

FINAL ENGINEERING PLANS

TACO BELL

1019 E. OGDEN AVE

NAPERVILLE, IL 60563



UTILITY AND GOVERNING AGENCY CONTACTS

ENGINEERING DEPARTMENT
CITY OF NAPERVILLE
400 S. EAGLE ST
NAPERVILLE, IL 60540
TEL: (630) 305-5983
CONTACT: KATIE SPERL

ROADWAY AUTHORITY
ILLINOIS DEPARTMENT OF TRANSPORTATION
2300 S. DIRKSEN PARKWAY
SPRINGFIELD, IL 62764
TEL: (217) 782-7820
CONTACT: JON KARABOWCZ

SANITARY SEWER SERVICE
DEPARTMENT OF PUBLIC WORKS
400 S. EAGLE ST
NAPERVILLE, IL 60540
TEL: (630) 420-4122
CONTACT: BILL BOLSTER

POWER COMPANY
DEPARTMENT OF PUBLIC UTILITIES
1392 AURORA AVENUE
NAPERVILLE, IL 60540
TEL: (630) 420-6653
CONTACT: BEN HENDRON

STORM SEWER SERVICE
DEPARTMENT OF PUBLIC WORKS
400 S. EAGLE ST
NAPERVILLE, IL 60540
TEL: (630) 420-4122
CONTACT: BILL BOLSTER

NATURAL GAS COMPANY
NICOR
1844 FERRY RD
NAPERVILLE, IL 60563
TEL: (888) 642-6748

WATER SERVICE
DEPARTMENT OF PUBLIC WORKS
400 S. EAGLE ST
NAPERVILLE, IL 60540
TEL: (630) 420-4122
CONTACT: BILL BOLSTER

TELEPHONE
AT&T
TEL: (844) 931-0107

PROJECT TEAM

ARCHITECT
MRV ARCHITECTS, INC.
5105 TOLLVIEW DR., SUITE 201
ROLLING MEADOWS, IL 60008
TEL: (224) 318-2140
CONTACT: JEANNE ARMANDO

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
111 W. JACKSON BOULEVARD, SUITE 1320
CHICAGO, IL 60604
TEL: (312) 726-9445
EMAIL: JOE.MAYER@KIMLEY-HORN.COM
CONTACT: JOE MAYER, P.E.

TRAFFIC ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD RD, SUITE 600
WARRENVILLE, IL 60555
TEL: (630) 487-5550
EMAIL: RORY.FANCLER@KIMLEY-HORN.COM
CONTACT: RORY FANCLER-SPLITT, A.I.C.P., P.T.P.

LANDSCAPE ARCHITECT
KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD ROAD, SUITE 600
WARRENVILLE, IL 60555
TEL: (630) 487-5550
EMAIL: JOE.COGSWELL@KIMLEY-HORN.COM
CONTACT: JOE COGSWELL, P.L.A., I.S.A.

SURVEYOR
WEAVER CONSULTANTS GROUP
1316 BOND STREET, SUITE 108
NAPERVILLE, IL 60563
TEL: (630) 717-4848
CONTACT: JAMES BERGER, P.L.S.

PROFESSIONAL ENGINEER'S CERTIFICATION

I, JOE MAYER, A LICENSED PROFESSIONAL ENGINEER OF IL, HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE BUT EXCLUDING DETAILS PREPARED BY OTHERS, WAS PREPARED ON BEHALF OF MRV ARCHITECTS, INC. BY KIMLEY-HORN AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS 5TH DAY OF MARCH, A.D., 2024.

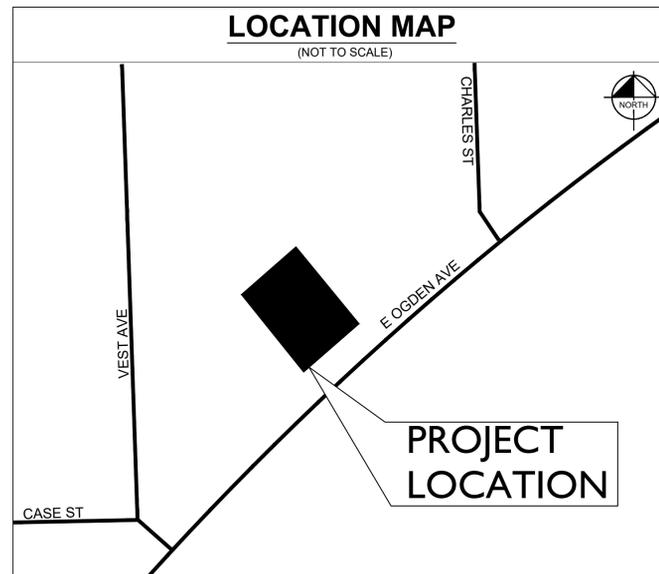
Joseph Mayer
IL LICENSED PROFESSIONAL ENGINEER 062-069577
MY LICENSE EXPIRES ON NOVEMBER 30, 2025
DESIGN FIRM REGISTRATION NUMBER: 184002012-0006



Date of Expiration: 11-30-25

LOCATION MAP

(NOT TO SCALE)



BENCHMARKS

SOURCE BENCHMARK:

NAPERVILLE BM #703 (NAVD 88)

FOUND ROD IN VAULT SET IN CONCRETE NORTH SIDE OF OGDEN AVENUE IN CENTER ISLAND OF FIRST ENTRANCE WEST OF NAPERVILLE-WHEATON ROAD.

SITE BENCHMARKS:

(LOCATIONS SHOWN ON SURVEY)

BM "A" SQUARE CUT ON CONCRETE RETAINING WALL NEAR NORTHWEST PROPERTY LINE APPROXIMATELY 15' NORTHEAST OF THE NORTHEASTERLY BUILDING LINE OF 1017 EAST OGDEN AVENUE AND APPROXIMATELY 10' NORTHWEST OF THE EDGE OF PAVEMENT, PERPENDICULARLY.
ELEVATION=753.46

BM "B" SQUARE CUT ON EDGE OF CONCRETE SIDEWALK NEAR SOUTHWEST PROPERTY CORNER APPROXIMATELY 22' SOUTHWEST OF THE SOUTHWESTERLY DRIVEWAY ENTRANCE OF SITE AND APPROXIMATELY 21' NORTHWEST OF THE EDGE OF PAVEMENT OF EAST OGDEN AVENUE, PERPENDICULARLY.
ELEVATION=752.04

BM "C" SQUARE CUT ON EDGE OF CONCRETE SIDEWALK APPROXIMATELY 44' NORTHEAST OF THE NORTHEASTERLY SHARED DRIVEWAY ENTRANCE AND APPROXIMATELY 22' NORTHWEST OF THE EDGE OF PAVEMENT OF EAST OGDEN AVENUE, PERPENDICULARLY.
ELEVATION=754.52

LEGAL DESCRIPTION

LOT 7 & 8 IN BLOCK 9 IN ARTHUR T. MCINTOSH 7 CO'S OGDEN HIGHLANDS BEING A SUBDIVISION IN THE EAST 1/2 OF SECTION 7 AND THE WEST 1/2 OF SECTION 8, TOWNSHIP 38 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 9, 1925 AS DOCUMENT NO. 195889, IN DUPAGE COUNTY, ILLINOIS.

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L1.0	LANDSCAPE PLAN
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Kimley»Horn
© 2024, KIMLEY-HORN AND ASSOCIATES, INC.
111 WEST JACKSON BLVD., SUITE 1320
CHICAGO, IL 60604
PHONE: 312-726-9445
WWW.KIMLEY-HORN.COM

MRV
ARCHITECTS, INC.

COVER SHEET

TACO BELL
1019 E. OGDEN AVE.
NAPERVILLE, IL

ORIGINAL ISSUE:
12/15/2023

KHA PROJECT NO.
268581000

SHEET NUMBER

C0.0

NO.	REVISIONS	DATE	BY
1	INITIAL CITY SUBMITTAL	12/15/23	BH
2	CITY COMMENTS	01/29/24	JPM
3	CITY COMMENTS	03/05/24	JPM

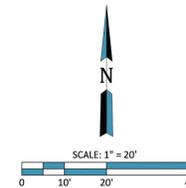
VICINITY MAP
(NOT TO SCALE)



ALTA/NSPS LAND TITLE SURVEY

PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 7,
TOWNSHIP 38 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN

PINS:
08-07-403-009
08-07-403-008



HORIZONTAL AND VERTICAL DATUM

MEASURED BEARINGS SHOWN HEREON ARE ILLINOIS STATE PLANE EAST ZONE, BASED ON GLOBAL NAVIGATION SATELLITE SYSTEM OBSERVATIONS.
ELEVATIONS SHOWN HEREON ARE NORTH AMERICAN VERTICAL DATUM 1988 (GEOID 18), BASED ON GLOBAL NAVIGATION SATELLITE SYSTEM OBSERVATIONS.

AREA TABLE

LOT 7: 9,729± SQ. FT. OR 0.223± ACRES
LOT 8: 9,813± SQ. FT. OR 0.225± ACRES
TOTAL: 19,542± SQ. FT. OR 0.448 ACRES

LEGAL DESCRIPTION

LOT 7 AND 8 IN BLOCK 9 IN ARTHUR T. MCINTOSH & CO'S OGDEN HIGHLANDS BEING A SUBDIVISION IN THE EAST 1/2 OF SECTION 7 AND THE WEST 1/2 OF SECTION 8, TOWNSHIP 38 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 9, 1925 AS DOCUMENT NO. 155889, IN DUPAGE COUNTY, ILLINOIS.

SURVEY NOTES

THIS SURVEY SHOULD NOT BE CONSIDERED AS AN EXCLUSIVE SOURCE OF INFORMATION REGARDING THE PROPERTY'S LIMITS, RIGHTS OR RESTRICTIONS. THE FINDINGS OF THIS SURVEY ARE LIMITED TO FIELD OBSERVATIONS AND MEASUREMENTS. THE EXAMINATION OF DOCUMENTS PROVIDED TO THE SURVEYOR AND THE SURVEYOR'S PROFESSIONAL OPINION. THERE MAY BE SETBACK LINES, EASEMENTS AND BUILDING RESTRICTIONS NOT SHOWN HEREON OF WHICH THE SURVEYOR HAS NOT BEEN ADVISED. ALWAYS REFER TO YOUR ABSTRACT, DEED AND GUARANTEE POLICY AND LOCAL ORDINANCES.

ALL AREAS ARE MORE OR LESS.
COMPARE ALL POINTS BEFORE BUILDING AND REPORT ANY DIFFERENCES AT ONCE.
NO STATEMENT IS MADE CONCERNING SUBSURFACE CONDITIONS, THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.

THE UTILITIES SHOWN MAY NOT COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.

ALL STATEMENTS AND INFORMATION SHOWN HEREON ARE TO THE SURVEYOR'S BEST KNOWLEDGE AND BELIEF.

THE SURVEYOR OFFERS NO OPINION REGARDING THE VALIDITY OF THE DEDICATION PROCESS OF ABUTTING RIGHTS-OF-WAY. ALL DEDICATIONS ARE DESCRIBED QUOTING THE LANGUAGE USED IN THE DOCUMENTS PROVIDED TO THE SURVEYOR.

THE MEASURED PROPERTY BOUNDARY SHOWN HEREON FORMS A MATHEMATICALLY CLOSED FIGURE. NO GAPS, GORES, OR OVERLAPS WITH THE ADJACENT PROPERTIES ARE APPARENT BASED ON RECORD DOCUMENTS PROVIDED TO THE SURVEYOR AND EVIDENCE LOCATED IN THE FIELD.

BENCHMARKS

SOURCE BENCHMARK:
NAPERVILLE BM #703 (NAVD 88)
STATION DESCRIPTION:
FOUND ROD IN VAULT SET IN CONCRETE NORTH SIDE OF OGDEN AVENUE IN CENTER ISLAND OF FIRST ENTRANCE WEST OF NAPERVILLE-WHEATON ROAD.
ELEVATION= 780.31

SITE BENCHMARKS:
BM "A"
SQUARE CUT ON CONCRETE RETAINING WALL NEAR NORTHWEST PROPERTY LINE APPROXIMATELY 15' NORTHWEST OF THE NORTHEASTERLY BUILDING LINE OF 1017 EAST OGDEN AVENUE AND APPROXIMATELY 10' NORTHWEST OF THE EDGE OF PAVEMENT, PERPENDICULARLY.
ELEVATION= 753.46

BM "B"
SQUARE CUT ON EDGE OF CONCRETE SIDEWALK NEAR SOUTHWEST PROPERTY CORNER APPROXIMATELY 22' SOUTHWEST OF THE SOUTHWESTERLY DRIVEWAY ENTRANCE OF SITE AND APPROXIMATELY 21' NORTHWEST OF THE EDGE OF PAVEMENT OF EAST OGDEN AVENUE, PERPENDICULARLY.
ELEVATION= 752.04

BM "C"
SQUARE CUT ON EDGE OF CONCRETE SIDEWALK APPROXIMATELY 44' NORTHEAST OF THE NORTHEASTERLY SHARED DRIVEWAY ENTRANCE AND APPROXIMATELY 22' NORTHWEST OF THE EDGE OF PAVEMENT OF EAST OGDEN AVENUE, PERPENDICULARLY.
ELEVATION= 754.52

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) ss

TO: MCGUE FAMILY LLC
CHICAGO TITLE LAND TRUST COMPANY, A CORPORATION OF ILLINOIS, AS SUCCESSOR TRUSTEE UNDER TRUST AGREEMENT DATED APRIL 2, 1997 AND KNOWN AS TRUST NUMBER 60007705; CHICAGO TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(A), 7(B)(1), 8, 13 AND 19 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON 10/5/2023.
DATE OF PLAT OR MAP 10/23/2023:

MICHAEL D. BYTNER, PLS
035-003326
NAPERVILLE, IL

MICHAEL D. BYTNER, PLS
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-003326
WEAVER CONSULTANTS GROUP

ALL ILLINOIS PROFESSIONAL LAND SURVEYOR LICENSES EXPIRE NOVEMBER 30, 2024. DESIGN FIRM #18400465
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY AND TOPOGRAPHIC SURVEY.

SHEET 1 OF 1

TITLE COMMITMENT SCHEDULE B EXCEPTIONS

CHICAGO TITLE INSURANCE COMPANY
COMMITMENT NUMBER: 23GCO0000258M
COMMITMENT DATE: AUGUST 2, 2023

XX INDICATES ITEM PLOTTED ON DRAWING

SCHEDULE B, PART I, REQUIREMENTS: ITEMS 1 THROUGH 9
NOT SURVEY RELATED

SCHEDULE B, PART II, EXCEPTIONS: ITEMS 1 THROUGH 24 AND 31
NOT SURVEY RELATED

25. GRANT OF EASEMENT RECORDED DECEMBER 15, 1969 AS DOCUMENT R69-53611, TO THE CITY OF NAPERVILLE, FOR THE CONSTRUCTION AND MAINTENANCE OF MAINS AND NECESSARY APPURTENANCES THERETO, FOR THE EXTENSION OF THE WATER WORKS AND SANITARY SEWERAGE SYSTEMS. AFFECTS 10 FEET IMMEDIATELY CONTIGUOUS AND ADJACENT TO THE NORTHWESTERLY RIGHT OF WAY LINE OF OGDEN AVENUE OF LOTS 7 AND 8.
AS SHOWN HEREON.

26. BUILDING LINE AS SHOWN ON THE PLAT AND AS SET FORTH ON THE CERTIFICATE APPENDED TO THE PLAT, AFORESAID, AS FOLLOWS:
15 FEET ALONG THE SOUTHEASTERLY LINE OF THE LAND.
SPECIFIC DOCUMENT NOT CITED FOR THIS ITEM OF THE TITLE COMMITMENT, HOWEVER BASED ON OUR ANALYSIS OF THE PLATS WE HAVE AVAILABLE, IT APPEARS THIS BUILDING SET-BACK LINE APPEARS ON ARTHUR T. MCINTOSH AND COMPANY'S OGDEN HIGHLANDS PLAT OF SUBDIVISION DOCUMENT 155889.

27. COMMON DRIVEWAY LOCATED ON THE LAND AND ON LAND ADJOINING TO THE NORTHEAST, AS DISCLOSED BY THE SURVEY OF ENERGY-ENVIRONMENT, INC., DATED DECEMBER 18, 1996.
EXISTING IMPROVEMENTS OBSERVED DURING THE FIELD SURVEY ARE SHOWN HEREON.

28. UNRECORDED EASEMENT FOR UTILITIES, AS EVIDENCED BY UTILITY POLES AND OVERHEAD WIRES, AS DISCLOSED BY OUR INSPECTION.
AFFECTS: REAR LINE OF LAND
OVERHEAD WIRES AS SHOWN HEREON.

29. A NON-EXCLUSIVE CROSS-ACCESS EASEMENT AGREEMENT RECORDED JUNE 13, 2001 AS DOCUMENT R2001-116053, MADE BY AND BETWEEN GEORGANAS AND NAPERVILLE SHOE AND LUGGAGE, INC., THEIR LESSEES, SUCCESSORS IN INTEREST, HEIRS, DEVISEES AND ASSIGNS, FOR CROSS ACCESS FOR PEDESTRIANS AND OPERATORS OF TWO AXLE, PASSENGER MOTORIZED VEHICLES, TOGETHER WITH THE TERMS, PROVISIONS AND CONDITIONS CONTAINED THEREIN. (AFFECTS ALL OF LOTS 7 AND 8)
BLANKET IN NATURE, NOT PLOTTABLE.

30. TERMS, PROVISIONS AND CONDITIONS CONTAINED IN ACCESS AGREEMENT DATED MARCH 18, 2003 AND RECORDED APRIL 24, 2003 AS DOCUMENT R2003-157416, MADE BY NAPERVILLE SHOE AND LUGGAGE, INC., GRANTOR, TO THE HEITZ CORPORATION, GRANTEE, WHEREIN A NON-EXCLUSIVE EASEMENT FOR PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS FROM OGDEN AVENUE TO THE BENEFITED PROPERTY OVER AND ACROSS THE EASTERLY PORTION OF LOT 7, AFORESAID, TOGETHER WITH THE FURTHER PROVISIONS THEREIN CONTAINED.
AFFECTS LOT 7. APPROXIMATE LOCATION AS SHOWN HEREON, SEE HATCHED AREA OVER NORTHEAST SIDE OF LOT 7.

ALTA SURVEY STANDARDS - TABLE A NOTES

- ITEM 1, FOUND AND SET BOUNDARY MONUMENTS SHOWN HEREON.
- ITEM 2, ADDRESS(ES) OF THE PROPERTY OBSERVED WHILE CONDUCTING THE FIELDWORK ARE SHOWN HEREON.
- ITEM 3, THE SUBJECT PROPERTY IS WITHIN ZONE (AREA OF MINIMAL FLOOD HAZARD). AS PER FEMA FLOOD INSURANCE RATE MAPS, MAP NUMBER 17043C01241, WITH A MAP EFFECTIVE DATE OF AUGUST 1, 2019.
- ITEM 4, GROSS LAND AREA OF THE SUBJECT TRACT IS SHOWN HEREON.
- ITEM 5, VERTICAL RELIEF SHOWN HEREON.
- ITEMS 7(A), 7(B)(1), EXTERIOR DIMENSIONS AND SQUARE FOOTAGE OF ALL BUILDINGS AT GROUND LEVEL SHOWN HEREON.
- ITEM 8, SUBSTANTIAL IMPROVEMENTS OBSERVED AT THE TIME THE FIELDWORK WAS PERFORMED ARE SHOWN HEREON.
- ITEM 13, PARCEL OWNER INFORMATION IS SHOWN IS BASED ON PUBLICLY AVAILABLE ON-LINE TAX INFORMATION SOURCES.
- ITEM 19, THE SURVEYOR HOLDS PROFESSIONAL LIABILITY INSURANCE IN AN AMOUNT AGREED TO WITH THE CLIENT FOR TERM OF THE CONTRACT. A CERTIFICATE OF INSURANCE WILL BE PROVIDED UPON REQUEST.

STRUCTURE INFORMATION

STRUCTURE #200 CATCH BASIN RIM= 753.30 UNDER CAR	STRUCTURE #205 CATCH BASIN RIM= 752.19 NW 10' RCP INV= 749.32 SE 4" TOP OF IRON PIPE= 749.59 NOTE: 12" RCP WITH 4" 90° IN GROUND BLOCKED OFF BOTTOM OF STRUCTURE= 745.25
STRUCTURE #201 CATCH BASIN RIM= 754.24 NW 6" PVC INV= 751.89 NE 6" PVC INV= 751.74 TOP OF DEBRIS= 751.64	STRUCTURE #206 SANITARY MANHOLE RIM= 752.97 CENTERLINE OF TROUGH= 747.39 FLOWS NORTHWEST TO SOUTHEAST
STRUCTURE #202 CATCH BASIN RIM= 754.19 NW 6" PVC INV= 751.77 NE 6" PVC INV= 751.74 SE 6" PVC INV= 751.72 TOP OF DEBRIS= 751.69	STRUCTURE #207 STORM MANHOLE RIM= 752.15 N 10" DIP INV= 748.51 SW 12" DIP INV= 748.29 BOTTOM OF STRUCTURE= 748.24
STRUCTURE #203 STORM MANHOLE RIM= 754.32 NW 6" PVC INV= 751.77 NE 6" PVC INV= 751.74 SE 6" PVC INV= 751.72 BOTTOM OF STRUCTURE= 750.62	STRUCTURE #210 CATCH BASIN RIM= 753.27 NW 6" PVC INV= 751.94 NE 6" PVC INV= 751.89 TOP OF DEBRIS= 751.97
STRUCTURE #204 CATCH BASIN RIM= 751.92 UNDER CAR	STRUCTURE #211 CATCH BASIN RIM= 753.76 UNDER FENCE

LEGEND

□ CATCH BASIN	○ POWER POLE
▣ CURB INLET	○ LIGHT POLE
⊙ STORM MANHOLE	○ FIBER OPTIC MARKER
⊙ SANITARY MANHOLE	○ BUSH
○ CLEAN OUT	○ TREE WITH DIAMETER
○ FIBER OPTIC VAULT	○ FIR
○ GAS METER	○ FOUND IRON ROD
○ ELECTRIC METER/TRANSFORMER	○ FOUND IRON PIPE
○ AIR CONDITIONER	○ FOUND NAIL
○ BUFFALO BOX	○ FOUND SPIKE
EP EDGE OF PAVEMENT	○ BENCHMARK
EC EDGE OF CONCRETE	○ FENCH/FENCE CORNER
BC BACK OF CURB	○ MEASURED
FL FLOWLINE	○ RECORD

LINE LEGEND

---	BOUNDARY
- - - - -	EASEMENT
---	BUILDING SET BACK LINE
---	LOT LINE
---	FENCE LINE
---	STORM SEWER LINE
---	SANITARY SEWER LINE
---	OVERHEAD WIRES
---	BUILDING OUTLINE
---	CONCRETE MATERIAL
---	CONCRETE CURB AND GUTTER
---	MINOR CONTOUR 1'

PREPARED FOR:
Kimley-Horn
111 WEST JACKSON BOULEVARD, SUITE 1370
CHICAGO, IL 60604

ALTA/NSPS LAND TITLE SURVEY
1019 EAST OGDEN AVENUE
NAPERVILLE, IL

REVISION DESCRIPTION	DATE

Weaver Consultants Group



WEAVER CONSULTANTS GROUP
1318 BOND STREET SUITE 100
NAPERVILLE, ILLINOIS 60563
(630) 717-4848

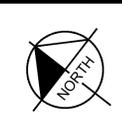
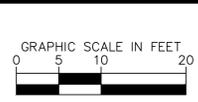
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DRAWN BY: VSP
REVIEWED BY: JTB/MD
DATE: 10/23/2023
FILE: 8077-332-09
CAD: 8077-332_ALTA.dwg

SHEET 1 OF 1

Drawing name: K:\CH\LD\268581000_MRV-TacoBell_Naperville_A\2 Design\PlanSheets\C2.0 - DEMOLITION PLAN.dwg C2.0 Mar 05, 2024 4:27pm by Anthony O'Grady
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DATE	BY
12/15/23	BH
01/29/24	JPM
03/05/24	JPM
CITY COMMENTS	
INITIAL CITY SUBMITTAL	
REVISIONS	

DEMOLITION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR SHALL NOT DEMOLISH ANYTHING OUTSIDE THE OWNERS LEASE/PROPERTY LINE UNLESS SPECIFICALLY MENTIONED ON THIS SHEET.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING IDOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
- REFER TO GEOTECHNICAL REPORT PROVIDED BY OTHERS FOR ALL SUBSURFACE INFORMATION.
- CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
- EROSION CONTROL MUST BE ESTABLISHED PRIOR TO ANY WORK ON SITE INCLUDING DEMOLITION.
- THE EXTENT OF SITE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN.
- CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.
- EXISTING UTILITIES, WHICH DO NOT SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH F#1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO BE BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY WITHIN PAVED AREAS AND TO 90% OF MODIFIED PROCTOR DENSITY FOR GREEN SPACE AREAS, IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.
- UNDERGROUND UTILITIES SHOWN ARE BASED ON ATLASSES AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR SHOULD CALL 'JULIE' (1-800-892-0123) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND AS DIRECTED BY THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. PROPER NOTIFICATION TO THE OWNERS OF THE EXISTING UTILITIES SHALL BE MADE AT LEAST 48 HOURS BEFORE CONSTRUCTION COMMENCES.
- USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL, CONSIST WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE EROSION CONTROL SHEETS FOR FURTHER EROSION CONTROL REQUIREMENTS.
- COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF STRUCTURES TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE IDOT APPROVED CRUSHED LESTONE (CA-6) OR APPROVED EQUAL. USE SATISFACTORY SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. PRIOR TO PLACEMENT OF FILL MATERIALS, ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH AND DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 9" IN LOOSE DEPTH. COMPACT EACH LAYER AT OPTIMUM MOISTURE CONTENT OF FILL MATERIAL TO 95% OF MODIFIED PROCTOR DENSITY UNLESS SUBSEQUENT EXCAVATION FOR NEW WORK IS REQUIRED.

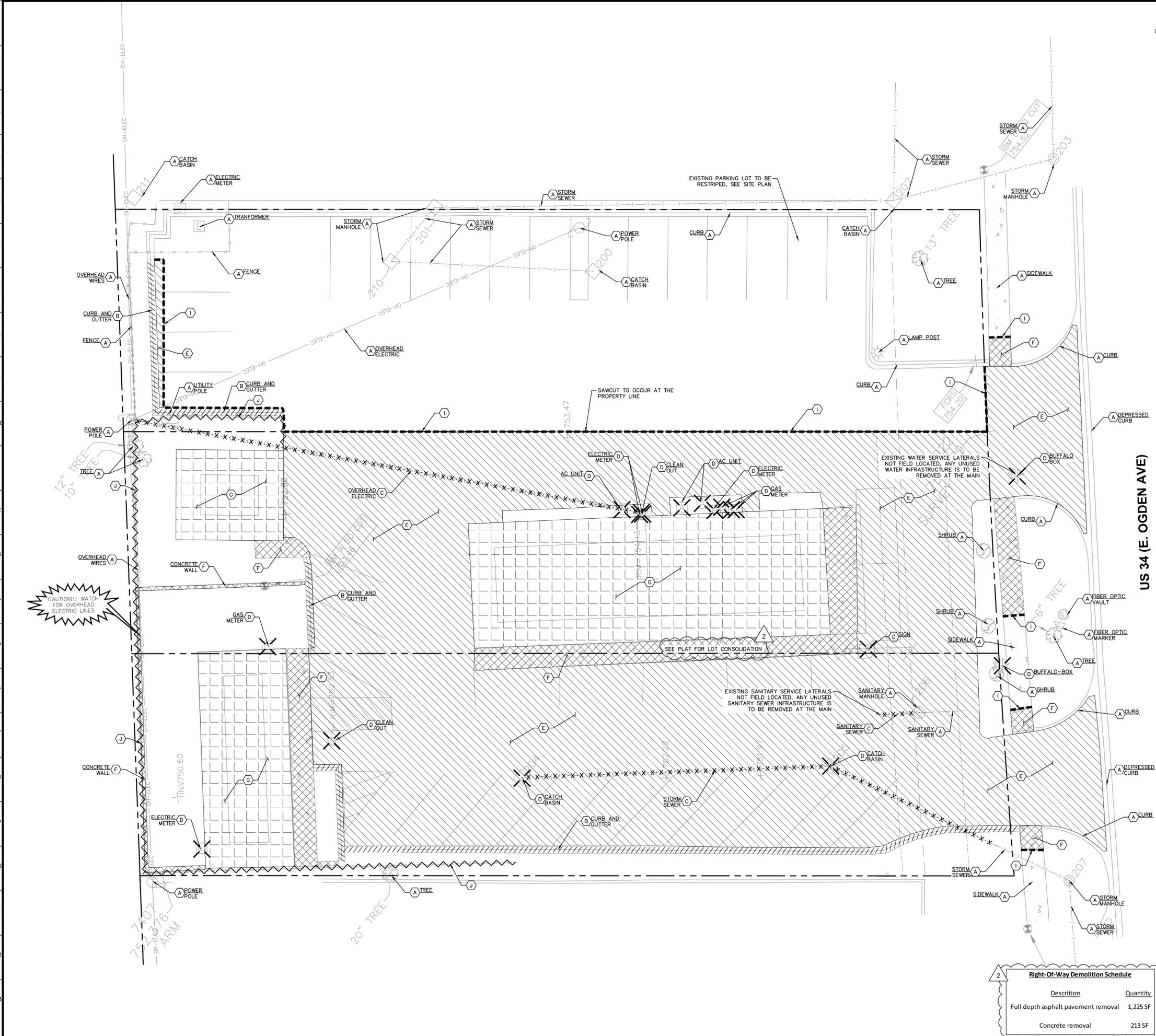
DEMOLITION LEGEND

(A)	ITEM TO REMAIN, PROTECT DURING CONSTRUCTION
(B) - - - - -	CURB REMOVAL
(C) - X - X -	UTILITY REMOVAL
(D) - X - X -	ITEM TO BE REMOVED
(E) [Hatched]	FULL-DEPTH ASPHALT PAVEMENT REMOVAL
(F) [Cross-hatched]	CONCRETE REMOVAL
(G) [Diagonal lines]	BUILDING REMOVAL
(H) [Dotted]	ASPHALT 1.5" MILL (NOT USED)
(I) - - - - -	SAWCUT LINE
(J) [Wavy line]	FENCE REMOVAL

Description	Quantity
Full depth asphalt pavement removal	1,225 SF
Concrete removal	213 SF

WARNING: CONTRACTOR TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

US 34 (E. OGDEN AVE)



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MRV
 ARCHITECTS, INC.

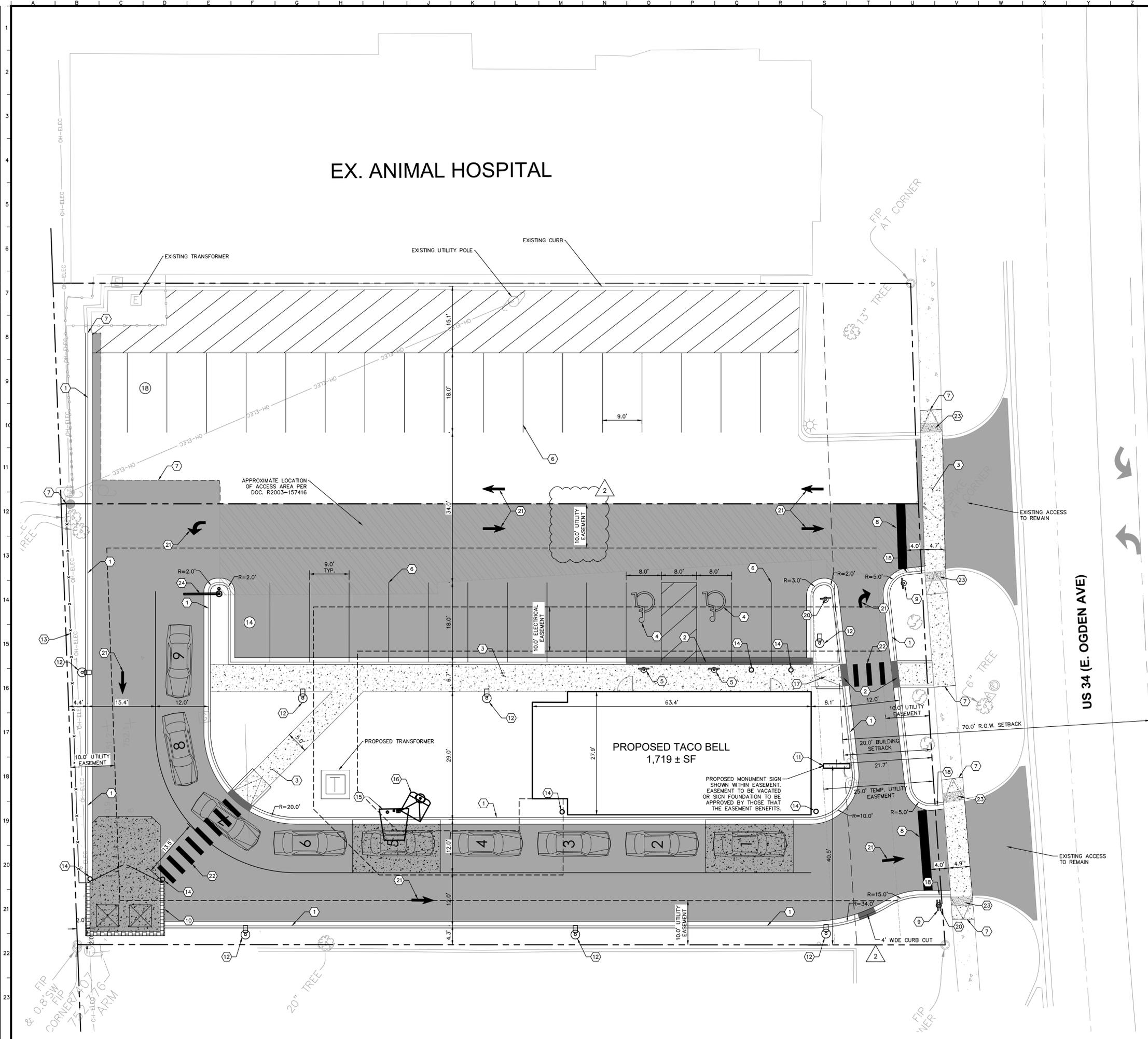
DEMOLITION PLAN

TACO BELL
 1019 E. OGDEN AVE.
 NAPERVILLE, IL

ORIGINAL ISSUE:
 12/15/2023
 KHA PROJECT NO.
 268581000
 SHEET NUMBER

C2.0

Drawing name: K:\CH\DEV\268581000_MRV-TacoBell_Aperville_IL\2 Design\PlanSheets\C3.0 - SITE PLAN.dwg C3.0 Mar 05, 2024 4:27pm by Anthony Gravano
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GRAPHIC SCALE IN FEET
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- ### GENERAL NOTES
- ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 - REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
 - RADII ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3'-FEET, TYPICAL.
 - REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
 - ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.

PAVING AND CURB LEGEND

- HEAVY DUTY ASPHALT PAVEMENT
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- CONCRETE SIDEWALK
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- HEAVY DUTY CONCRETE PAVEMENT
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- STANDARD PITCH CONCRETE CURB AND GUTTER
- CONCRETE DEPRESSED CURB AND GUTTER

- ### KEY NOTES
- B6.12 CONCRETE CURB AND GUTTER, TYP. (SEE DETAILS, SHEET C7.0)
 - DEPRESSED CONCRETE CURB AND GUTTER
 - CONCRETE SIDEWALK, TYP. (SEE DETAILS, SHEET C7.0)
 - ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS, SHEET C7.0)
 - ACCESSIBLE PARKING SIGN, TYP. (MUTCD R7-8) (SEE DETAILS, SHEET C7.0)
 - 4" WIDE PAINTED SOLID LINE, TYP.
 - CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
 - 24" WIDE STOP BAR, TYP.
 - STOP SIGN, TYP. (MUTCD R1-1, SEE DETAILS, SHEET C7.0)
 - TRASH ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS)
 - MONUMENT SIGN (SEE SIGNAGE PLANS FOR DETAILS)
 - LIGHT POLES SHOWN FOR COORDINATION ONLY (SEE SITE LIGHTING PLANS)
 - BOARD ON BOARD FENCE (SEE LANDSCAPE PLAN)
 - BOLLARD, TYP. (SEE DETAILS, SHEET C7.0)
 - SPEAKER POST (SEE ARCHITECTURAL PLANS FOR DETAILS)
 - MENU BOARD (SEE ARCHITECTURAL PLANS FOR DETAILS)
 - ACCESSIBLE RAMP (SEE DETAILS, SHEET C7.0)
 - 3-FT TRANSITION CURB (SEE DETAILS, SHEET C7.0)
 - BIKE RACK (SEE LANDSCAPE PLAN FOR DETAILS)
 - "DO NOT ENTER" SIGN
 - SITE DIRECTIONAL MARKING (SEE ARCHITECTURAL PLANS FOR DETAILS)
 - 5-FT WIDE PAINTED CROSSWALK (SEE DETAILS, SHEET C7.0)
 - 2' WIDE TACTICAL WARNING STRIP (SEE DETAILS, SHEET C7.0)
 - CLEARANCE BAR, SEE ARCHITECTURAL PLANS FOR DETAILS

DESIGNED BY: BMH	CITY COMMENTS	03/05/24	JPM
DRAWN BY: CAE	CITY COMMENTS	01/29/24	JPM
CHECKED BY: JPM	INITIAL CITY SUBMITTAL	12/15/23	BH
SCALE: AS NOTED	REVISIONS	DATE	BY

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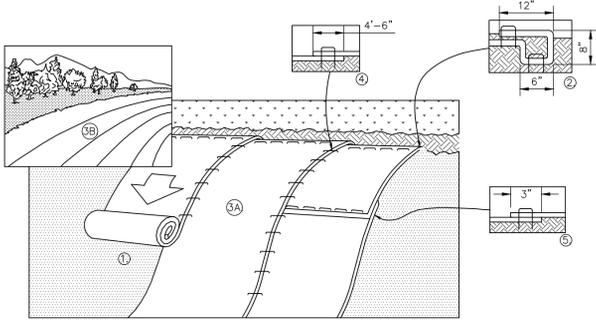
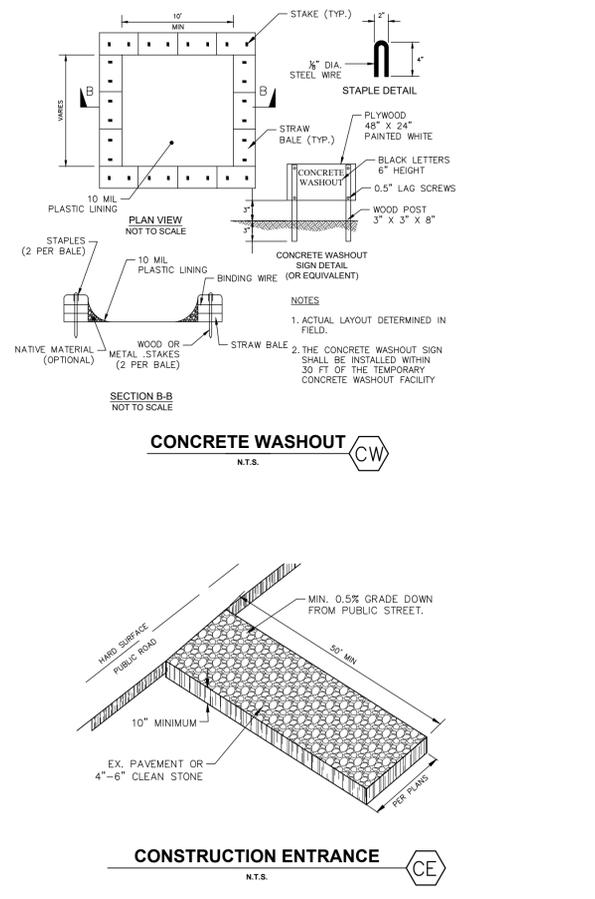
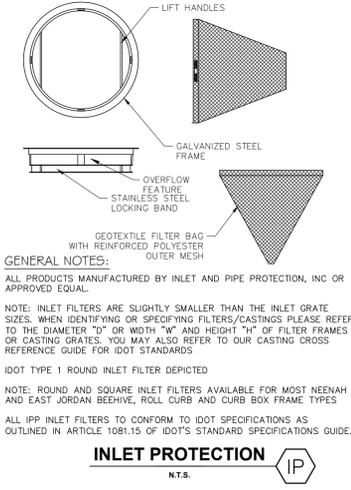
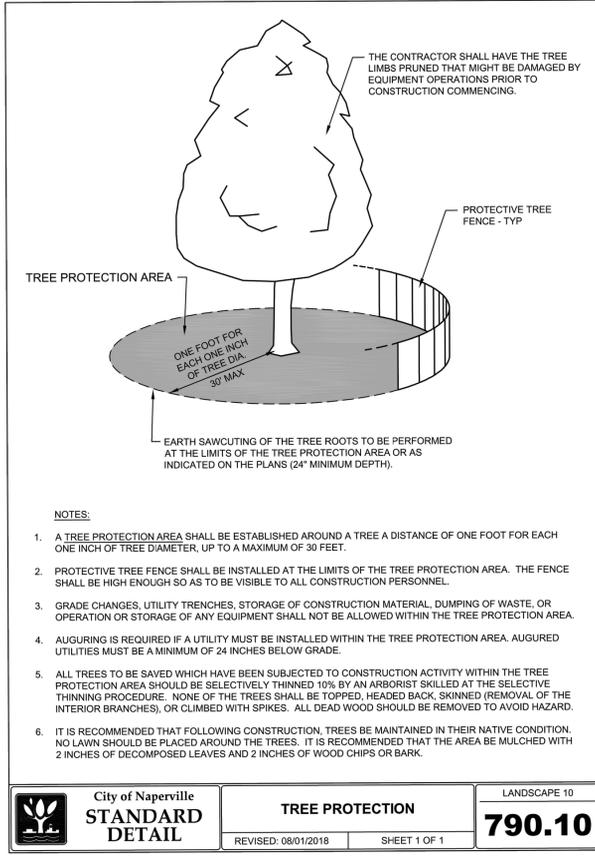
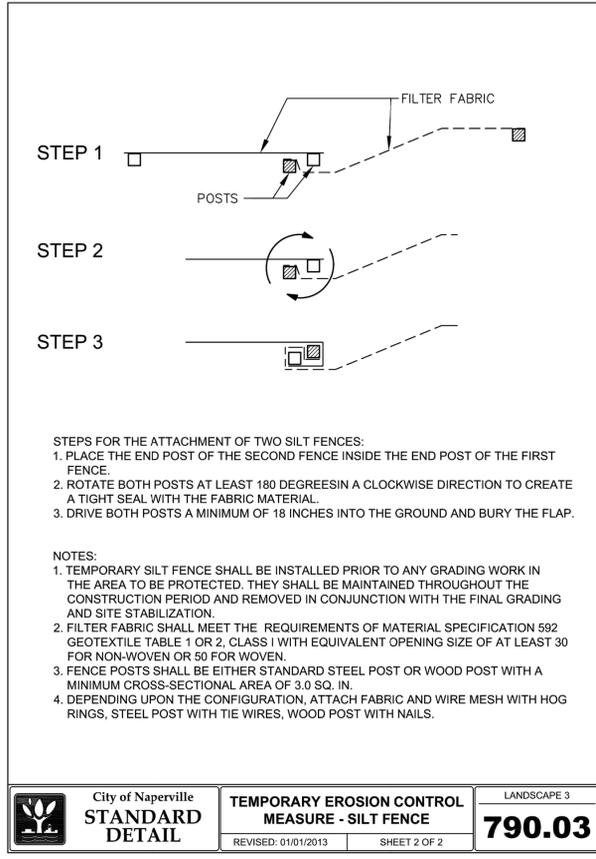
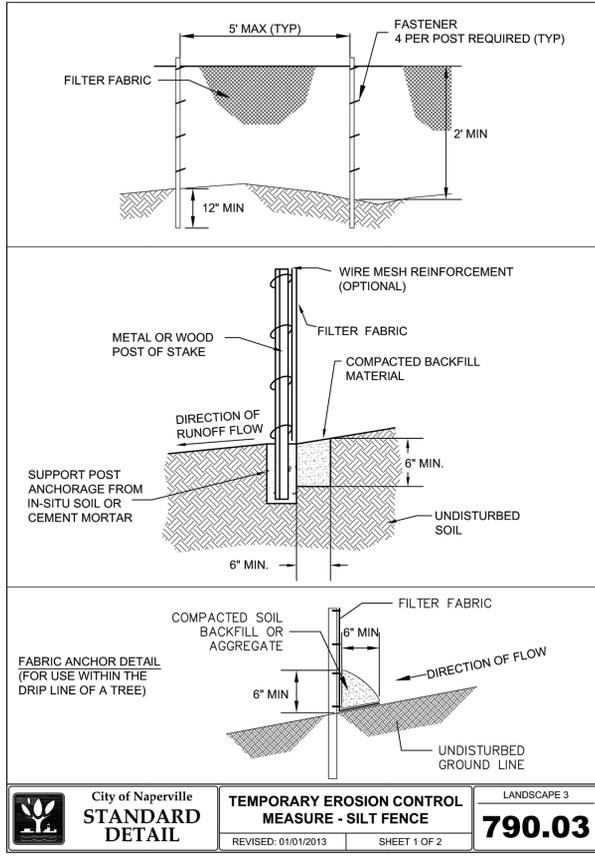
MRV ARCHITECTS, INC.

SITE PLAN

TACO BELL
1019 E. OGDEN AVE.
NAPERVILLE, IL

ORIGINAL ISSUE:
12/15/2023
KHA PROJECT NO.
268581000
SHEET NUMBER
C3.0

Drawing name: K:\CH\DEV\26851000_MRV-TacoBell_Naperville_IL\2 Design\CAD\PlanSheets\CA.0 - EROSION CONTROL PLAN.dwg CA.1 Mar 05, 2024 4:27pm by Anthony.Garciano
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STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.
PERMANENT SEEDING			A			*	*					
DORMANT SEEDING	B										B	
TEMPORARY SEEDING			C				D					
SODDING			E									
MULCHING	F		**									

A KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE
 B KENTUCKY BLUEGRASS 135 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 45 LBS/ACRE + 2 TONS STRAW MULCH/ACRE
 C SPRING OATS 100 LBS/ACRE
 D WHEAT OR CEREAL RYE 150 LBS/ACRE
 E SOD
 F STRAW MULCH 2 TONS/ACRE

* WATERING NEEDED DURING JUNE AND JULY
 ** WATERING NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD

SEEDING CHART

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
 - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH AS SHOWN IN DETAIL 2. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
 - ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS PER MANUFACTURER'S RECOMMENDATION.
 - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH MINIMUM 6" OVERLAP. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
 - CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
 - PLACE STAPLES/STAKES PER MANUFACTURER'S RECOMMENDATION FOR THE APPROPRIATE SLOPE BEING APPLIED.
- NOTES:
 1. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
 2. FOLLOW EROSION CONTROL TECHNOLOGY COUNCIL SPECIFICATION FOR PRODUCT SELECTION.
 3. PERVIOUS LAND WITH SLOPES RUNNING GREATER THAN OR EQUAL TO 4:1 SHALL CONTAIN SLOPE STABILIZATION BLANKET

NO.	REVISIONS	DATE	BY
1	INITIAL CITY SUBMITTAL	12/15/23	BH
2	CITY COMMENTS	01/29/24	JPM
3	CITY COMMENTS	03/05/24	JPM

SCALE: AS NOTED
 DESIGNED BY: BMH
 DRAWN BY: CAE
 CHECKED BY: JPM



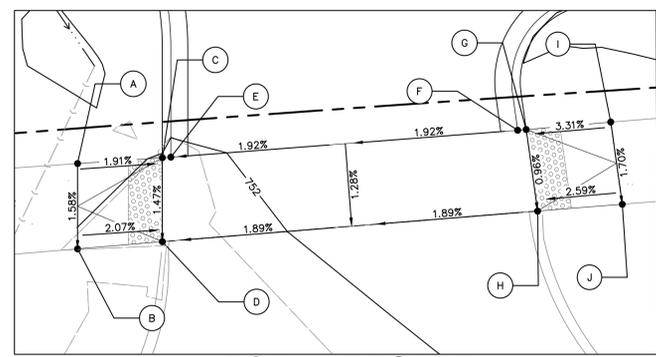
EROSION CONTROL NOTES & DETAILS

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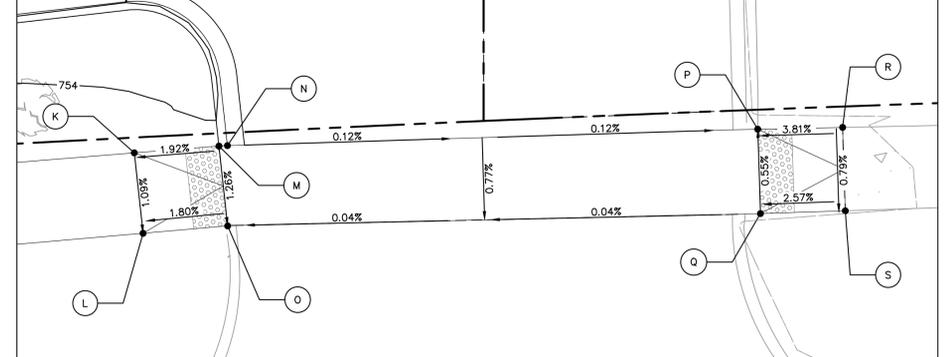
ORIGINAL ISSUE: 12/15/2023
 KHA PROJECT NO. 26851000
 SHEET NUMBER
C4.1



Drawing name: K:\CH\LD\26881000_MRV-TacoBell_Naperville_A\2 Design\PlanSheets\C5.0 - GRADING & DRAINAGE PLAN Mar 05, 2024 4:27pm By: Anthony Graziano
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IDOT ADA GRADING DETAIL 1
1" = 5'



IDOT ADA GRADING DETAIL 2
1" = 5'

Intersection Ramp Details			
CALLOUT	STATION	OFFSET	ELEVATION
A	0+05.60	47.94 LT	752.06
B	0+05.23	42.95 LT	751.98
C	0+10.53	47.90 LT	751.95
D	0+10.17	42.99 LT	751.88
E	0+11.03	47.90 LT	751.94
F	0+31.21	48.03 LT	752.33
G	0+31.70	48.04 LT	752.33
H	0+32.05	43.23 LT	752.28
I	0+36.62	48.15 LT	752.50
J	0+36.98	43.30 LT	752.41
K	0+78.00	49.10 LT	753.63
L	0+78.27	44.36 LT	753.57
M	0+82.92	49.25 LT	753.72
N	0+83.41	49.25 LT	753.73
O	0+83.19	44.55 LT	753.66
P	1+14.17	48.85 LT	753.75
Q	1+14.14	43.90 LT	753.78
R	1+19.09	48.77 LT	753.94
S	1+19.07	43.88 LT	753.90



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811
 1-800-892-0123

- ### GRADING NOTES
- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
 - ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
 - ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
 - NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
 - MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
 - MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
 - WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
 - MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.

- ### GRADING LEGEND
- TP = TOP OF PAVEMENT
 - EP = EDGE OF PAVEMENT
 - FL = FLOW LINE
 - TC = TOP OF CURB
 - ME = MATCH ELEVATION
 - R = RIM ELEVATION
 - FG = FINISHED GRADE
 - XXX — PROPOSED CONTOUR
 - — EXISTING CONTOUR
 - RIDGE — RIDGE LINE
 - X,XXX — SLOPE AND FLOW DIRECTION
 - 100' — 100-YEAR OVERLAND OVERFLOW ROUTE
 - — PROPOSED SWALE
 - AR — ACCESSIBLE ROUTE
 - — PROPOSED STORM SEWER LINE
 - — PROPOSED OPEN LID STORM STRUCTURE
 - — PROPOSED CLOSED LID STORM STRUCTURE
 - — PROPOSED COMBINATION CURB INLET
 - — EX. STORM DRAIN LINE
 - — EX. STORM MANHOLE
 - — EX. STORM STRUCTURE/INLET

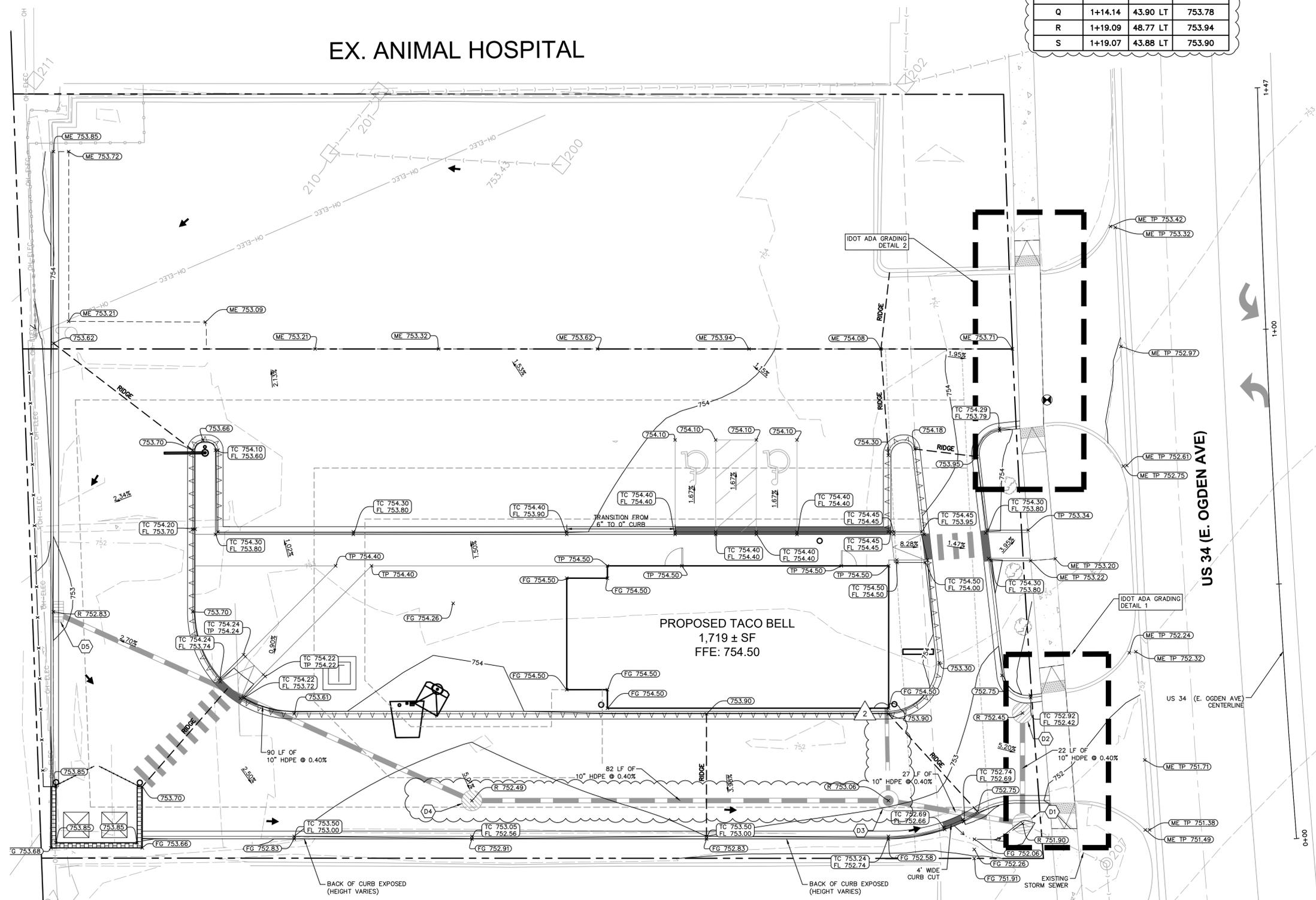
STORM STRUCTURE TABLE

STRUCTURE NAME:	DETAILS:
D1	OPEN LID MANHOLE NEENAH R4340B CASTING CONSTRUCTED ON EXISTING STORM SEWER RIM: 751.90 INV IN: 748.76 (NW, 10") INV IN: 748.76 (NE, 10") INV OUT: 748.76 (S, 10")
D2	OPEN LID MANHOLE NEENAH R2502 CASTING RIM: 752.45 INV OUT: 748.85 (SW, 10")
D3	CLOSED LID MANHOLE NEENAH R1713 CASTING RIM: 753.06 INV IN: 748.87 (NW, 10") INV OUT: 748.87 (SE, 10") INV OUT: 750.20 (NE, 8")
D4	OPEN LID MANHOLE NEENAH R2502 CASTING RIM: 752.49 INV IN: 749.19 (N, 10") INV OUT: 749.19 (SE, 10")
D5	CURB INLET NEENAH R3278A CASTING RIM: 752.83 INV OUT: 749.56 (S, 10")

EX. ANIMAL HOSPITAL

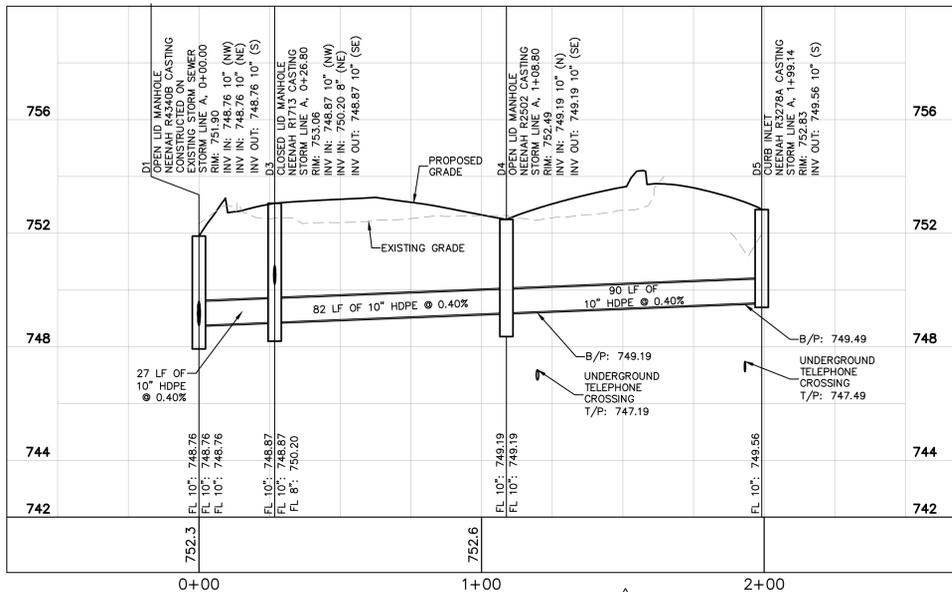
PROPOSED TACO BELL 1,719 ± SF FFE: 754.50

US 34 (E. OGDEN AVE)

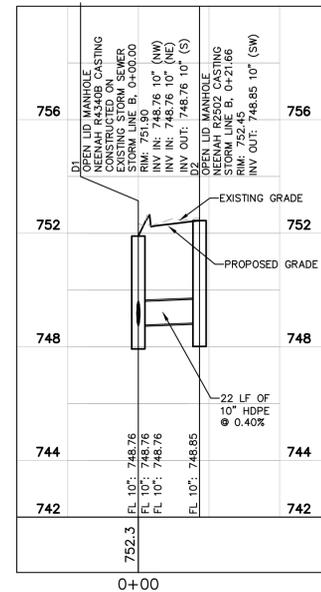


SCALE: AS NOTED DESIGNED BY: BMH DRAWN BY: CAE CHECKED BY: JPM	Kimley»Horn <small>© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 111 WEST JACKSON BLVD., SUITE 1300 WILMINGTON, DE 19801 WWW.KIMLEY-HORN.COM</small>	MRV ARCHITECTS, INC.	GRADING AND DRAINAGE PLAN TACO BELL 1019 E. OGDEN AVE. NAPERVILLE, IL	ORIGINAL ISSUE: 12/15/2023 KHA PROJECT NO. 268581000 SHEET NUMBER C5.0	CITY COMMENTS 03/05/24 JPM 01/29/24 JPM INITIAL CITY SUBMITTAL 12/15/23 BH REVISIONS DATE
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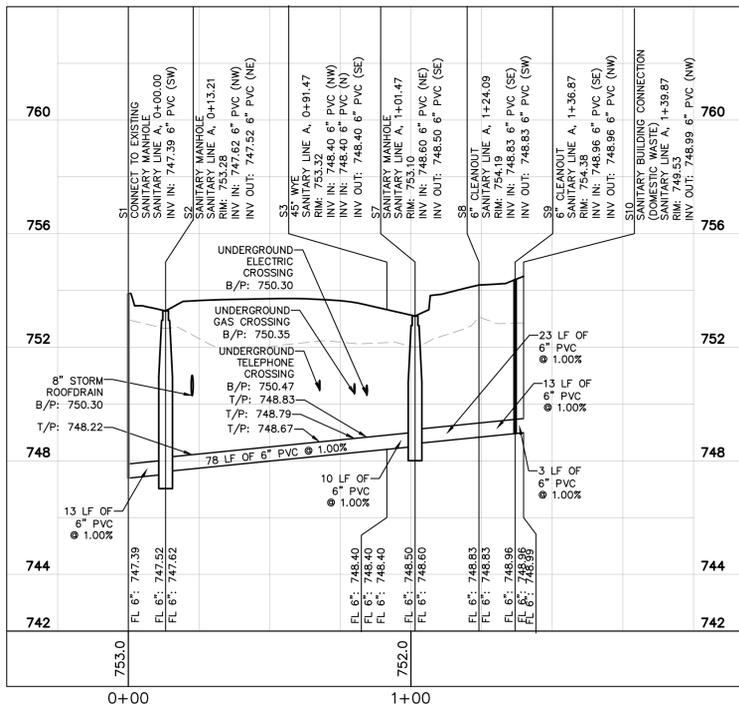
Drawing name: K:\CHU\DEV\268581000_MRY-TacoBell_Naperville_IL\2 Design\CAD\PlanSheets\C6.1 - UTILITY PROFILES.dwg 06.1 Mar 05, 2024 4:27pm by Anthony Graziano
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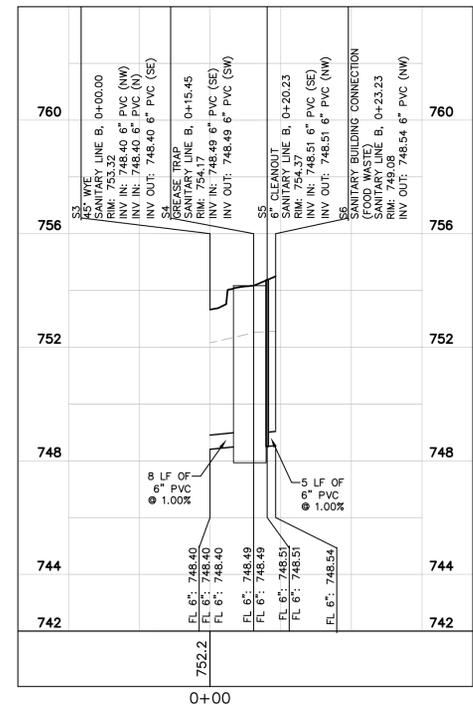
STORM LINE A
 H: 1" = 30' | V: 1" = 3'



STORM LINE B
 H: 1" = 30' | V: 1" = 3'



SANITARY LINE A
 H: 1" = 30' | V: 1" = 3'



SANITARY LINE B
 H: 1" = 30' | V: 1" = 3'

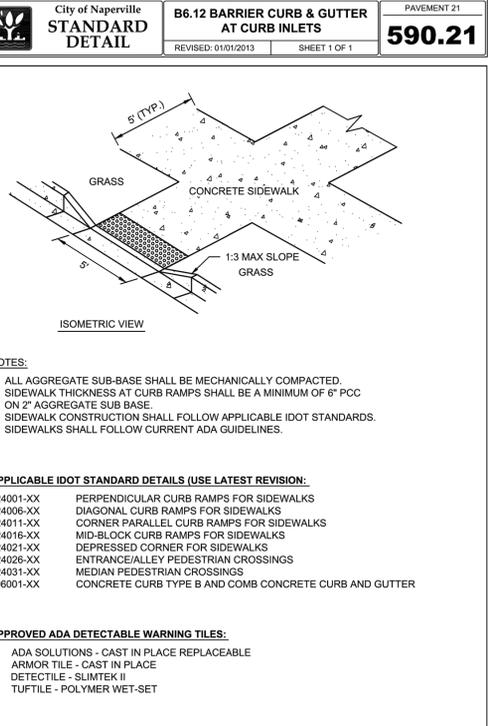
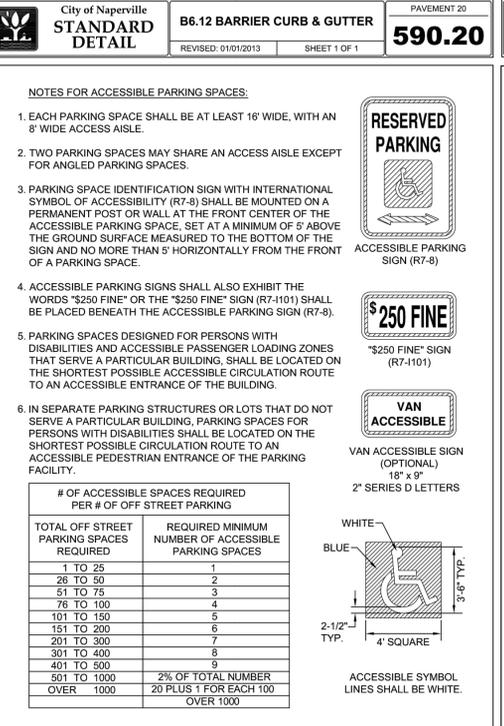
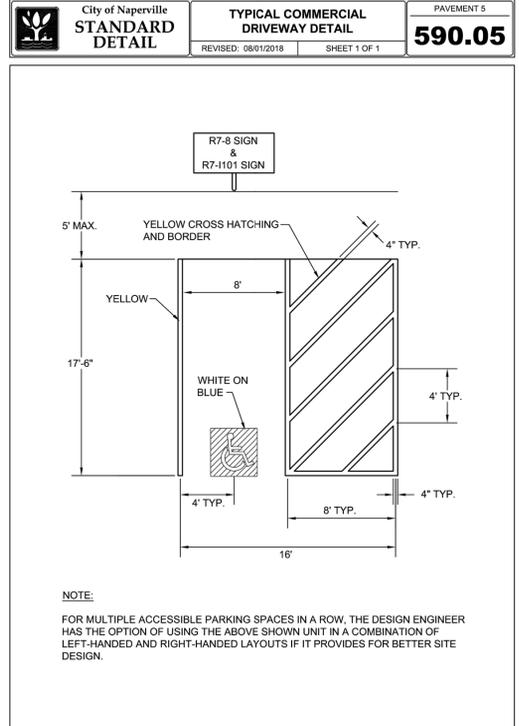
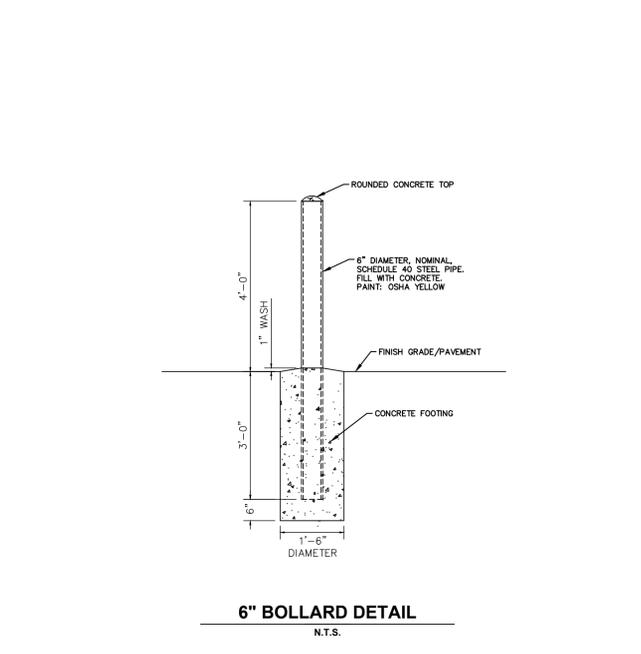
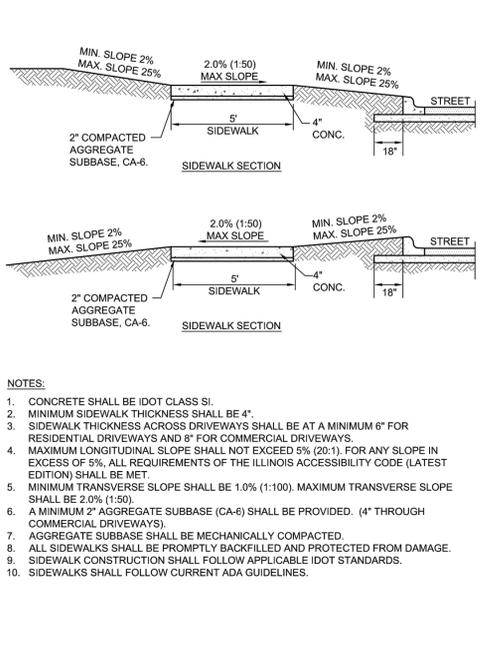
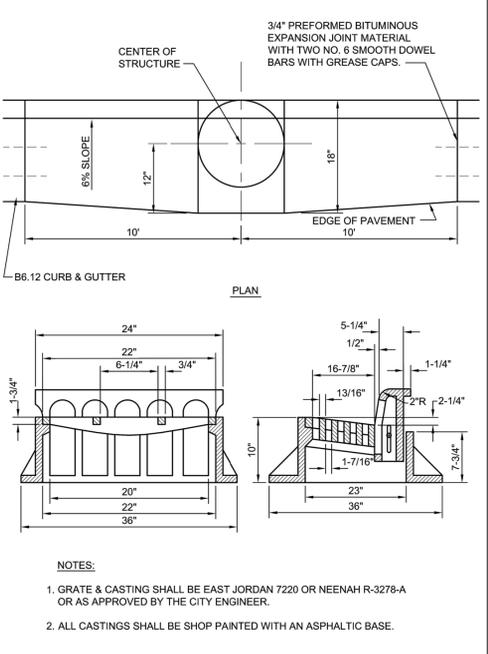
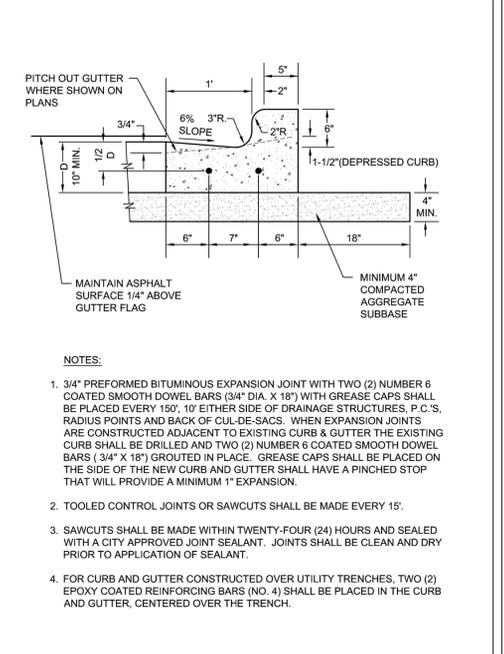
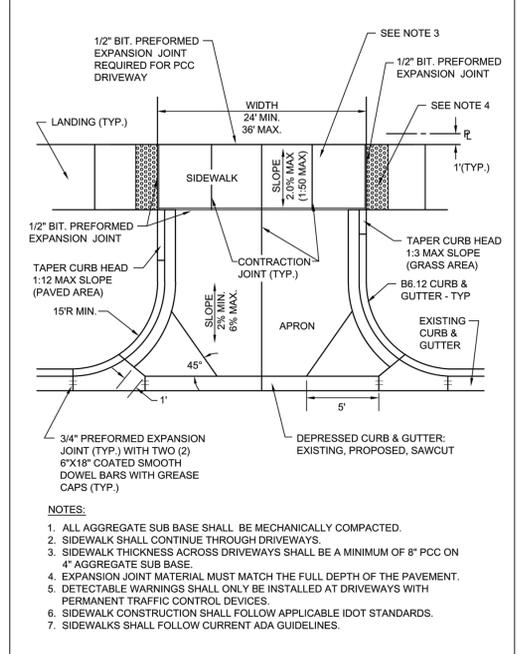
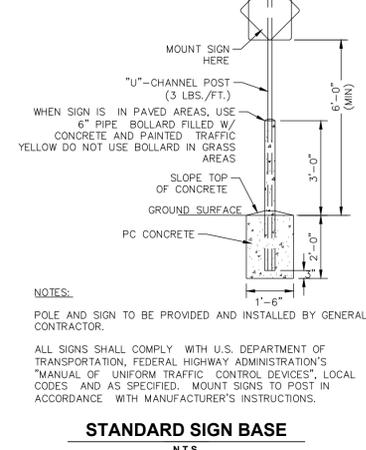
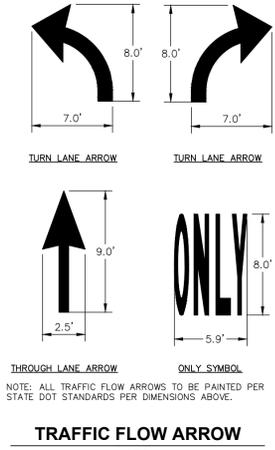
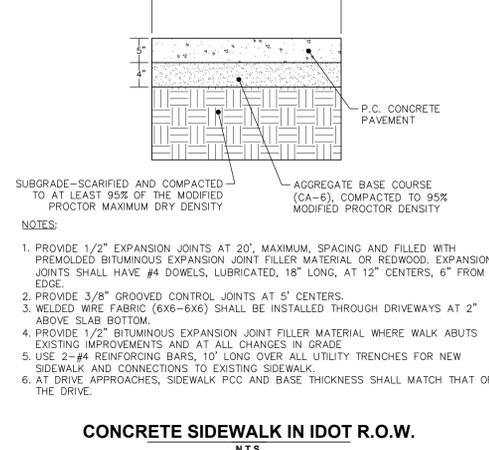
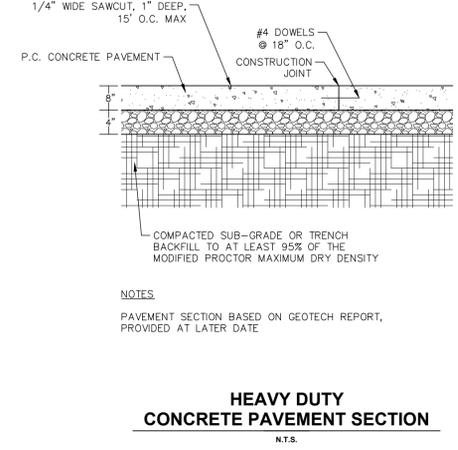
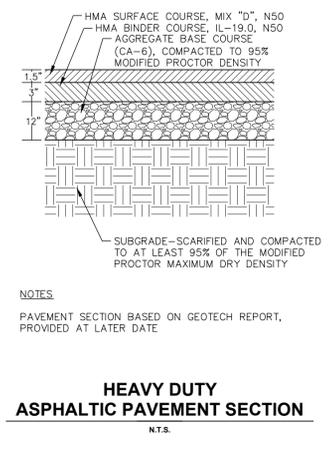
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SCALE: AS NOTED DESIGNED BY: BMH DRAWN BY: CAE CHECKED BY: JPM	CITY COMMENTS CITY COMMENTS INITIAL CITY SUBMITTAL REVISIONS
ORIGINAL ISSUE: 12/15/2023 KHA PROJECT NO. 268581000 SHEET NUMBER C6.1	DATE 03/05/24 01/29/24 12/15/23 JPM JPM BH BY



UTILITY PROFILES

TACO BELL
 1019 E. OGDEN AVE.
 NAPERVILLE, IL

Drawing name: K:\CH\LD\268581000_MKV-TacoBell_Naperville_IL\2 Design\PlanSheets\C7.0 - CONSTRUCTION DETAILS.dwg C7.0 Mar 05, 2024 4:27pm by AnthonyGraziano
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DESIGNED BY: BMH	CITY COMMENTS	DATE
DRAWN BY: CAE	INITIAL CITY SUBMITTAL	DATE
CHECKED BY: JPM	REVISIONS	DATE

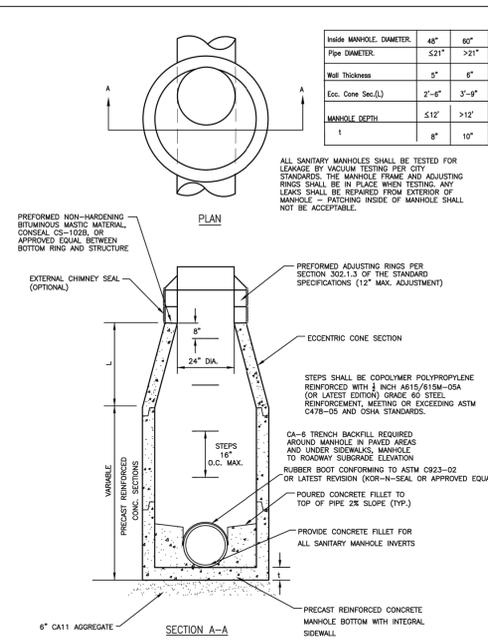
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 ARCHITECTS, INC.

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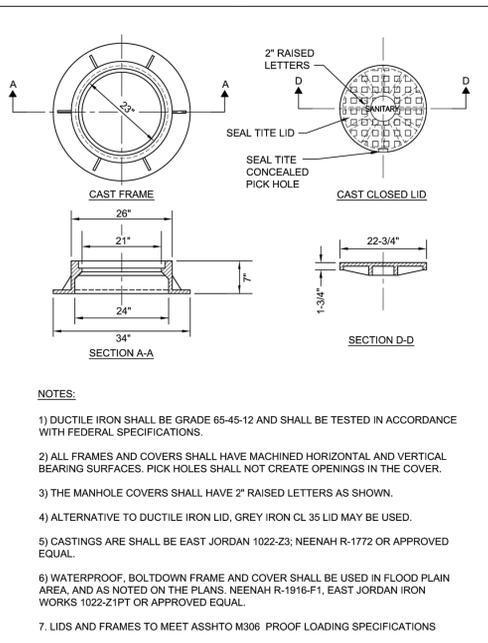
ORIGINAL ISSUE: 12/15/2023
 KHA PROJECT NO. 268581000
 SHEET NUMBER **C7.0**

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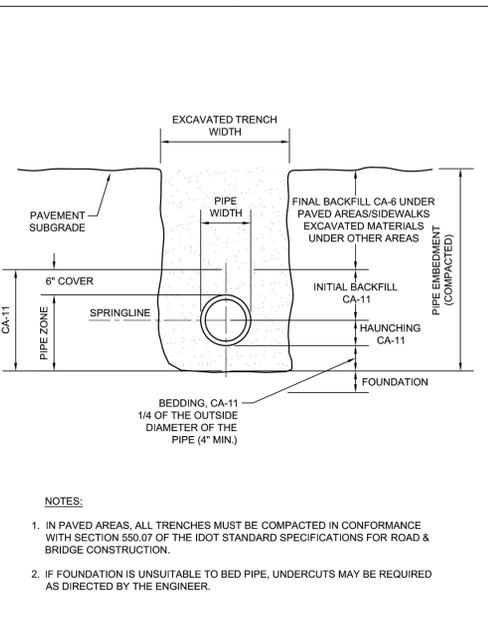


Inside MANHOLE DIAMETER	48"	60"
PIPE DIAMETER	≤21"	>21"
Wall Thickness	5"	6"
Ecc. Cone Sec.(d)	2'-6"	3'-6"
MANHOLE DEPTH	≤12'	>12'
t	8"	10"

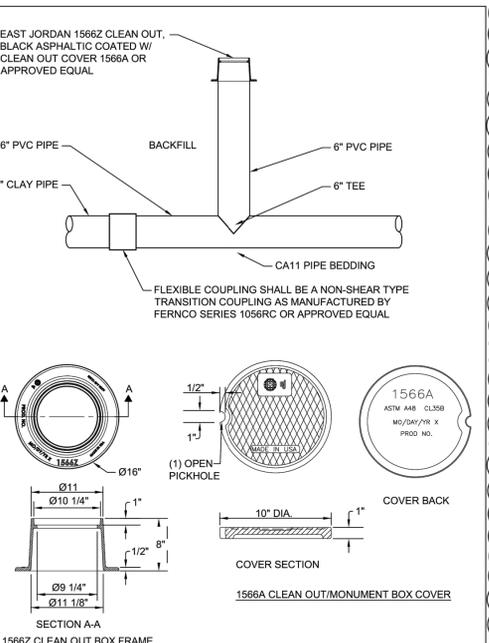
City of Naperville
STANDARD DETAIL
 SANITARY SEWER MANHOLE
 REVISED: 08/01/2018 SHEET 1 OF 1
390.01



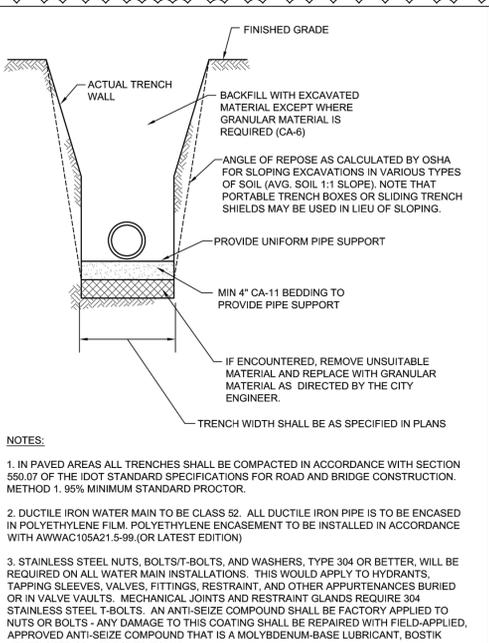
City of Naperville
STANDARD DETAIL
 SANITARY MANHOLE - FRAME & COVER
 REVISED: 01/01/2013 SHEET 1 OF 1
390.06



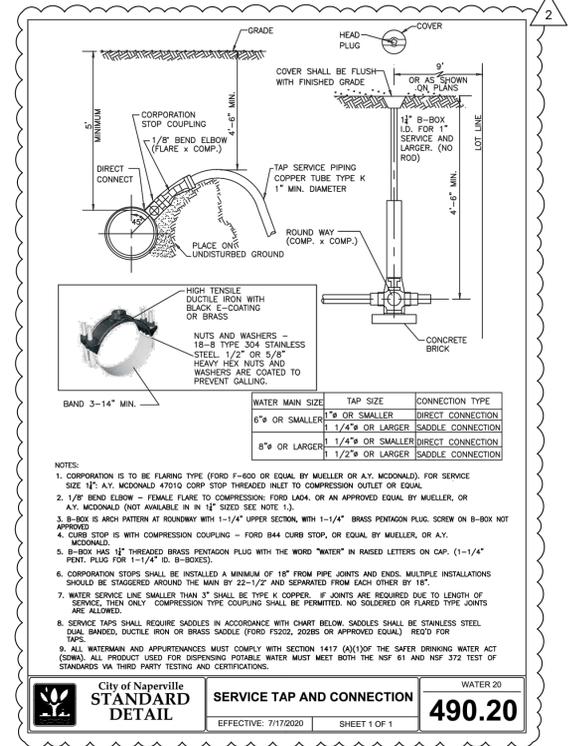
City of Naperville
STANDARD DETAIL
 TRENCH SECTION FOR PVC PIPE
 REVISED: 01/01/2013 SHEET 1 OF 1
390.10



City of Naperville
STANDARD DETAIL
 SANITARY SEWER CLEANOUT
 REVISED: 10/04/2023 SHEET 1 OF 1
390.23

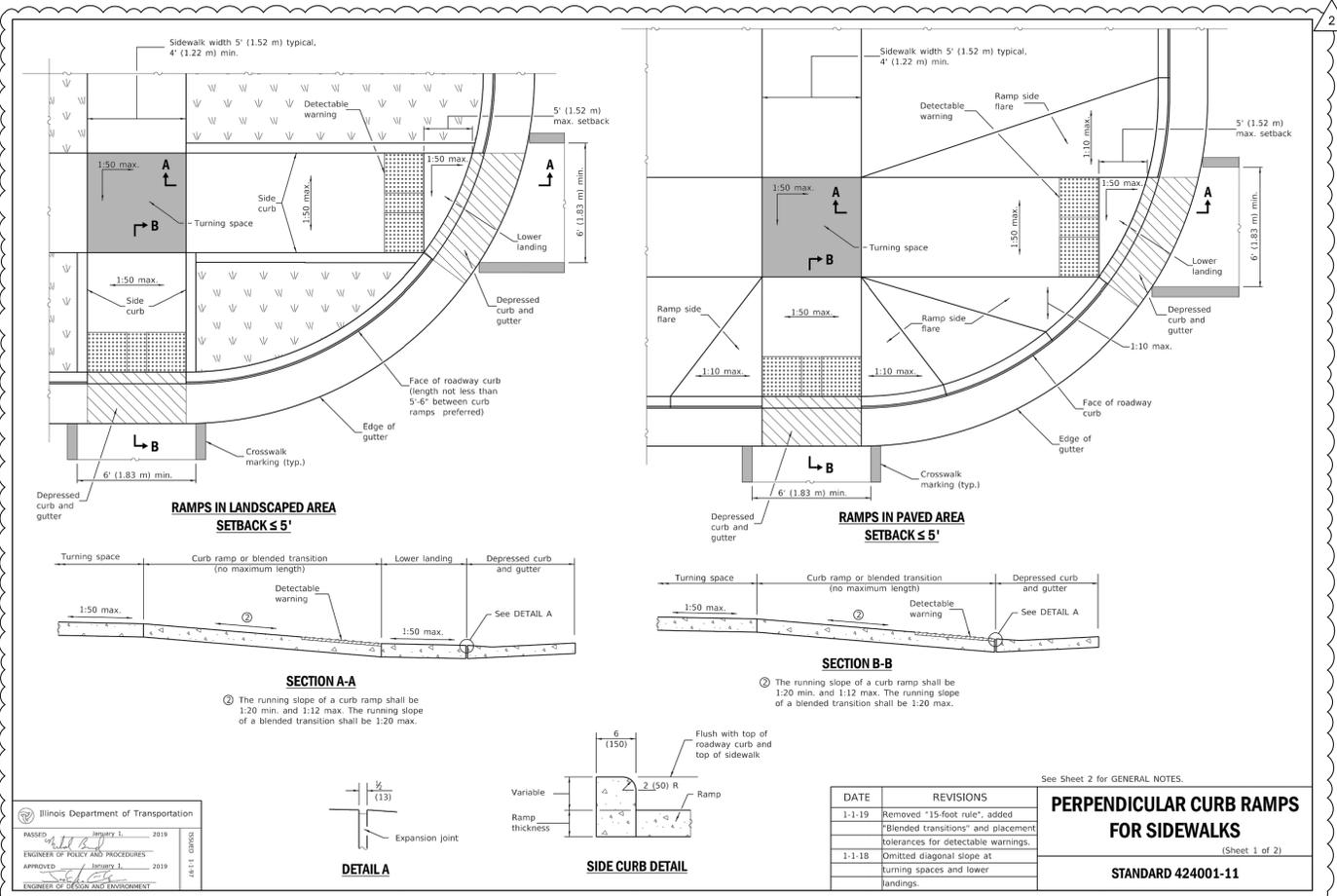


City of Naperville
STANDARD DETAIL
 WATER MAIN TRENCH SECTION
 REVISED: 01/01/2013 SHEET 1 OF 1
490.10



WATER MAIN SIZE	TAP SIZE	CONNECTION TYPE
12" OR SMALLER	1" OR SMALLER	DIRECT CONNECTION
8" OR SMALLER	1/4" OR LARGER	SADDLE CONNECTION
8" OR LARGER	1/4" OR SMALLER	DIRECT CONNECTION
8" OR LARGER	1/2" OR LARGER	SADDLE CONNECTION

City of Naperville
STANDARD DETAIL
 SERVICE TAP AND CONNECTION
 EFFECTIVE: 7/17/2020 SHEET 1 OF 1
490.20



DATE	REVISIONS
1-1-19	Removed "15-foot rule", added "blended transitions" and placement tolerances for detectable warnings.
1-1-18	Omitted diagonal slope at turning spaces and lower landings.

PERPENDICULAR CURB RAMPS FOR SIDEWALKS
 (Sheet 1 of 2)
STANDARD 424001-11

NO.	REVISIONS	DATE	BY
1	INITIAL CITY SUBMITTAL	12/15/23	BH
2	CITY COMMENTS	01/29/24	JPM
3	CITY COMMENTS	03/05/24	JPM

Kimley-Horn
 11 WEST JACOBSON BLVD., SUITE 1300
 NAPERVILLE, IL 60563
 PHONE: 630-728-9445
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 CONSTRUCTION DETAILS

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 1019 E. OGDEN AVE.
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ORIGINAL ISSUE: 12/15/2023
 KHA PROJECT NO. 268581000
 SHEET NUMBER C7.2