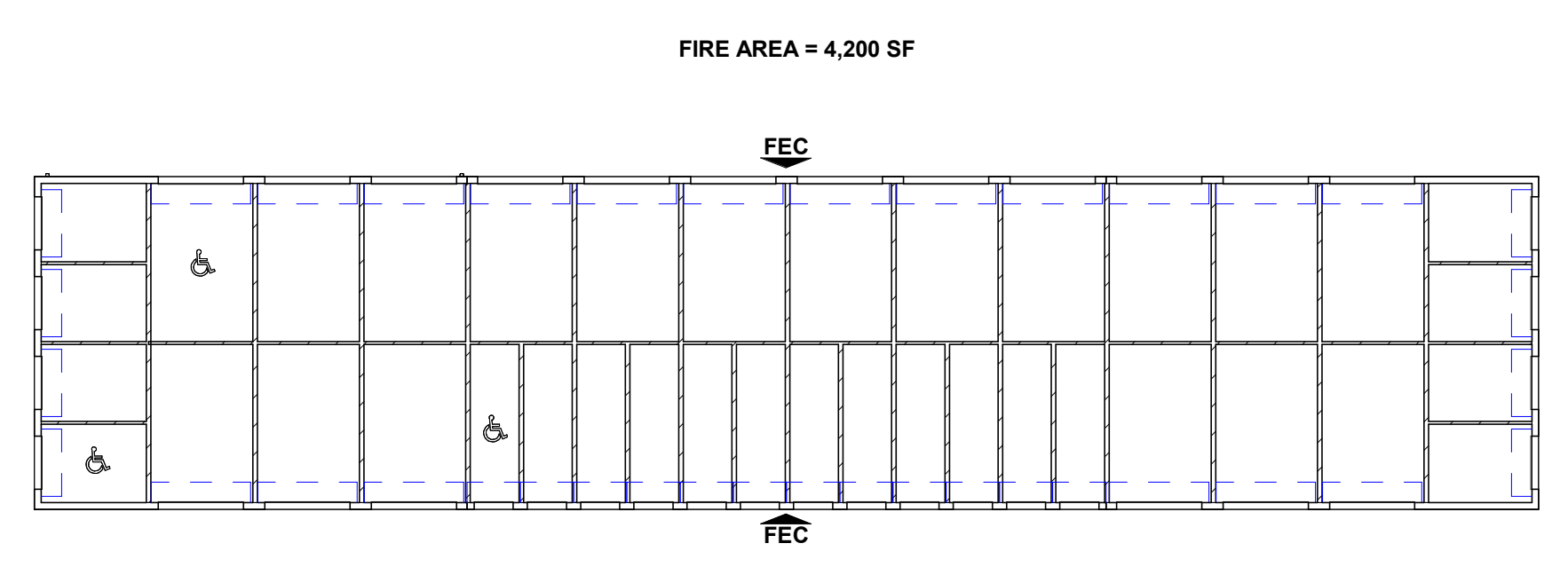
B

A

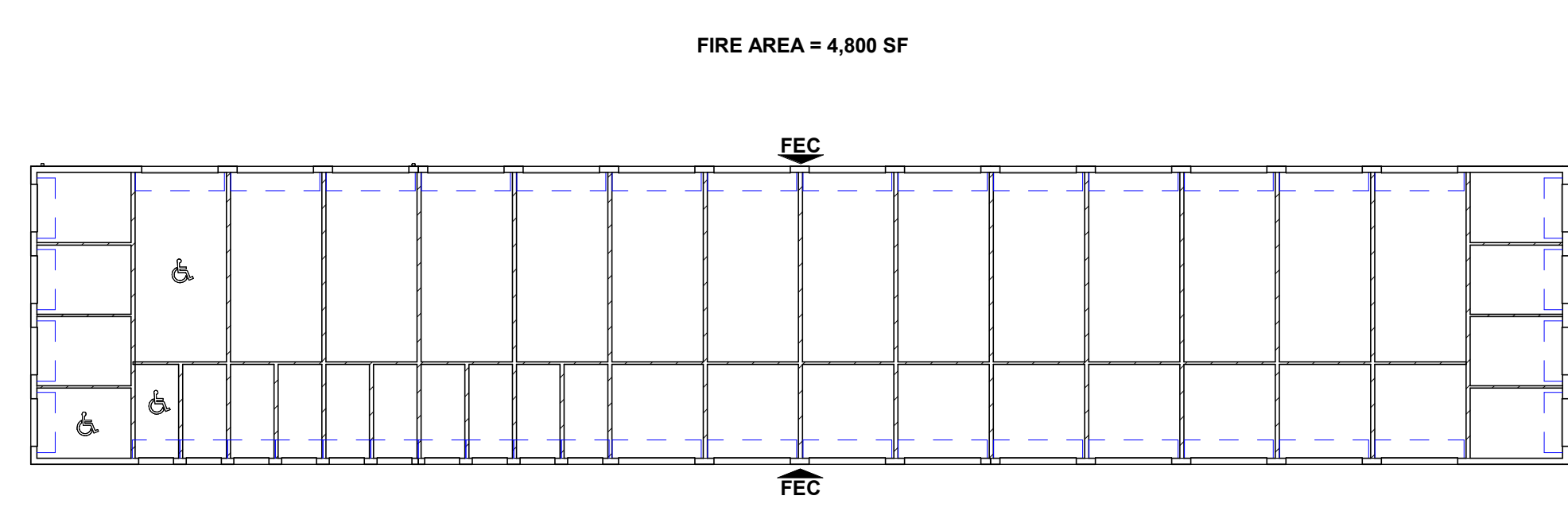
CODE SUMMARY	
Applicable Codes:	2021 Illinois Building Code* 2021 Illinois Fire Code 2020 Illinois Electrical Code 2021 Illinois Mechanical Code 2014 Illinois Plumbing Code 2021 Illinois Energy Conservation Code ICC/ANSI A117.1 - 2017 edition Codes referenced unless otherwise noted
Scope of Project:	Construction of five single story self storage buildings - Building "A" 4,800 sf, Building "B" 4,800 sf, Building "C" 4,200 sf, Building "D" 3,000 sf, Building "E" 3,000 sf. Work includes CMU masonry building system with standing seam metal roof. Interior walls are pre-finished metal liner panels. Concrete foundations and floor slab. The buildings are non conditioned.
Occupancy Classification:	Storage Units - Moderate Hazard Storage - S-1 Occupancy [314.2]
Construction Type:	Type II-B Construction permitted based upon allowable area and height [503.1]
Allowable Area for S-1 Occupancy:	Allowable Area: 17,500 sf [Table 503] Building A Actual Area: 4,800 sf Building B Actual Area: 4,800 sf Building C Actual Area: 4,200 sf Building D Actual Area: 3,000 sf Building E Actual Area: 3,000 sf
Allowable Height - Building Type A, B, C, D & E:	2 stories allowable [Table 503] 1 stories actual
Building Elements - Fire-resistive Requirements - Building Type A, B, C, D & E:	Structural frame, bearing walls, floors, and roof are required to be of 0-hour construction. [Table 601] Exterior walls are not required to be rated provided that the distance from the exterior walls to an assumed, or actual, property line is 10 feet or greater. [Table 602]
Maximum Area of Exterior Wall Openings:	Buildings where exterior bearing walls, exterior non-bearing walls and exterior structural frame are not required to be fire-resistive rated are permitted to have unlimited unprotected openings. [705.8.1 exc.2]
Occupant Load Factors:	Warehouse: 500 SF / occ. [Table 1004.1.2] Building A: 4,800sf / 500 sf person = 10 persons Building B: 4,800sf / 500 sf person = 10 persons Building C: 4,200sf / 500 sf person = 9 persons Building D: 3,000sf / 500 sf person = 6 persons Building E: 3,000sf / 500 sf person = 6 persons
Sprinkler System:	Each fire area is less than 5,000 SF. An automatic sprinkler system is not required and not being provided. [903.2]
Fire Alarm System:	Fire alarm system is not required to be provided.
Interior Finishes:	S-1 Occupancy Vertical Exits - B Corridors - B Rooms - C Class A - flame spread 0-25/smoke development 0-450 Class B - flame spread 26-75/smoke development 0-450 Class C - flame spread 75-200/smoke development 0-450 The building as designed complies with the above referenced code requirements and referenced codes



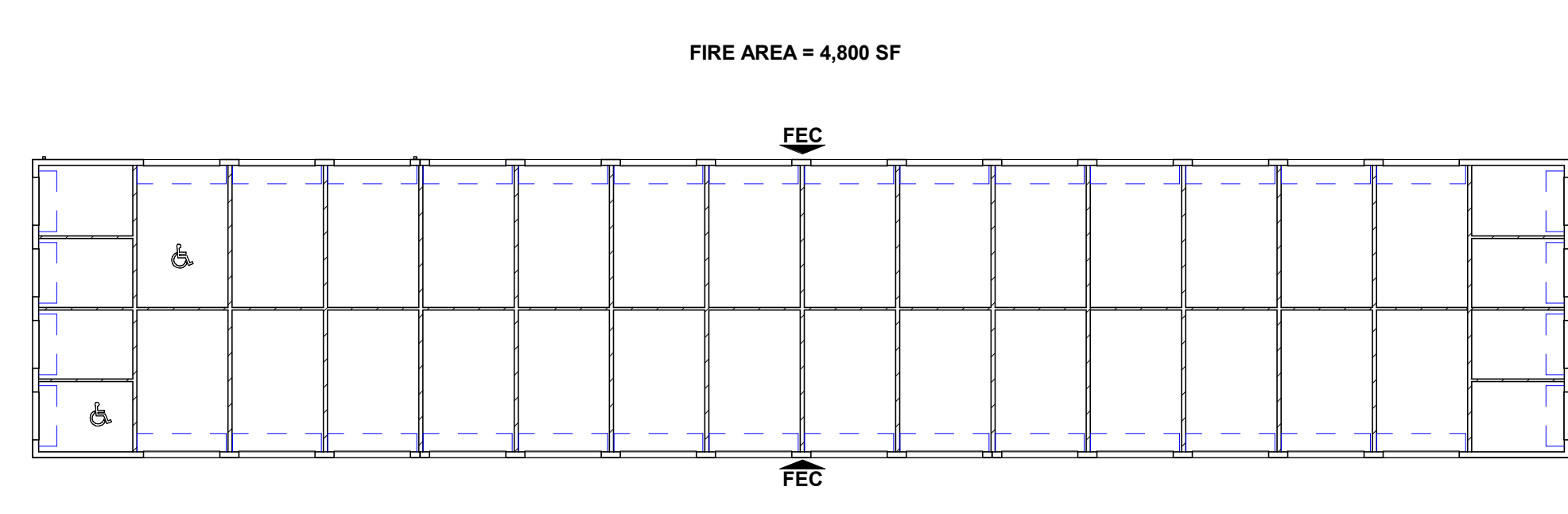
4 FIRST FLOOR PLAN - BUILDING D & E LIFE SAFETY
1/16" = 1'-0"



3 FIRST FLOOR PLAN - BUILDING C LIFE SAFETY
1/16" = 1'-0"



2 FIRST FLOOR PLAN - BUILDING B LIFE SAFETY
1/16" = 1'-0"

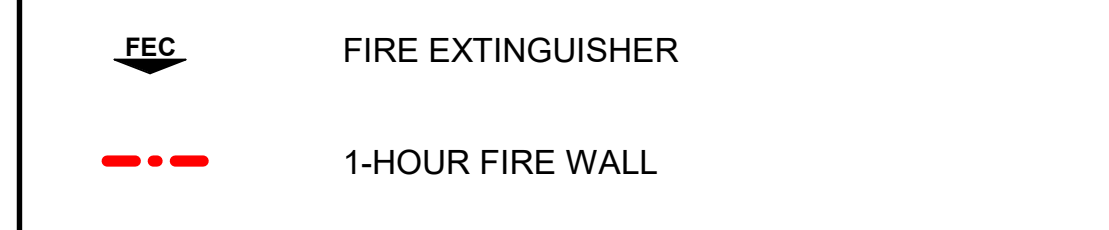


1 FIRST FLOOR PLAN - BUILDING A LIFE SAFETY
1/16" = 1'-0"

LIFE SAFETY PLAN NOTES

- V.I.F. WITH CITY OF NAPERVILLE FOR LOCATION AND SIZE AND TYPE OF PORTABLE FIRE EXTINGUISHERS ON ALL FLOORS.
- DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT A MIN. 34" AND A MAX. 48" ABOVE THE FINISH FLOOR.

LIFE SAFETY PLAN LEGEND



PERMIT SET
EXTRA SPACE STORAGE, INC.
EXR NAPERVILLE
STORAGE #1259
 1432 W OGDEN AVE. NAPERVILLE, IL 60563

#	Revision	Date
A2	CITY REVIEW COMMENTS	8/22/2024
A3	CITY REVIEW COMMENTS	11/15/2024

Project #: 23-700-262
 Designed By: TCH
 Drawn By: TCH
 Checked By: TCH / VT
 Date: 08.22.2024



Victoria Templeton

LIFE SAFETY DIAGRAM & CODE ANALYSIS

WALL TYPES & NOTES

ES4-DM	EXTERIOR METAL WALL PANELS ON WEATHER BARRIER ON 1/2" EXTERIOR GRADE SHEATHING ON LIGHT GAGE METAL STUDS AND INTERIOR METAL LINER PANEL		EM8	8" CMU EXTERIOR MASONRY FACADE	
S4-DM	INTERIOR METAL LINER PANEL ON LIGHT GAGE METAL STUDS TO DECK UNLESS NOTED OTHERWISE				
S2-DM	INTERIOR METAL LINER PANEL ON LIGHT GAGE METAL STUDS TO DECK UNLESS NOTED OTHERWISE				

GENERAL PLAN NOTES

- PLAN NOTES INDICATE ONE GRAPHIC REPRESENTATION TYPICAL. THE CONTRACTOR SHALL USE THE GRAPHIC REPRESENTATIONS FOR THE COUNT, NOT THE KEYED PLAN NOTES. THE ABSENCE OF A KEYED PLAN NOTE ON THE PLAN DOES NOT ABSOLVE THE CONTRACTOR FROM PROVIDING THE FEATURE GRAPHICALLY REPRESENTED ON THE DRAWING.
- ALL DIMENSIONS SHOWN ARE TO FACE OF STUD OR MASONRY, UNLESS NOTED OTHERWISE. DIMENSIONS DESIGNATED AS "CLR OR "CLEAR" INDICATE A CLEAR DIMENSION FROM FACE OF FINISH TO FACE OF FINISH. DIMENSIONS OF EXTERIOR WALLS ARE TO OUTSIDE EDGE OF FOUNDATION.
- ALL DOOR FRAMES ARE LOCATED 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE.
- SEAL ALL JOINTS BETWEEN DISSIMILAR MATERIALS.
- ALL GYPSUM WALLBOARD IS 5/8" TYPE "X", UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALLS ARE TYPE "EM8", UNLESS NOTED OTHERWISE.
- ALL INTERIOR WALLS ARE TYPE "S4-DM" (3 5/8" METAL STUD TO DECK, WITH 1 1/2" METAL LINER PANELS HELD TO DECK UNLESS NOTED OTHERWISE).
- BASE ELEVATION VARIES (UNITED STATES GEOLOGICAL SURVEY DATA). COORDINATE WITH CIVIL DRAWINGS
- DRAWINGS ESTABLISH THE DESIGN INTENT OF WORK TO BE PERFORMED. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HIGHEST INDUSTRY STANDARDS. ALL PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL TRADES SHALL CAREFULLY COORDINATE WORK OF ALL OTHER TRADES. ANY DISCREPANCIES OR CONFLICTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT AND THE OWNER PRIOR TO FABRICATION OR INSTALLATION.
- CONTRACTORS SHALL BE RESPONSIBLE FOR CHECKING THE CONTRACT DOCUMENTS FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, PLUMBING, AND LANDSCAPING. CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS AND FOR VERIFYING THEM WITH THE CONTRACT DOCUMENTS. ANY DISCREPANCY IN THE CONTRACT DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE NOTICE OF THE ARCHITECT PRIOR TO ANY FABRICATION OR CONSTRUCTION.
- UNIT NUMBER PLAQUES TO BE INSTALLED DIRECTLY CENTERED ABOVE UNIT DOOR. INSTALL WITH SELF-ADHESIVE BACKS. ALL WEATHER LIQUID NAILS, OR SCREW, SUPPLIED AND INSTALLED BY CONTRACTOR. UNIT NUMBERING SEQUENCE PLANS TO BE CREATED BY EXTRA SPACE STORAGE.
- ALL BUILDING MATERIALS (INCLUDING BUT NOT LIMITED TO METAL FLASHING, VAPOR BARRIERS, AIR/WATER RESISTANT BARRIERS, THRU-WALL FLASHING, ETC.) SHALL BE LAPPED TO SHED WATER TO THE OUTSIDE OF THE BUILDING ENVELOPE.
- SEE STRUCTURAL FOR CONTROL/EXPANSION JOINT LOCATIONS.
- SLOPE CONCRETE SLABS TO FLOOR DRAINS AT 1/16" MIN. PER FT.
- SUFFIXES WITHIN SPECIFICATION REFERENCES (i.e. 10 11 33.XX or 10 11 33.A1) IN THE DRAWINGS CAN BE IGNORED. THESE SUFFIXES ARE A SORTING MECHANISM USED IN PREPARING THESE DRAWINGS.
- ALL ROUGH OPENINGS (R.O.) SHALL BE VERIFIED WITH SELECTED WINDOW AND DOOR MANUFACTURER. ANY CHANGES FROM THE BASIS OF DESIGN WILL BE COORDINATED WITH ALL TRADES AND ROUGH OPENINGS ADJUSTED AS REQUIRED. ANY DISCREPANCIES FOUND WILL BE BROUGHT TO THE ARCHITECT PRIOR TO CONSTRUCTION. ANY CHANGES AND REVISIONS WILL BE DONE AT CONTRACTORS EXPENSE.
- BUILDING ENVELOPE CONTINUITY WILL BE MONITORED BY A COMMISSIONING AGENT. TRANSITIONS BETWEEN BUILDING SYSTEMS (I.E. ROOF TO WALL, CURTAINWALL TO EXTERIOR WALL, ETC) SHALL INCLUDE CONTINUOUS AIRTIGHT AIR BARRIER SYSTEM. ALL PENETRATIONS IN THE BUILDING ENVELOPE (INCLUDING WINDOWS, DOORS, STOREFRONT, ETC.) SHALL BE SEALED WITH AIR TIGHT WEATHER SEALS. AT ANY LOCATION WHERE MASONRY TIES OR OTHER MATERIALS PENETRATE THE AIR BARRIER, EACH PENETRATION SHALL BE SEALED AIRTIGHT.



PERMIT SET
EXTRA SPACE STORAGE, INC.
EXR NAPERVILLE
STORAGE #1259
 1432 W OGDEN AVE. NAPERVILLE, IL 60563

#	Revision	Date
A2	CITY REVIEW COMMENTS	8/22/2024

Project #: 23-700-262
 Designed By: TCH
 Drawn By: TCH
 Checked By: TCH / VT
 Date: 08.22.2024



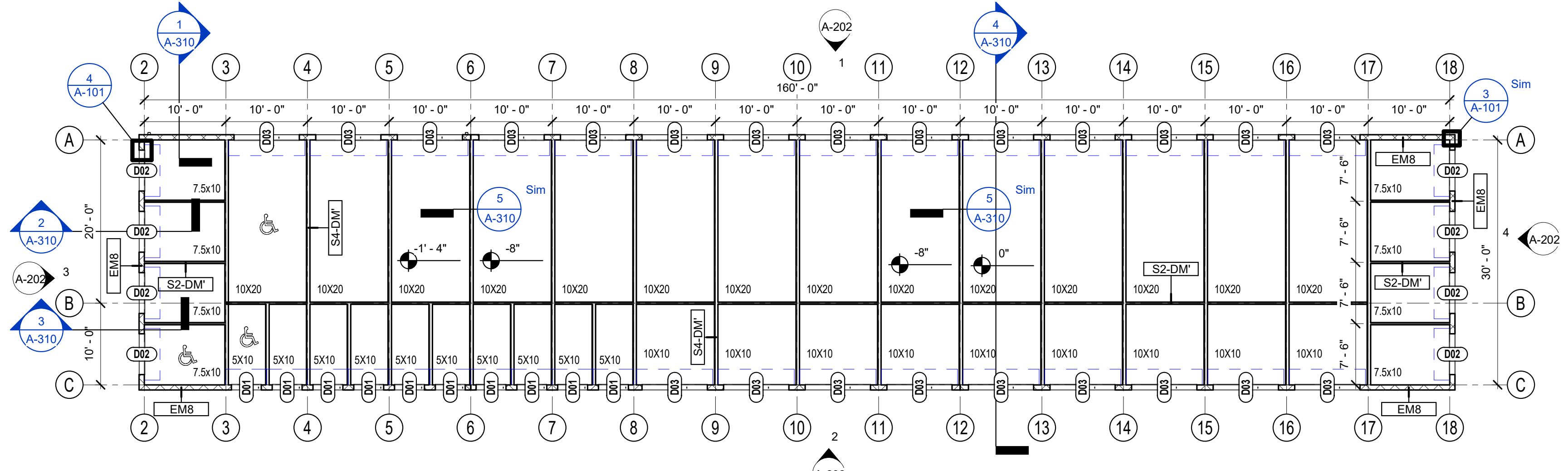
Victoria Dawn Templeton

BUILDING - FIRST FLOOR PLANS - BUILDING A AND B

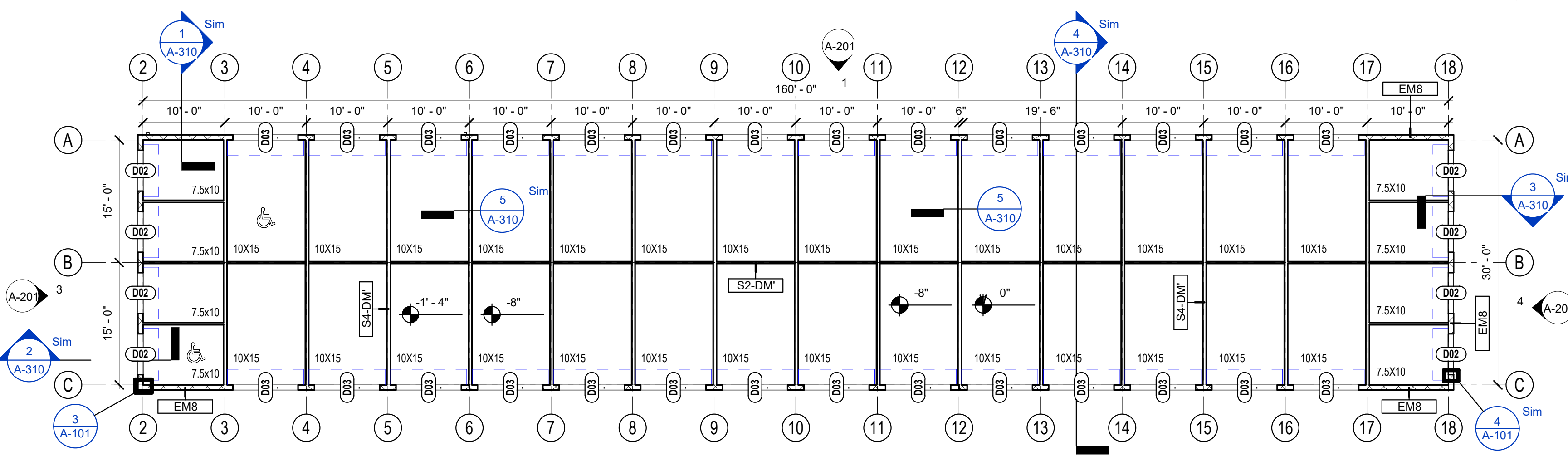
A-101

FRAMING NOTES

- SUBCONTRACTORS TO USE THE SMALLEST PENETRATIONS POSSIBLE AND TO PROPERLY SEAL ALL OF THEIR PENETRATIONS THROUGH EXTERIOR AND PARTY WALLS, AND THROUGH ALL FLOORS AND CEILINGS USING A SPRAY FOAM, MASTIC OR CAULK, TO INCLUDE BUT NOT LIMITED TO PLUMBING, ELECTRICAL, DUCTS, SHAFTS AND LIGHT FIXTURES. USE FIRE RATED CAULK AND/OR COLLARS WHERE NECESSARY TO MAINTAIN FIRE RATING
- CAULK PERIMETER AND PARTY WALL SILL AND TOP PLATES TO PREVENT AIR LEAKAGE.

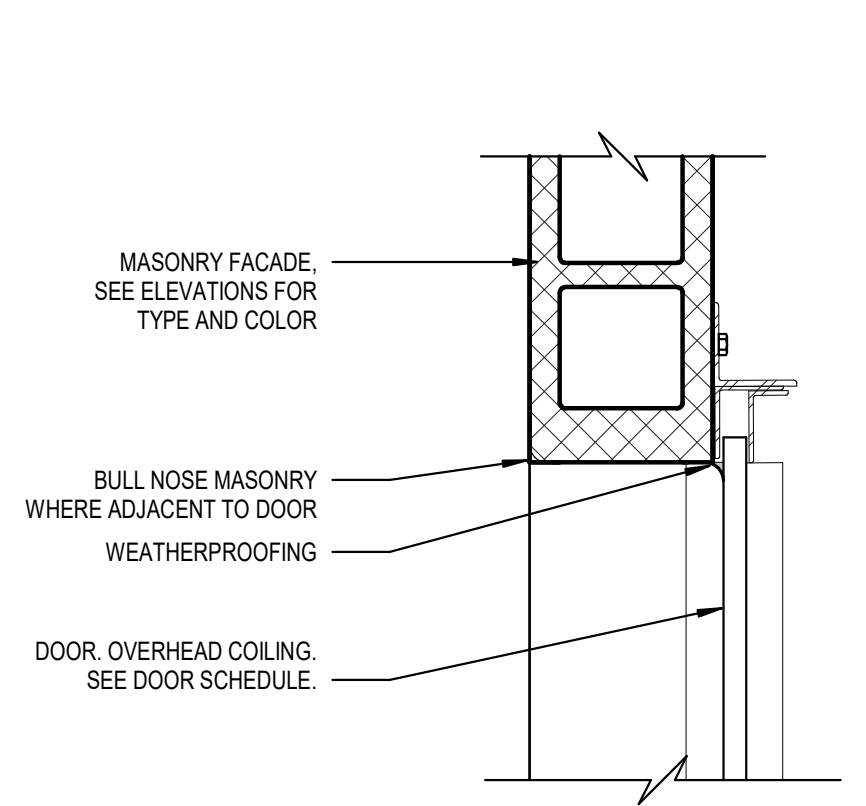


2 FIRST FLOOR PLAN - BUILDING B
 3/32" = 1'-0"

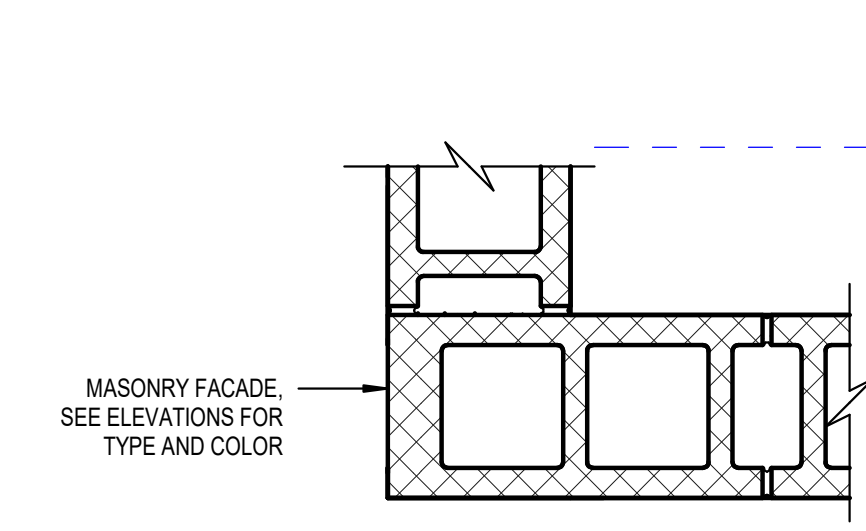


1 FIRST FLOOR PLAN - BUILDING A
 3/32" = 1'-0"

5 MASONRY TO MWP DETAIL
 1 1/2" = 1'-0"



4 DOOR JAMB DETAIL - MASONRY
 1 1/2" = 1'-0"



3 DETAIL - TYPICAL CORNER TRANSITION
 1 1/2" = 1'-0"



WALL TYPES & NOTES

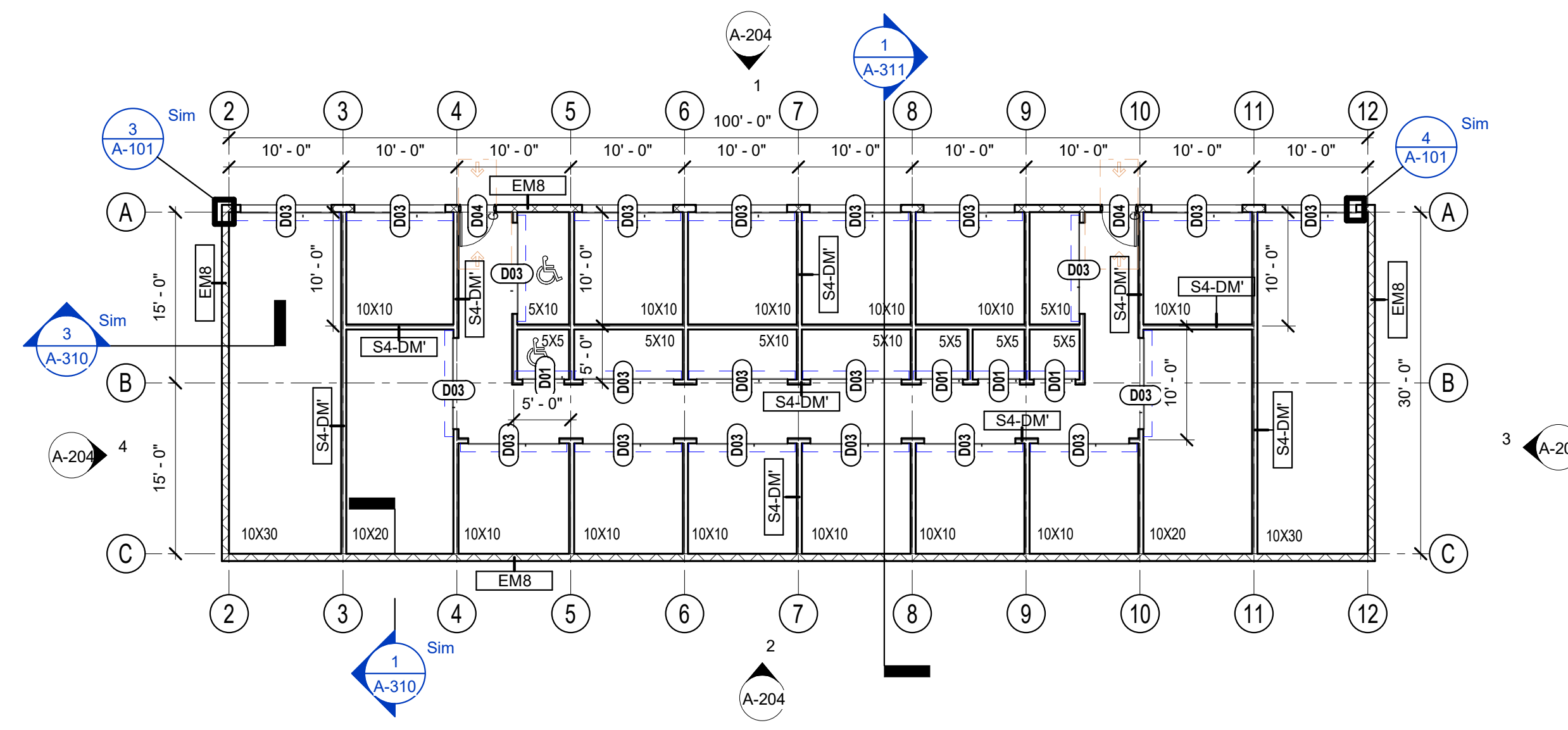
ES4-DM	EXTERIOR METAL WALL PANELS ON WEATHER BARRIER ON 1/2" EXTERIOR GRADE SHEATHING ON LIGHT GAGE METAL STUDS AND INTERIOR METAL LINER PANEL		EM8	8" CMU EXTERIOR MASONRY FACADE	
S4-DM	INTERIOR METAL LINER PANEL ON LIGHT GAGE METAL STUDS TO DECK UNLESS NOTED OTHERWISE				
S2-DM	INTERIOR METAL LINER PANEL ON LIGHT GAGE METAL STUDS TO DECK UNLESS NOTED OTHERWISE				

GENERAL PLAN NOTES

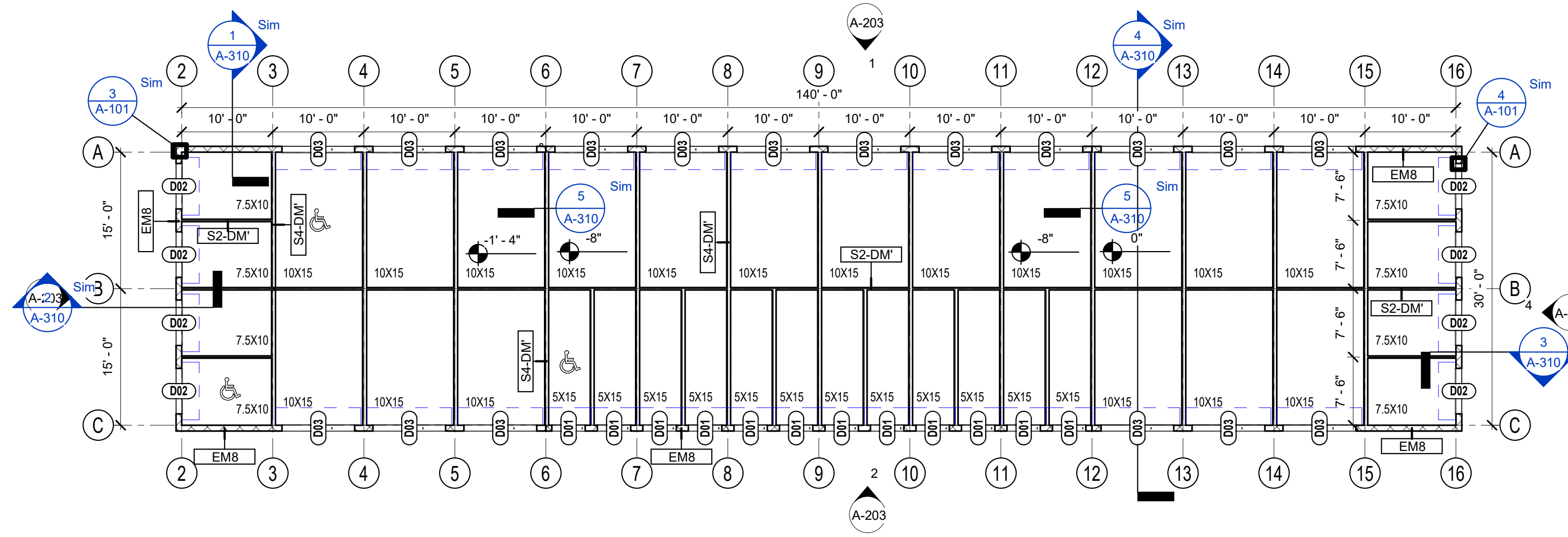
- PLAN NOTES INDICATE ONE GRAPHIC REPRESENTATION TYPICAL. THE CONTRACTOR SHALL USE THE GRAPHIC REPRESENTATIONS FOR THE COUNT. NOT THE KEYPED PLAN NOTES. THE ABSENCE OF A KEYPED PLAN NOTE ON THE PLAN DOES NOT ABSOLVE THE CONTRACTOR FROM PROVIDING THE FEATURE GRAPHICALLY REPRESENTED ON THE DRAWING.
- ALL DIMENSIONS SHOWN ARE TO FACE OF STUD OR MASONRY, UNLESS NOTED OTHERWISE. DIMENSIONS DESIGNATED AS "CLR OR "CLEAR" INDICATE A CLEAR DIMENSION FROM FACE OF FINISH TO FACE OF FINISH. DIMENSIONS OF EXTERIOR WALLS ARE TO OUTSIDE EDGE OF FOUNDATION.
- ALL DOOR FRAMES ARE LOCATED 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE.
- SEAL ALL JOINTS BETWEEN DISSIMILAR MATERIALS.
- ALL GYPSUM WALLBOARD IS 5/8" TYPE "X", UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALLS ARE TYPE "EM8", UNLESS NOTED OTHERWISE.
- ALL INTERIOR WALLS ARE TYPE "S4-DM" (3 5/8" METAL STUD TO DECK, WITH 1 1/2" METAL LINER PANELS HELD TO DECK UNLESS NOTED OTHERWISE).
- BASE ELEVATION VARIES (UNITED STATES GEOLOGICAL SURVEY DATA). COORDINATE WITH CIVIL DRAWINGS
- DRAWINGS ESTABLISH THE DESIGN INTENT OF WORK TO BE PERFORMED. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HIGHEST INDUSTRY STANDARDS. ALL PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL TRADES SHALL CAREFULLY COORDINATE WORK OF ALL OTHER TRADES. ANY DISCREPANCIES OR CONFLICTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT AND THE OWNER PRIOR TO FABRICATION OR INSTALLATION.
- CONTRACTORS SHALL BE RESPONSIBLE FOR CHECKING THE CONTRACT DOCUMENTS FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, PLUMBING, AND LANDSCAPING. CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS AND FOR VERIFYING THEM WITH THE CONTRACT DOCUMENTS. ANY DISCREPANCY IN THE CONTRACT DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE NOTICE OF THE ARCHITECT PRIOR TO ANY FABRICATION OR CONSTRUCTION.
- UNIT NUMBER PLAQUES TO BE INSTALLED DIRECTLY CENTERED ABOVE UNIT DOOR. INSTALL WITH SELF-ADHESIVE BACKS. ALL WEATHER LIQUID NAILS, OR SCREW, SUPPLIED AND INSTALLED BY CONTRACTOR. UNIT NUMBERING SEQUENCE PLANS TO BE CREATED BY EXTRA SPACE STORAGE.
- ALL BUILDING MATERIALS (INCLUDING BUT NOT LIMITED TO METAL FLASHING, VAPOR BARRIERS, AIR/WATER RESISTANT BARRIERS, THRU-WALL FLASHING, ETC.) SHALL BE LAPPED TO SHED WATER TO THE OUTSIDE OF THE BUILDING ENVELOPE.
- SEE STRUCTURAL FOR CONTROL/EXPANSION JOINT LOCATIONS.
- SLOPE CONCRETE SLABS TO FLOOR DRAINS AT 1/16" MIN. PER FT.
- SUFFIXES WITHIN SPECIFICATION REFERENCES (i.e. 10 11 33.XX or 10 11 33 A1) IN THE DRAWINGS CAN BE IGNORED. THESE SUFFIXES ARE A SORTING MECHANISM USED IN PREPARING THESE DRAWINGS.
- ALL ROUGH OPENINGS (R.O.) SHALL BE VERIFIED WITH SELECTED WINDOW AND DOOR MANUFACTURER. ANY CHANGES FROM THE BASIS OF DESIGN WILL BE COORDINATED WITH ALL TRADES AND ROUGH OPENINGS ADJUSTED AS REQUIRED. ANY DISCREPANCIES FOUND WILL BE BROUGHT TO THE ARCHITECT PRIOR TO CONSTRUCTION. ANY CHANGES AND REVISIONS WILL BE DONE AT CONTRACTORS EXPENSE.
- BUILDING ENVELOPE CONTINUITY WILL BE MONITORED BY A COMMISSIONING AGENT. TRANSITIONS BETWEEN BUILDING SYSTEMS (I.E. ROOF TO WALL, CURTAINWALL TO EXTERIOR WALL, ETC) SHALL INCLUDE CONTINUOUS AIRTIGHT AIR BARRIER SYSTEM. ALL PENETRATIONS IN THE BUILDING ENVELOPE (INCLUDING WINDOWS, DOORS, STOREFRONT, ETC.) SHALL BE SEALED WITH AIR TIGHT WEATHER SEALS. AT ANY LOCATION WHERE MASONRY TIES OR OTHER MATERIALS PENETRATE THE AIR BARRIER, EACH PENETRATION SHALL BE SEALED AIRTIGHT.

FRAMING NOTES

- SUBCONTRACTORS TO USE THE SMALLEST PENETRATIONS POSSIBLE AND TO PROPERLY SEAL ALL OF THEIR PENETRATIONS THROUGH EXTERIOR AND PARTY WALLS, AND THROUGH ALL FLOORS AND CEILINGS USING A SPRAY FOAM, MASTIC OR CAULK, TO INCLUDE BUT NOT LIMITED TO PLUMBING, ELECTRICAL, DUCTS, SHAFTS AND LIGHT FIXTURES. USE FIRE RATED CAULK AND/OR COLLARS WHERE NECESSARY TO MAINTAIN FIRE RATING
- CAULK PERIMETER AND PARTY WALL SILL AND TOP PLATES TO PREVENT AIR LEAKAGE.



2 FIRST FLOOR PLAN - BUILDING D AND E
3/32" = 1'-0"



1 FIRST FLOOR PLAN - BUILDING C
3/32" = 1'-0"

#	Revision	Date
A2	CITY REVIEW COMMENTS	8/22/2024

Project #: 23-700-262
Designed By: TCH
Drawn By: TCH
Checked By: TCH / VT
Date: 08.22.2024



Victoria Dawn Templeton

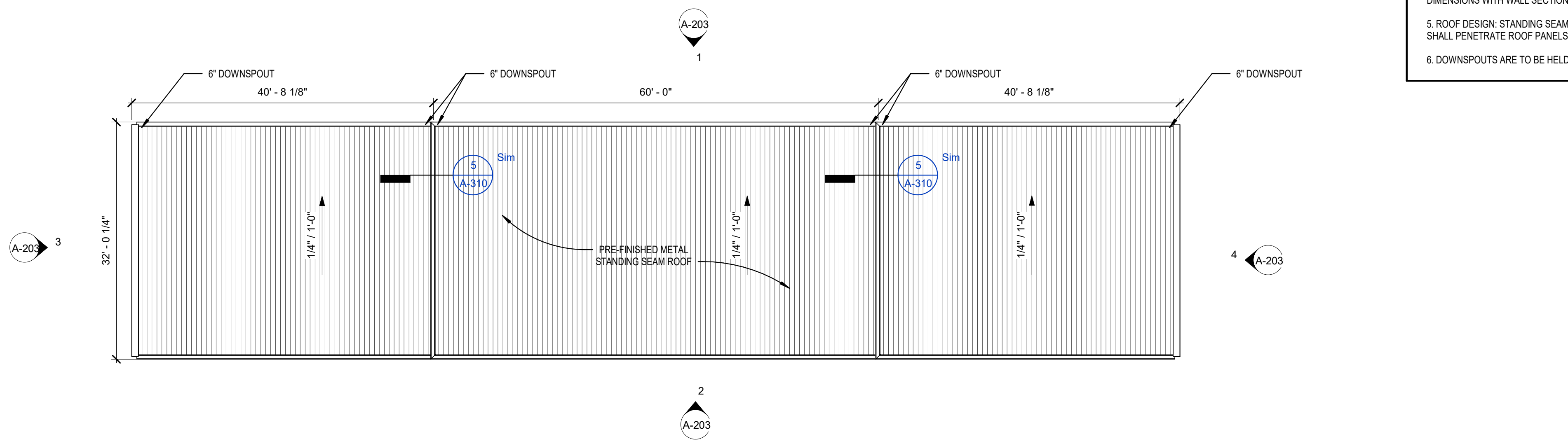
ROOF NOTES

1. INSTALL INSULATION AND ROOFING MATERIALS INCLUDING ALL FLASHING, FASTENERS, ADHESIVES, TAPES, CEMENTS, SEALANTS, ETC. IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
2. DURING INSTALLATION ALL INSTALLED MATERIALS ARE TO BE PROTECTED FROM WEATHER AT ALL TIMES.
3. VERIFY LOCATIONS AND QUANTITY OF ALL ROOF PENETRATIONS, I.E. EXHAUST FANS, EXHAUST VENTS AND SANITARY VENTS WITH ALL DRAWINGS PRIOR TO ROOF INSTALLATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
4. OVERALL ROOF DIMENSIONS ARE FOR ESTIMATION PURPOSES ONLY, VERIFY OVERHANG DIMENSIONS WITH WALL SECTIONS.
5. ROOF DESIGN: STANDING SEAM PREFINISHED METAL ROOF (CLASS A). NO SCREWS OR FASTENERS SHALL PENETRATE ROOF PANELS WITHIN THE BUILDING ENVELOPE.
6. DOWNSPOUTS ARE TO BE HELD 48" ABOVE EXTERIOR GRADE UNLESS NOTED OTHERWISE.

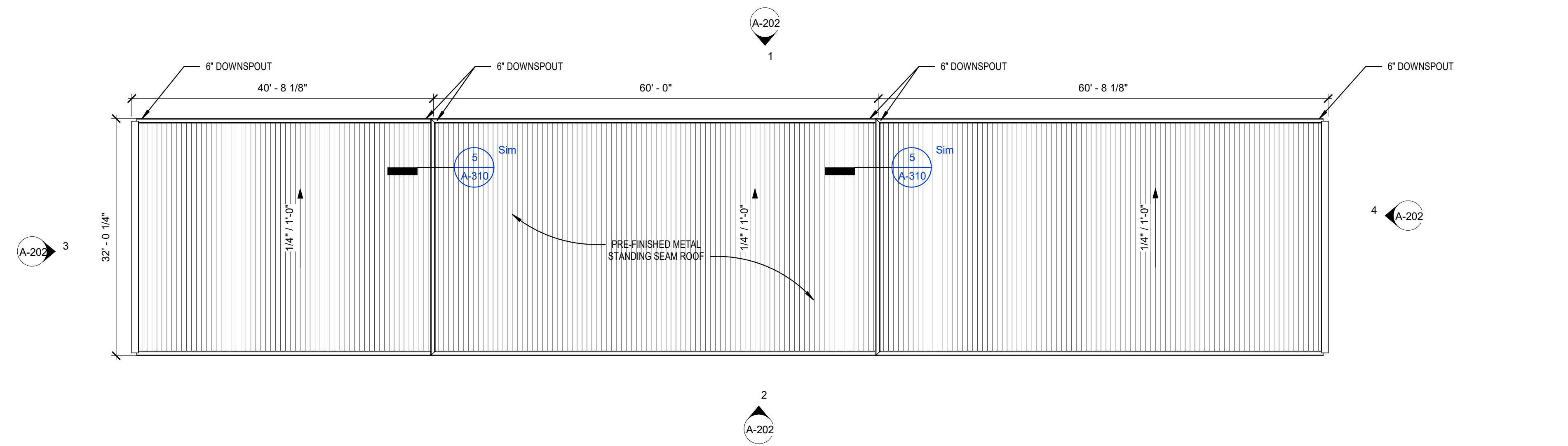
RQAW

DCCM

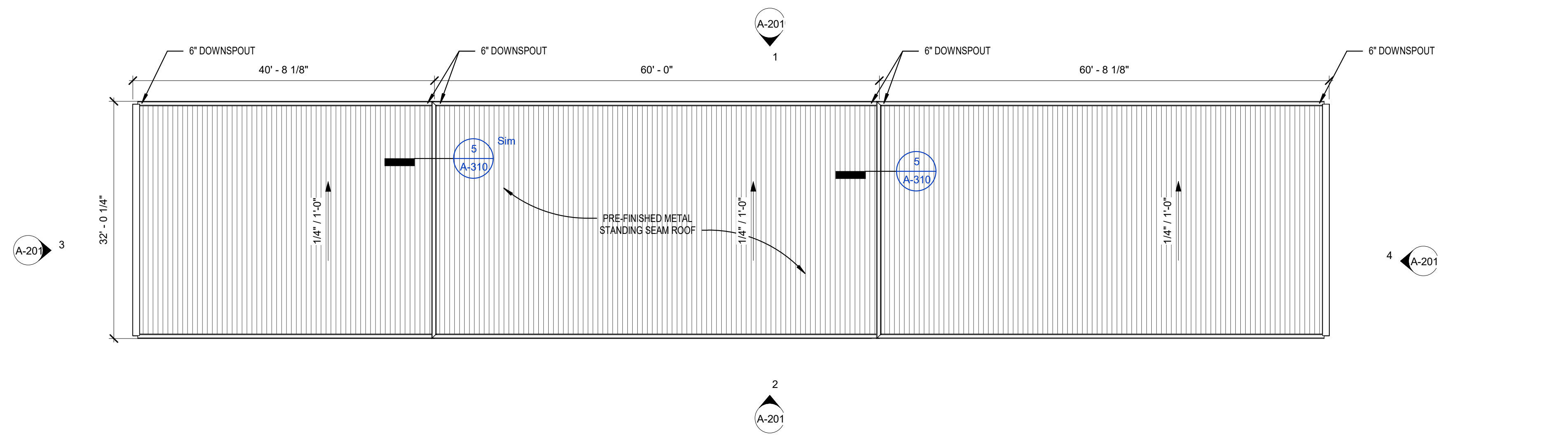
PERMIT SET
 EXTRA SPACE STORAGE, INC.
EXR NAPERVILLE
STORAGE #1259
 1432 W OGDEN AVE. NAPERVILLE, IL 60563



3 BUILDING C - ROOF PLAN
 3/32" = 1'-0"



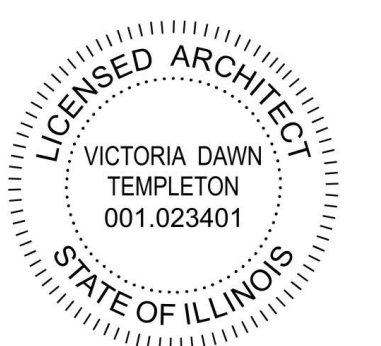
2 BUILDING B - ROOF PLAN
 3/32" = 1'-0"



1 BUILDING A - ROOF PLAN
 3/32" = 1'-0"

#	Revision	Date
A2	CITY REVIEW COMMENTS	8/22/2024

Project #: 23-700-262
 Designed By: TCH
 Drawn By: TCH
 Checked By: TCH / VT
 Date: 08.22.2024



Victoria Templeton

BUILDING - ROOF PLANS

ROOF NOTES

- 1. INSTALL INSULATION AND ROOFING MATERIALS INCLUDING ALL FLASHING, FASTENERS, ADHESIVES, TAPES, CEMENTS, SEALANTS, ETC. IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
- 2. DURING INSTALLATION ALL INSTALLED MATERIALS ARE TO BE PROTECTED FROM WEATHER AT ALL TIMES.
- 3. VERIFY LOCATIONS AND QUANTITY OF ALL ROOF PENETRATIONS, I.E. EXHAUST FANS, EXHAUST VENTS AND SANITARY VENTS WITH ALL DRAWINGS PRIOR TO ROOF INSTALLATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- 4. OVERALL ROOF DIMENSIONS ARE FOR ESTIMATION PURPOSES ONLY, VERIFY OVERHANG DIMENSIONS WITH WALL SECTIONS.
- 5. ROOF DESIGN: STANDING SEAM PREFINISHED METAL ROOF (CLASS A). NO SCREWS OR FASTENERS SHALL PENETRATE ROOF PANELS WITHIN THE BUILDING ENVELOPE.
- 6. DOWNSPOUTS ARE TO BE HELD 48" ABOVE EXTERIOR GRADE UNLESS NOTED OTHERWISE.

RQAW

DCCM

PERMIT SET
 EXTRA SPACE STORAGE, INC.
EXR NAPERVILLE
STORAGE #1259
 1432 W OGDEN AVE. NAPERVILLE, IL 60563

#	Revision	Date
A2	CITY REVIEW COMMENTS	8/22/2024

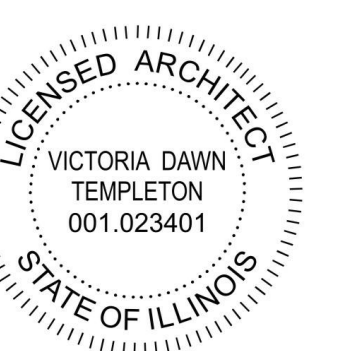
Project #: 23-700-262

Designed By: TCH

Drawn By: TCH

Checked By: TCH / VT

Date: 08.22.2024

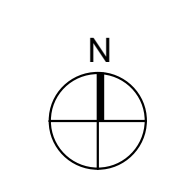
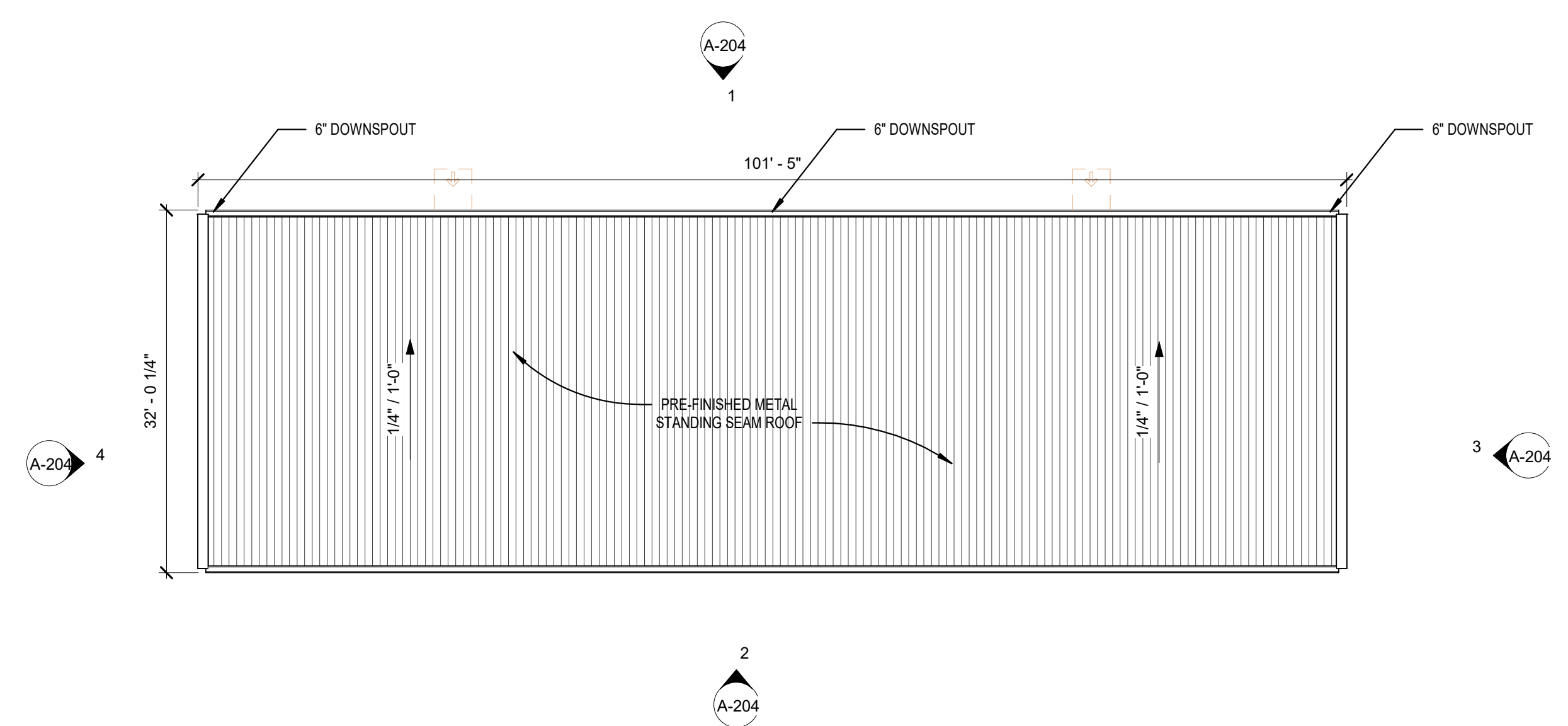


Victoria Templeton

BUILDING - ROOF PLANS

A-104

1 BUILDING D&E - ROOF PLAN
 3/32" = 1'-0"



EXTERIOR COLORS	
C1	SHERWIN WILLIAMS - 7063 NEBULOUS WHITE
C2	SHERWIN WILLIAMS - 7065 ARGOS
C3	SHERWIN WILLIAMS - 7067 CITYSCAPE

ELEVATION NOTES	
Key	Note
1	PRE-FINISHED METAL WALL PANELS - COLOR C1
2	PRE-FINISHED METAL RAKE TRIM, 6" - COLOR C3
3	PRE-FINISHED METAL GUTTER, 6" - COLOR C3
4	PRE-FINISHED METAL DOWNSPOUTS, 6" PLAIN SQUARE WITH STEEL ELBOW (A) STYLE HELD 48" AFF UNLESS NOTED OTHERWISE - COLOR C3
5	PRE-FINISHED METAL COPING - COLOR C3
6	PRE-FINISHED OVERHEAD DOOR - COLOR C2
7	CMU WALL BAND - COLOR C2
8	CMU WALL BANDS - COLOR C3
9	WALL MOUNTED EXTERIOR WALL PACK LIGHT (W/CUT-OFF SHIELD) SEE ELECTRICAL DRAWINGS FOR MOUNTING HEIGHT AND POWER REQUIREMENTS



PERMIT SET
 EXTRA SPACE STORAGE, INC.
 EXR NAPERVILLE
 STORAGE #1259
 1432 W OGDEN AVE. NAPERVILLE, IL 60563

#	Revision	Date
A2	CITY REVIEW COMMENTS	8/22/2024
A3	CITY REVIEW COMMENTS	11/15/2024

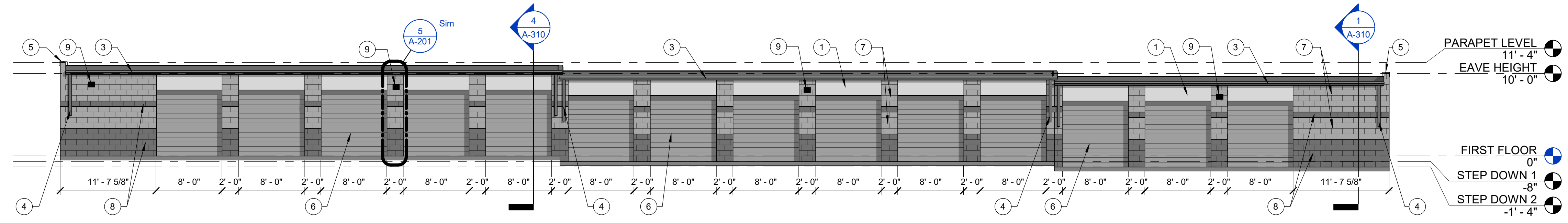
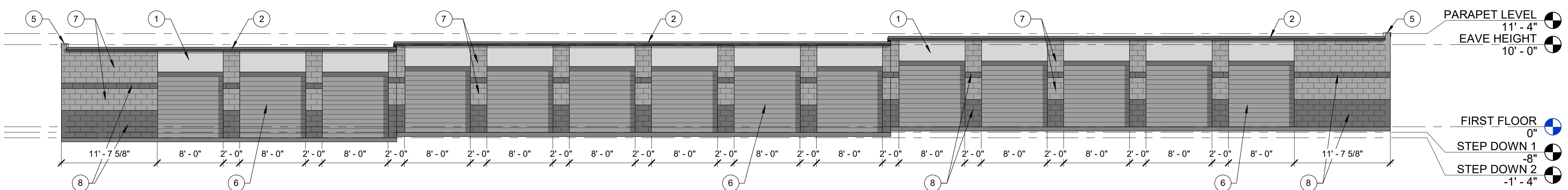
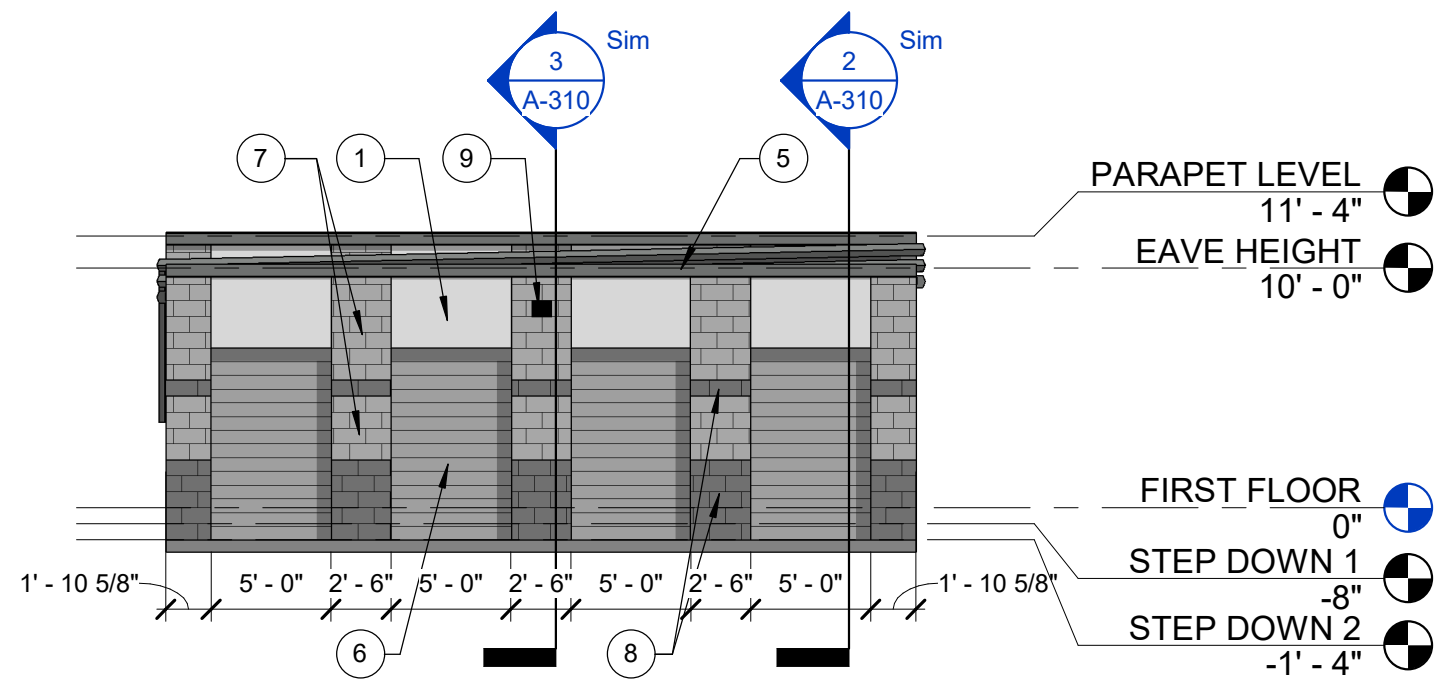
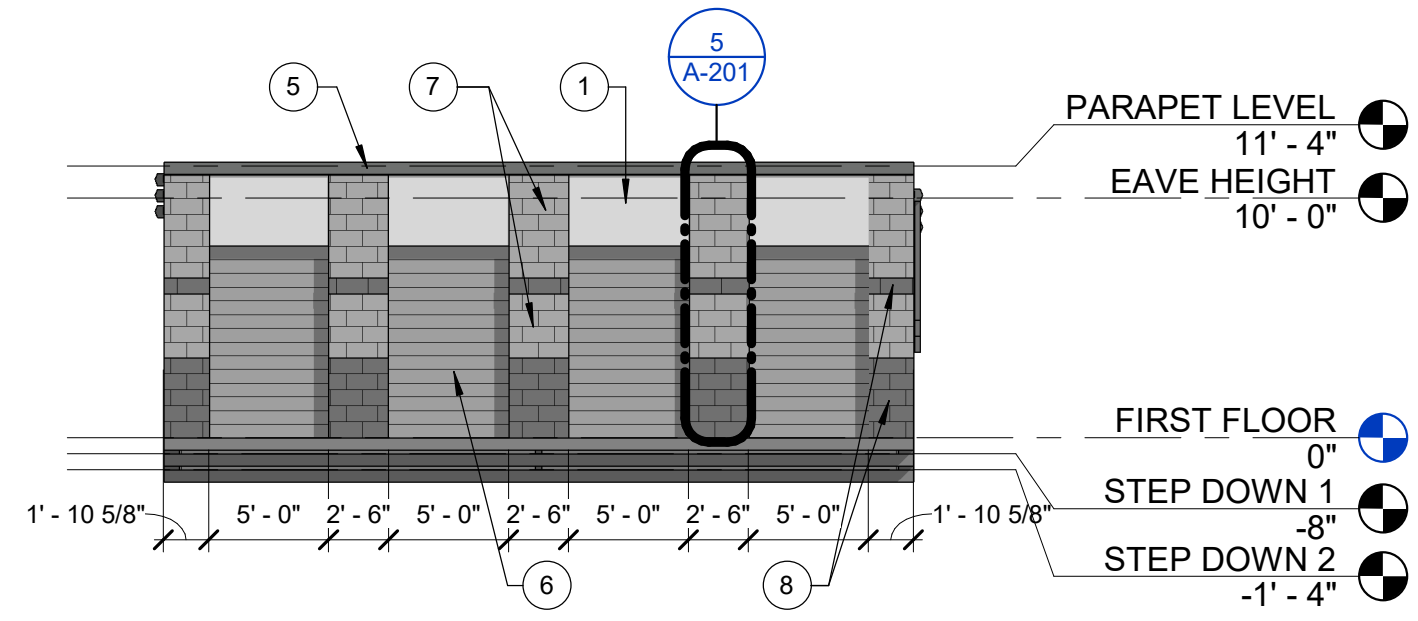
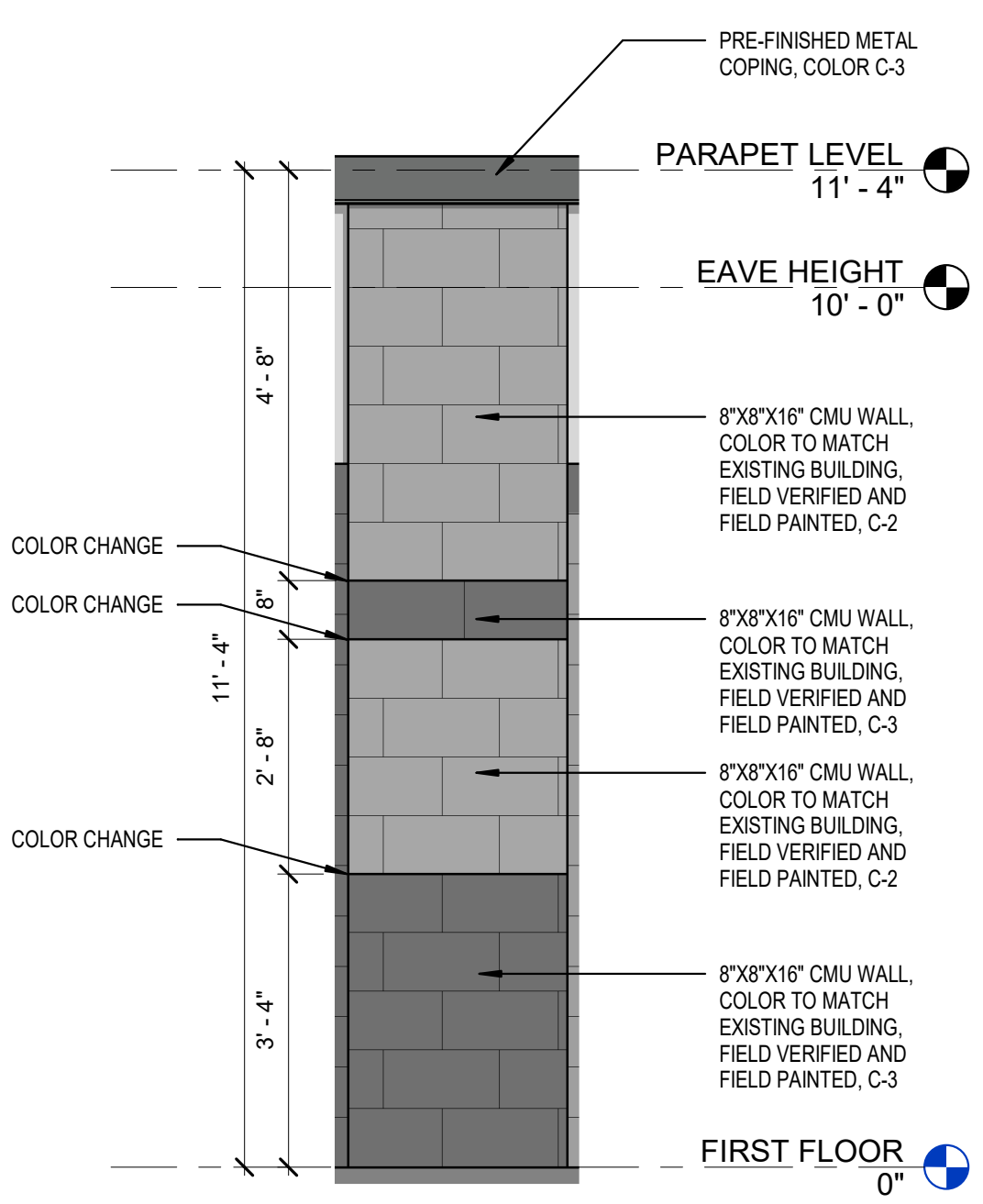
Project #: 23-700-262
 Designed By: TCH
 Drawn By: TCH
 Checked By: TCH / VT
 Date: 08.22.2024



Victoria Templeton

BUILDING A - ELEVATIONS

A-201



5

4

3

2

1

EXTERIOR COLORS

C1 SHERWIN WILLIAMS - 7063 NEBULOUS WHITE
C2 SHERWIN WILLIAMS - 7065 ARGOS
C3 SHERWIN WILLIAMS - 7067 CITYSCAPE

ELEVATION NOTES

Key	Note
1	PRE-FINISHED METAL WALL PANELS - COLOR C1
2	PRE-FINISHED METAL RAKE TRIM, 6" - COLOR C3
3	PRE-FINISHED METAL GUTTER, 6" - COLOR C3
4	PRE-FINISHED METAL DOWNSPOUTS, 6" PLAIN SQUARE WITH STEEL ELBOW (A) STYLE HELD 48" AFF UNLESS NOTED OTHERWISE - COLOR C3
5	PRE-FINISHED METAL COPING - COLOR C3
6	PRE-FINISHED OVERHEAD DOOR - COLOR C2
7	CMU WALL BAND - COLOR C2
8	CMU WALL BANDS - COLOR C3
9	WALL MOUNTED EXTERIOR WALL PACK LIGHT (W/CUT-OFF SHIELD) SEE ELECTRICAL DRAWINGS FOR MOUNTING HEIGHT AND POWER REQUIREMENTS

RQAW

DCCM

PERMIT SET

EXTRA SPACE STORAGE, INC.
EXR NAPERVILLE
STORAGE #1259

1432 W OGDEN AVE. NAPERVILLE, IL 60563

#	Revision	Date
A1	Addendum 01	12/28/2023
A2	CITY REVIEW COMMENTS	8/22/2024
A3	CITY REVIEW COMMENTS	11/15/2024

Project #: 23-700-262

Designed By: TCH

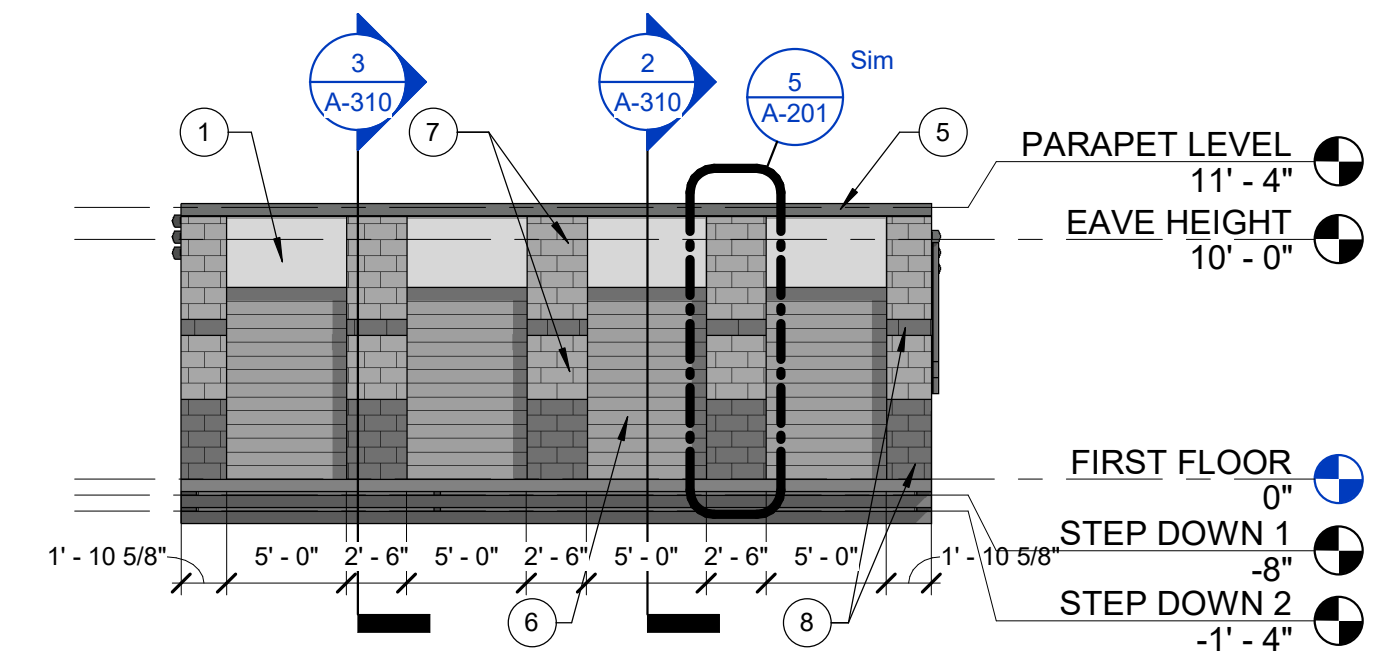
Drawn By: TCH

Checked By: TCH / VT

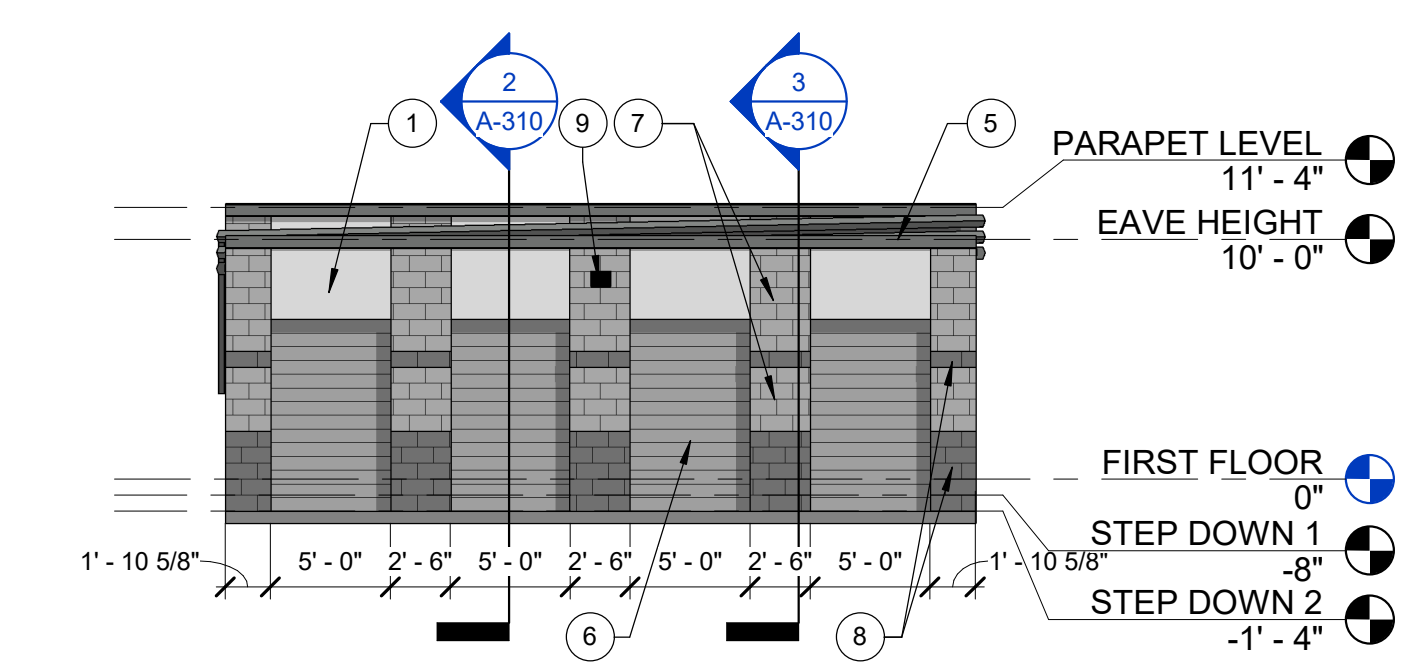
Date: 08.22.2024



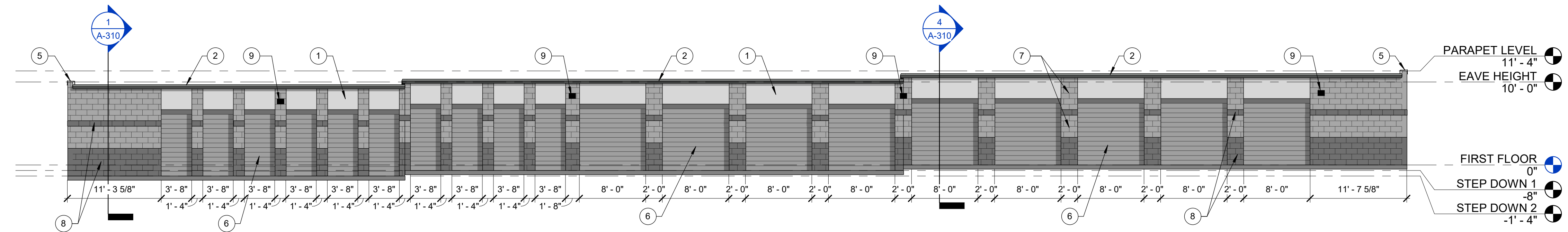
Victoria Templeton



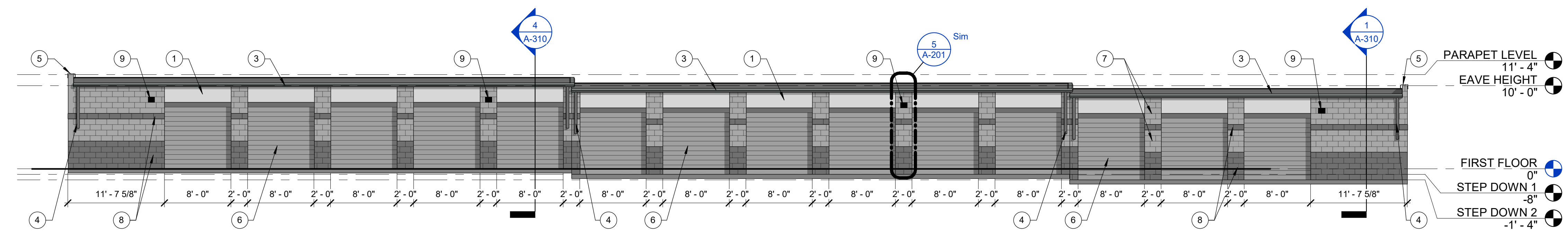
4 BUILDING B - NORTH ELEVATION
1/8" = 1'-0"



3 BUILDING B - SOUTH ELEVATION
1/8" = 1'-0"



2 BUILDING B - EAST ELEVATION
1/8" = 1'-0"



1 BUILDING B - WEST ELEVATION
1/8" = 1'-0"

BUILDING B -
ELEVATIONS

A-202

EXTERIOR COLORS	
C1	SHERWIN WILLIAMS - 7063 NEBULOUS WHITE
C2	SHERWIN WILLIAMS - 7065 ARGOS
C3	SHERWIN WILLIAMS - 7067 CITYSCAPE

ELEVATION NOTES	
Key	Note
1	PRE-FINISHED METAL WALL PANELS - COLOR C1
2	PRE-FINISHED METAL RAKE TRIM, 6" - COLOR C3
3	PRE-FINISHED METAL GUTTER, 6" - COLOR C3
4	PRE-FINISHED METAL DOWNSPOUTS, 6" PLAIN SQUARE WITH STEEL ELBOW (A) STYLE HELD 48" AFF UNLESS NOTED OTHERWISE - COLOR C3
5	PRE-FINISHED METAL COPING - COLOR C3
6	PRE-FINISHED OVERHEAD DOOR - COLOR C2
7	CMU WALL BAND - COLOR C2
8	CMU WALL BANDS - COLOR C3
9	WALL MOUNTED EXTERIOR WALL PACK LIGHT (W/OUT-OFF SHIELD) SEE ELECTRICAL DRAWINGS FOR MOUNTING HEIGHT AND POWER REQUIREMENTS



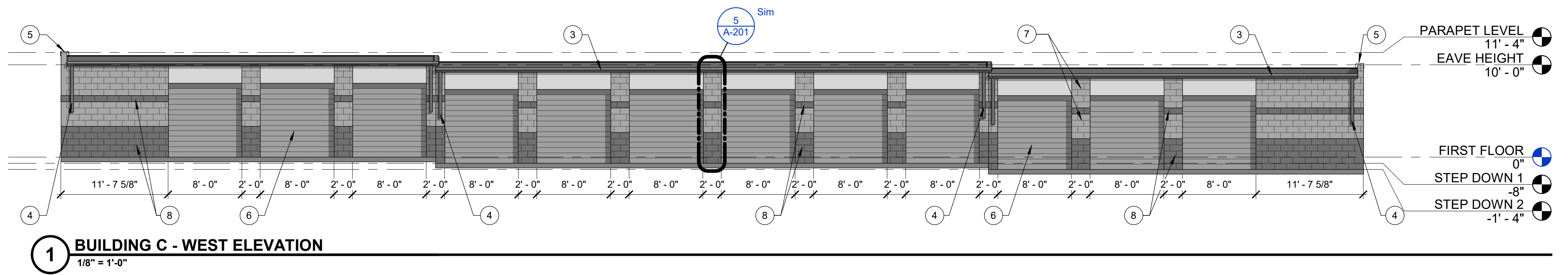
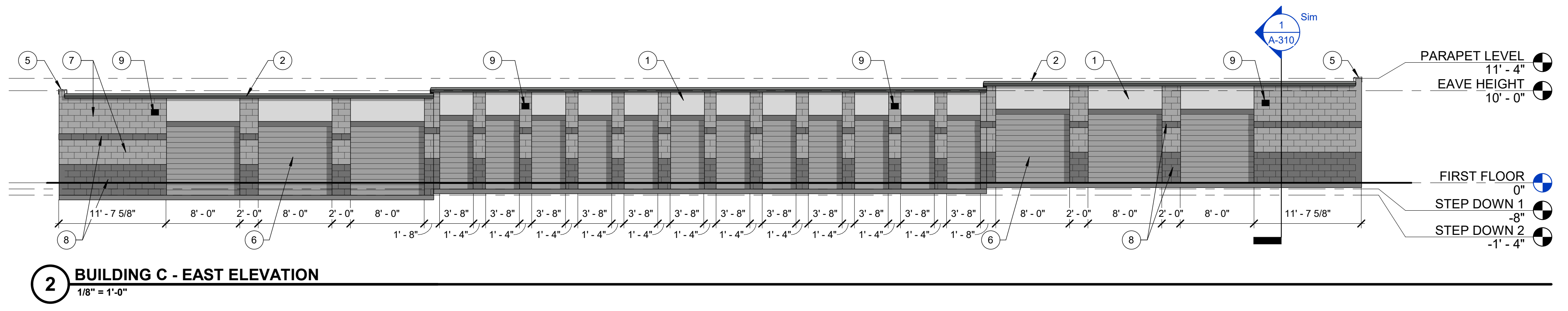
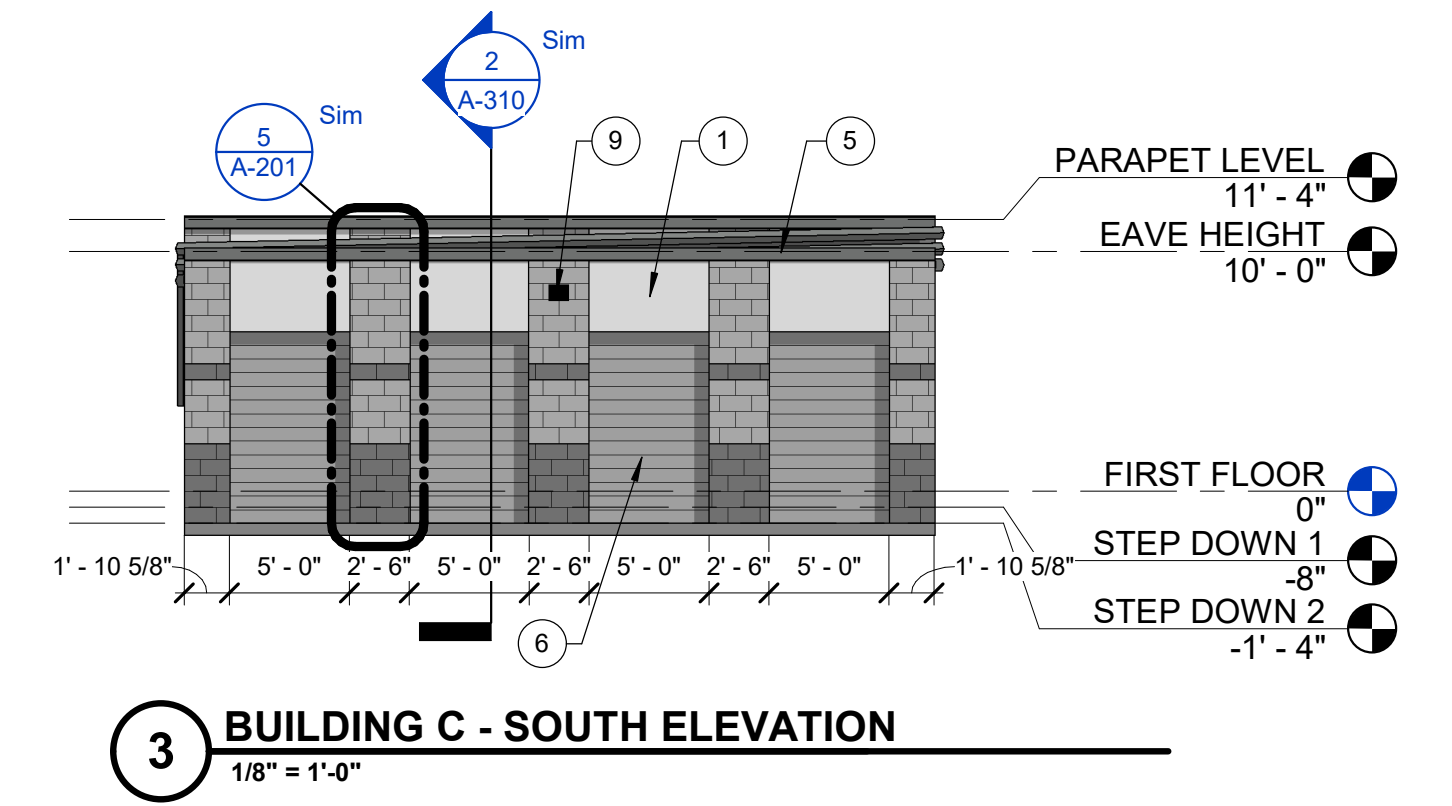
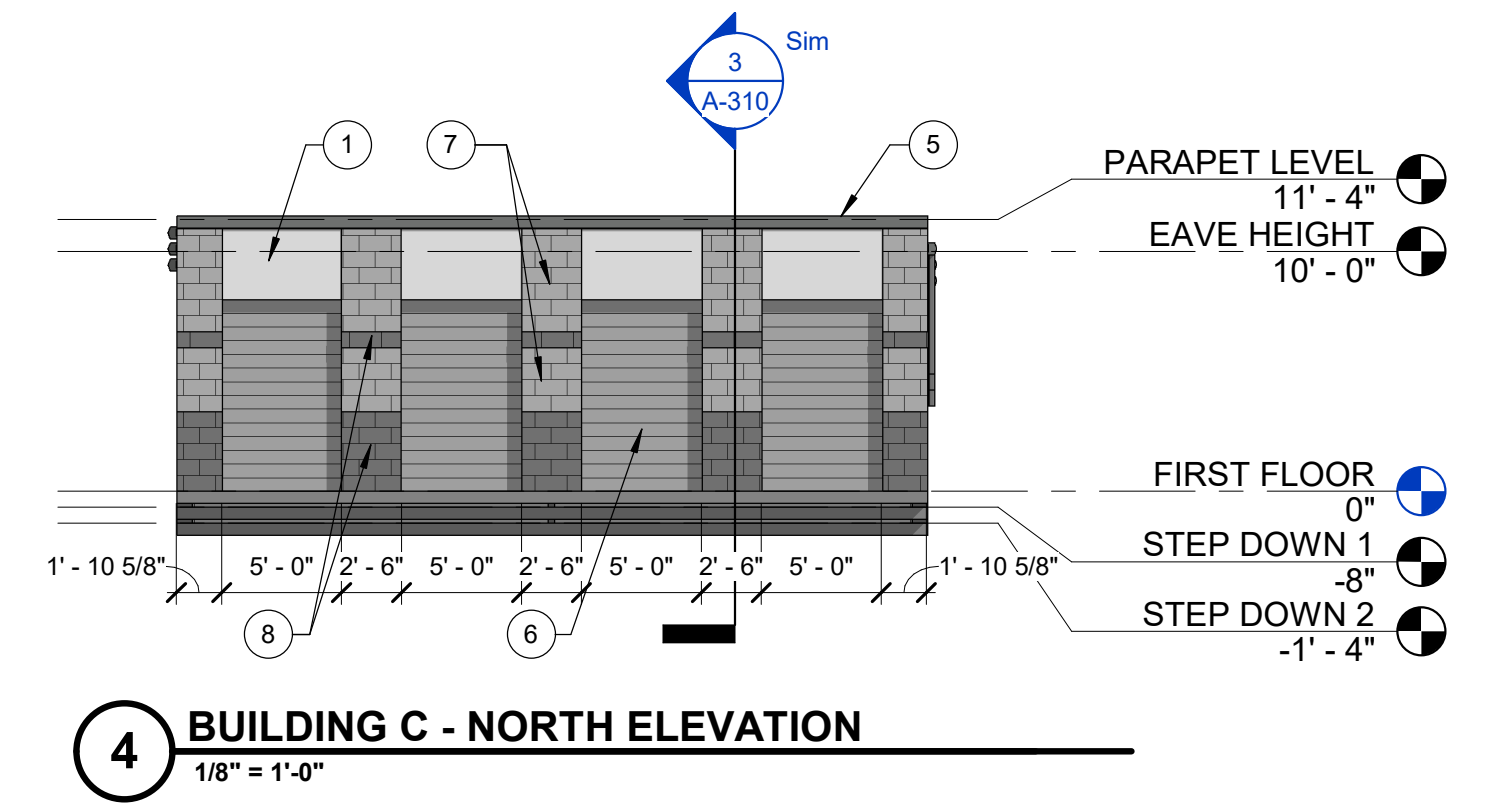
PERMIT SET
 EXTRA SPACE STORAGE, INC.
EXR NAPERVILLE
STORAGE #1259
 1432 W OGDEN AVE. NAPERVILLE, IL 60563

#	Revision	Date
A1	Addendum 01	12/28/2023
A2	CITY REVIEW COMMENTS	8/22/2024
A3	CITY REVIEW COMMENTS	11/15/2024

Project #: 23-700-262
 Designed By: TCH
 Drawn By: TCH
 Checked By: TCH / VT
 Date: 08.22.2024



Victoria Templeton



BUILDING C - ELEVATIONS

EXTERIOR COLORS

C1 SHERWIN WILLIAMS - 7063 NEBULOUS WHITE
 C2 SHERWIN WILLIAMS - 7065 ARGOS
 C3 SHERWIN WILLIAMS - 7067 CITYSCAPE

ELEVATION NOTES

Key	Note
1	PRE-FINISHED METAL WALL PANELS - COLOR C1
2	PRE-FINISHED METAL RAKE TRIM, 6" - COLOR C3
3	PRE-FINISHED METAL GUTTER, 6" - COLOR C3
4	PRE-FINISHED METAL DOWNSPOUTS, 6" PLAIN SQUARE WITH STEEL ELBOW (A) STYLE HELD 48" AFF UNLESS NOTED OTHERWISE - COLOR C3
5	PRE-FINISHED METAL COPING - COLOR C3
6	PRE-FINISHED OVERHEAD DOOR - COLOR C2
7	CMU WALL BAND - COLOR C2
8	CMU WALL BANDS - COLOR C3
9	WALL MOUNTED EXTERIOR WALL PACK LIGHT (W/CUT-OFF SHIELD) SEE ELECTRICAL DRAWINGS FOR MOUNTING HEIGHT AND POWER REQUIREMENTS

RQAW

DCCM

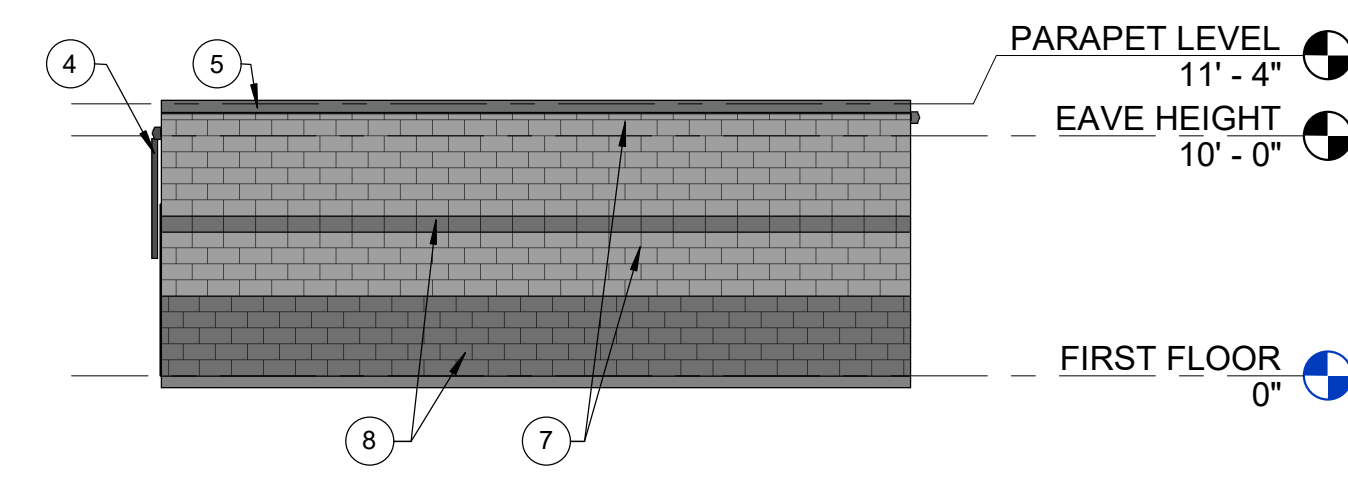
PERMIT SET
 EXTRA SPACE STORAGE, INC.
EXR NAPERVILLE
STORAGE #1259
 1432 W OGDEN AVE. NAPERVILLE, IL 60563

#	Revision	Date
A2	CITY REVIEW COMMENTS	8/22/2024
A3	CITY REVIEW COMMENTS	11/15/2024

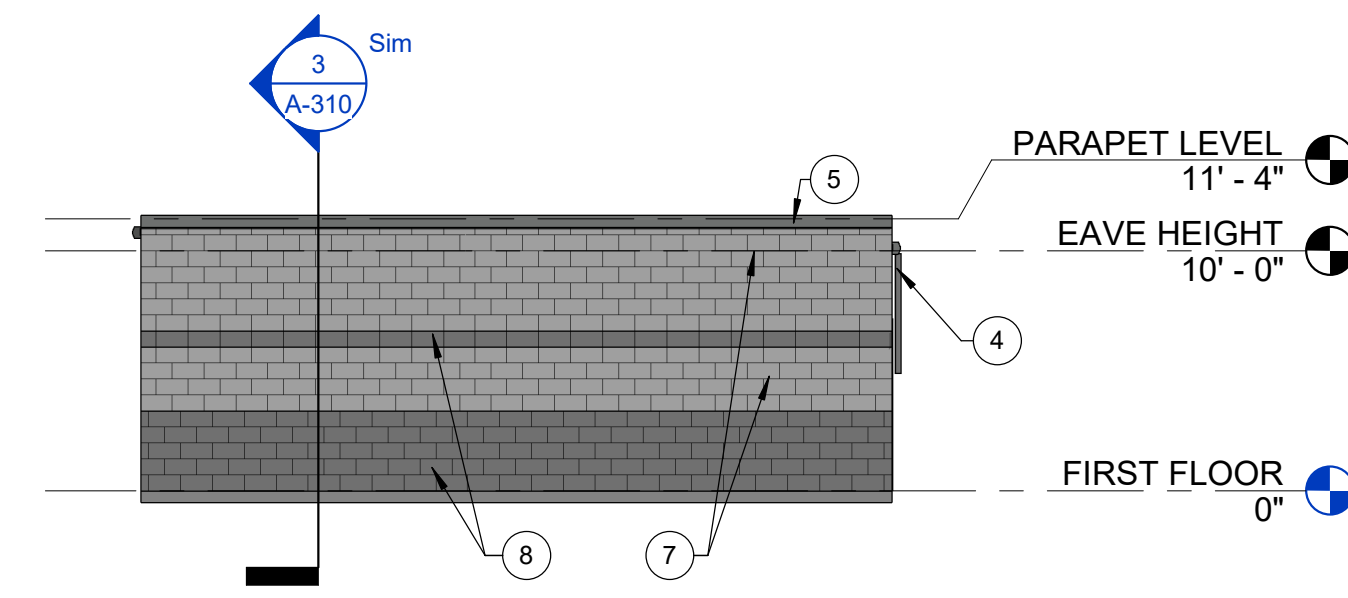
Project #: 23-700-262
 Designed By: TCH
 Drawn By: TCH
 Checked By: TCH / VT
 Date: 08.22.2024



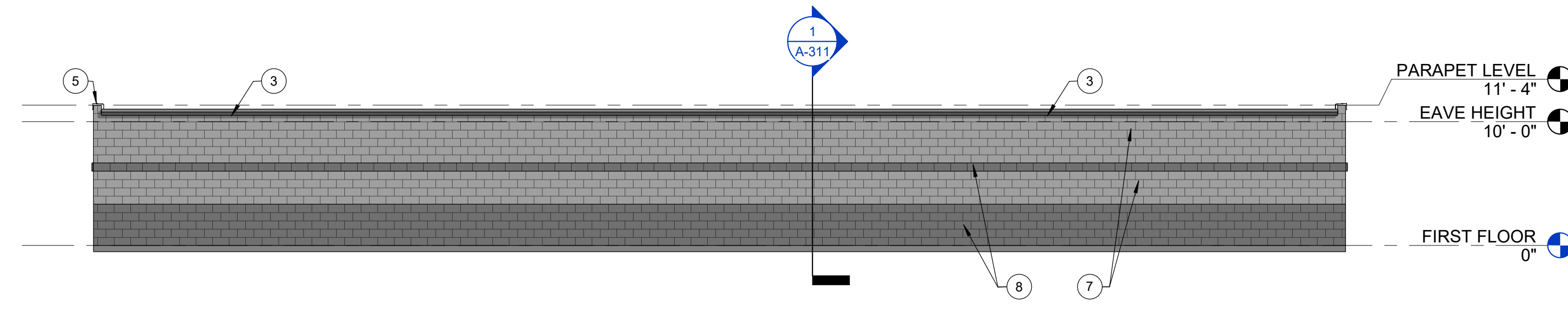
Victoria Templeton



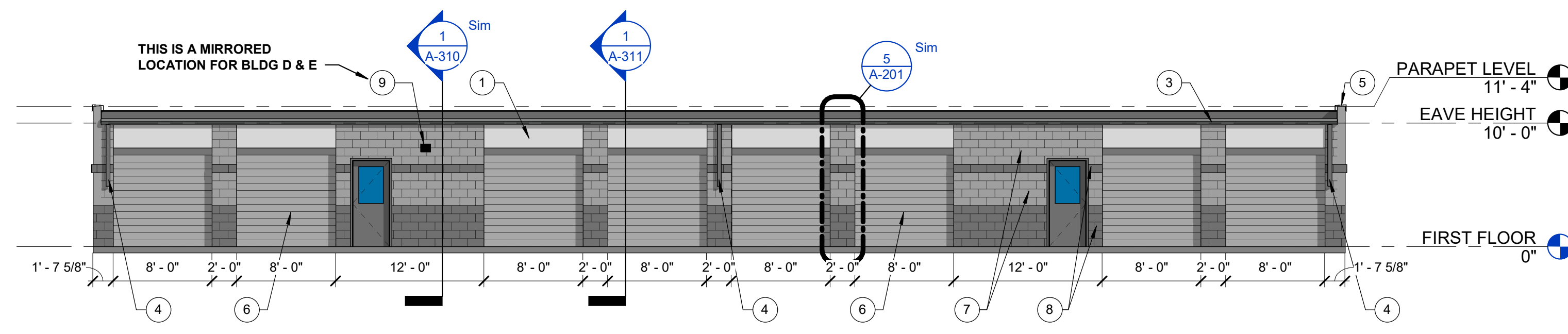
4 BUILDING D & E - WEST ELEVATION
 1/8" = 1'-0"



3 BUILDING D & E - EAST ELEVATION
 1/8" = 1'-0"

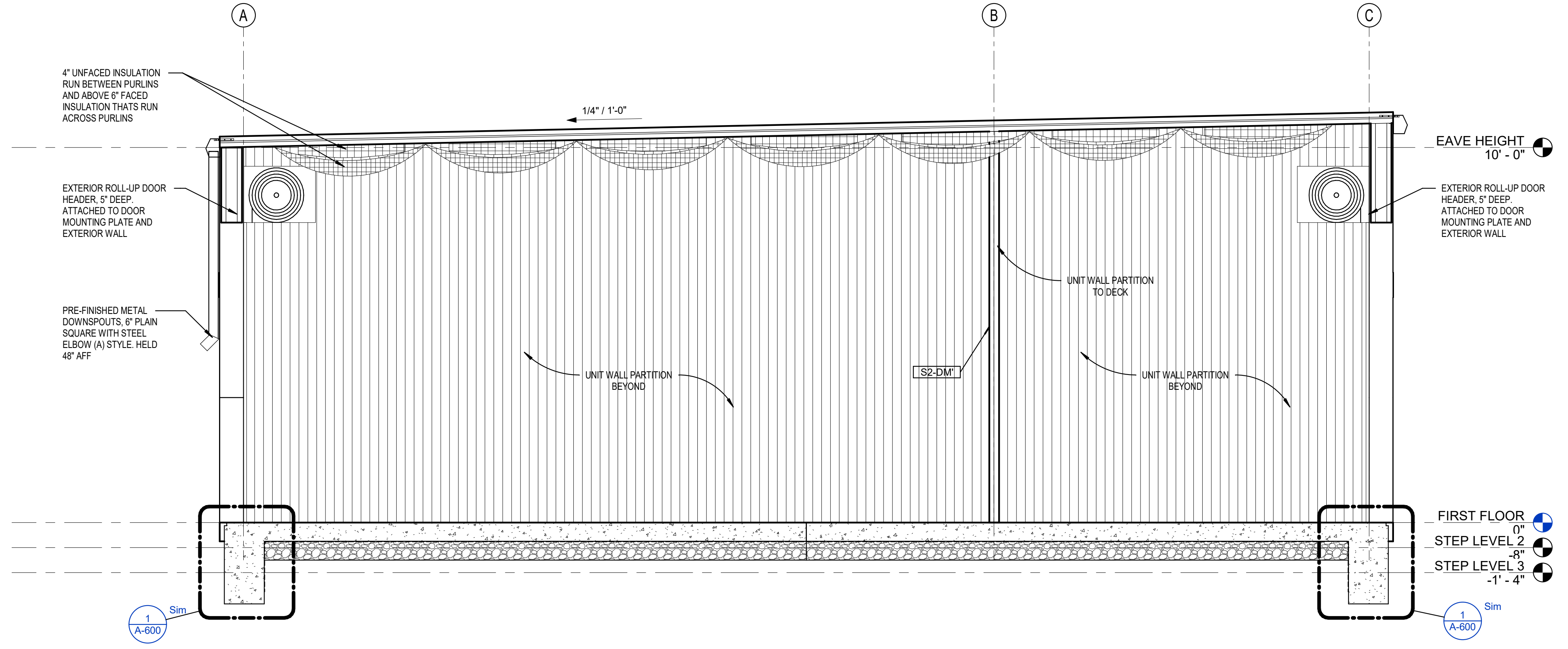


2 BUILDING D & E - SOUTH ELEVATION
 1/8" = 1'-0"

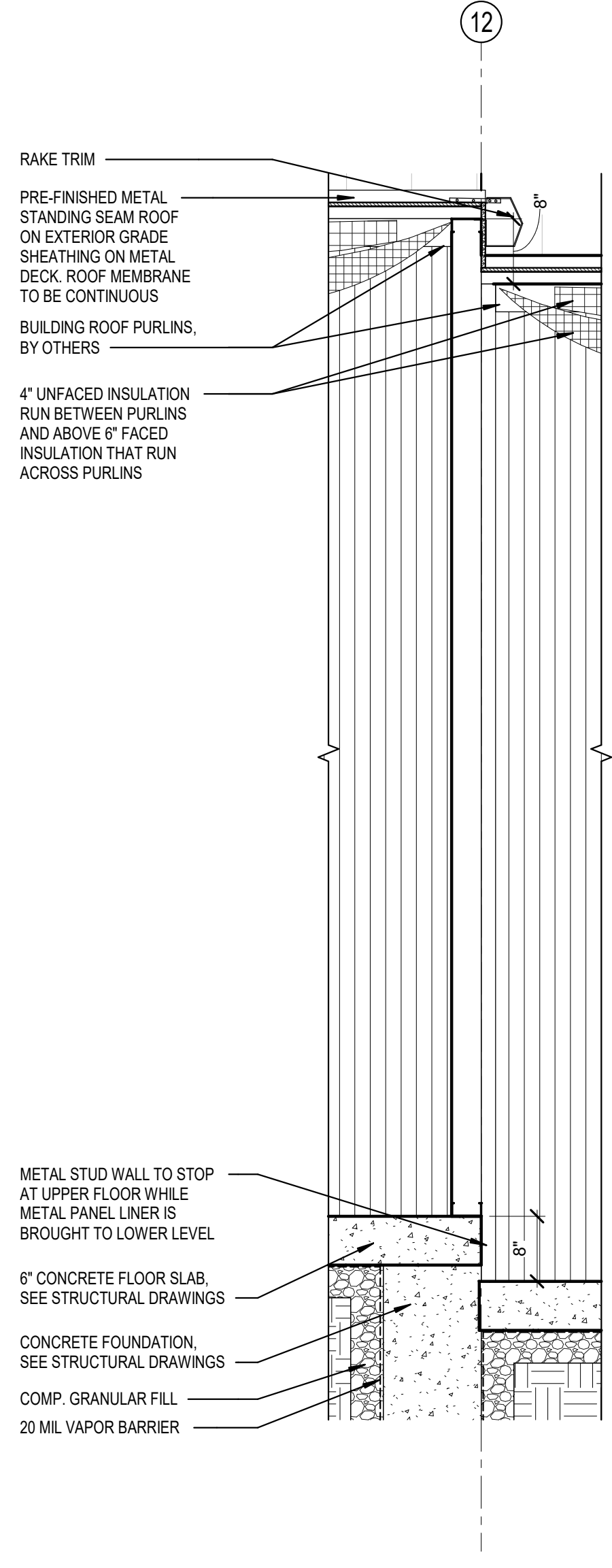


1 BUILDING D & E - NORTH ELEVATION
 1/8" = 1'-0"

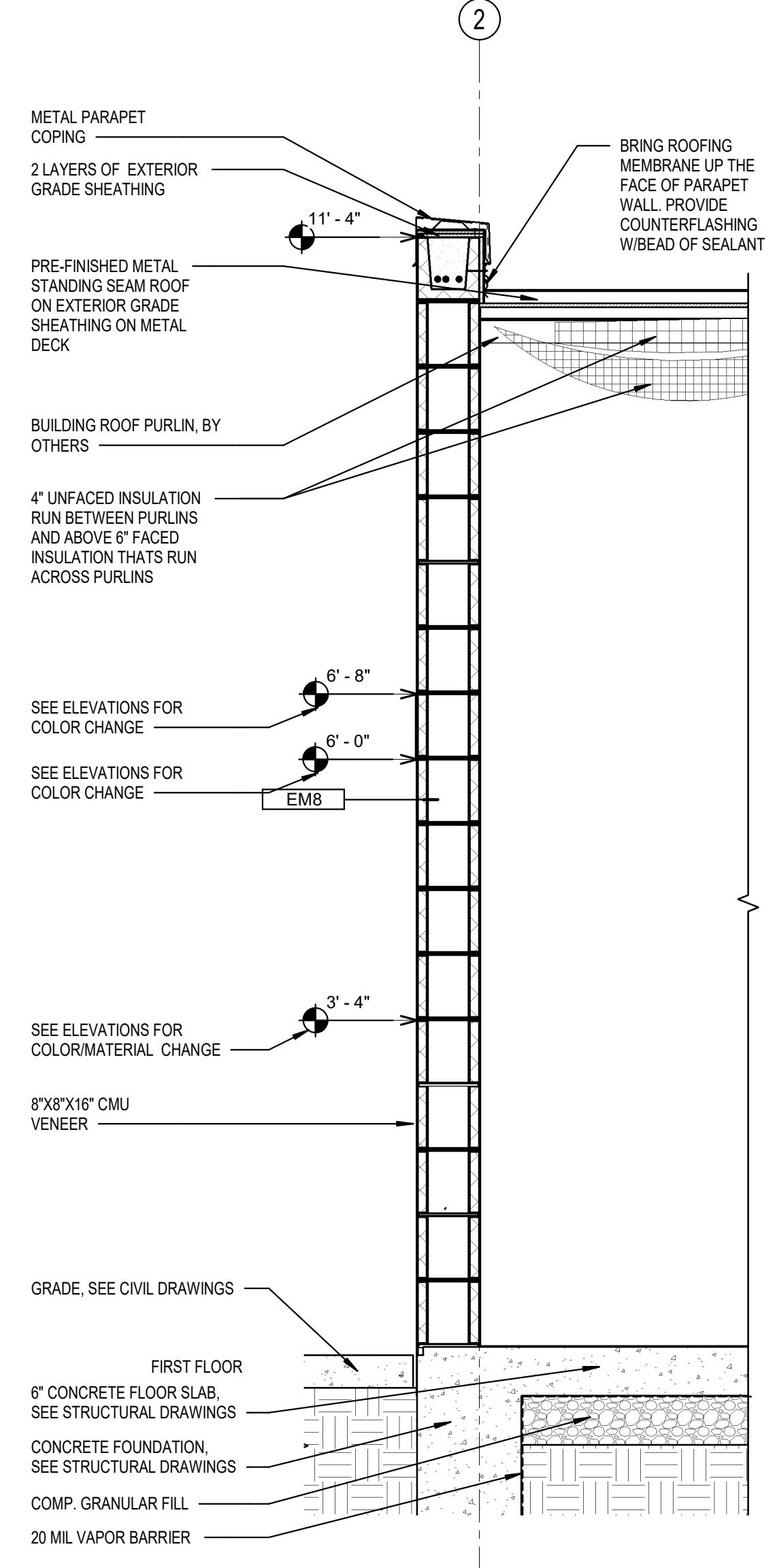
BUILDING D & E - ELEVATIONS



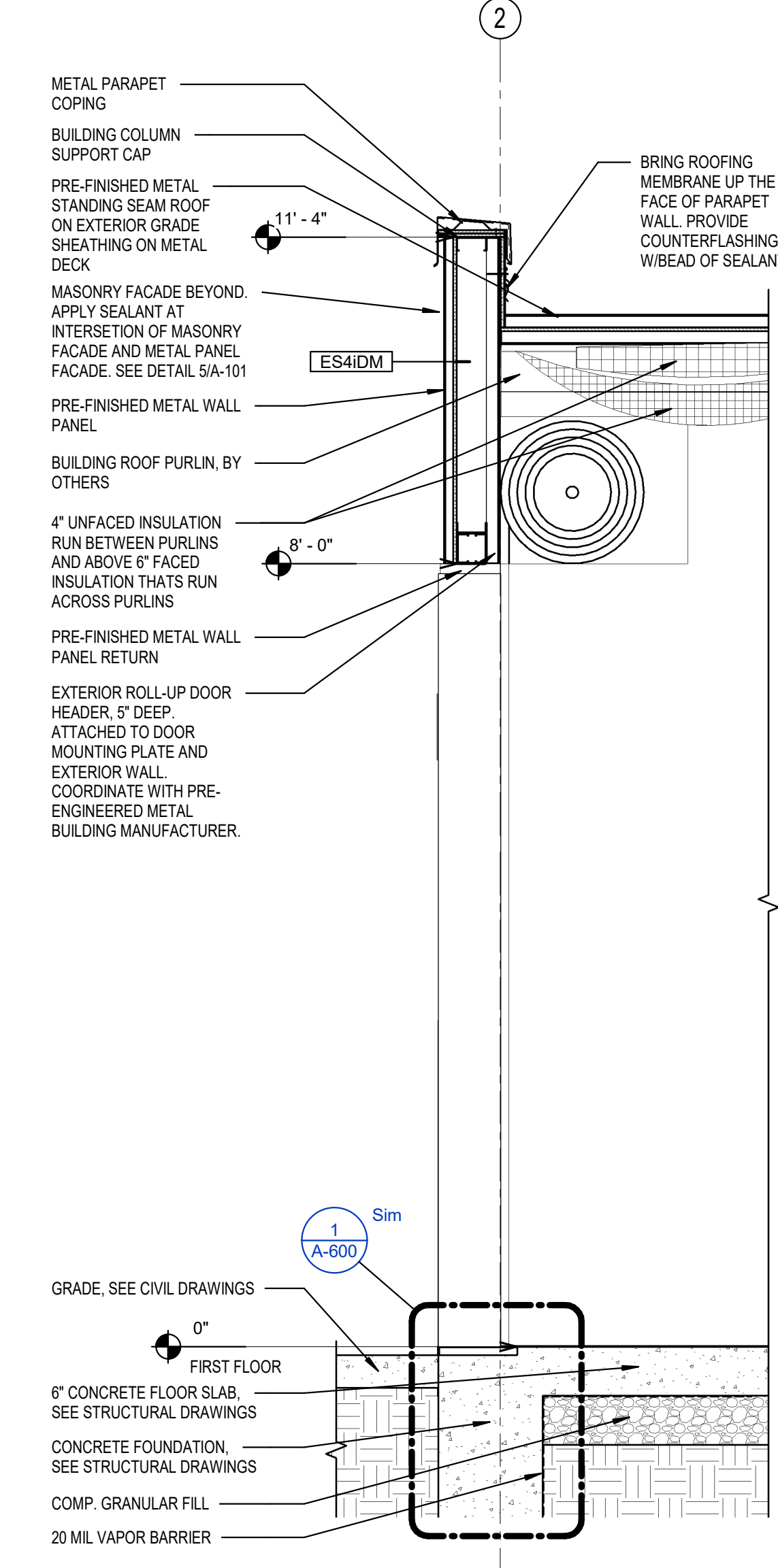
4 BUILDING SECTION - TYPICAL
 1/2" = 1'-0"
 *NOTES ON THIS BUILDING SECTION ARE TYPICAL AND SHOULD BE APPLIED TO BUILDING TYPES A, B, AND C



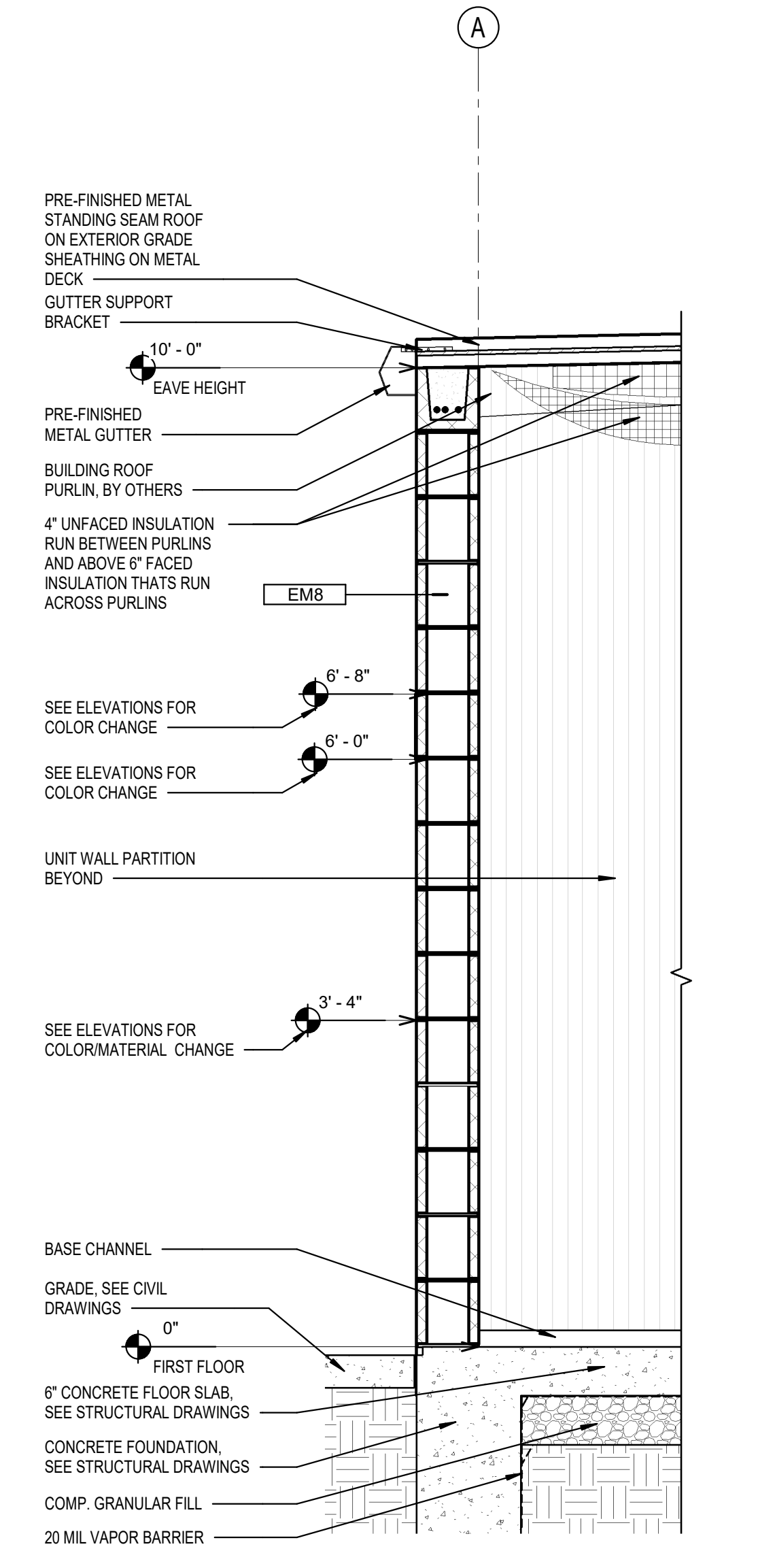
5 WALL SECTION DETAIL - INTERIOR ROOF TRANSITION
 3/4" = 1'-0"



3 TYPICAL EXTERIOR WALL SECTION
 3/4" = 1'-0"



2 TYPICAL EXTERIOR WALL SECTION
 3/4" = 1'-0"



1 TYPICAL EXTERIOR WALL SECTION
 3/4" = 1'-0"

#	Revision	Date
A2	CITY REVIEW COMMENTS	8/22/2024

Project #: 23-700-262
 Designed By: TCH
 Drawn By: TCH
 Checked By: TCH / VT
 Date: 08.22.2024



Victoria Templeton

PERMIT SET
EXTRA SPACE STORAGE, INC.
EXR NAPERVILLE
STORAGE #1259
1432 W OGDEN AVE. NAPERVILLE, IL 60563

#	Revision	Date
A2	CITY REVIEW COMMENTS	8/22/2024

Project #: 23-700-262

Designed By: TCH

Drawn By: TCH

Checked By: TCH / VT

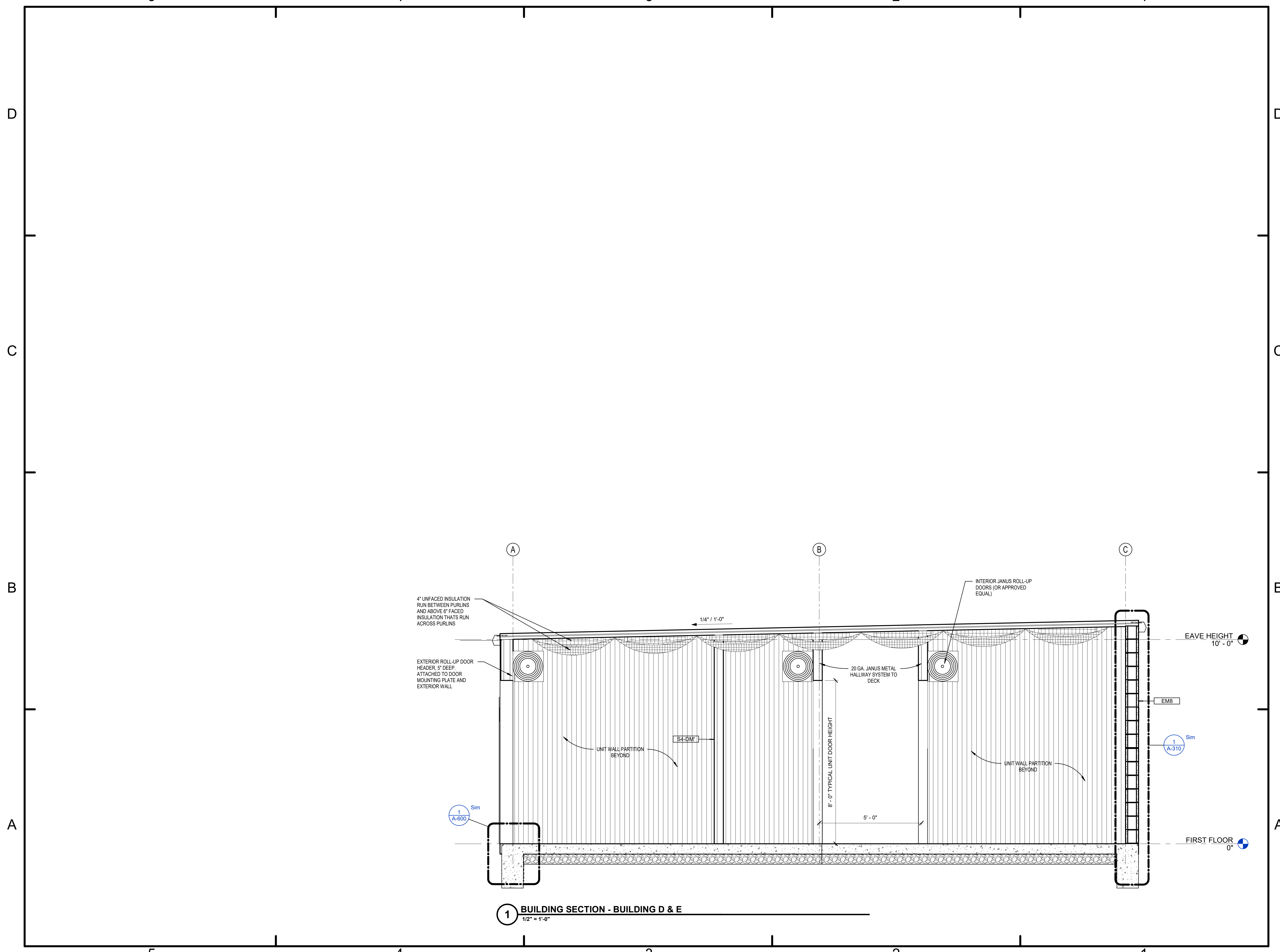
Date: 08.22.2024



Victoria Templeton

WALL & BUILDING SECTIONS

A-311



1 BUILDING SECTION - BUILDING D & E
1/2" = 1'-0"

5

4

3

2

1

DOOR & FRAME SCHEDULE

MARK	TYPE	MATL	SIZE			FRAME		HDWR SET	NOTES
			H	W	TH	MARK	MATL		
D01	OH	STL	8'-0"	3'-8"	1"	-	STL	1	FIELD PAINTED
D02	OH	STL	8'-0"	5'-0"	1"	-	STL	1	FIELD PAINTED
D03	OH	STL	8'-0"	8'-0"	1"	-	STL	1	FIELD PAINTED
D04	G	HM	7'-0"	3'-0"	1 3/4"	-	HM	2	FACTORY DOOR FINISH

FINISH SCHEDULE

NAME	FLOOR	BASE	WALLS	CEILING
UNITS	CONCRETE	-	METAL LINER PANEL FACTORY FINISH - WHITE	VARIES MESH /DECK FACTORY FINISH

DOOR SCHEDULE KEY

STL - STEEL
HM - HOLLOW METAL
PNT - PAINT
FACT - FACTORY FINISH
IHM - INSULATED HOLLOW METAL
AL - ALUMINUM

HARDWARE SETS

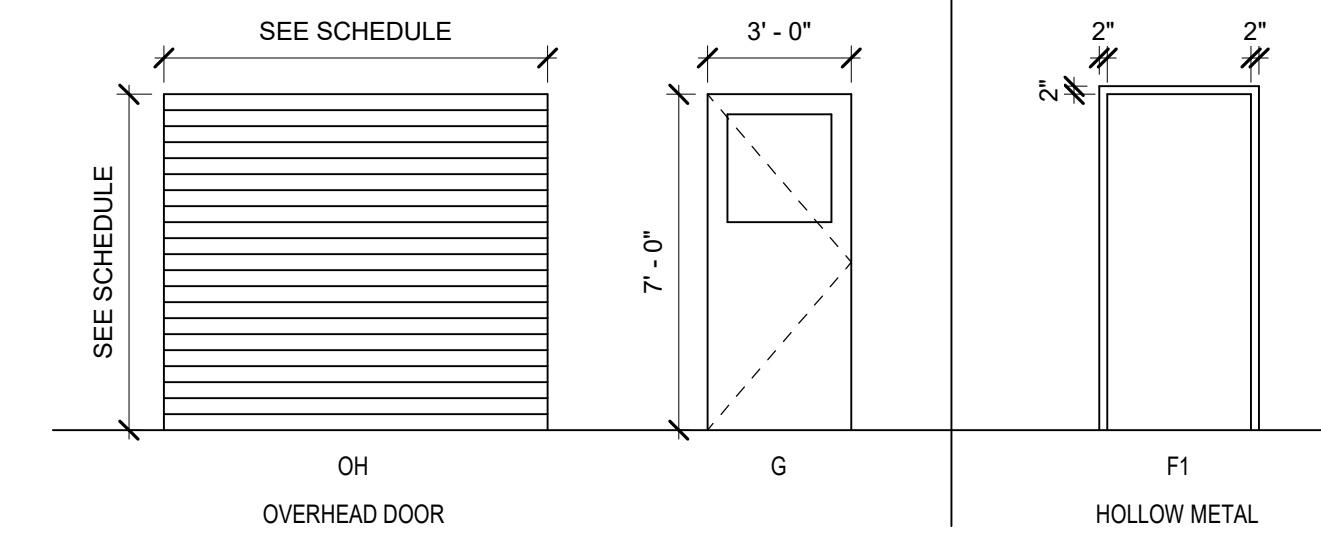
SET#1 - OVERHEAD ROLL-UP STORAGE ROOM DOOR
REFER TO JANUS (OR SIMILAR) UNIT OVERHEAD DOOR SYSTEM

SET#2 - ENTRY DOOR
1 CONTINUOUS HINGE, HVY WT
1 STOREROOM LOCK
1 CLOSER
1 KICK PLATE
1 PERIMETER SEAL
1 SWEEP
1 THRESHOLD, 1/2" HVY WT
1 DOOR POSITION SWITCH

HARDWARE SHALL COMPLY WITH ADA AND 2009 ICC A117.1 - 404.2.6

DOOR & FRAME NOTES

- ALL ENTRANCES AND EXITS SHALL HAVE A MINIMUM CLEAR OPENING OF 32 INCHES WITH THE DOOR OPEN AT 90 DEGREES FROM ITS CLOSED POSITION, MEASURED BETWEEN THE FACE OF THE DOOR AND THE OPPOSITE STOP.
- MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 POUNDS FOR PUBLIC EXTERIOR DOORS, 5 POUNDS FOR INTERIOR DOORS.
- DOOR CLOSERS, WHERE PROVIDED SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3 INCHES FROM THE LATCH. CONFIRM MANEUVERING CLEARANCE W/AOR WHERE CLOSERS ARE ADDED.
- THRESHOLD - LANDINGS SHALL NOT BE MORE THAN 1/2 INCH LOWER THAN THE TOP OF THE THRESHOLD OF THE DOORWAY. CHANGES IN HEIGHT BETWEEN 1/4 INCH AND 1/2 INCH SHALL BE BEVELED AT A MAXIMUM OF 50% CHANGES IN LEVEL. GREATER THAN 1/2 INCH SHALL BE RAMPED.
- PROVIDE VINYL OR NEOPRENE WEATHER STRIPPING FOR ALL EXTERIOR EXPOSED OVERHEAD DOORS.



DOOR PANEL & FRAME ELEVATIONS
1/4" = 1'-0"



PERMIT SET

EXTRA SPACE STORAGE, INC.
EXR NAPERVILLE
STORAGE #1259

1432 W OGDEN AVE. NAPERVILLE, IL 60563

#	Revision	Date
A2	CITY REVIEW COMMENTS	8/22/2024

Project #: 23-700-262

Designed By: TCH

Drawn By: TCH

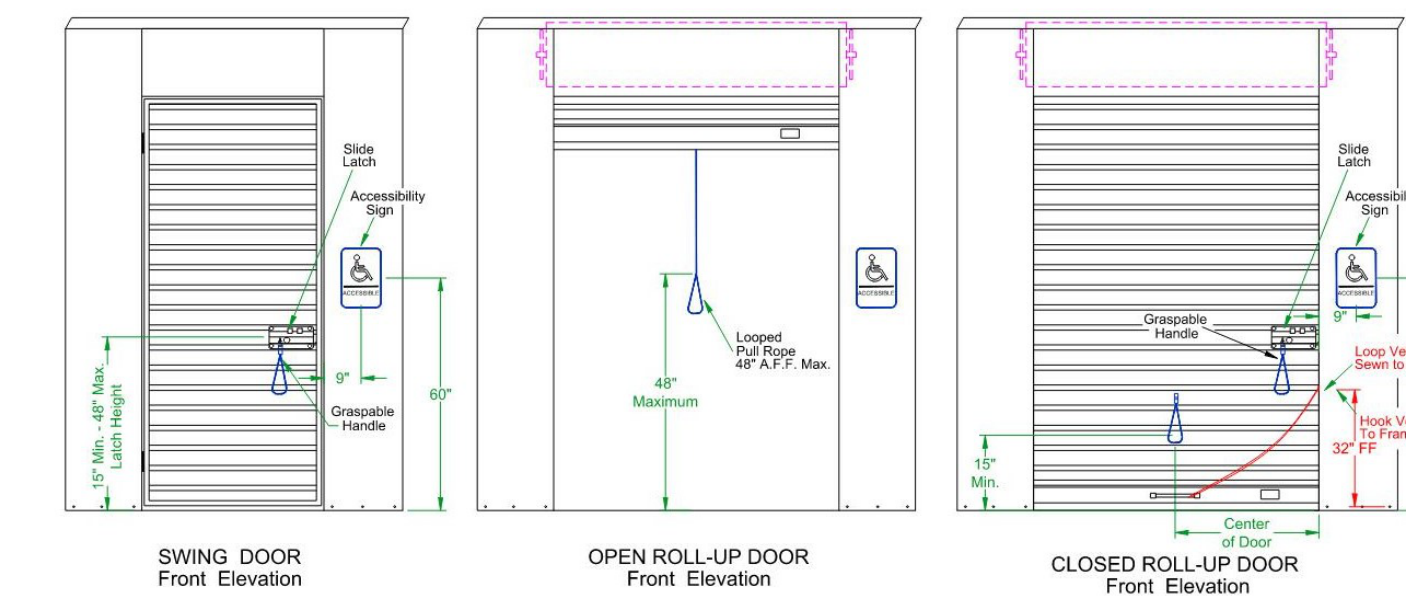
Checked By: TCH / VT

Date: 08.22.2024

ACCESSIBLE OVERHEAD DOOR REQUIREMENTS

SEE FLOOR PLAN FOR LOCATIONS OF ACCESSIBLE UNITS

ALL DOORS SHALL REQUIRE A MAXIMUM OF 5 POUNDS OF FORCE TO OPEN AND CLOSE



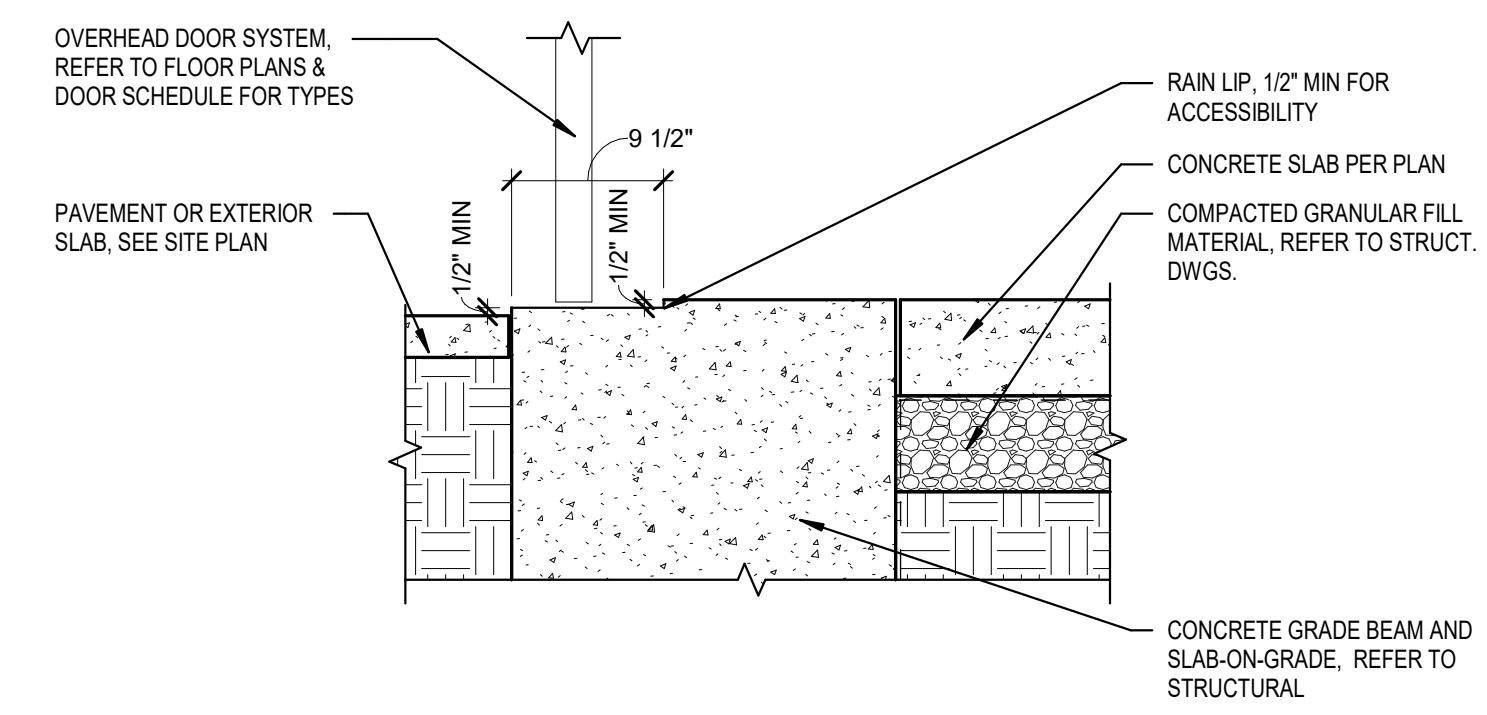
TYPICAL ITEMS REQUIRED FOR ACC. ROLL-UP UNIT DOOR

- 8" NYLON STRAP WITH S' HOOK FOR LATCH SIDE
- 12" NYLON STRAP FOR GRASPABLE HANDLE ON FRONT OF DOOR
- 48" HANGING STRAP FOR GRASPABLE PULL ROPE
- ATTACHMENT HARDWARE
- ACCESSIBILITY SIGNAGE

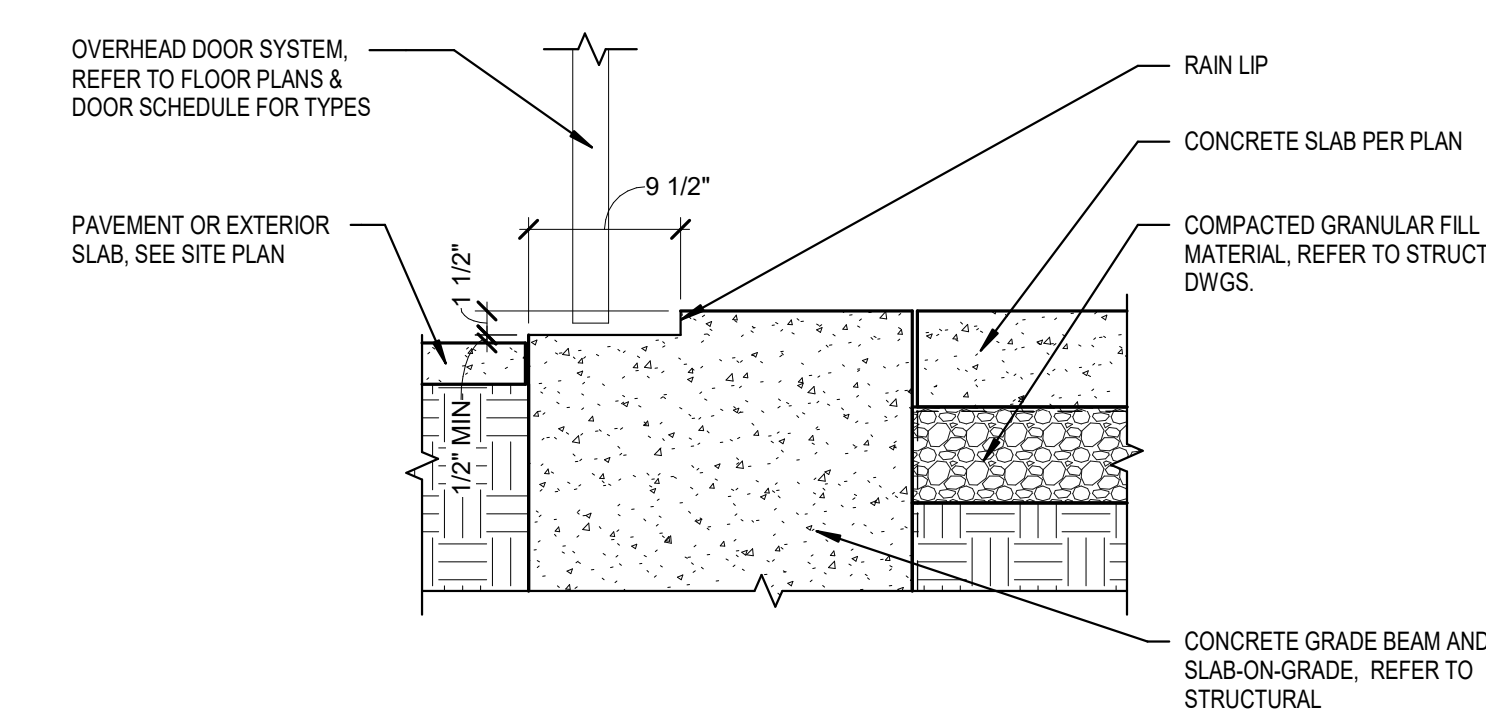
REFER TO ADA CODE CHAPTER 7, SECTION 703.4.1



Victoria Dawn Templeton



2 OVERHEAD DOOR - ACCESSIBLE EXTERIOR THRESHOLD DETAIL
1" = 1'-0"



1 OVERHEAD DOOR - TYPICAL EXTERIOR THRESHOLD DETAIL
1" = 1'-0"

DOOR AND WINDOW SCHEDULE

A-600