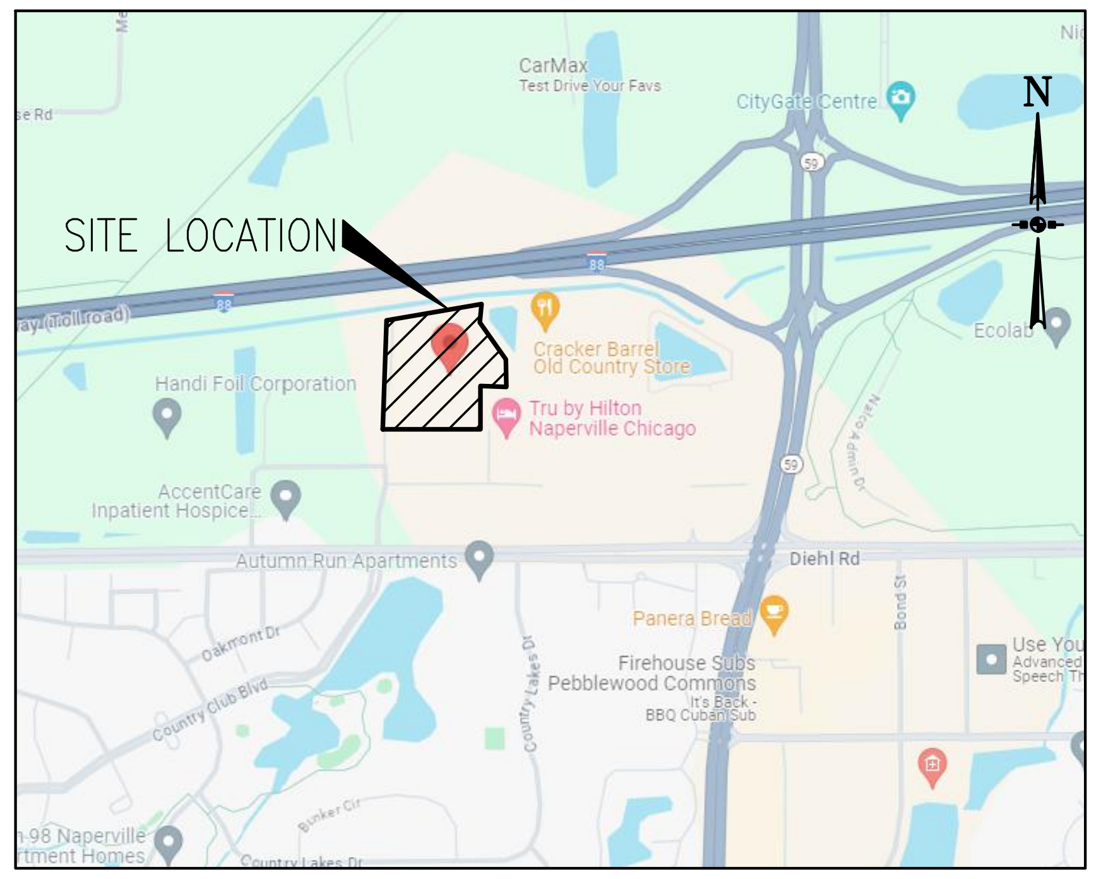
VISSERING

SITE IMPROVEMENT PLANS
FOR
1880 COUNTRY FARM DRIVE
NAPERVILLE, ILLINOIS
VISSERING CONSTRUCTION COMPANY

H206
1880 COUNTRY FARM DRIVE
5/17/2024

LEGEND

PROPOSED	DESCRIPTION	EXISTING
—C——C—	STORM SEWER	—C——C—
—8W—	WATER MAIN WITH SIZE	—W—
—◄——◄—	SANITARY SEWER	—◁——◁—
—— – – ——	RIGHT–OF–WAY	—— – – ——
—842—	CONTOUR	—701—
805.25 ×	SPOT GRADE	+ 701.30
⬢	SANITARY MANHOLE	⬡
◉	STORM MANHOLE	◎
■	STORM INLET	□
●	STORM CATCH BASIN	○
●	FIRE HYDRANT	○
◙	PRESSURE CONNECTION	⊕
◓	GATE VALVE W/VAULT	◐
☀	LIGHT POLE	✧
×—●	STREET LIGHT W/MAST	●—
←	OVERFLOW DIRECTION	
═══	CURB & GUTTER	———
———	SILT FENCE	
●	ROAD SIGN	○
—UGE—	UNDERGROUND ELECTRIC	—E—
—G—	UNDERGROUND GAS	—G—
○	UTILITY POLE	○
▬	DEPRESSED CURB FOR RAMP/DRIVEWAY	
TF	TOP OF FOUNDATION	
GF	GARAGE FLOOR, AT REAR OF GARAGE	
TD	TOP OF CURB, DEPRESSED	
TW	TOP OF RETAINING WALL	
R=	RIM FOR STRUCTURES	
R	RISER FOR SANITARY SERVICE	
HWL/NWL	HIGH/NORMAL WATER LEVEL	
T	TRANSFORMER	
——X——	FENCE LINE	——X——
—□—□—□—	GUARD RAIL	—□—□—□—
——▶▶——	FORCE MAIN	——▷▷——
	UNDERGROUND TELEPHONE	——T——
	UNDERGROUND ELECTRIC	——E——
	OVERHEAD ELECTRIC	——OHE——
	GAS LINE	——G——



LOCATION MAP

NOT TO SCALE

SURVEY REFERENCE NOTE:

EXISTING CONDITIONS AND TOPOGRAPHY ARE SHOWN PER THE 'BOUNDARY AND TOPOGRAPHIC SURVEY', DATED APRIL 11, 2024, AS PREPARED BY JACOB AND HEFNER ASSOCIATES, INC. CONTRACTOR SHALL FIELD VERIFY EXISTING SITE CONDITIONS AND ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES OR OMISSIONS.

BENCHMARK AND LOCATIONS:

BASIS OF BEARINGS:

NAD 83 ILLINOIS STATE PLANE, EAST ZONE (1201) ELEVATIONS ARE BASED NAVD 1988

REFERENCE BENCHMARKS:

CITY OF NAPERVILLE STATION NO. 8

BERNSTEIN 3D TOPO SECURITY MONUMENT CONSISTING OF 9/16" DIA. STAINLESS STEEL DATUM POINT. LOCATED ON THE EAST SIDE OF RAYMOND DR., APPROXIMATELY 280 FT. SOUTH OF DUPAGE COUNTY FOREST PRESERVE ENTRANCE 15.47 FT. SOUTHEAST OF CHISELED "X" IN CURB, 12.26 FT. WEST OF A CHISELED "X" IN CURB AND 22.70 FT. NORTHEAST OF A "X" CHISELED IN CURB

ELEVATION = 711.40 (NAVD 88)

SITE BENCHMARKS:

SITE BENCHMARK 1 (JHA CP 1) CROSS NOTCH CUT IN CONC. CURB

SITE BENCHMARK 1 IS CROSS NOTCH CUT IN THE TOP OF CONC. CURB ON THE E. SIDE OF COUNTRY FARM DR. NEAR THE SOUTHWEST BNUILDING CORNER FOR THE BUILDING LOCATED @ 1880 COUNTRY FARM DR. ANDA NEAR THE END OF COUNTRY FARM DR., WHICH IS ENDING AAND OPENING INTO THE CONC. TRUCK DOCK AREA ON THE W. SEIDE OF THE BUILDING @ 1880 COUNTRY FARM DR. "X" IS ±112 FEET W. OF THE SOUTHWEST CORNER OF THE BUILDING @ 1880 C.F. DR. AND "X" IS ±35 FEET SOUTH OF THAT SAME BUILDING CORNER..

ELEVATION = 706.76 (NAVD 88)

DRAWING INDEX

CONTACTS

CIVIL ENGINEER
JACOB & HEFNER ASSOCIATES, INC
1333 BUTTERFIELD ROAD, SUITE 300
DOWNERS GROVE, IL 60515
CONTACT: JASON A. CEBULSKI, P.E.
JCEBULSKI@JHAINC.COM
(630) 652–4607

OWNER
VISSERING CONSTRUCTION COMPANY
175 BENCHMARK INDUSTRIAL DRIVE
STREATOR, IL 61364
CONTACT: TIM CLAUS
TIM@VISSERING.COM
(815) 257–5641

SURVEYOR
JACOB & HEFNER ASSOCIATES, INC
1333 BUTTERFIELD ROAD, SUITE 300
DOWNERS GROVE, IL 60515
CONTACT: CARL J. COOK, P.L.S.
CCOOK@JHAINC.COM
(630) 652–4661

LANDSCAPE ARCHITECT
GARY R. WEBER ASSOCIATES, INC.
402 W. LIBERTY DR.
WHEATON, IL 60187
CONTACT: NATALIE FREEMAN, PLA
NFREEMAN@GRWAINC.COM
(260) 450–9653

WARNING

CALL J.U.L.I.E. TOLL FREE 1-800-892-0123

CALL BEFORE
YOU DIG

(48 HOURS NOTICE REQUIRED PRIOR TO DIGGING)

811®

Know what's **below.**
Call before you dig.

No.	Description	Date
2	REVISED PER CITY	5/17/24
1	ISSUED FOR PERMIT	4/12/24

REVISIONS

5/17/24

ENGINEER
JASON A. CEBULSKI
JCEBULSKI@JACOBANDHEFNER.COM
DATE

ILLINOIS REGISTRATION NO. 062–069783
EXPIRES 11/30/2025
ENGINEER ONLY CERTIFIES SHEETS C1–C7

THESE PLANS OR ANY PART THEREOF SHALL BE CONSIDERED VOID WITHOUT THE ORIGINAL SIGNATURE, IMPRESSED SEAL, EXPIRATION DATE OF SEAL OF THE ENGINEER AND MARKED "FOR CONSTRUCTION".

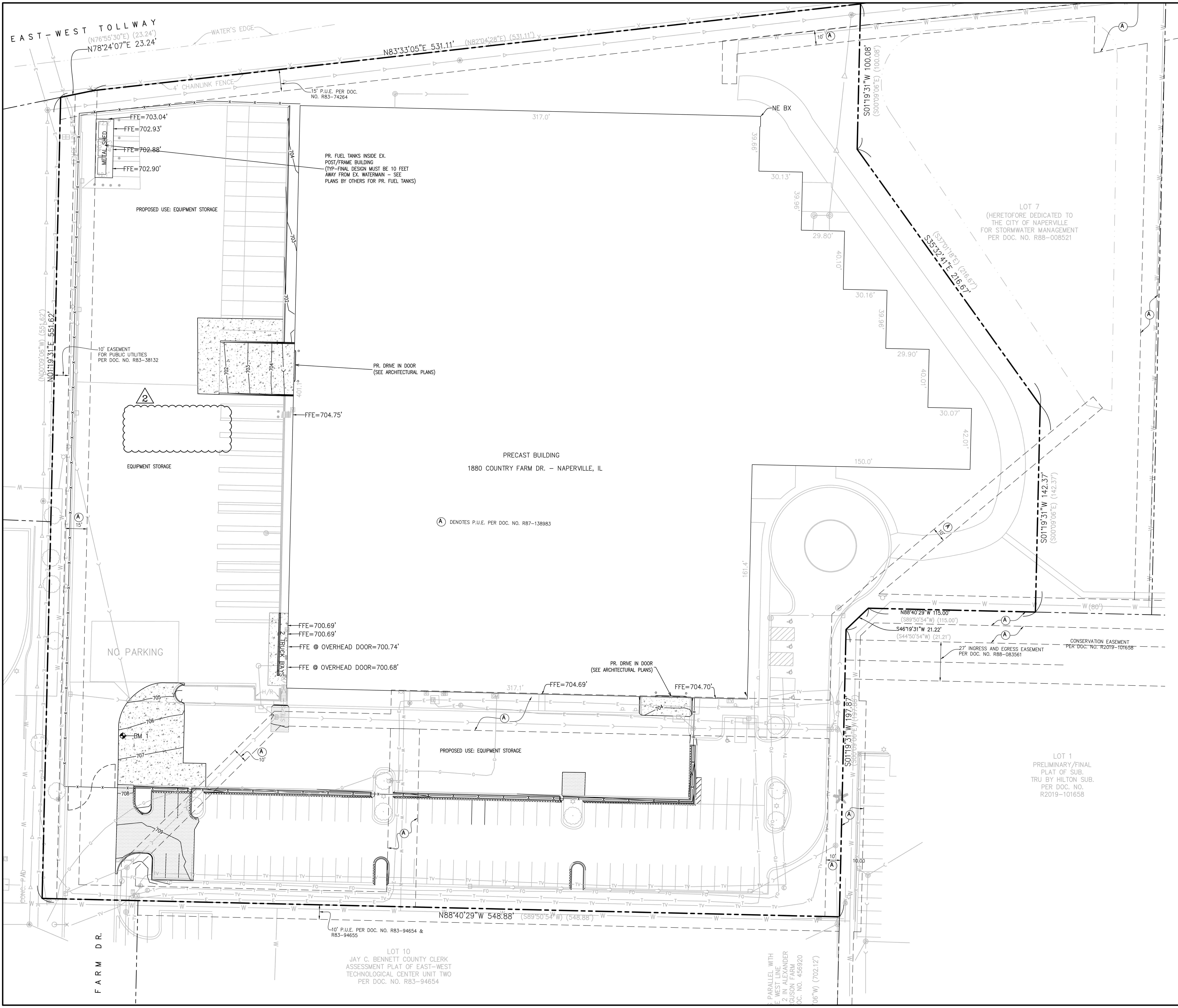
JASON A. CEBULSKI
062–069783

Municipality: NAPERVILLE
County: DUPAGE
Township: 38N
Range: 9E
Section: 4

FOR REVIEW PURPOSES ONLY

JACOB & HEFNER
ASSOCIATES

1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515
PHONE: (630) 652-4600, FAX: (630) 652-4601
www.jacobandhefner.com



PAVEMENT HATCH LEGEND:

▨ CONCRETE PAVEMENT

▨ ASPHALT PAVEMENT

SITE DATA TABLE:

DRIVE IN DOORS;	2 DOORS
TOTAL PARKING:	99 STALLS
STANDARD PARKING:	94 STALLS
ADA PARKING:	5 STALLS

BREAKDOWN OF SPACES:

TOTAL BUILDING:	162,738 S.F.
WAREHOUSE TOTAL:	126,509 S.F.
BREAKDOWN OF WAREHOUSE:	
DRY STORAGE:	49,399 S.F.
MECHANIC'S BAYS:	26,510 S.F.
PARTS AND SERVICE;	8,894 S.F.
CIRCULATION:	22,395 S.F.
WASH BAY:	2,880 S.F.
DISPATCH:	1,006 S.F.
WATER/FIRE SERVICE:	326 S.F.
ELECTRICAL:	160 S.F.
COMMON AREAS:	10,939 S.F.
PAINT BOOTH:	1,500 S.F.
PREP BOOTH:	2,500 S.F.
OFFICE FIRST FLOOR:	18,551 S.F.
OFFICE SECOND FLOOR:	17,678 S.F.

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OVERALL SITE PLAN

1880 COUNTRY FARM DRIVE
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NAPERVILLE, ILLINOIS

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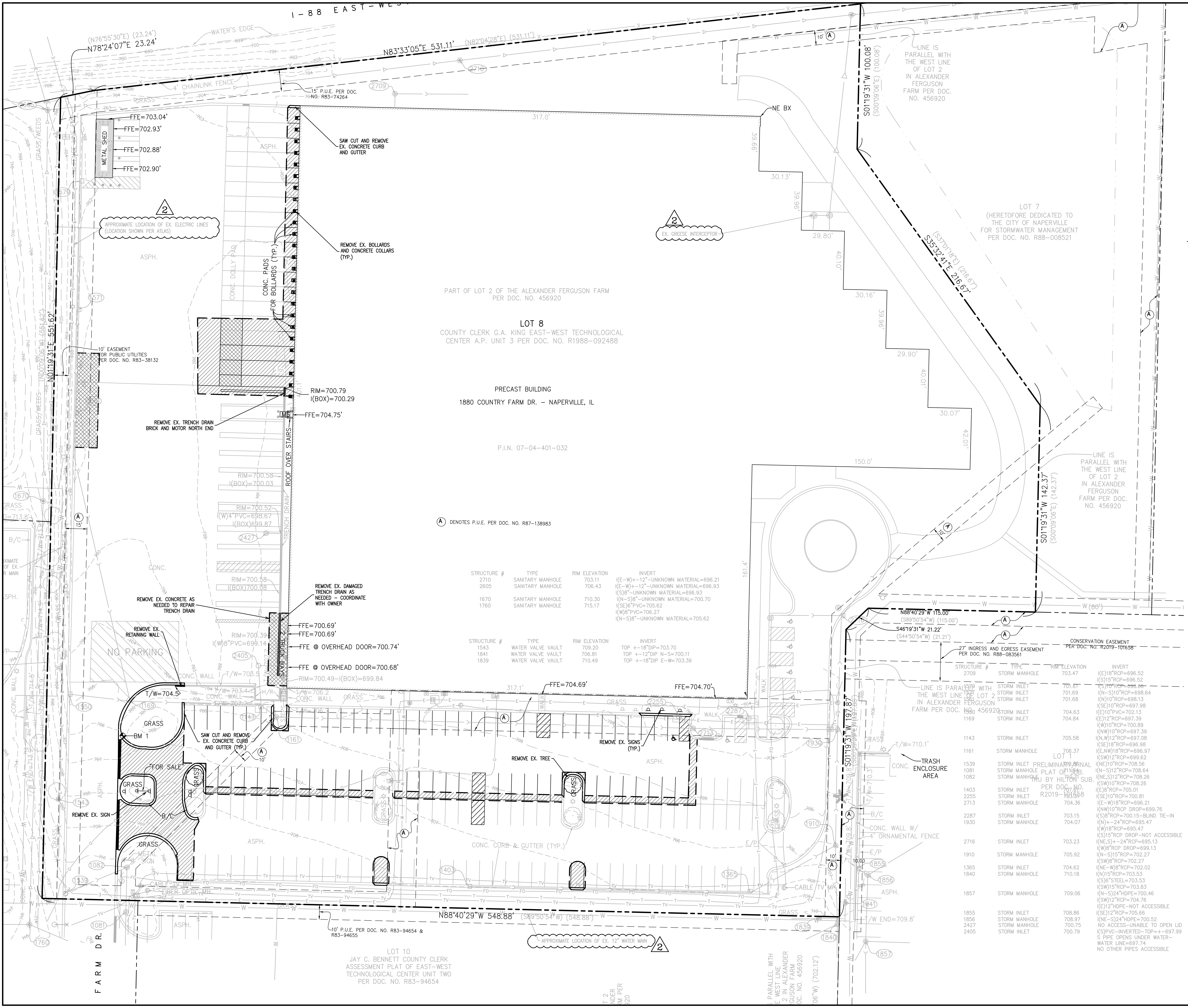
H206

1" = 30'

C2



Ⓐ DENOTES P.U.E. PER DOC. NO. R87-138983

STRUCTURE #	TYPE	RIM ELEVATION	INVERT
2710	SANITARY MANHOLE	703.11	I(E-W)+-12"-UNKNOWN MATERIAL=696.21
2605	SANITARY MANHOLE	706.43	I(E-W)+-12"-UNKNOWN MATERIAL=696.93 I(S)8"-UNKNOWN MATERIAL=696.93
1670	SANITARY MANHOLE	710.30	I(N-S)8"-UNKNOWN MATERIAL=700.70
1760	SANITARY MANHOLE	715.17	I(SE)6"PVC=705.62 I(W)8"PVC=706.27 I(N-S)8"-UNKNOWN MATERIAL=705.62

STRUCTURE #	TYPE	RIM ELEVATION	INVERT
1543	WATER VALVE VAULT	709.20	TOP +-18"DIP=703.70
1841	WATER VALVE VAULT	706.81	TOP +-12"DIP N-S=700.11
1839	WATER VALVE VAULT	710.49	TOP +-18"DIP E-W=703.39

STRUCTURE #	TYPE	RIM ELEVATION	INVERT
2709	STORM MANHOLE	703.47	I(E)18"RCP=696.52 I(S)15"RCP=696.52
1579	STORM INLET	701.61	I(S)10"RCP=698.66
1571	STORM INLET	701.69	I(N-S)10"RCP=698.64
1561	STORM INLET	701.68	I(N)10"RCP=698.13 I(SE)10"RCP=697.98
1550	STORM INLET	704.63	I(E)10"PVC=702.13
1169	STORM INLET	704.84	I(E)12"RCP=697.39 I(W)10"RCP=700.89 I(NW)10"RCP=697.39
1143	STORM INLET	705.58	I(N,W)12"RCP=697.08 I(SE)18"RCP=696.98
1161	STORM MANHOLE	706.37	I(E,NW)18"RCP=696.97 I(SW)12"RCP=699.62
1539	STORM INLET	710.86	I(NE)10"RCP=708.56
1081	STORM MANHOLE	711.84	I(N-S)12"RCP=708.64
1082	STORM MANHOLE	710.71	I(NE,S)12"RCP=708.26 I(SW)10"RCP=708.26
1403	STORM INLET	707.61	I(E)8"RCP=705.01
2255	STORM INLET	703.51	I(SE)10"RCP=700.81
2713	STORM MANHOLE	704.36	I(E-W)18"RCP=696.21 I(NW)10"RCP DROP=699.76
2287	STORM INLET	703.15	I(S)8"RCP=700.15-BLIND TIE-IN
1930	STORM MANHOLE	704.07	I(N)+-24"RCP=695.47 I(W)18"RCP=695.47 I(S)15"RCP DROP-NOT ACCESSIBLE
2716	STORM INLET	703.23	I(NE,S)+-24"RCP=695.13 I(W)8"RCP DROP=699.13
1910	STORM MANHOLE	705.92	I(N-S)15"RCP=702.27 I(SW)8"RCP=702.27
1365	STORM INLET	704.62	I(NE-W)8"RCP=702.02
1840	STORM MANHOLE	710.18	I(N)15"RCP=703.53 I(S)6"STEEL=703.53 I(SW)15"RCP=703.83
1857	STORM MANHOLE	709.06	I(N-S)24"HDPE=700.46 I(SW)12"RCP=704.76 I(E)12"HDPE-NOT ACCESSIBLE
1855	STORM INLET	708.86	I(SE)12"RCP=705.66
1856	STORM MANHOLE	708.97	I(NE-S)24"HDPE=700.52
2427	STORM MANHOLE	700.75	NO ACCESS-UNABLE TO OPEN LID
2405	STORM INLET	700.79	I(S)PVC-INVERTED-TOP=+-697.99 S PIPE OPENS UNDER WATER- WATER LINE=697.74 NO OTHER PIPES ACCESSIBLE

DEMOLITION HATCH LEGEND:

▨	EXISTING ASPHALT PAVEMENT TO BE REMOVED
▦	EXISTING CONCRETE PAVEMENT TO BE REMOVED

DEMOLITION NOTES:

1. CONTRACTOR SHALL CONTACT J.U.L.I.E (1-800-892-0123 OR 811) AND/OR PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
2. CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
3. CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND COORDINATE ALL DEMOLITION WORK WITH THE MUNICIPALITY AND OWNERS REPRESENTATIVE.
4. ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SHALL BE INSTALLED AND FUNCTIONAL BEFORE THE SITE IS OTHERWISE DISTURBED. THEY SHALL BE KEPT OPERATIONAL AND CONTINUOUSLY MAINTAINED THROUGHOUT ALL CONSTRUCTION UNTIL PERMANENT SITE STABILIZATION HAS BEEN ACHIEVED (SEE EROSION CONTROL AND STORMWATER POLLUTION PREVENTION PLANS FOR ADDITIONAL INFORMATION AND DETAILS).
5. THE PURPOSE OF THIS DRAWING IS TO CONVEY THE OVERALL SCOPE OF DEMOLITION WORK AND IT IS NOT INTENDED TO COVER ALL DETAILS OR SPECIFICATIONS REQUIRED TO COMPLY WITH GENERALLY ACCEPTED DEMOLITION PRACTICES. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH THE SITE, SCOPE OF WORK, AND ALL EXISTING CONDITIONS AT THE JOB SITE PRIOR TO BIDDING AND COMMENCING THE WORK. THE DEMOLITION CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, OR PROCEDURES USED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND IS LIABLE FOR THE SAFETY OF THE PUBLIC AND CONTRACTOR'S EMPLOYEES DURING THE COURSE OF THE PROJECT.
6. THE DEMOLITION PLAN IS INTENDED TO SHOW REMOVAL OF KNOWN SITE FEATURES AND UTILITIES AS SHOWN ON THE SURVEY PROVIDED TO THE ENGINEER FOR DESIGN. THERE MAY BE OTHER SITE FEATURES, UTILITIES, STRUCTURES, AND MISCELLANEOUS ITEMS BOTH BURIED AND ABOVE GROUND THAT ARE WITHIN THE LIMITS OF WORK THAT MAY REQUIRE REMOVAL FOR THE PROPOSED SITE IMPROVEMENTS BUT THAT ARE NOT SHOWN HEREON. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF SUCH ITEMS.
7. CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY COMPANIES PRIOR TO COMMENCING ANY SITE DEMOLITION OPERATIONS TO COORDINATE ANY DISCONNECTION OR REMOVAL OF EXISTING UTILITIES WITHIN THE PROPOSED AREA OF WORK.
8. CONTRACTOR SHALL COORDINATE ANY SHUT DOWNS OF EXISTING ROADWAYS AND UTILITIES WITH THE NECESSARY GOVERNING AUTHORITIES.
9. ALL EXISTING BUILDINGS, FOUNDATIONS, CONCRETE OR ASPHALT PAVEMENT OR WALKS, CURB AND GUTTER AND MISCELLANEOUS STRUCTURES (INCLUDING, BUT NOT LIMITED TO FENCES, POLES, YARD LIGHTS, ELECTRICAL PANELS, WHEEL STOPS AND MISCELLANEOUS DEBRIS) NOTED TO BE REMOVED SHALL BE DEMOLISHED, REMOVED FROM THE SITE AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
10. VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDINGS, PAVEMENTS, OR WALKS OR WITHIN 24" THEREOF SHALL BE BACKFILLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND GEOTECHNICAL REPORT.
11. AS SOON AS DEMOLITION WORK HAS BEEN COMPLETED, FINAL GRADE OF BACKFILL IN DEMOLITION AREAS SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT TO PRESENT A NEAT, WELL DRAINED APPEARANCE, AND TO PREVENT WATER FROM DRAINING UNNECESSARILY ONTO ADJACENT PROPERTIES. CONTRACTOR SHALL PROVIDE TEMPORARY DIVERSION SWALES OR OTHER MEANS OF MAINTAINING ADEQUATE SITE DRAINAGE.
12. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
13. CONTRACTOR SHALL UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
14. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
15. ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE, CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
16. ALL EXISTING SANITARY SEWERS, STORM SEWERS, WATER MAINS OR IRRIGATION LINES AND APPURTENANCES NOTED FOR REMOVAL WITHIN THE AREA OF THE PROPOSED CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR OR ABANDONED IN PLACE. UNLESS OTHERWISE NOTED ON PLANS, ALL ABANDONED SEWER LINES SHALL BE PLUGGED AT BOTH ENDS WITH A MINIMUM OF TWO (2) FOOT LONG NON-SHRINK CONCRETE OR MORTAR PLUGS.
17. SEE GENERAL NOTES AND SPECIFICATIONS SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

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EXISTING CONDITIONS AND DEMOLITION PLAN
1880 COUNTRY FARM DRIVE
VISSERING CONSTRUCTION COMPANY
NAPERVILLE, ILLINOIS

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H206
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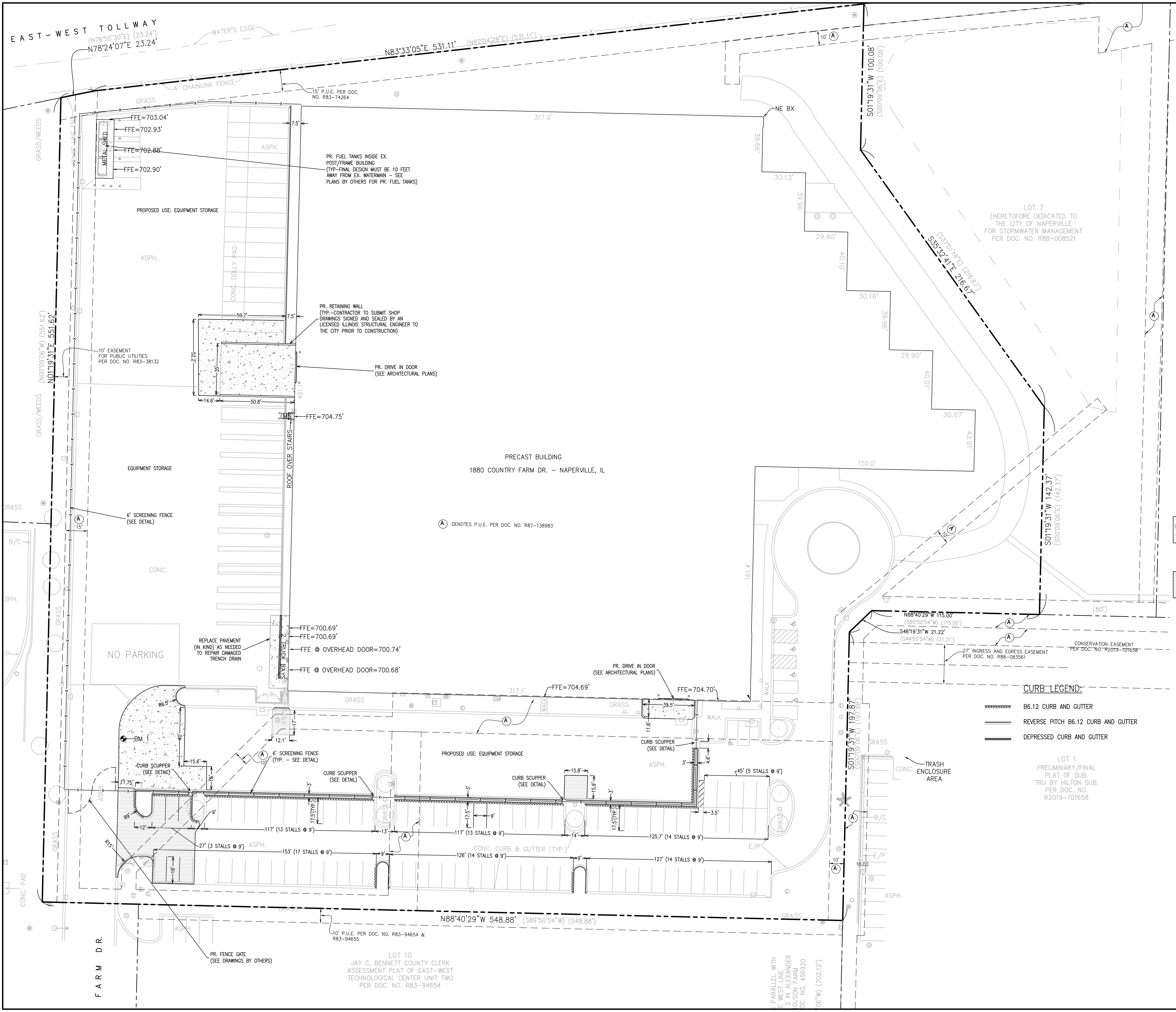
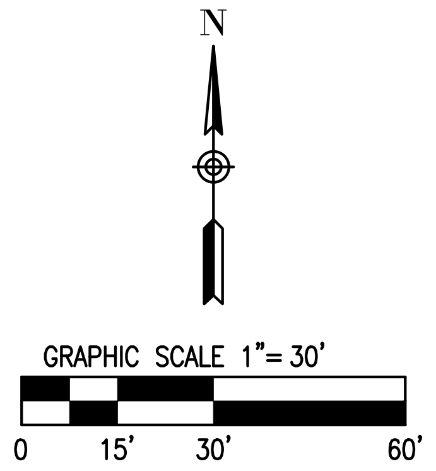
C3



CURB LEGEND:

▨	B6.12 CURB AND GUTTER
═	REVERSE PITCH B6.12 CURB AND GUTTER
━	DEPRESSED CURB AND GUTTER



PAVEMENT HATCH LEGEND:

CONCRETE PAVEMENT
8" PORTLAND CEMENT CONCRETE
4,000 PSI, A/E
4" CA-6 CRUSHED STONE
COMPACTED SUBGRADE, 95% MODIFIED PROCTOR

ASPHALT PAVEMENT
2" HMA SURFACE COURSE, MIX D, N50
2-1/4" HMA BINDER COURSE, IL 19.0, N50
8" CA-6 CRUSHED STONE
COMPACTED SUBGRADE, 95% MODIFIED PROCTOR

GEOMETRIC NOTES:

1. ALL DIMENSIONS ARE MEASURED FROM FACE OF CURB OR CENTER OF PAVEMENT MARKING UNLESS OTHERWISE NOTED.
2. ALL CURB RADII ARE 4.5' UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL COORDINATE ALL SITE IMPROVEMENTS WITH ARCHITECTURAL PLANS.
4. ALL PROPOSED PAVEMENT MARKINGS SHALL BE 4" UNLESS OTHERWISE NOTED. PAVEMENT MARKINGS SHALL CONFORM TO ARTICLE 1095.02 OF THE I.D.O.T. STANDARD SPECIFICATIONS.
5. CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
6. BUILDING DIMENSIONS AND DOORWAY LOCATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
7. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
8. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
9. SEE GENERAL NOTES AND SPECIFICATIONS SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

SITE DATA TABLE:

DRIVE IN DOORS;	2 DOORS
TOTAL PARKING:	99 STALLS
STANDARD PARKING:	94 STALLS
ADA PARKING:	5 STALLS

No.	Description	Date
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DIMENSIONAL CONTROL AND PAVING PLAN
1880 COUNTRY FARM DRIVE
VISSERING CONSTRUCTION COMPANY
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H206
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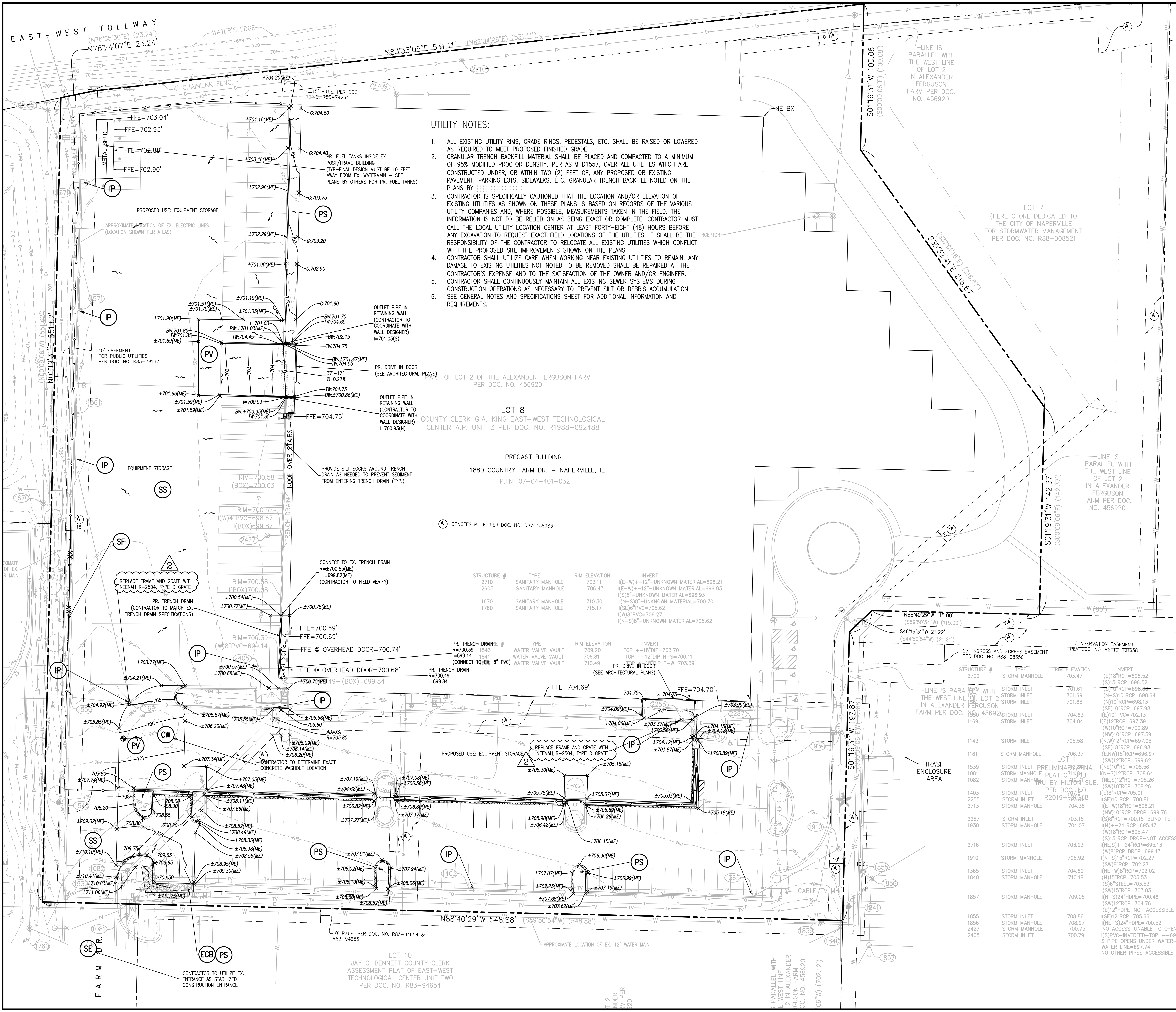

STRUCTURE #	TYPE	RIM ELEVATION	INVERT
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2605	SANITARY MANHOLE	706.43	I(E–W)+–12"–UNKNOWN MATERIAL=696.93 I(S)8"–UNKNOWN MATERIAL=696.93
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2405	STORM INLET	700.79	I(S)PVC–INVERTED–TOP=+–697.99 S PIPE OPENS UNDER WATER– WATER LINE=697.74 NO OTHER PIPES ACCESSIBLE

UTILITY NOTES:

1. ALL EXISTING UTILITY RIMS, GRADE RINGS, PEDESTALS, ETC. SHALL BE RAISED OR LOWERED AS REQUIRED TO MEET PROPOSED FINISHED GRADE.
2. GRANULAR TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D1557, OVER ALL UTILITIES WHICH ARE CONSTRUCTED UNDER, OR WITHIN TWO (2) FEET OF, ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS, SIDEWALKS, ETC. GRANULAR TRENCH BACKFILL NOTED ON THE PLANS BY: ▨
3. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST FORTY–EIGHT (48) HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED SITE IMPROVEMENTS SHOWN ON THE PLANS.
4. CONTRACTOR SHALL UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
5. CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL EXISTING SEWER SYSTEMS DURING CONSTRUCTION OPERATIONS AS NECESSARY TO PREVENT SILT OR DEBRIS ACCUMULATION.
6. SEE GENERAL NOTES AND SPECIFICATIONS SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

N

GRAPHIC SCALE 1"= 30'

0 15' 30' 60'

GRADING LEGEND:

EXISTING CONTOUR	— —600— —
EXISTING SPOT ELEVATION	× XXX.XX
PROPOSED CONTOUR	——600——
PROPOSED SPOT ELEVATION	× XXX.XX
PROPOSED GROUND/FINISHED GRADE ELEVATION	× G:XXX.XX
PROPOSED TOP OF SIDEWALK ELEVATION	× W:XXX.XX
PROPOSED BACK OF CURB ELEVATION	× BC=XXX.XX
PROPOSED TOP OF DEPRESSED CURB	× TDC=XXX.XX
PROPOSED CURB CUT ELEVATION	× CC=XXX.XX
PROPOSED EDGE OF PAVEMENT ELEVATION	× EP=XXX.XX
PROPOSED RIM ELEVATION	× R=XXX.XX
PROPOSED ADJUSTED RIM ELEVATION	× ADJUST R=XXX.XX
PROPOSED GRADE RING ELEVATION	× GR=XXX.XX
MATCH EXISTING ELEVATION	× ±XXX.XX(ME)
PROPOSED FLARED END SECTION ELEVATION	
PROPOSED INVERT ELEVATION	× I=XXX.XX
PROPOSED TOP OF WALL ELEVATION	TW:XXX.XX
PROPOSED FINISHED GRADE AT TOP OF WALL	TW:XXX.XX(FG)
PROPOSED BOTTOM OF WALL ELEVATION	BW:XXX.XX
DRAINAGE DIRECTION	⁓►

EROSION CONTROL LEGEND:

IP	INLET PROTECTION
SF	SILT FENCE
SE	STABILIZED CONSTRUCTION ENTRANCE
CW	CONCRETE WASHOUT
ECB	EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S75)
PS	PERMANENT SEEDING (SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
SS	STREET SWEEPING
PV	PAVEMENT

GRADING NOTES:

1. ALL PROPOSED SPOT ELEVATIONS ARE TOP OF PAVEMENT OR FINISHED GRADE ELEVATIONS UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO COMMENCEMENT OF SITE GRADING OPERATIONS.
3. ALL PROPOSED GRADING, PAVEMENT, APRONS, CURBS, SIDEWALKS, ETC. SHALL MATCH EXISTING GRADES FLUSH.
4. MAXIMUM CROSS SLOPES AND LONGITUDINAL SLOPES FOR ALL CONCRETE SIDEWALKS AND HANDICAP ACCESSIBLE ROUTES SHALL NOT EXCEED 2% AND 5%, RESPECTIVELY.
5. CONTRACTOR SHALL UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
6. CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL EXISTING STORM SEWERS WITHIN THE PROJECT AREA DURING CONSTRUCTION OPERATIONS AS NECESSARY TO PREVENT SILT OR DEBRIS ACCUMULATION.
7. SEE GENERAL NOTES AND SPECIFICATIONS SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

STORM SEWER NOTES:

1. ALL 12" AND 15" STORM SEWER SHALL BE RCP CLASS V. ALL OTHER STORM SEWER SHALL BE RCP CLASS IV, UNLESS OTHERWISE NOTED ON THE PLANS.
2. ALL STORM SEWER CASTINGS SHALL BE EMBOSSED WITH A FISH IMAGE AND "DUMP NO WASTE – DRAINS TO WATERWAYS"

EROSION CONTROL NOTES:

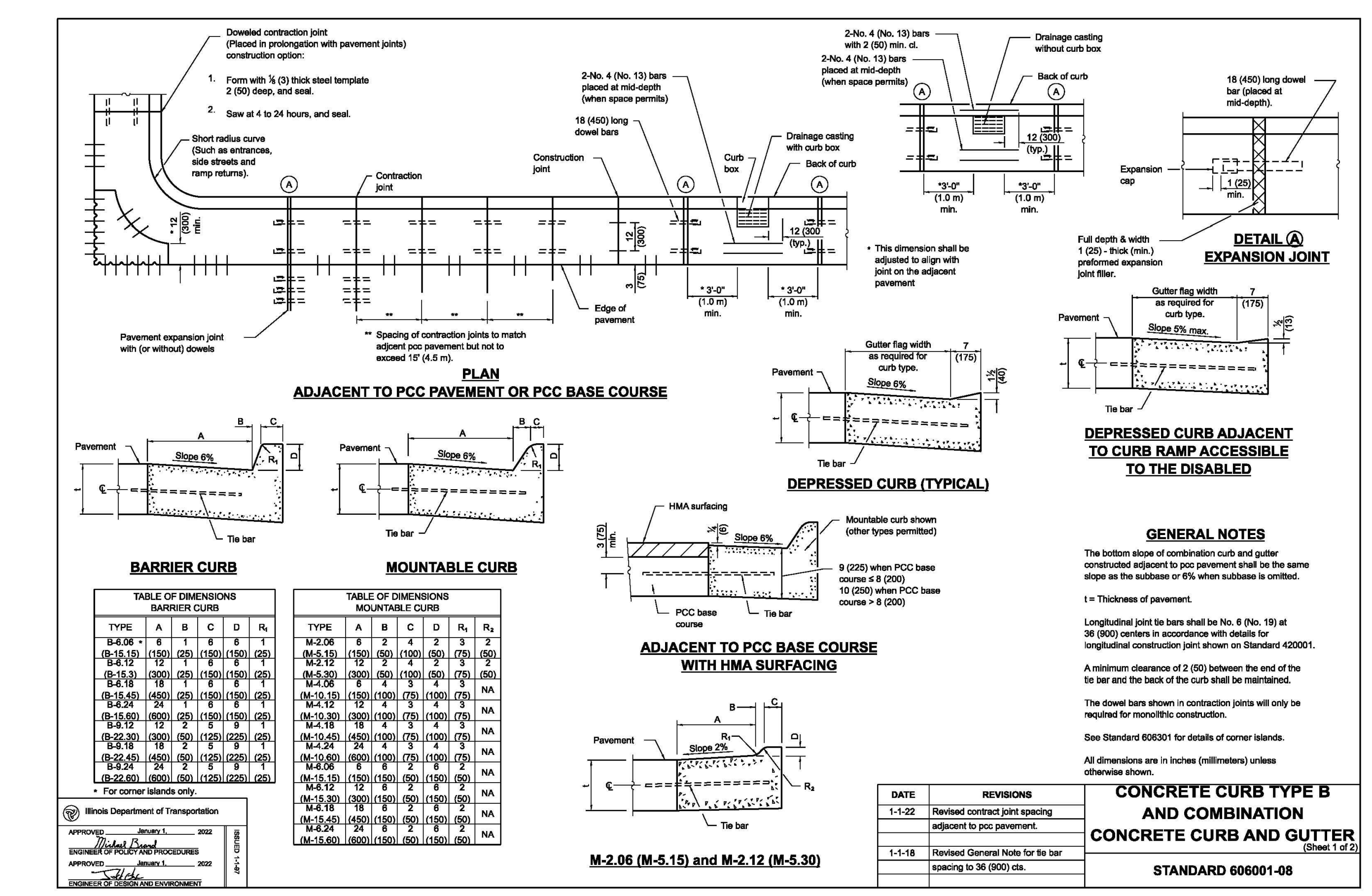
1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF SITE GRADING OR DEMOLITION OPERATIONS.
2. CONTRACTOR SHALL IMPLEMENT APPROPRIATE DUST CONTROL MEASURES AS NECESSARY.
3. EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS ANTICIPATED BY THE ENGINEER. ADDITIONAL MEASURES MAY BE REQUIRED DURING CONSTRUCTION AS WARRANTED BY SITE CONDITIONS OR AS DIRECTED BY THE ENGINEER AND/OR PROJECT GOVERNING AUTHORITIES.
4. SEE GENERAL NOTES AND SPECIFICATIONS SHEETS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

No.	Description	Date
2	REVISED PER CITY	5/17/24
1	ISSUED FOR PERMIT	4/12/24

GRADING, DRAINAGE, AND EROSION CONTROL PLAN
1880 COUNTRY FARM DRIVE
VISSERING CONSTRUCTION COMPANY
NAPERVILLE, ILLINOIS

JACOB & HEFNER
ASSOCIATES
1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515
PHONE: (630) 652-4600, FAX: (630) 652-4601
www.jacobandhefner.com

H206
1" = 30'
C5



Doweled contraction joint
(Placed in prolongation with pavement joints)
construction option:

1. Form with ⅛ (3) thick steel template 2 (50) deep, and seal.
2. Saw at 4 to 24 hours, and seal.

Short radius curve (Such as entrances, side streets and ramp returns).
Contraction joint
Construction joint
2-No. 4 (No. 13) bars placed at mid-depth (when space permits)
18 (450) long dowel bars
Curb box
Drainage casting with curb box
Back of curb
* 12 (300) min.
12 (300)
3 (75)
12 (300 (typ.)
* 3'-0" (1.0 m) min.
Edge of pavement
Pavement expansion joint with (or without) dowels
** Spacing of contraction joints to match adjcent pcc pavement but not to exceed 15' (4.5 m).

2-No. 4 (No. 13) bars with 2 (50) min. cl.
2-No. 4 (No. 13) bars placed at mid-depth (when space permits)
Drainage casting without curb box
Back of curb
12 (300) (typ.)
*3'-0" (1.0 m) min.
* This dimension shall be adjusted to align with joint on the adjacent pavement

18 (450) long dowel bar (placed at mid-depth).
Expansion cap
1 (25) min.
Full depth & width 1 (25) - thick (min.) preformed expansion joint filler.

DETAIL Ⓐ EXPANSION JOINT

PLAN
ADJACENT TO PCC PAVEMENT OR PCC BASE COURSE

Pavement
Slope 6%
Tie bar

BARRIER CURB

MOUNTABLE CURB

TABLE OF DIMENSIONS BARRIER CURB					
TYPE	A	B	C	D	R_1
B-6.06 * (B-15.15)	6 (150)	1 (25)	6 (150)	6 (150)	1 (25)
B-6.12 (B-15.3)	12 (300)	1 (25)	6 (150)	6 (150)	1 (25)
B-6.18 (B-15.45)	18 (450)	1 (25)	6 (150)	6 (150)	1 (25)
B-6.24 (B-15.60)	24 (600)	1 (25)	6 (150)	6 (150)	1 (25)
B-9.12 (B-22.30)	12 (300)	2 (50)	5 (125)	9 (225)	1 (25)
B-9.18 (B-22.45)	18 (450)	2 (50)	5 (125)	9 (225)	1 (25)
B-9.24 (B-22.60)	24 (600)	2 (50)	5 (125)	9 (225)	1 (25)

* For corner islands only.

TABLE OF DIMENSIONS MOUNTABLE CURB						
TYPE	A	B	C	D	R_1	R_2
M-2.06 (M-5.15)	6 (150)	2 (50)	4 (100)	2 (50)	3 (75)	2 (50)
M-2.12 (M-5.30)	12 (300)	2 (50)	4 (100)	2 (50)	3 (75)	2 (50)
M-4.06 (M-10.15)	6 (150)	4 (100)	3 (75)	4 (100)	3 (75)	NA
M-4.12 (M-10.30)	12 (300)	4 (100)	3 (75)	4 (100)	3 (75)	NA
M-4.18 (M-10.45)	18 (450)	4 (100)	3 (75)	4 (100)	3 (75)	NA
M-4.24 (M-10.60)	24 (600)	4 (100)	3 (75)	4 (100)	3 (75)	NA
M-6.06 (M-15.15)	6 (150)	6 (150)	2 (50)	6 (150)	2 (50)	NA
M-6.12 (M-15.30)	12 (300)	6 (150)	2 (50)	6 (150)	2 (50)	NA
M-6.18 (M-15.45)	18 (450)	6 (150)	2 (50)	6 (150)	2 (50)	NA
M-6.24 (M-15.60)	24 (600)	6 (150)	2 (50)	6 (150)	2 (50)	NA

Illinois Department of Transportation
APPROVED January 1, 2022
Michael Brand
ENGINEER OF POLICY AND PROCEDURES
APPROVED January 1, 2022
ENGINEER OF DESIGN AND ENVIRONMENT
ISSUED 1-1-97

HMA surfacing
3 (75) min.
¼ (6)
Slope 6%
PCC base course
Tie bar
Mountable curb shown (other types permitted)
9 (225) when PCC base course ≤ 8 (200)
10 (250) when PCC base course > 8 (200)

ADJACENT TO PCC BASE COURSE WITH HMA SURFACING

Pavement
Slope 2%
Tie bar

M-2.06 (M-5.15) and M-2.12 (M-5.30)

Gutter flag width as required for curb type.
7 (175)
1½ (40)
Slope 6%
Tie bar

DEPRESSED CURB (TYPICAL)

Gutter flag width as required for curb type.
7 (175)
½ (13)
Slope 5% max.

DEPRESSED CURB ADJACENT TO CURB RAMP ACCESSIBLE TO THE DISABLED

GENERAL NOTES

The bottom slope of combination curb and gutter constructed adjacent to pcc pavement shall be the same slope as the subbase or 6% when subbase is omitted.

t = Thickness of pavement.

Longitudinal joint tie bars shall be No. 6 (No. 19) at 36 (900) centers in accordance with details for longitudinal construction joint shown on Standard 420001.

A minimum clearance of 2 (50) between the end of the tie bar and the back of the curb shall be maintained.

The dowel bars shown in contraction joints will only be required for monolithic construction.

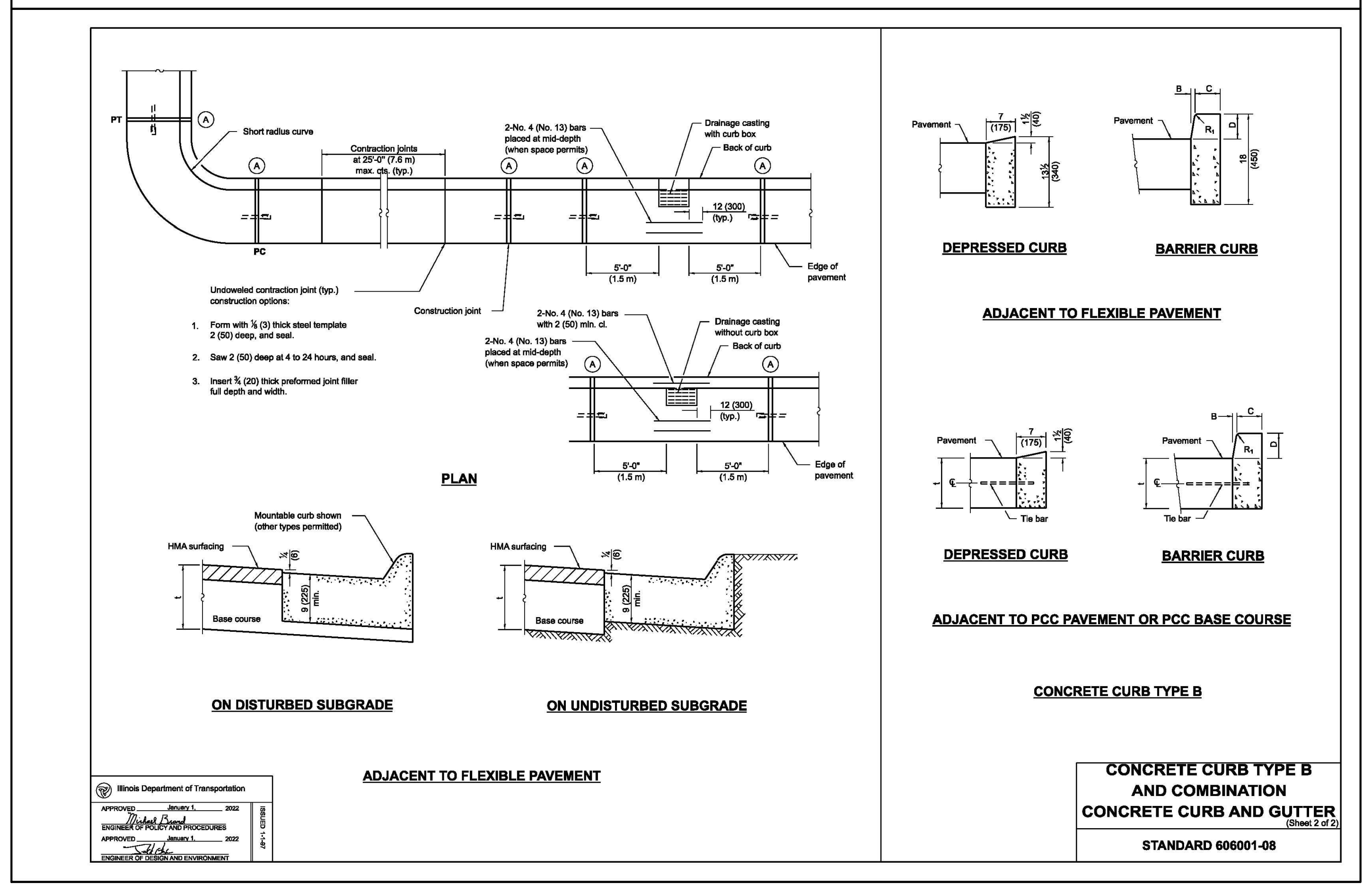
See Standard 606301 for details of corner islands.

All dimensions are in inches (millimeters) unless otherwise shown.

DATE	REVISIONS
1-1-22	Revised contract joint spacing
	adjacent to pcc pavement.
1-1-18	Revised General Note for tie bar
	spacing to 36 (900) cts.

CONCRETE CURB TYPE B AND COMBINATION CONCRETE CURB AND GUTTER
(Sheet 1 of 2)

STANDARD 606001-08



PT
PC
Short radius curve
Contraction joints at 25'-0" (7.6 m) max. cts. (typ.)
2-No. 4 (No. 13) bars placed at mid-depth (when space permits)
Drainage casting with curb box
Back of curb
12 (300) (typ.)
5'-0" (1.5 m)
Edge of pavement

Undoweled contraction joint (typ.) construction options:

1. Form with ⅛ (3) thick steel template 2 (50) deep, and seal.
2. Saw 2 (50) deep at 4 to 24 hours, and seal.
3. Insert ¾ (20) thick preformed joint filler full depth and width.

Construction joint
2-No. 4 (No. 13) bars with 2 (50) min. cl.
2-No. 4 (No. 13) bars placed at mid-depth (when space permits)
Drainage casting without curb box
Back of curb

PLAN

Mountable curb shown (other types permitted)
HMA surfacing
¼ (6)
9 (225) min.
Base course

ON DISTURBED SUBGRADE

ON UNDISTURBED SUBGRADE

ADJACENT TO FLEXIBLE PAVEMENT

Pavement
7 (175)
1½ (40)
13½ (340)
18 (450)

DEPRESSED CURB

BARRIER CURB

ADJACENT TO FLEXIBLE PAVEMENT

Tie bar

DEPRESSED CURB

BARRIER CURB

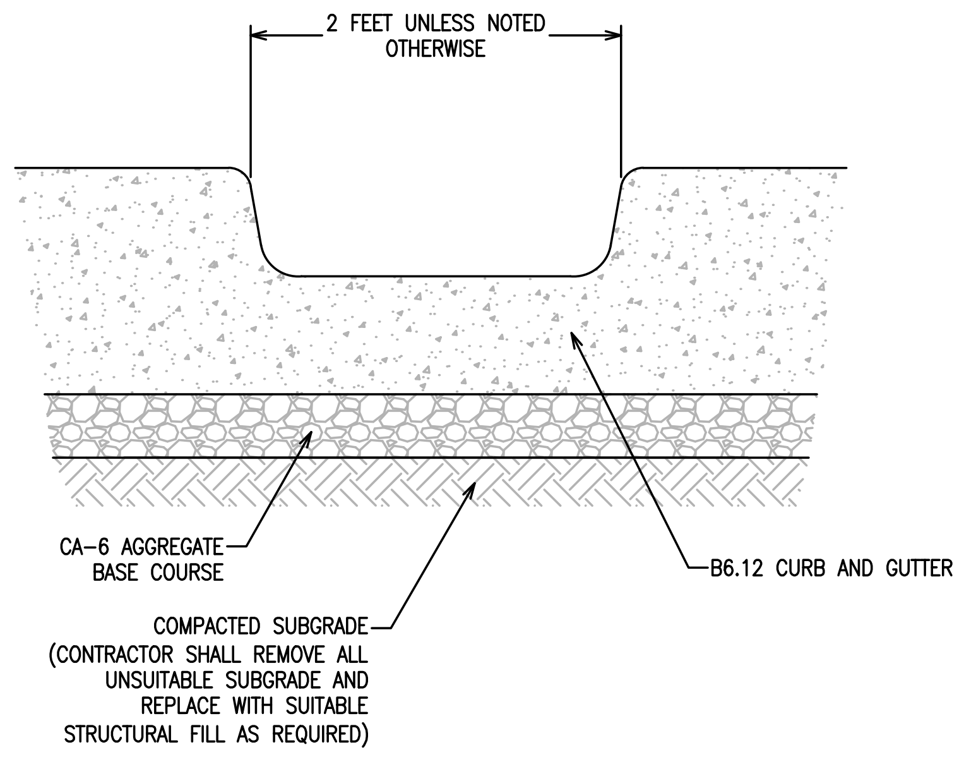
ADJACENT TO PCC PAVEMENT OR PCC BASE COURSE

CONCRETE CURB TYPE B

Illinois Department of Transportation
APPROVED January 1, 2022
Michael Brand
ENGINEER OF POLICY AND PROCEDURES
APPROVED January 1, 2022
ENGINEER OF DESIGN AND ENVIRONMENT
ISSUED 1-1-97

CONCRETE CURB TYPE B AND COMBINATION CONCRETE CURB AND GUTTER
(Sheet 2 of 2)

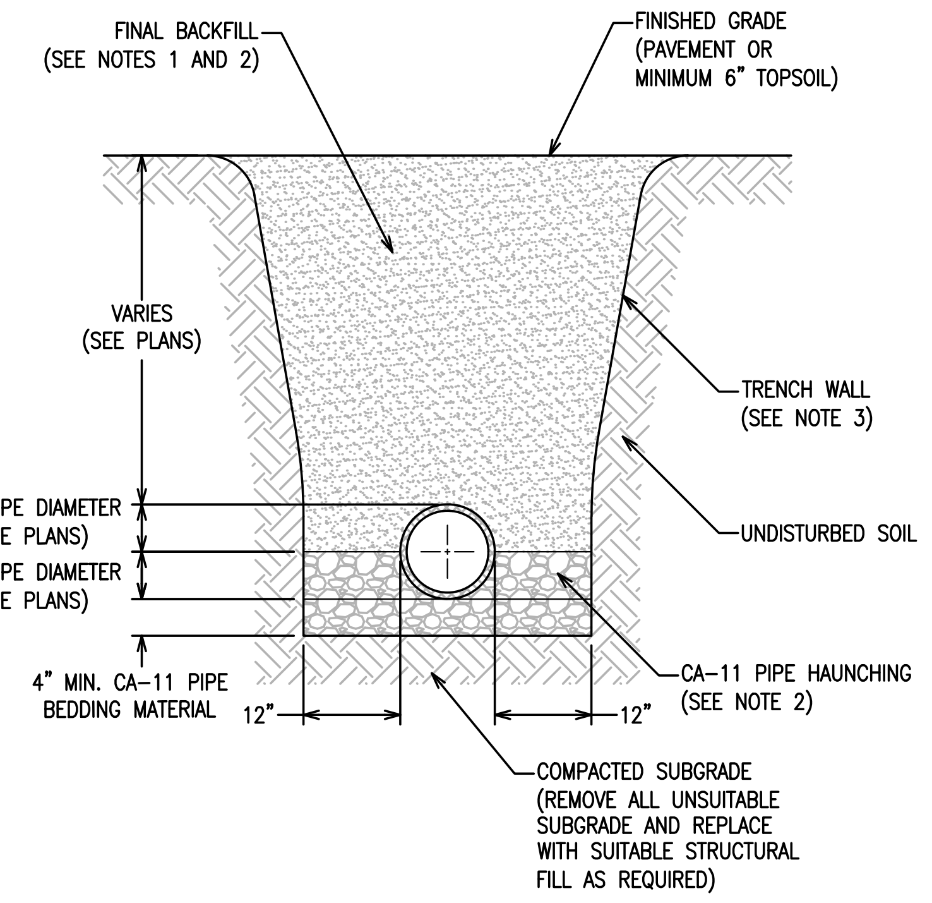
STANDARD 606001-08



NOTES:

1. SEE PLANS FOR LOCATIONS AND ADDITIONAL DIMENSIONS.
2. REFER TO THE TYPICAL COMBINATION CONCRETE CURB AND GUTTER TYPE B6.12 DETAIL FOR ADDITIONAL INFORMATION AND CONSTRUCTION REQUIREMENTS.

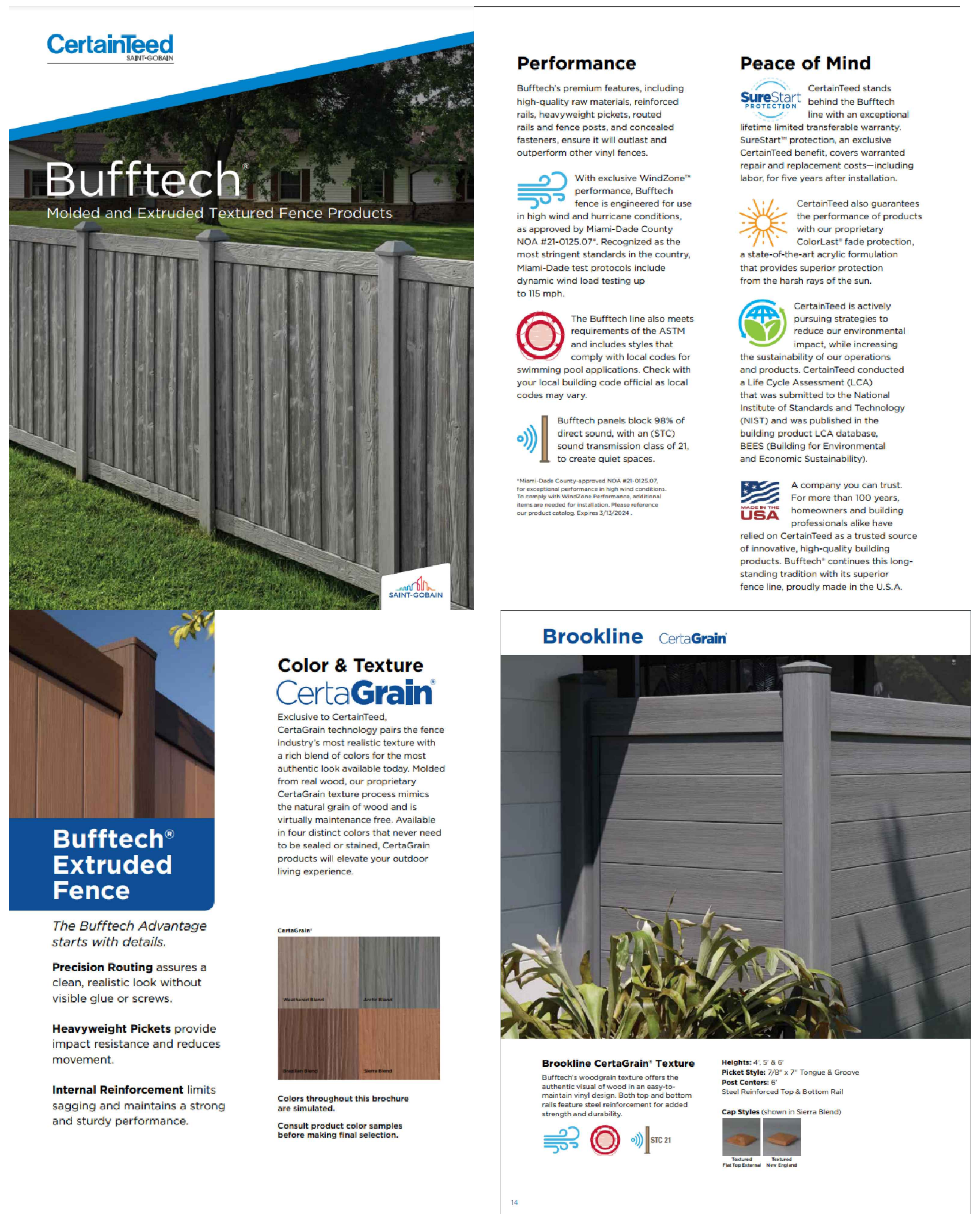
CURB SCUPPER DETAIL



NOTES:

1. BACKFILL TRENCH WITH INORGANIC EXCAVATED MATERIAL EXCEPT WHERE UNDER OR WITHIN TWO (2) FEET OF PAVEMENT WHERE CA-6 GRANULAR BACKFILL MATERIAL IS REQUIRED.
2. ALL BACKFILL MATERIALS SHALL BE PLACED AND PROPERLY COMPACTED TO 98% OF THE MATERIALS MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D698 AND THE GEOTECHNICAL ENGINEERING REPORT RECOMMENDATIONS.
3. ALL TRENCH EXCAVATIONS SHALL BE PROTECTED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, LAWS AND RULES. AT A MINIMUM, THEY SHALL NOT BE LESS THAN THE STANDARDS AND REGULATIONS ESTABLISHED BY OSHA IN 29 CFR PART 1926.

RIGID PIPE TRENCH DETAIL



CertainTeed
SAINT-GOBAIN

Bufftech®
Molded and Extruded Textured Fence Products

Performance

Bufftech's premium features, including high-quality raw materials, reinforced rails, heavyweight pickets, routed rails and fence posts, and concealed fasteners, ensure it will outlast and outperform other vinyl fences.

With exclusive WindZone™ performance, Bufftech fence is engineered for use in high wind and hurricane conditions, as approved by Miami-Dade County NOA #21-0125.07*. Recognized as the most stringent standards in the country, Miami-Dade test protocols include dynamic wind load testing up to 115 mph.

The Bufftech line also meets requirements of the ASTM and includes styles that comply with local codes for swimming pool applications. Check with your local building code official as local codes may vary.

Bufftech panels block 98% of direct sound, with an (STC) sound transmission class of 21, to create quiet spaces.

*Miami-Dade County-approved NOA #21-0125.07, for exceptional performance in high wind conditions. To comply with WindZone Performance, additional items are needed for installation. Please reference our product catalog. Expires 3/13/2024.

Peace of Mind

SureStart PROTECTION

CertainTeed stands behind the Bufftech line with an exceptional lifetime limited transferable warranty. SureStart™ protection, an exclusive CertainTeed benefit, covers warranted repair and replacement costs—including labor, for five years after installation.

CertainTeed also guarantees the performance of products with our proprietary ColorLast® fade protection, a state-of-the-art acrylic formulation that provides superior protection from the harsh rays of the sun.

CertainTeed is actively pursuing strategies to reduce our environmental impact, while increasing the sustainability of our operations and products. CertainTeed conducted a Life Cycle Assessment (LCA) that was submitted to the National Institute of Standards and Technology (NIST) and was published in the building product LCA database, BEES (Building for Environmental and Economic Sustainability).

MADE IN THE USA

A company you can trust. For more than 100 years, homeowners and building professionals alike have relied on CertainTeed as a trusted source of innovative, high-quality building products. Bufftech® continues this long-standing tradition with its superior fence line, proudly made in the U.S.A.

Bufftech® Extruded Fence

The Bufftech Advantage starts with details.

Precision Routing assures a clean, realistic look without visible glue or screws.

Heavyweight Pickets provide impact resistance and reduces movement.

Internal Reinforcement limits sagging and maintains a strong and sturdy performance.

Color & Texture CertaGrain®

Exclusive to CertainTeed, CertaGrain technology pairs the fence industry's most realistic texture with a rich blend of colors for the most authentic look available today. Molded from real wood, our proprietary CertaGrain texture process mimics the natural grain of wood and is virtually maintenance free. Available in four distinct colors that never need to be sealed or stained, CertaGrain products will elevate your outdoor living experience.

CertaGrain®

Weathered Blend	Arctic Blend
Brazilian Blend	Sierra Blend

Colors throughout this brochure are simulated.

Consult product color samples before making final selection.

Brookline CertaGrain®

Brookline CertaGrain® Texture

Bufftech's woodgrain texture offers the authentic visual of wood in an easy-to-maintain vinyl design. Both top and bottom rails feature steel reinforcement for added strength and durability.

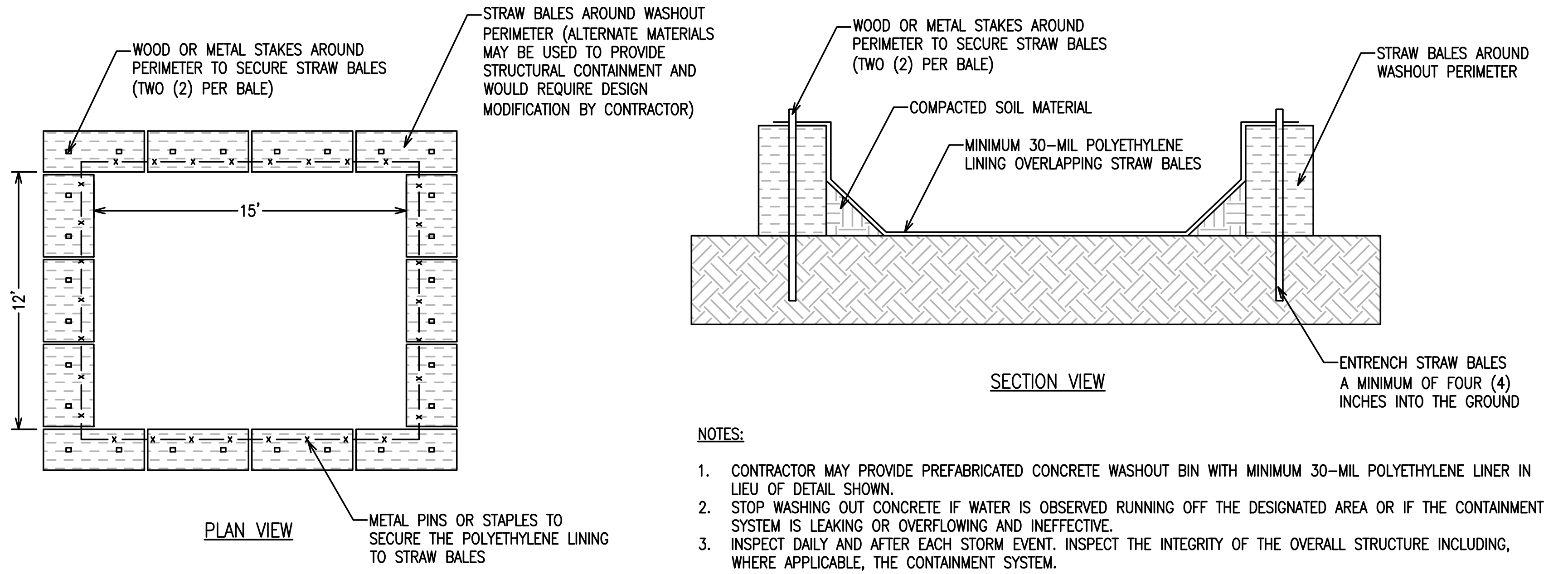
STC 21

Heights: 4', 5' & 6'
Picket Style: 7/8" x 7" Tongue & Groove
Post Centers: 6'
Steel Reinforced Top & Bottom Rail

Cap Styles (shown in Sierra Blend)

Textured Flat Top External
Textured New England

14



NOTES:

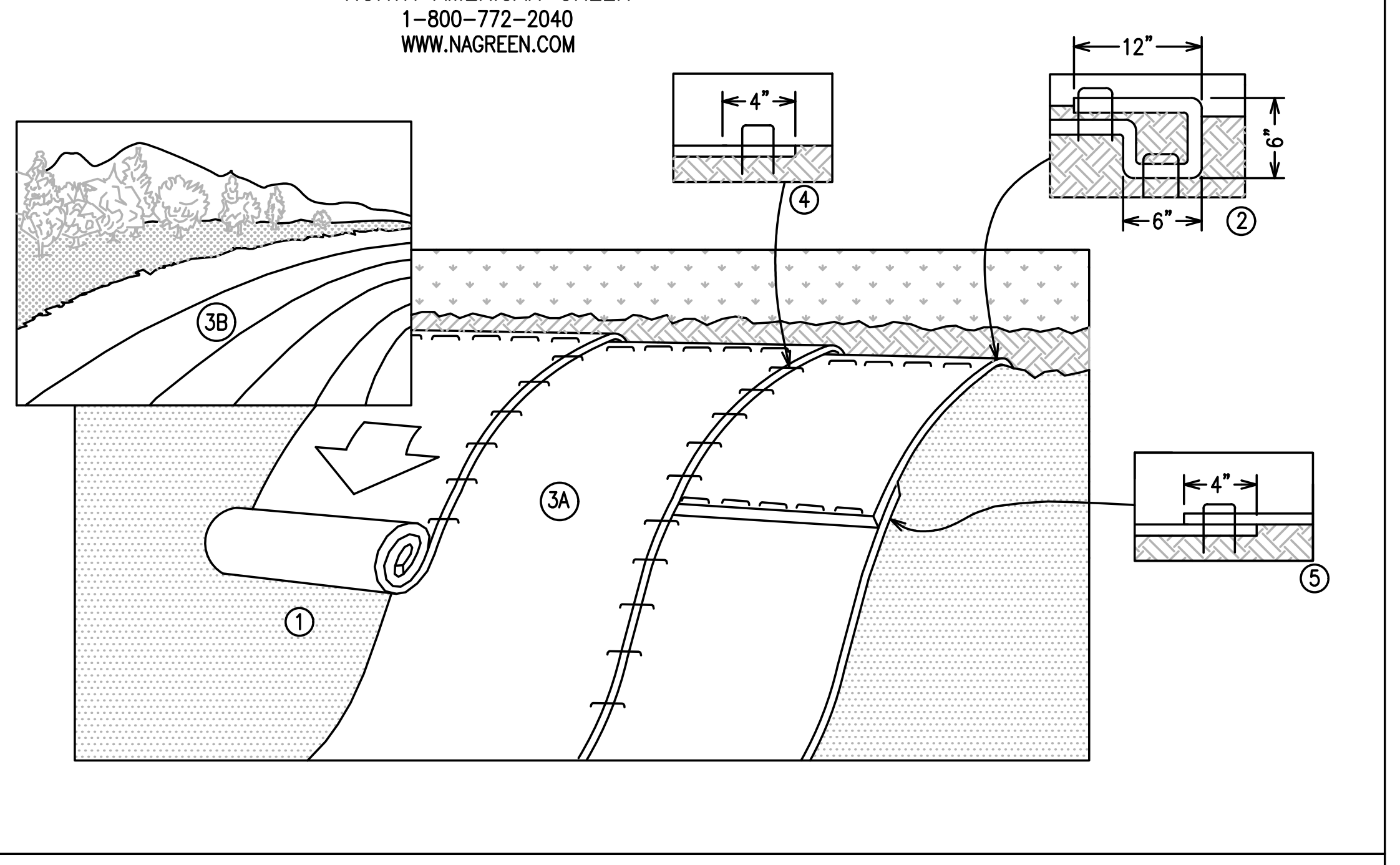
1. CONTRACTOR MAY PROVIDE PREFABRICATED CONCRETE WASHOUT BIN WITH MINIMUM 30-MIL POLYETHYLENE LINER IN LIEU OF DETAIL SHOWN.
2. STOP WASHING OUT CONCRETE IF WATER IS OBSERVED RUNNING OFF THE DESIGNATED AREA OR IF THE CONTAINMENT SYSTEM IS LEAKING OR OVERFLOWING AND INEFFECTIVE.
3. INSPECT DAILY AND AFTER EACH STORM EVENT. INSPECT THE INTEGRITY OF THE OVERALL STRUCTURE INCLUDING, WHERE APPLICABLE, THE CONTAINMENT SYSTEM.
4. THE CONCRETE WASHOUT SYSTEM SHOULD BE REPAIRED OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR ALL CONCRETE WASTE.

CW CONCRETE WASHOUT DETAIL

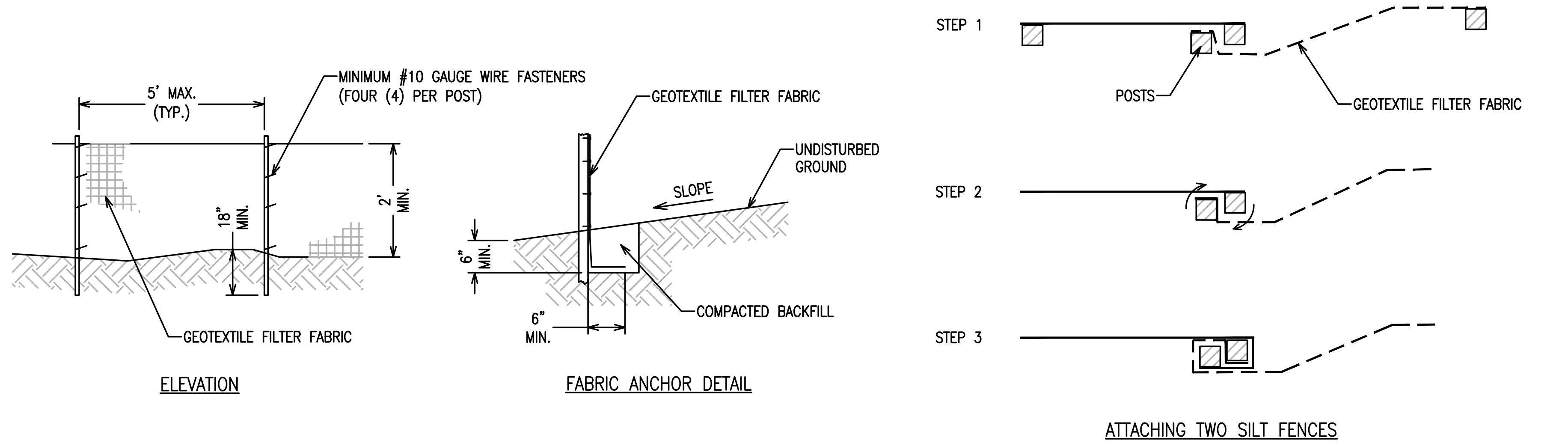
NOTES:

1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP's), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED (NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN).
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP's IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF RECP's EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP's WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECP's BACK OVER SEED AND COMPACTED SOIL. SECURE RECP's OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE RECP's.
3. ROLL THE RECP's (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. RECP's WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP's MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL RECP's MUST BE STAPLED WITH APPROXIMATELY 4" (10 CM) OVERLAP DEPENDING ON RECP's TYPE.
5. CONSECUTIVE RECP's SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 4" (10 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE RECP's WIDTH.
6. ONLY BIODEGRADABLE STAPLES SHALL BE USED (NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE RECP's).

NORTH AMERICAN GREEN
1-800-772-2040
WWW.NAGREEN.COM



ECB EROSION CONTROL BLANKET DETAIL



NOTES:

1. TEMPORARY SILT FENCE SHALL BE INSTALLED AROUND PROJECT PERIMETER PRIOR TO ANY GRADING WORK IN THE AREA TO BE PROTECTED. THEY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND REMOVED IN CONJUNCTION WITH THE FINAL GRADING AND SITE STABILIZATION.
2. GEOTEXTILE FILTER FABRIC SHALL BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
3. FENCE POSTS SHALL BE EITHER STANDARD STEEL OR WOOD POSTS WITH A MINIMUM CROSS SECTIONAL AREA OF THREE (3) SQUARE INCHES.

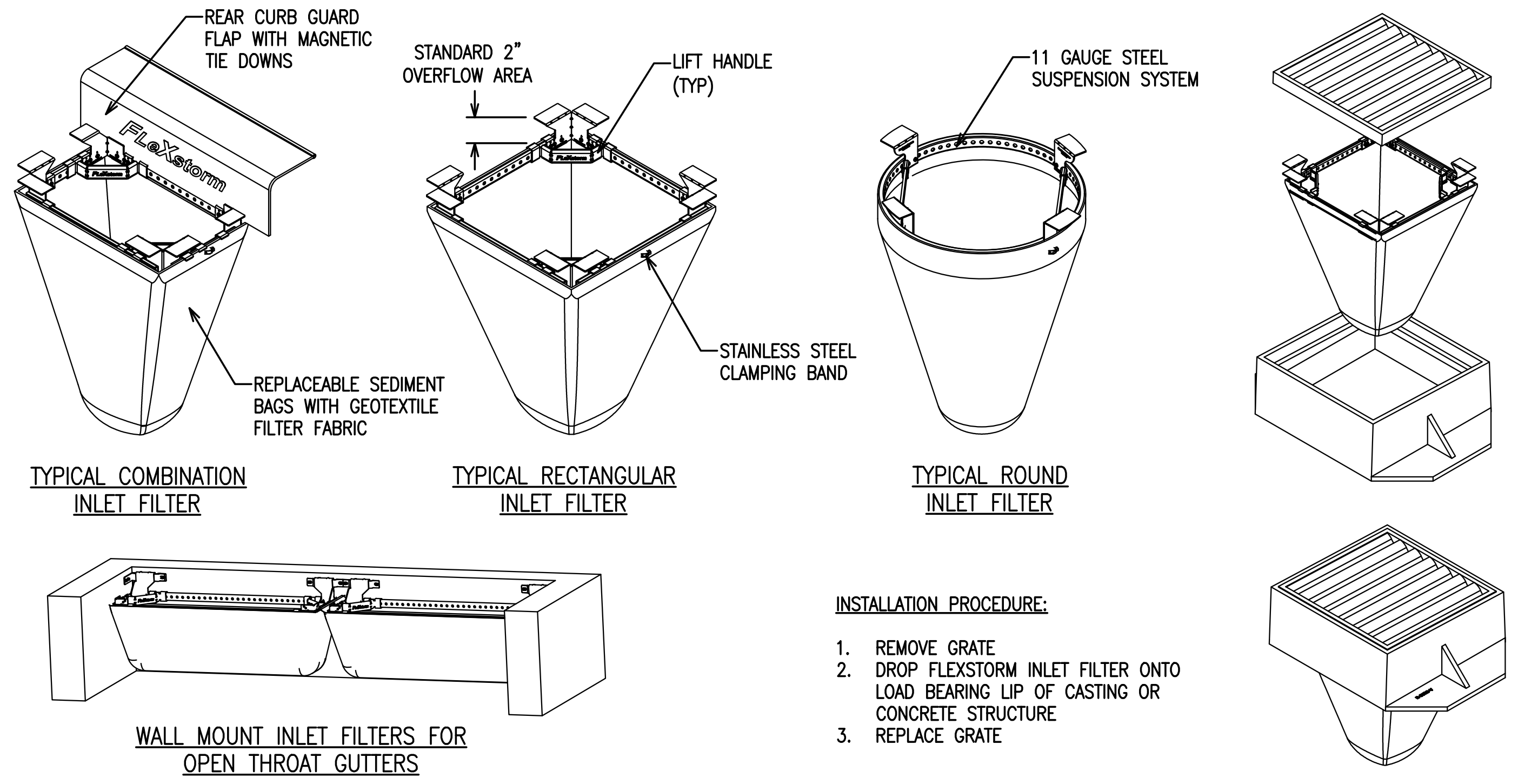
NOTES:

1. PLACE THE END POST OF THE SECOND FENCE INSIDE THE END POST OF THE FIRST FENCE.
2. ROTATE BOTH POSTS AT LEAST 180 DEGREES IN A CLOCKWISE DIRECTION TO CREATE A TIGHT SEAL WITH THE FABRIC MATERIAL.
3. DRIVE BOTH POSTS A MINIMUM OF EIGHTEEN (18) INCHES INTO THE GROUND AND BURY THE FLAP.

SF SILT FENCE DETAIL

FLEXSTORM
1-866-287-8655
WWW.INLETFILTERS.COM.COM

IPP *FLe*Xstorm Inlet Filter Specifications			
Material Property	***Test Method***	***Value (min ave)***	
> Inner Filter Bag Specs (2 ft³ min vol)		**Non-Woven**	**Woven Mono**
Grab Tensile	ASTM D 4632	100 lbs	200 lbs
Puncture Strength	ASTM D 4833	65 lbs	90 lbs
Trapezoidal Tear	ASTM D 4533	45 lbs	75 lbs
UV Resistance	ASTM D 4355	70% at 500 hrs	90%
App Open Size (AOS)	ASTM D 4751	70 sieve (.212 mm)	40 sieve (.425 mm)
Permittivity	ASTM D 4491	2.0 /sec	2.1/sec
Water Flow Rate	ASTM D 4491	145 gpm/sqft	145 gpm/sqft
> Polyester Outer Reinforcement Bag Specifications			
Weight	ASTM D 3776	4.55 oz/sqyd +/- 15%	
Thickness	ASTM D 1777	.040 +/- .005	
> Frame Construction			
A36 Structural Steel; 11 Guage; Zinc Plated	ASTM A 576	*Tensile Strength > 58,000 psi; Yield Strength > 36,000 psi*	



INSTALLATION PROCEDURE:

1. REMOVE GRATE
2. DROP FLEXSTORM INLET FILTER ONTO LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE
3. REPLACE GRATE

IP INLET PROTECTION DETAIL

No.	Description	Date
2	REVISED PER CITY	5/17/24
1	ISSUED FOR PERMIT	4/12/24

DETAILS

1880 COUNTRY FARM DRIVE
VISSERING CONSTRUCTION COMPANY
NAPERVILLE, ILLINOIS

JACOB & HEFNER
ASSOCIATES
1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515
PHONE: (630) 652-4600, FAX: (630) 652-4601
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H206

N.T.S.

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CITY OF NAPERVILLE GENERAL NOTES

a. NEW WATER MAIN VALVES, INCLUDING PRESSURE TAP VALVES, ADJACENT TO AN EXISTING WATER MAIN, AND EXISTING WATER MAIN VALVES SHALL ONLY BE OPERATED BY THE CITY OF NAPERVILLE, DEPARTMENT OF PUBLIC UTILITIES CEE/CM DIVISION PERSONNEL WITH 48-HOUR NOTICE (MONDAY-FRIDAY). CONTACT NAPERVILLE TED BUSINESS GROUP AT 630-420-6082 FOR SCHEDULING.

b. ANY EXISTING UTILITY STRUCTURES REQUIRING ADJUSTMENT OR RECONSTRUCTION SHALL BE COMPLETED BY THE CONTRACTOR TO THE SATISFACTION OF THE UTILITY OWNER. ADJUSTMENTS AND/OR RECONSTRUCTIONS NOT CALLED FOR ON THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. NO MORE THAN A TOTAL OF 12 INCHES OF ADJUSTING RINGS AND/OR 2 ADJUSTING RINGS SHALL BE ALLOWED. ALL STRUCTURE FRAMES SHALL BE FLUSH WITH FINAL GRADE.

c. TREES SHALL BE INSTALLED A MINIMUM OF FIVE (5) FEET HORIZONTALLY FROM UNDERGROUND ELECTRICAL FEEDERS, SANITARY SEWERS, SANITARY SERVICES, WATER MAINS, AND WATER SERVICES. TREES SHALL BE INSTALLED A MINIMUM OF TEN (10) FEET HORIZONTALLY FROM UTILITY STRUCTURES AND APPURTENANCES, INCLUDING, BUT NOT LIMITED TO, MANHOLES, VALVE VAULTS, VALVE BOXES AND FIRE HYDRANTS. NO TREES, SHRUBS OR OBSTACLES WILL BE ALLOWED 10' IN FRONT OF, 5' ON THE SIDES, AND 7' TO THE REAR OF THE ELECTRICAL TRANSFORMER.

d. ALL RETAINER GLANDS WHEN REQUIRED TO RESTRAIN VALVES, FITTINGS, HYDRANTS, AND PIPE JOINTS SHALL BE MECHANICAL JOINT WEDGE ACTION TYPE MEGALUG 1100 SERIES AS MANUFACTURED BY EBBA IRON, INC. OR UNI-FLANGE BLOCKBUSTER 1400 SERIES AS MANUFACTURED BY FORD METER BOX CO. AND SHALL BE FOR USE ON DUCTILE IRON PIPE CONFORMING TO ANSI/AWWA C151/A21.51, FOR NOMINAL PIPE SIZES 3" THROUGH 48".

e. EXISTING DUCTILE IRON SYSTEMS FOR RESTRAINING PUSH-ON PIPE BELLS SHALL BE MEGALUG SERIES 1100HD OR FORD SERIES 1390.

f. EXISTING DUCTILE IRON SYSTEMS REQUIRING RESTRAINT SHALL BE MEGALUG SERIES 1100SD (SPLIT MEGALUG) FOR MECHANICAL JOINTS.

g. DUCTILE IRON WATER MAIN TO BE CLASS 52. ALL DUCTILE IRON PIPE IS TO BE ENCASED IN POLYETHYLENE FILM POLYETHYLENE ENCASEMENT TO BE INSTALLED IN ACCORDANCE WITH ANSI/AWWA C105/A21.5-05.

h. A SET OF AS-BUILT RECORD DRAWING SHALL BE GIVEN TO THE CITY OF NAPERVILLE UPON COMPLETION OF IMPROVEMENTS SHOWING THE ELEVATION AND LOCATION (TIED TO TWO POINTS) OF ALL NEW AND EXISTING STRUCTURES INCLUDING FIRE HYDRANTS, VALVE BOXES AND VAULTS, LINESTOP SLEEVES, WATER SERVICE CORPORATION STOPS, WATER MAIN FITTINGS/BENDS, MANHOLES, SANITARY SERVICE WYES (MEASURED FROM DOWNSTREAM MANHOLE), AND ABANDONED WATER OR SANITARY SERVICE LINES. ALL ELEVATIONS SHOULD BE REFERENCED TO THE SAME BENCHMARK DATUM AS THE ORIGINAL DESIGN PLANS. HORIZONTAL TIES SHALL BE REFERENCED TO LOT LINES, BACK OF CURB, OR PROPERTY CORNERS.

i. ALL SANITARY SEWER PIPING SHALL BE PVC PIPE MEETING THE REQUIREMENTS OF ASTM D-2241 WITH JOINTS CONFORMING TO ASTM D-3139. ALL SANITARY SEWER FITTINGS SHALL BE PVC MEETING THE FOLLOWING REQUIREMENTS: 4" TO 12" SHALL BE INJECTION MOLDED FITTINGS MEETING ASTM D-2241. GREATER THAN 12" SHALL BE FABRICATED FITTINGS MEETING ASTM D-2241 OR C905. MINIMUM PRESSURE RATING SHALL BE 150 PSI.

j. THE VALVES LESS THAN 16" SHALL BE STANDARD PATTERN, GATE VALVES AND SHALL HAVE THE NAME OR MARK OF THE MANUFACTURER, SIZE AND WORKING PRESSURE PLAINLY CAST IN RAISED LETTERS ON THE VALVE BODY. VALVES MAY BE APPROVED FROM ONE OF THE FOLLOWING MANUFACTURERS: AMERICAN, CLOW, WATEROUS OR KENNEDY.

k. STAINLESS STEEL NUTS, BOLTS/T-BOLTS, AND WASHERS, TYPE 304 OR BETTER, WILL BE REQUIRED ON ALL WATER MAIN INSTALLATIONS. THIS WOULD APPLY TO HYDRANTS, TAPPING SLEEVES, VALVES, FITTINGS, RESTRAINT, AND OTHER APPURTENANCES BURIED OR IN VALVE VAULTS. MECHANICAL JOINTS AND RESTRAINT GLANDS REQUIRE 304 STAINLESS STEEL T-BOLTS. AN ANTI-SEIZE COMPOUND SHALL BE FACTORY APPLIED TO NUTS OR BOLTS - ANY DAMAGE TO THIS COATING SHALL BE REPAIR WITH FIELD APPLIED APPROVED ANTI-SEIZE COMPOUND THAT IS A MOLYBDENUM-BASE LUBRICANT, BOSTIK NEVER-SEEZ OR APPROVED EQUAL.

l. THE CONTRACTOR SHALL ROTATE AND/OR ADJUST ANY EXISTING AND/OR NEW HYDRANT TO THE SATISFACTION OF THE DEPARTMENT OF PUBLIC UTILITIES.

m. WATER MAINS SHALL BE SUBJECTED TO A HYDROSTATIC/LEAKAGE TEST IN ACCORDANCE WITH NAPERVILLE STANDARD SPECIFICATIONS. TEST PRESSURE SHALL BE NO LESS THAN 150 PSI FOR A PERIOD OF 4 HOURS AND NOT VARY BY MORE THAN ± 5 PSI. DURING THE TEST. THE TEST GAUGE SHALL BE APPROVED BY THE CITY AND SHALL BE GLYCERIN OR OIL FILLED, WITH A RANGE OF NOT MORE THAN 200 PSI AND INCREMENTS NOT GREATER THAN 5 PSI, 4 " MINIMUM DIAL SIZE. WATER RECOVERY TEST SHALL BE COMPLETED AT THE END OF THE TESTING PERIOD TO SHOW ACTUAL LEAKING AND THAT THE WATER MAIN DID NOT HAVE TOO MUCH TRAPPED AIR IN THE TESTED SECTION.

n. THE CITY OF NAPERVILLE PUBLIC UTILITIES DOES NOT GUARANTEE THAT ANY VALVE OR FITTING IN THE EXISTING WATER DISTRIBUTION SYSTEM WILL HOLD AGAINST A HYDROSTATIC/LEAKAGE TEST. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROVIDING AND ACCEPTABLE PRESSURE TEST WHICH SHALL INCLUDE PROVISIONS AROUND EXISTING VALVES AND FITTINGS.

o. FIRE HYDRANT SHOULD BE BAGGED "NOT IN SERVICE" UNTIL ALL TESTING AND DISINFECTION HAS BEEN COMPLETED AND NEW WATER MAIN SECTION IS SERVICE.

p. SANITARY SEWER AND WATER SHALL BE CONSTRUCTED, TESTED, AND PLACED INTO SERVICE IN ACCORDANCE WITH CITY OF NAPERVILLE STANDARD SPECIFICATION AND SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION.

q. ALL VALVE BOXES, VAULTS, HYDRANTS, AND MANHOLES SHALL NOT BE COVERED WITH CONSTRUCTION DEBRIS AND SHALL REMAIN ACCESSIBLE TO THE RESPECTIVE UTILITY COMPANY.

r. WATER SERVICE LINE SMALLER THAN 3" SHALL BE TYPE K COPPER. IF JOINTS ARE REQUIRED DUE TO LENGTH OF SERVICE, THEN ONLY COMPRESSION TYPE COUPLING SHALL BE PERMITTED. NO SOLDERED OR FLARED TYPE JOINTS ARE ALLOWED.

s. ALL SANITARY MANHOLES SHALL BE TESTED FOR LEAKAGE BY VACUUM TESTING. THE MANHOLE FRAME AND ADJUSTING RINGS SHALL BE IN PLACE WHEN TESTING. ANY LEAKS SHALL BE REPAIRED FROM EXTERIOR OF MANHOLE - PATCHING INSIDE OF MANHOLE SHALL NOT BE ACCEPTABLE. A VACUUM OF 10" (254 MM) HG SHALL BE PLACE ON THE MANHOLE AND THE TIME SHALL BE MEASURED FOR THE VACUUM TO DROP TO 9" (229 MM) HG. THE VACUUM SHALL NOT DROP BELOW 9" (229 MM) HG FOR THE FOLLOWING TIME PERIODS FOR EACH SIZE OF MANHOLE:
   - a) 48-INCH DIAMETER - 60 SECONDS
   - b) 60-INCH DIAMETER - 75 SECONDS
   - c) 72-INCH DIAMETER - 90 SECONDS
   - d) 84-INCH DIAMETER - 105 SECONDS

ANY MANHOLES THAT FAIL THE TEST SHALL BE SEALED AND RE-TESTED UNTIL ACCEPTABLE.

t. THE CONTRACTOR SHALL PROVIDE INTERNAL TELEVISED INSPECTION OF ALL INSTALLED SANITARY SEWER, LATERALS, MANHOLES AND CONNECTIONS TO THE PUBLIC SYSTEM. FOLLOWING COMPLETION OF TELEVISING WORK, THE CONTRACTOR SHALL SUBMIT VIDEO RECORDINGS ON DVD OR FLASH DRIVE ALONG WITH A COMPREHENSIVE TELEVISING REPORT WHICH WILL INDICATE THE LOCATION, FOOTAGES AND NATURE OF ANY DEFECTS. PRIOR TO FINAL ACCEPTANCE, THESE DEFECTS SHALL BE REPAIRED TO THE SATISFACTION OF THE WATER/WASTEWATER UTILITY AND RE-TELEVISED.

u. CONTRACTOR WORK HOURS ARE ONLY ALLOWED FROM 7:00 A.M. TO 5:00 P.M., MONDAY THROUGH SATURDAY. NO WORK SHALL BE PERMITTED ON SUNDAYS.

v. SANITARY PIPES WITH LESS THAN 4 FEET OR MORE THAN 25 FEET OF COVER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPING (CLASS 50, MINIMUM) AND ENCASED IN POLYWRAP.

w. ALL EXCAVATIONS MORE THAN 20 FEET DEEP MUST BE PROTECTED BY A SYSTEM DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.

x. CONTRACTOR SHALL MAINTAIN 2' MINIMUM CLEARANCE BETWEEN EXISTING UTILITIES AND NEW FOUNDATIONS AND UNDERGROUND FACILITIES. IN AREAS WHERE FOUNDATIONS AND UNDERGROUND FACILITIES ARE PROPOSED ADJACENT TO EXISTING UTILITIES, THE CONTRACTOR SHALL POT HOLE BY VACUUM EXCAVATION OR HAND EXCAVATION TO LOCATE THE EXISTING UTILITY TO VERIFY MINIMUM CLEARANCE REQUIREMENT.

y. FENCES SHALL BE INSTALLED A MINIMUM OF 5 FEET FROM ANY WATER OR SANITARY MAINS WHEN RUNNING PARALLEL WITH THEM. WHERE FENCES ARE INSTALLED CROSSING WATER OR SANITARY MAINS, THE POSTS SHALL BE LOCATED TO HAVE THE MAIN BETWEEN THEM.

z. ALL BRASS COMPONENTS SHALL BE CERTIFIED TO BE LEAD FREE IN COMPLIANCE WITH NSF 61 AND NSF 372 AND IDENTIFIED WITH APPLICABLE MARKINGS.

aa. SANITARY FORCE MAIN - FORCE MAN SHALL BE TESTED A MINIMUM OF 1 HOUR AT 1.5 THE SHUT OFF HEAD OF THE PUMP, 2.5 TIMES THE OPERATING PRESSURE, OR 20 PSI WHICHEVER IS GREATEST. ALLOWABLE LEAKAGE SHALL BE IN ACCORDANCE WITH SECTION 41-2.14C OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION.

GENERAL NOTES

1. ALL PAVING AND RELATED CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION BY ILLINOIS DEPARTMENT OF TRANSPORTATION AND ALL AMENDMENTS THERETO AND IN ACCORDANCE WITH THE LATEST EDITION OF THE SUBDIVISION REGULATIONS OF THE MUNICIPALITY. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.

2. ALL STORM SEWER, SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION, AND IN ACCORDANCE WITH THE CURRENT SUBDIVISION REGULATIONS OF THE MUNICIPALITY UNLESS OTHERWISE NOTED ON THE PLANS.

3. STANDARD SPECIFICATIONS, SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS, CONSTRUCTION PLANS, AND SUBSEQUENT DETAILS ARE ALL TO BE CONSIDERED AS PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE CONSIDERED A PART OF THIS CONTRACT.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE PLAN. THE CONTRACTOR SHALL CALL J.U.L.I.E. AT 1-800-892-0123, AND THE MUNICIPALITY FOR UTILITY LOCATIONS.

5. NO CONSTRUCTION PLAN SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CONSTRUCTION." PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE ENGINEER'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO ENGINEER BEFORE DOING ANY WORK, OTHERWISE THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.

6. NOTIFICATION OF COMMENCING CONSTRUCTION

   6.1. THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR HIS REPRESENTATIVE AND THE AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST THREE FULL WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL NOTIFY AS NECESSARY, ALL TESTING AGENCIES, EITHER MUNICIPALITY'S OR THE OWNER'S, SUFFICIENTLY IN ADVANCE OF CONSTRUCTION.

   6.2. FAILURE OF CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN TESTING COMPANIES TO BE UNABLE TO VISIT SITE AND PERFORM TESTING WILL CAUSE CONTRACTOR TO SUSPEND OPERATION (PERTAINING TO TESTING) UNTIL TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS. COST OF SUSPENSION OF WORK TO BE BORNE BY CONTRACTOR.

7. ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL TYPES OF TRAFFIC. AT NO TIME SHALL ACCESS BE DENIED TO PROPERTIES SURROUNDING THE SITE.

8. ALL PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS OTHERWISE SPECIFIED.

9. THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET AT CONTRACTOR'S COST.

10. ALL FRAMES AND LIDS FOR STORM AND SANITARY SEWER STRUCTURES ARE TO BE ADJUSTED TO MEET FINAL FINISH GRADE. THIS ADJUSTMENT IS TO BE MADE BY THE SEWER CONTRACTOR AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEVIATE THE CONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE COUNTY UPON FINAL INSPECTION OF THE PROJECT. FINAL GRADES TO BE DETERMINED BY THE COUNTY AT THE TIME OF FINAL INSPECTION AND MAY VARY FROM PLAN GRADE.

11. ANY EXISTING SIGNS, LIGHT STANDARDS AND UTILITY POLES WHICH INTERFERE WITH CONSTRUCTION OPERATIONS AND NOT NOTED FOR DISPOSAL SHALL BE REMOVED AND RESET BY THE CONTRACTOR AT HIS OWN EXPENSE AS DIRECTED BY THE ENGINEER. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO BE RESET, SHALL BE DELIVERED TO THE RESPECTIVE OWNERS.

12. REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURB AND GUTTER, CULVERTS, ETC. SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE. HE IS RESPONSIBLE FOR ANY PERMIT REQUIRED FOR SUCH DISPOSAL.

13. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR SHALL BE RESTORED TO PROPER OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED BY THE OWNER AND/OR PROJECT GOVERNING AUTHORITY.

14. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE DURING THAT PERIOD.

15. BEFORE ACCEPTANCE BY THE OWNER AND FINAL PAYMENT, ALL WORK SHALL BE INSPECTED BY THE OWNER OR HIS REPRESENTATIVE. FINAL PAYMENT WILL BE MADE AFTER ALL THE CONTRACTOR'S WORK HAS BEEN APPROVED AND ACCEPTED BY THE OWNER AND MUNICIPALITY.

16. UPON AWARDING OF THE CONTRACT AND WHEN REQUIRED BY THE MUNICIPALITY, THE CONTRACTOR SHALL FURNISH A LABOR, MATERIAL AND PERFORMANCE BOND AND INSURANCE IN THE AMOUNT REQUIRED BY THE MUNICIPALITY GUARANTEEING COMPLETION OF THE WORK. THE UNDERWRITER SHALL BE ACCEPTABLE TO THE MUNICIPALITY.

17. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO KNOWN AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, JACOB AND HEFNER ASSOCIATES, INC. IS RESPONSIBLE TO RESOLVE THE CONFLICT. JACOB AND HEFNER ASSOCIATES, INC. IS NOT RESPONSIBLE FOR THE COST OF CONSTRUCTION.

18. OWNER SHALL OBTAIN EASEMENTS AND PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR, HOWEVER, SHALL FURNISH ALL REQUIRED BONDS AND EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS.

19. THE CONTRACTORS SHALL PLAN THEIR WORK BASED ON THEIR OWN BORINGS, EXPLORATIONS AND OBSERVATIONS TO DETERMINE SOIL CONDITIONS AT THE LOCATION OF THE PROPOSED WORK.

20. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB IN ACCORDANCE WITH OSHA REGULATIONS.

21. THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS, STAKES OR LATH SET BY SURVEYORS FOR CONSTRUCTION, AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEAN-UP AS DIRECTED BY THE ENGINEER OR OWNER. BURNING ON THE SITE IS NOT PERMITTED.

22. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING, WARNING DEVICES AND THE SAFE MANAGEMENT OF TRAFFIC AND PEDESTRIANS WITHIN THE AREA OF CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE ILLINOIS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS, LATEST EDITION AND IN CONFORMANCE WITH REGULATIONS OF THE MUNICIPALITY OR D.O.T.

23. NO UNDERGROUND WORK SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE COUNTY. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE COUNTY PRIOR TO INSTALLING PAVEMENT BASE, BINDER, SURFACE AND PRIOR TO POURING ANY CONCRETE AFTER FORMS HAVE BEEN SET.

24. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION.

25. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.

26. TREES NOT MARKED FOR REMOVAL SHALL BE CONSIDERED AS DESIGNATED TO BE SAVED AND SHALL BE PROTECTED UNDER THE PROVISIONS OF ARTICLE 201.05 OF THE STANDARD SPECIFICATIONS.

27. LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF AN APPROVED LANDSCAPE ARCHITECT AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION.

28. ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THIS WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE.

29. ALL CUTS OVER ONE-INCH IN DIAMETER SHALL BE MADE FLUSH WITH THE NEXT LARGE BRANCH. WOUNDS OVER ONE-INCH IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT.

30. ANY DEWATERING OF SEWER AND WATER TRENCHES AS WELL AS TEMPORARY SHEETING OR BRACING THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL NOT BE CONSIDERED EXTRA WORK. IN THE EVENT THAT SOFT MATERIALS WITH UNCONFINED COMPRESSIVE STRENGTH LESS THAN 0.5 TSF ARE ENCOUNTERED IN SEWER AND WATER MAIN CONSTRUCTION, THE CONTRACTOR SHALL (UPON APPROVAL OF THE OWNER AND/OR ENGINEER) OVER-EXCAVATE TO A DEPTH OF AT LEAST ONE (1) FOOT BELOW THE BOTTOM OF THE PIPE AND BACKFILL WITH COMPACTED CRUSHED STONE, PROPERLY FORMED TO FIT THE BOTTOM OF THE PIPE.

31. CONTRACTOR SHALL RECORD VIDEO OF THE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.

32. TRENCH BACKFILL WILL BE REQUIRED TO THE FULL DEPTH ABOVE ALL UNDERGROUND UTILITIES WITHIN TWO FEET OF PROPOSED OR EXISTING PAVEMENTS, UTILITIES, BUILDINGS, AND SIDEWALKS. THE TRENCH BACKFILL SHALL BE DONE IN ACCORDANCE WITH IDOT STANDARD SPECIFICATIONS. THE TRENCH BACKFILL MATERIAL SHALL CONSIST OF CRUSHED GRAVEL CONFORMING TO IDOT GRADATION CA-6.

33. WHERE SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE.

GENERAL NOTES (CONT.)

34. HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ONTO THE ROAD SUBGRADES. WHEREVER POSSIBLE, HOSES SHALL BE USED TO DIRECT THE WATER INTO STORM SEWERS. DAMAGE TO THE ROAD SUBGRADE OR LOT AREAS DUE TO EXCESSIVE WATER SATURATION AND/OR EROSION FROM HYDRANT FLUSHING OR FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM, WILL BE THE RESPONSIBILITY OF THE CONTRACTOR FLUSHING OR USING THE HYDRANT TO MAKE ALL NECESSARY REPAIRS AT HIS EXPENSE. THE CONTRACTOR SHALL PROVIDE ALL CONSTRUCTION WATER AT HIS EXPENSE.

35. AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED THE CONTRACTOR SHALL PLACE EROSION CONTROL AT LOCATIONS SHOWN ON THE PLANS OR AS SELECTED IN THE FIELD BY THE ENGINEER. INLET PROTECTION (INLET BASKETS) SHALL BE INSTALLED IN EACH STRUCTURE AS SOON AS THE STRUCTURE INSTALLATION IS COMPLETE. THE PURPOSE OF THE EROSION CONTROL WILL BE TO MINIMIZE THE AMOUNT OF SILTATION, WHICH NORMALLY WOULD ENTER THE STORM SEWER SYSTEM FROM ADJACENT AND/OR UPSTREAM DRAINAGE AREAS.

36. EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH ILLINOIS URBAN MANUAL AND SHALL BE MAINTAINED BY THE CONTRACTOR AND SHALL REMAIN IN PLACE UNTIL A SUITABLE GROWTH OF GRASS ACCEPTABLE TO THE ENGINEER HAS BEEN DEVELOPED.

37. UPON PROJECT COMPLETION, THE CONTRACTOR SHALL PROVIDE FINAL RECORD DRAWINGS TO THE OWNER AND ENGINEER FOR REVIEW PRIOR TO ANY REQUEST FOR FINAL INSPECTION. AT A MINIMUM, THE RECORD DRAWINGS SHALL INDICATE THE FINAL LOCATION AND LAYOUT OF ALL SITE IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO, VERIFICATION OF ALL BUILDING PAD AND FINISHED FLOOR ELEVATIONS, UTILITY RIM AND INVERT ELEVATIONS, SPOT GRADE ELEVATIONS, LOCATIONS OF ALL WATER SERVICE B-BOXES, SANITARY SEWER SERVICES, AND STORM SEWER SERVICES AND SHALL INCORPORATE ALL FIELD DESIGN CHANGES INCLUDING THOSE APPROVED BY THE OWNER, ENGINEER AND/OR PROJECT GOVERNING AUTHORITY. RECORD DRAWINGS SHALL BE PREPARED BY OR UNDER THE DIRECT SUPERVISION OF A LICENSED PROFESSIONAL LAND SURVEYOR.

EARTHWORK

1. TOPSOIL EXCAVATION

A. TOPSOIL, ORGANIC MATERIAL, OR ANY OTHER UNSUITABLE MATERIALS SHALL BE REMOVED FROM AREAS REQUIRING STRUCTURAL FILL.

B. PLACEMENT OF EXCAVATED MATERIAL SHALL BE DESIGNATED BY THE OWNER FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED OR AS FILL IN THE AREAS NOT REQUIRING STRUCTURAL FILL MATERIAL.

C. EXCESS MATERIALS NOT UTILIZED AS FILL OR NOT STOCKPILED FOR FUTURE LANDSCAPING, SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND DISPOSED OF OFF-SITE BY THE CONTRACTOR.

2. EARTH EXCAVATION

A. EXCAVATION OF EARTH AND OTHER MATERIALS, WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL SHALL BE WITHIN A TOLERANCE OF 0.05 FEET FOR PADS AND PAVEMENT, AT 0.1 FEET +/- OF THE PLAN SUBGRADE ELEVATIONS. THE +/- TOLERANCE WITHIN PAVEMENT AREAS UTILIZING EARTH MATERIALS SHALL "BALANCE" AS PART OF THE FINE GRADING OPERATION.

B. PLACEMENT OF EARTH AND OTHER SUITABLE MATERIALS SHALL BE PLACED WITHIN THOSE AREAS REQUIRING STRUCTURAL FILL TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS WITHIN A TOLERANCE OF 0.1 FEET +/-. THE FILL MATERIAL SHALL BE PLACED IN LOOSE LIFTS, NOT EXCEED EIGHT INCHES IN THICKNESS. THE WATER CONTENT SHALL BE ADJUSTED IN ORDER TO ACHIEVE THE REQUIRED COMPACTION. EARTH MATERIAL MAY BE PLACED WITHIN THOSE AREAS OF THE SITE NOT REQUIRING STRUCTURAL FILL, WITHIN THE PLAN SUBGRADE ELEVATION. IN AREAS REQUIRING STRUCTURAL FILL, THE EARTH MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR OTHER UNSUITABLE MATERIALS. THE STRUCTURAL SUBGRADE AREA SHALL EXTEND TO THE ZONE OF INFLUENCE IN ALL FILL AREAS.

C. COMPACTION OF THE EARTH AND OTHER SUITABLE MATERIALS SHALL BE TO A MINIMUM OF 95% OF THE MODIFIED PROCTOR DRY DENSITY. THIS INCLUDES AREAS WITHIN PROPOSED PAVEMENT AND BUILDING PAD LOCATIONS, SIDEWALKS, ETC. IN NON-STRUCTURAL FILL AREAS, 90% TO 95% OF THE MODIFIED PROCTOR DRY DENSITY IS REQUIRED.

3. UNSUITABLE MATERIAL

A. UNSUITABLE MATERIAL SHALL BE CONSIDERED AS MATERIAL THAT IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION. IF IT IS ENCOUNTERED BELOW NORMAL TOPSOIL DEPTHS AND THE PROPOSED SUBGRADE ELEVATION, IT SHALL BE REMOVED AND REPLACED WITH SELECT GRANULAR MATERIAL APPROVED BY THE SOILS ENGINEER. THE DECISION TO REMOVE SAID MATERIAL AND TO WHAT EXTENT, SHALL BE MADE BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER.

4. THE GRADING CONTRACTORS RESPONSIBILITIES

A. MAINTAIN POSITIVE DRAINAGE AT ALL TIMES DURING THE COURSE OF CONSTRUCTION AND PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.

B. SPREAD AND COMPACT UNIFORMLY ALL EXCESS TRENCH SPOIL, AS SPECIFIED, AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS.

C. SCARIFY AND COMPACT THE UPPER 12 INCHES OF THE SUITABLE SUBGRADE MATERIAL, AS SPECIFIED, IN ALL AREAS THAT MAY BE SOFT DUE TO EXCESS MOISTURE CONTENT. THIS APPLIES TO CUT AREAS AS WELL AS FILL AREAS.

D. PROVIDE ADDITIONAL WATER TO DRY MATERIAL TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION.

E. BACKFILL THE CURB AND GUTTER AFTER CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL.

F. ACCOUNTABLE FOR IMPLEMENTATION OF THE "SOIL EROSION AND SEDIMENTATION CONTROL MEASURES" AS DESCRIBED ON THE PLANS. ALL CONTRACTORS SHALL COMPLY WITH THE SWPPP AND NPDES REQUIREMENTS.

G. PERFORM LIME STABILIZATION OF THE SUBGRADE MATERIAL IF REQUIRED BY THE SOILS ENGINEER.

5. TESTING AND FINAL ACCEPTANCE

A. THE CONTRACTOR SHALL PROVIDE, AS A MINIMUM, A TANDEM AXLE TRUCK LOADED TO 14 TONS FOR PROOF ROLLING THE PAVEMENT SUBGRADE. PROOF ROLLING SHALL BE PERFORMED PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER AND BASE MATERIAL. THIS SHALL BE WITNESSED AND APPROVED BY THE MUNICIPAL ENGINEER AND OWNER.

B. ANY UNSUITABLE AREA ENCOUNTERED AS A RESULT OF PROOF ROLLING, SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL APPROVED BY THE SOILS CONSULTANT. PROOF ROLLING SHALL BE PERFORMED UNTIL THE SUBGRADE IS APPROVED BY THE MUNICIPAL ENGINEER, OWNER AND SOILS ENGINEER.

C. THE WORK AREAS SHALL BE POSITIVELY DRAINED DURING CONSTRUCTION. FINAL GRADES SHALL BE PROTECTED AGAINST DAMAGE FROM EROSION, SEDIMENTATION AND TRAFFIC.

SOIL EROSION AND SEDIMENT CONTROL

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF THE SUBDIVISION CONTROL ORDINANCE OF THE MUNICIPALITY AND THE ILLINOIS URBAN MANUAL.

2. BEFORE STARTING SITE CLEARING AND GRADING WORK, A CONSTRUCTION ENTRANCE AND SILT FENCE SHALL BE INSTALLED AS SHOWN ON THE PLANS.

3. THE CONSTRUCTION ENTRANCE TO THE SITE SHALL BE STABILIZED WITH GRAVEL PRIOR TO BEGINNING ANY WORK ON THE SITE. THE ENTRANCE SHALL BE MAINTAINED PERIODICALLY FOR ITS EFFECTIVENESS TO REMOVE DIRT FROM CONSTRUCTION VEHICLES LEAVING THE SITE.

4. SILT FILTER FENCE SHALL BE PLACED AS SHOWN ON THE PLANS AND AS DIRECTED BY THE MUNICIPALITY'S ENGINEERING INSPECTOR, TO PREVENT SEDIMENT FROM LEAVING THE SITE.

5. STAKED SILT FENCE SHALL BE INSTALLED AND MAINTAINED AROUND THE INLETS AND CATCH BASINS AS SHOWN ON THE PLANS.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES.

7. THE CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER ANY STORM EVENT IN EXCESS OF HALF AN INCH. AN INSPECTION REPORT SHALL BE COMPLETED EACH TIME AND KEPT WITHIN A BINDER ON THE JOB SITE AT ALL TIMES. THE NOI, NPDES PERMIT AND SWPP PLAN SHALL ALSO BE KEPT ON-SITE.

8. AT THE COMPLETION OF THE PROJECT, ALL STORM SEWER PIPES AND STRUCTURES SHALL BE CLEANED AND FREE OF DIRT AND DEBRIS. SEDIMENTATION SHALL BE REMOVED FROM THE STORM SEWER SYSTEM AND SHALL NOT BE WASHED OUT INTO THE EXISTING STORM SEWER SYSTEM.

9. THE TEMPORARY EROSION CONTROL MEASURES SHALL BE EFFECTIVELY IN PLACE UNTIL ALL THE PERMANENT EROSION CONTROL MEASURES ARE FULLY FUNCTIONAL.

10. THE GUARANTEE PERIOD SHALL BEGIN AFTER ALL THE PERMANENT EROSION CONTROL MEASURES ARE FULLY FUNCTIONAL AND ACCEPTABLE TO OWNER OR HIS REPRESENTATIVE.

11. STOCKPILES OF ANY KIND SHALL NOT BE PLACED IN SPECIAL MANAGEMENT AREAS. IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN SEVEN DAYS, THEN SEDIMENT AND EROSION CONTROL MEASURES SHALL BE PROVIDED FOR THE STOCKPILE.

12. IF THE VOLUME, VELOCITY, SEDIMENT LOAD OR PEAK FLOW RATES OF STORM WATER RUNOFF ARE TEMPORARILY INCREASED DURING CONSTRUCTION, THEN PROPERTIES AND SPECIAL MANAGEMENT AREAS DOWNSTREAM FROM SUCH DEVELOPMENT SITES SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION.

13. STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTER CONTROL DEVICES DURING CONSTRUCTION.

14. THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL EROSION WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED, UNLESS A HALF INCH OR GREATER RAINFALL EVENT IS FORECAST PRIOR TO SEVEN DAYS. IN THIS OCCURRENCE, THE PROPER SOIL PROTECTION SHALL BE INSTALLED IMMEDIATELY. STRIPPED AREAS NOT AT FINAL GRADE THAT REMAIN UNDISTURBED FOR MORE THAN SEVEN DAYS AFTER INITIAL DISTURBANCE, SHALL BE PROTECTED FROM EROSION, UNLESS GRADING ACTIVITIES ARE RESUMED WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED. TEMPORARY COVER SHALL BE MAINTAINED CONTINUOUSLY UNTIL PERMANENT COVER IS ESTABLISHED.

15. WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION DEWATERING, IRRIGATION OR FIRE HYDRANT FLUSHING, SHALL BE FILTERED PRIOR TO LEAVING THE PROJECT SITE.

16. IF NECESSARY, GRAVELED ROADS, ACCESS DRIVES, PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH AND VEHICLE WASHDOWN FACILITIES, SHALL BE PROVIDED TO PREVENT THE DEPOSIT AND TRACKING OF SOIL ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SOIL REACHING A PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED CONTINUOUSLY.

17. ALL CONTRACTORS SHALL COMPLY WITH SWPP PLAN AND NPDES REQUIREMENTS. A SIGNED SWPP PLAN SHALL BE KEPT ON FILE WITH OWNER OR GENERAL CONTRACTOR.

18. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO PREVENT DEPOSITION OF SOIL ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SOIL REACHING A PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED BEFORE THE END OF EACH WORKDAY.

19. THE APPLICANT SHALL PROVIDE ADEQUATE RECEPTACLES FOR THE DEPOSITION OF ALL CONSTRUCTION DEBRIS GENERATED DURING THE DEVELOPMENT PROCESS. THE APPLICANT SHALL NOT CAUSE, OR PERMIT, THE DUMPING, DEPOSITION, DROPPING, THROWING, BLOWING, DISCARDING OR LEAVING OF CONSTRUCTION MATERIAL DEBRIS UPON OR INTO ANY DEVELOPMENT SITE, CHANNEL, POND, LAKE, WETLAND BUFFER, OR WATERS OF DUPAGE COUNTY. THE APPLICANT SHALL MAINTAIN THE DEVELOPMENT SITE FREE OF UNCONTROLLED CONSTRUCTION DEBRIS. CONSTRUCTION SITE OPERATORS SHALL IMPLEMENT APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL, AND CONTROL WASTE SUCH AS, DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER, AND SANITARY WASTE THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY.

STORM SEWER

1. ALL STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, IN ADDITION TO THE SUBDIVISION CONTROL ORDINANCE OF THE MUNICIPALITY.

2. UNLESS OTHERWISE NOTED ON THE PLANS, ALL STORM SEWERS SHALL BE REINFORCED CONCRETE CULVERT PIPE (RCP), ASTM C 76, WITH "O" RING RUBBER GASKET JOINTS CONFORMING TO ASTM C-443.

3. HDPE STORM SEWER PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE PER ASTM F-2306 WITH WATERTIGHT JOINTS CONFORMING TO ASTM D-3212.

4. ALL STORM SEWER UNDERDRAIN PIPE SHALL BE PERFORATED PVC (POLYVINYL CHLORIDE) SDR 26. PIPE SHALL CONFORM TO ASTM D-3034 WITH SOLVENT WELDED JOINTS CONFORMING TO ASTM D-2672.

5. ALL DOWNSPOUT AND FOOTING DRAINS SHALL BE DISCHARGED TO THE STORM SEWER SYSTEM OR ONTO THE GROUND.

6. MANHOLE, CATCH BASIN AND INLET BOTTOMS SHALL BE PRECAST CONCRETE SECTIONAL UNITS OR MONOLITHIC CONCRETE. MANHOLES AND CATCH BASINS SHALL BE FOUR FEET IN DIAMETER UNLESS OTHERWISE SPECIFIED ON THE PLANS. MANHOLE JOINTS SHALL BE "O" RING GASKET JOINTS. A MAXIMUM OF SIX INCHES OF ADJUSTING RINGS SHALL BE USED TO ADJUST FRAME ELEVATIONS. THE ADJUSTING RINGS SHALL BE SET WITHIN A FULL MORTAR BED.

7. ALL STORM SEWERS SHALL BE INSTALLED ON TYPE "A" BEDDING, 1/4 TO 3/4 INCH IN SIZE, WITH A MINIMUM THICKNESS EQUAL TO 1/4 OF THE OUTSIDE DIAMETER OF THE SEWER PIPE, BUT NOT LESS THAN FOUR INCHES. USING BLOCKS OF ANY KIND FOR GRADE IS NOT PERMITTED. THE GRANULAR MATERIAL FOR BEDDING AND TRENCH BACKFILL MATERIAL SHALL CONFORM TO IDOT GRADATION CA-6. THE GRANULAR MATERIAL FOR BEDDING AND INITIAL BACKFILL OF FLEXIBLE PIPE SHALL BE NON-ANGULAR GRAVEL MATERIAL CONFORMING TO ASTM D-2321, CLASS I. THE COST OF BEDDING MATERIAL SHALL BE MERGED WITH THE UNIT PRICE BID FOR THE SEWER. THE BEDDING MATERIALS SHALL BE COMPACTED TO 95% OF THE MODIFIED PROCTOR DENSITY.

8. THE FRAME AND GRATE OR CLOSED LID TYPE SHALL BE AS SPECIFIED ON THE UTILITY PLAN. THE MANHOLE LIDS SHALL BE A MACHINE SURFACED, NON-ROCKING DESIGN. ALL CASTINGS SHALL BE EMBOSSED WITH A FISH IMAGE AND "DUMP NO WASTE-DRAINS TO WATERWAYS" MESSAGE. THE CLOSED LIDS SHALL HAVE THE WORD "STORM" AND THE MUNICIPALITY NAME EMBOSSED ON THE LID. THE JOINT BETWEEN THE CONCRETE SECTION AND FRAME SHALL BE SEALED WITH A MASTIC COMPOUND.

9. ALL STORM SEWERS SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL INSPECTION AND TESTING.

10. AFTER THE STORM SEWER STRUCTURE HAS BEEN CONSTRUCTED, THE CONTRACTOR SHALL PLACE EROSION CONTROL AT LOCATIONS SHOWN ON THE PLANS OR AS SELECTED IN THE FIELD BY THE ENGINEER. THE PURPOSE OF THE EROSION CONTROL WILL BE TO MINIMIZE THE AMOUNT OF SILTATION NORMALLY ENTERING THE STORM SEWER SYSTEM FROM ADJECENT AND/OR UPSTREAM DRAINAGE AREAS.

PAVEMENT

1. FINE GRADING

A. PRIOR TO THE CONSTRUCTION OF CURB AND GUTTER AND PLACEMENT OF THE BASE MATERIAL, THE STREETS SHALL BE FINE GRADED TO WITHIN 0.05 FEET OF FINAL SUBGRADE ELEVATION, TO A POINT TWO FEET BEYOND THE BACK OF CURB.

2. CURB AND GUTTER

A. THE TYPE OF THE CURB AND GUTTER SHALL BE AS DETAILED ON THE ENGINEERING PLANS.

B. THE CURBS SHALL BE BACKFILLED AFTER CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE.

C. THE STONE COST UNDER THE CURB AND GUTTER SHALL BE CONSIDERED INCIDENTAL.

D. DEPRESSED CURBS FOR DRIVEWAYS AND HANDICAPPED RAMPS SHALL BE INSTALLED PER THE PLANS AND IDOT STANDARDS.

3. CONCRETE PAVEMENT

A. CONSTRUCTION JOINTS SHALL INCLUDE DOWELS PER "CONSTRUCTION JOINT TABLE" ALL DOWELS SHALL BE SMOOTH EPOXY COATED; GREASE ONE END.

B. CONTRACTOR SHALL PROVIDE CONTRACTION JOINT 5' OFF OF FACE OF BUILDING.

C. EXCEPT AT FIRST PANEL FROM THE FACE OF BUILDING, CONCRETE PANEL LENGTH SHALL NOT EXCEED ITS WIDTH BY MORE THAN 25%.

D. CONTRACTION JOINTS SHALL BE CUT TO A DEPTH D/4 FOR CONVENTIONAL CONCRETE, OR D/3 FOR FIBER REINFORCED CONCRETE. WIDTH OF SAW-CUT SHALL BE PER JOINT SEALANT MATERIAL MANUFACTURER'S RECOMMENDATIONS.

E. ALL JOINTS SHALL BE CAULKED
   - -SIKASIL-728SL (SAWCUT JOINTS)
   - -SIKAFLEX-1C/SL (EXPANSION JOINTS)
   - -OR APPROVED EQUAL

F. CURB & GUTTER WITHIN CONCRETE PAVEMENT AREAS SHALL BE MONOLITHICALLY POURED OR SHALL BE TIED TO THE FIRST PANEL.

DOWEL SIZE AND SPACING AT CONSTRUCTION JOINTS

PAVEMENT DEPTH (INCH)	CONSTRUCTION JOINT DOWEL DIMENSIONS (INCH)	DOWEL SPACING C-C (INCH)
5 TO <6	3/4 x 10	12
6 TO <8	1 x 13	12
8 TO <10	1-1/4 x 15	12
10 TO 12	1-1/2 x 18	12

3. PAVEMENT

A. THE PAVEMENT MATERIALS SHALL BE AS DETAILED ON THE ENGINEERING PLANS. DEPTHS SPECIFIED SHALL BE CONSIDERED THE MINIMUM COMPACTED THICKNESS.

4. GENERAL

THE PAVING CONTRACTOR SHALL:

A. REPAIR ANY BASE COURSE AND BINDER COURSE FAILURES PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS CONCRETE SURFACE COURSE.

B. SWEEP CLEAN THE BINDER COURSE PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS CONCRETE SURFACE COURSE. ANY DAMAGE TO THE BINDER COURSE SHALL BE REPAIRED BY THE CONTRACTORS AT NO ADDITIONAL COST TO THE OWNER.

D. PROVIDE CONSTRUCTION, EXPANSION AND CONTRACTION JOINTS FOR CURB AND GUTTER AND P.C.C. SIDEWALK PER IDOT STANDARDS AND MUNICIPAL STANDARDS.

E. REMOVE ALL EXCESS MATERIALS AND DEBRIS. DISPOSE OF MATERIALS OFF-SITE AT NO ADDITIONAL COST TO THE OWNER.

5. TESTING AND FINAL ACCEPTANCE

A. PRIOR TO THE PLACEMENT OF THE BASE COURSE, THE SUBGRADE MUST BE PROOF ROLLED AND INSPECTED FOR UNSUITABLE LOCATIONS. IF UNSUITABLE SUBGRADE IS ENCOUNTERED, IT SHALL BE REMOVED AND REPLACED WITH GRANULAR MATERIAL APPROVED BY THE OWNER OR HIS REPRESENTATIVE. THE SUBGRADE SHALL HAVE A MINIMUM IBR VALUE OF 3.0.

B. PRIOR TO PLACEMENT OF THE BITUMINOUS CONCRETE SURFACE COURSE, THE CONTRACTOR SHALL OBTAIN SPECIMENS OF THE BINDER COURSE WITH A CORE DRILL WHERE DIRECTED AND AS REQUIRED. THICKNESS VERIFICATION WILL BE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION."

C. FINAL ACCEPTANCE OF THE TOTAL PAVEMENT INSTALLATION SHALL BE SUBJECT TO THE TESTING AND VERIFICATION REQUIREMENTS CITED ABOVE.

6. METHOD OF MEASUREMENT

A. CURB AND GUTTER AND BASE COURSE SHALL BE MEASURED IN THE FIELD BY THE CONTRACTOR. THE QUANTITIES SHALL BE SUBMITTED TO THE ENGINEER FOR VERIFICATION WHEN REQUESTED BY THE OWNER.

B. WHEN REQUESTED BY THE OWNER, DOCUMENTATION FOR THE INSTALLED BASE COURSE, BITUMINOUS CONCRETE BINDER AND SURFACE COURSE, SHALL BE SUBMITTED TO THE ENGINEER FOR VERIFICATION AS REQUIRED BY THE MUNICIPALITY. WHERE DIRECTED, THE CONTRACTOR SHALL OBTAIN SPECIMENS OF THE BITUMINOUS CONCRETE WITH A CORE DRILL TO CONFIRM THE PLAN THICKNESS. DEFICIENCIES IN THICKNESS SHALL BE ADJUSTED BY THE METHOD DESCRIBED IN THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION."

7. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING, WARNING DEVICES AND SAFE TRAFFIC MANAGEMENT WITHIN THE AREA OF CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE ILLINOIS "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS," LATEST EDITION. THIS SHALL BE IN ACCORDANCE WITH THE SUBDIVISION CONTROL ORDINANCE OF THE MUNICIPALITY.

8. LONGITUDINAL JOINT CONSTRUCTION

A. AS MANY LONGITUDINAL JOINTS AS PRACTICAL SHALL BE CLOSED AT THE END OF EACH DAY OF PAVING. A TACK COAT SHALL BE APPLIED TO THE "COLD" SIDE OF THE LONGITUDINAL JOINT PRIOR TO THE PLACEMENT OF THE HOT SIDE MAT.

B. LONGITUDINAL JOINT CONSTRUCTION SHALL BE COMPLETED BEFORE THE "COLD" SIDE OF THE JOINT FALLS BELOW 200°F.

C. IN THE EVENT THE TEMPERATURE OF THE "COLD" SIDE OF A JOINT FALLS BELOW 200°F PRIOR TO JOINT CONSTRUCTION COMPLETION, THE CONTRACTOR SHALL PERFORM THE FOLLOWING:
   1. HEAT THE COLD SIDE JOINT TO 200°F EITHER BY MEANS OF A HAND TORCH OR AN INFRARED HEATER. THE CONTRACTOR SHALL AVOID BURNING THE ASPHALT DURING REHEATING.
   2. APPLY TACK COAT TO THE REHEATED JOINT PRIOR TO ASPHALT PLACEMENT.

D. THE CONTRACTOR SHALL OFFSET SURFACE COURSE JOINTS FROM BINDER COURSE JOINTS, WHEREVER PRACTICABLE.

9. LONGITUDINAL JOINT DENSITY SPECIFICATIONS

A. COMPLETED LONGITUDINAL JOINTS SHALL BE ASSESSED BASED ON SECTION 1030 OF THE STANDARD SPECIFICATIONS AND THE "HOT MIX ASPHALT – DENSITY TESTING OF LONGITUDINAL JOINTS" (BDE) AS FOLLOWS:

LONGITUDINAL JOINT DENSITY TESTING SHALL BE PERFORMED AT EACH RANDOM DENSITY TEST LOCATION. LONGITUDINAL JOINT TESTING SHALL BE LOCATED AT A DISTANCE EQUAL TO THE LIFT THICKNESS OR A MINIMUM OF TWO INCHES FROM EACH PAVEMENT EDGE; I.E. FOR A FOUR INCH LIFT, THE NEAR EDGE OF THE DENSITY GAUGE OR CORE BARREL SHALL BE WITHIN FOUR INCHES FROM THE EDGE OF PAVEMENT. LONGITUDINAL JOINT DENSITY TESTING SHALL BE PERFORMED USING EITHER A CORRELATED NUCLEAR GAUGE OR CORES.

1. CONFINED EDGE: EACH CONFINED EDGE DENSITY TEST SHALL BE REPRESENTED BY A ONE MINUTE NUCLEAR DENSITY READING OR A CORE DENSITY. THE TESTING SHALL BE INCLUDED IN THE AVERAGE OF DENSITY READINGS OR CORE DENSITIES TAKEN ACROSS THE MAT, WHICH REPRESENTS THE INDIVIDUAL TEST.

2. UNCONFINED EDGE: EACH UNCONFINED EDGE JOINT DENSITY TEST SHALL BE REPRESENTED BY AN AVERAGE OF THREE, ONE MINUTE DENSITY READINGS OR A SINGLE CORE DENSITY AT THE GIVEN DENSITY TEST LOCATION. THE TESTING SHALL MEET THE DENSITY REQUIREMENTS SPECIFIED HEREIN. THE THREE, ONE MINUTE READINGS SHALL BE SPACED TEN FEET APART LONGITUDINALLY ALONG THE UNCONFINED PAVEMENT EDGE AND CENTERED AT THE RANDOM DENSITY TEST LOCATION.

DENSITY CONTROL LIMITS TABLE

MIXTURE COMPOSITION	PARAMETER	INDIVIDUAL TEST (INCLUDES CONFINED EDGES)	UNCONFINED EDGE JOINT DENSITY MINIMUM
IL-9.5, IL12.5	Ndesign >= 90	92.0-96.0%	90%
IL-9.5, IL9.5L, IL-12.5	Ndesign < 90	92.5-97.4%	90%
IL-19.0, IL-25.0	Ndesign >= 90	93.0-96.0%	90%
IL-19.0, IL-19.0L, IL-25.0	Ndesign < 90	93.0-97.4%	90%
SMA	Ndesign = 50 & 80	93.5-97.4%	91%
ALL OTHER	Ndesign = 30	93.0-97.4%	90%

No.	Description	Date
2	REVISED PER CITY	5/17/24
1	ISSUED FOR PERMIT	4/12/24

GENERAL NOTES AND SPECIFICATIONS
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