



Naperville

HISTORIC PRESERVATION COMMISSION CERTIFICATE OF APPROPRIATENESS

COA #: 23-3770 **DATE OF ISSUANCE:** 10/27/23
DATE OF APPROVAL: 10/26/23
PROPERTY: 223 Center St. **BUILDING PERMIT:** Required
APPLICANT: Moses Khalil, 223 Center St., Naperville, IL 60540
OWNERS: MKJH Remodeling, LLC., 223 Center St., Naperville, IL 60540

APPROVED: A Certificate of Appropriateness is hereby issued to authorize the applicant's request of approval of COA # 23-3770 to relocate and a change in style and material for two second-story windows, and a new roof system with a change in height and pitch and the use of asphalt shingles, and all related work as detailed all the documents attached to this certificate as **EXHIBIT A.**

EXPIRATION: October 26, 2026 - This Certificate of Appropriateness shall expire if the work authorized by the certificate is not completed by October 26, 2026. The owner and/or applicant may submit a written request to the Zoning Administrator to extend the effective period of the certificate prior to the expiration date. The Zoning Administrator may grant an extension for a period of up to two (2) additional years without reapplication to the Commission.

The application for the work summarized above was duly heard and considered by the Naperville Historic Preservation Commission at their meeting held on October 26, 2023. Approval was given to issue a Certificate of Appropriateness as noted in the minutes of the meeting. Any changes to the approved Certificate of Appropriateness will require additional approval from the City of Naperville or the Historic Preservation Commission.

Accordingly, I hereby issue the Certificate of Appropriateness for the above work.

A handwritten signature in cursive script, appearing to read "Brad Iwicki".

Brad Iwicki, Assistant Planner, TED
for Allison Laff, AICP, Deputy Director of TED

CITY OF NAPERVILLE
 400 SOUTH EAGLE STREET
 NAPERVILLE, ILLINOIS 60540-5248
 TO SCHEDULE BUILDING AND FIRE PERMIT INSPECTIONS
 CALL 630-420-6100 OPT. 1 M-F 8AM TO 1PM AND 2PM TO 4PM

Application Number 23-00003770 Date 11/01/23
 Application pin number 541350
 Property Address 223 CENTER ST
 Parcel Number: D-08181260020000N430 -70
 Tenant nbr, name KAHLIL, MOSES
 Application type description CERTIFICATE OF APPROPRIATENESS
 Subdivision Name SLEIGHT'S 2ND ADDITION
 Property Use TWO FAMILY
 Property Zoning SF & LOW DENSITY MF DIST.
 Application valuation 0

Owner	Contractor
-----	-----
KHALIL, MOSES	OWNER
223 N CENTER ST	
NAPERVILLE IL 60540	
(708) 372-5766	

Permit CERTIFICATE OF APPROPRIATENESS
 Additional desc . . .
 Permit Fee00 Plan Check Fee00
 Issue Date 11/01/23 Valuation 0

Special Notes and Comments
 THE ROOF WILL BE ELEVATED AND REPLACED
 WITH SHINGLES.
 WINDOWS WILL BE REPLACED AND MOVED TO A
 SAFER HEIGHT AS THE CURRENT HEIGHT IS
 NOT SAFE. THE FRONT DOOR IS DAMAGED AND
 NOT REPAIRABLE SO WILL BE REPLACED WITH
 A NEW WOOD DOOR. NEW GUTTER, FASCIA,
 SOFFIT AND SIDING WILL BE REPAIRED AND
 REPLACED WITH SIMILAR MATERIALS.
 SHUTTERS WILL STAY.

Fee summary	Charged	Paid	Credited	Due
-----	-----	-----	-----	-----
Permit Fee Total	.00	.00	.00	.00
Plan Check Total	.00	.00	.00	.00
Grand Total	.00	.00	.00	.00

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Permit CERTIFICATE OF APPROPRIATENESS

Additional desc . .

Required Inspections

Seq	Insp Code	Description	Initials	Date
999	COA	COA INSPECTION	_____	__/__/__

Convert 2-Unit to Single Family Residence. Interior Rehab & New 2-Story Frame Addition including New Partitions, New Electrical, Mechanical & Plumbing Systems, New Roof System & New Rear Deck & Balcony per Plans.

223 Center Street, Naperville Illinois 60540

Building Info: 2-Story, Residential Use, Frame Building

DRAWING SHEET INDEX


GENERAL		ARCHITECTURAL	
CS	COVER SHEET & SITE PLAN & DRAWING LIST	A-01	PROPOSED FLOOR PLANS & SCHEDULES
CM	CODE MATRIX	A-02	PROPOSED FLOOR PLANS & WALL TYPES
G-01	GENERAL PROJECT INFORMATION	A-03	PROPOSED ELEVATIONS
G-02	GENERAL PROJECT SPECIFICATIONS	A-04	PROPOSED ELEVATIONS
		A-05	BUILDING ADDITION FOUNDATION & GARAGE EXTENSION
DEMOLITION		A-06	PROPOSED FRAMING PLANS
AD-01	EXISTING-DEMOLITION PLANS	A-07	PROPOSED FRAMING PLANS
AD-02	EXISTING-DEMOLITION ELEVATIONS	A-08	BUILDING SECTION
		A-09	BUILDING SECTIONS
		A-10	REAR DECK & BALCONY PLANS & DETAILS
ELECTRICAL		MECHANICAL	
E-01	POWER & LIGHTING PLANS	M-01	PROPOSED MECHANICAL PLANS
E-02	POWER & LIGHTING PLANS	M-02	PROPOSED MECHANICAL PLANS
E-02	RISER DIAGRAM, LOAD CALCULATIONS, SCHEDULES & PANELBOARDS	M-03	LIGHT & VENT & EQUIPMENT SCHEDULE, SPLIT SYSTEM DIAGRAM & MECHANICAL NOTES
		PLUMBING	
		P-01	SUPPLY AND WASTE DIAGRAMS

CITY OF NAPERVILLE ADOPTED CODES

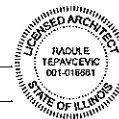
2018 INTERNATIONAL BUILDING CODE	2018 INTERNATIONAL FUEL GAS CODE
2018 INTERNATIONAL RESIDENTIAL CODE	2018 INTERNATIONAL PROPERTY MAINTENANCE CODE
2012 INTERNATIONAL MECHANICAL CODE	2017 NATIONAL ELECTRICAL CODE
2018 INTERNATIONAL FIRE CODE	2021 INTERNATIONAL ENERGY CONSERVATION CODE
2018 LIFE SAFETY CODE	2018 INTERNATIONAL EXISTING BUILDING CODE
ILLINOIS PLUMBING CODE	

STATEMENT OF COMPLIANCE

THIS IS TO CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF CONFORM TO THE REQUIREMENTS OF THE CITY OF NAPERVILLE ADOPTED BUILDING CODES.

SIGNED:  DATE: 07-04-2023

ILLINOIS LIC. NO. 001-016881, EXP. DATE: 11-30-2024



ENERGY CONSERVATION CODE COMPLIANCE STATEMENT

I CERTIFY THAT I AM A REGISTERED DESIGN PROFESSIONAL FOR THIS PROJECT. I ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THE ATTACHED PLANS FOR: 223 CENTER STREET, NAPERVILLE, IL 60540 FULLY COMPLY WITH THE REQUIREMENTS OF THE 2021 INTERNATIONAL ENERGY CONSERVATION CODE, ADOPTED INTO THE CITY OF NAPERVILLE ORDINANCE

SIGNED:  DATE: 07-04-2023

ILLINOIS LIC. NO. 001-016881, EXP. DATE: 11-30-2024



LIABILITY INSURANCE:

PROVIDE LIABILITY INSURANCE (HOLD HARMLESS AGREEMENT). THE CONTRACTOR SHALL MAINTAIN CONTRACTUAL LIABILITY INSURANCE TO COVER LIABILITY ASSUMED UNDER THE FOLLOWING AGREEMENT: THE CONTRACTOR AND ANY SUBCONTRACTOR SHALL INDEMNIFY AND SAVE HARMLESS OWNER AND ARCHITECT/ENGINEER (A/E), AND THEIR PARTNERS, AGENTS AND EMPLOYEES AGAINST ANY LOSS, DAMAGE OR EXPENSE FOR WHICH THE OWNER AND A/E MAY BECOME LIABLE ON AN ACCOUNT OF BODILY INJURY INCLUDING DEATH, OR PROPERTY DAMAGE SUSTAINED BY ANYONE WHICH MAY ARISE OUT OF OR RESULT FROM THE OPERATIONS OF THE CONTRACTOR OR OF THOSE EMPLOYED BY HIS AGENTS OR SERVANTS INCLUDING HIS SUBCONTRACTORS, IN THE EXECUTION OF ANY WORK INCLUDED UNDER THIS CONTRACT, WHETHER OR NOT IT SHALL BE CLAIMED THAT THE BODILY OR DAMAGE WAS CAUSED THROUGH A NEGLIGENT ACT OR OMISSION OF THE OWNER AND A/E, THEIR AGENTS, SERVANTS OR EMPLOYEES, OR BY ANY OTHER PERSONS WHOMSOEVER AND THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, APPEAR, DEFEND, PAY ALL COSTS AND EXPENSES, INCLUDING ATTORNEY'S FEES AND ALL JUDGMENTS IN CONNECTION WITH LIABILITY ASSUMED HERE UNDER. THE FOLLOWING INDEMNIFICATION SHALL ALSO INCLUDE ALL LIABILITY OF THE OWNER, A/E AND OTHER MENTIONED PERSONS ARISING UNDER THE SO CALLED "STRUCTURAL WORK ACT" (CH. 48 SEC. 90-90 ILLINOIS REVISED STAT.) EACH AND EVERY CONTRACTOR AND SUBCONTRACTOR WHEN ACCEPTING CONTRACTUAL OBLIGATIONS FOR THIS PROJECT SHALL UNDERSTAND THAT A PREREQUISITE TO ANY OPERATION AT PROJECT WHETHER FILED WITH OWNER OR NOT, THAT THEY HAVE IMPLIED AGREEMENT TO THE ABOVE ITEM, (HOLD HARMLESS AGREEMENT AND ITS SPECIFIC WORDING).

LIMIT OF WARRANTY OF ARCHITECT'S WORK PRODUCT:

THE A/E AND HIS CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE WORK BEYOND A REASONABLE DILIGENCE. IF ANY ERRORS, DISCREPANCIES OR OMISSIONS ARE FOUND TO EXIST IN THE WORK PRODUCT, THE A/E SHALL BE PROMPTLY NOTIFIED SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE A/E OF SUCH CONDITIONS SHALL ABSOLVE THE A/E FROM ANY RESPONSIBILITY OF SUCH FAILURE. ACTION TAKEN WITHOUT KNOWLEDGE AND CONSENT OF THE A/E OR IN CONTRADICTION TO THE WORK PRODUCT OR THE RECOMMENDATIONS OF THE A/E SHALL BECOME THE RESPONSIBILITY OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

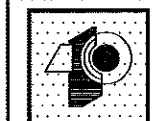
NOTES:

1. THE INFORMATION SHOWN ON THESE DRAWINGS IS BASED ON THE BEST INFORMATION AVAILABLE AT THE TIME TO THE A/E. THIS INFORMATION CANNOT BE GUARANTEED TO SHOW EVERY EXISTING CONDITION. THE CONTRACTORS SHALL READ AND STUDY THE TOTAL SET OF PLANS FOR ALL WORK. CONTRACTOR MUST VISIT THE SITE AND DETERMINE ALL FIELD CONDITIONS. ALL DIMENSIONS SHALL BE FIELD VERIFIED AND ALL DISCREPANCIES SHALL BE REPORTED TO A/E PRIOR TO BID SUBMISSIONS.
2. THE INFORMATION SHOWN IN THESE DRAWINGS ARE FOR BIDDING PURPOSES ONLY. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL PROVIDE SHOP DRAWINGS COORDINATED WITH ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL AND STRUCTURAL DESIGN FOR REVIEW AND APPROVAL BY THE A/E OF RECORD.

NO.	DATE	DESCRIPTION	REVISIONS	
			BY	DATE

Convert 2-Unit to Single Family Residence. Interior Rehab & New 2-Story Frame Addition including New Partitions, New Electrical, Mechanical & Plumbing Systems, New Roof System & New Rear Deck & Balcony per Plans.
223 Center Street, Naperville Illinois 60540

R.T. ARCHITECT INC.



RADU E. TEPAVCEVIC
7501 BROWN AVE., SUITE A
FOREST PARK, IL 60130
TEL.: (312) 217-6653
rtcpavcevic@aol.com

PROJECT ARCHITECT:

RT

DRAFTER/PERSON:

CS

APPROVED:

RT

PREPARED FOR:

OWNER

LOCATION:

223 Center Street

Naperville, IL 60540

JOB NUMBER:

223CS-07042023

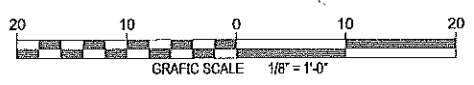
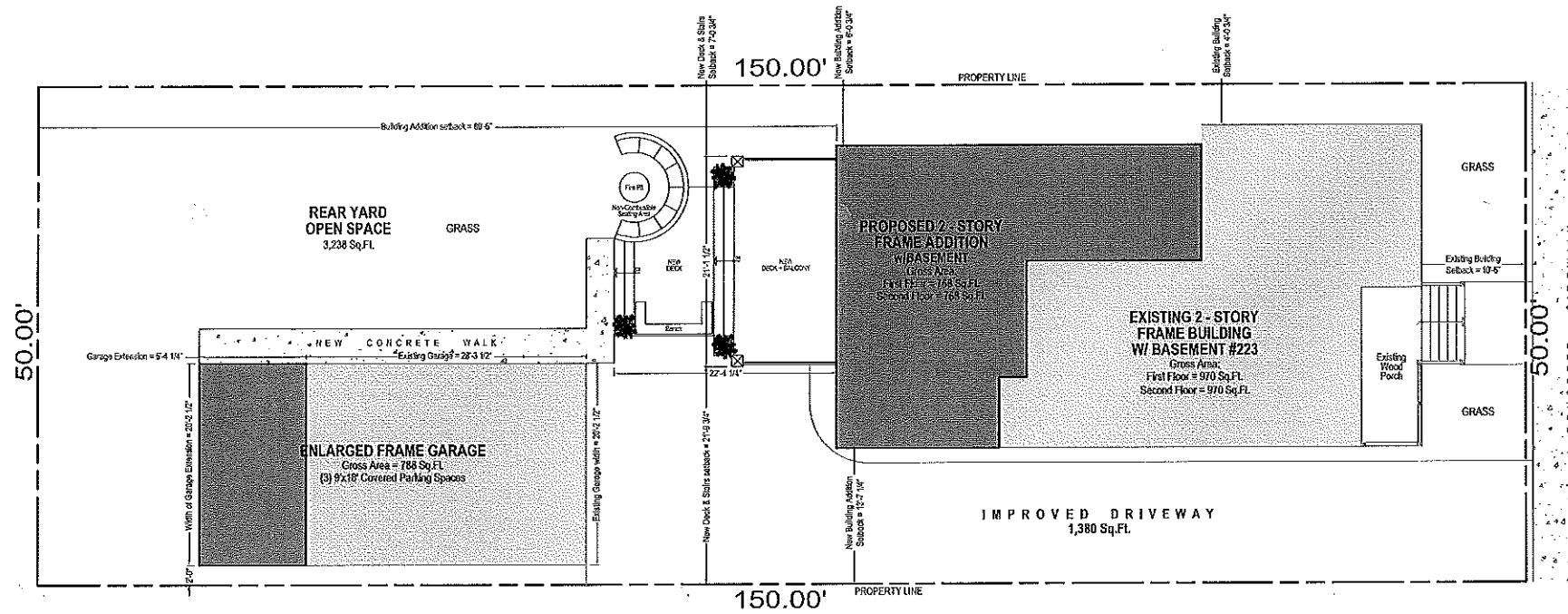
SHEET No:

CS

SHEET Name:

Title Sheet

BUILDING INFORMATION		
	EXISTING	PROPOSED
YEAR BUILT	1885	---
STORIES	TWO	TWO
No. OF BUILDINGS / MATERIAL	ONE / FRAME	ONE / FRAME
FLOOR AREA RATIO	0.33	0.57
LOT COVERAGE	0.20	0.33
RESIDENTIAL UNITS	ONE	ONE
LOT AREA	7,500 SQ.FT.	7,500 SQ.FT.
BUILDING AREA	1,944 SQ.FT.	3,478 SQ.FT.
GARAGE AREA	572 SQ.FT.	788 SQ.FT.



1 SITE PLAN
Lot Area = 7,500 Sq.Ft. SCALE 1/8" = 1'-0"

NO.	BY	DATE	DESCRIPTION
	RT	07/04/2023	PROPOSED
	RT	07/04/2023	PROPOSED

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R.T. ARCHITECT INC.

 RADJULE TEPAVCEVIC
 7501 BROWN AVE. SUITE A
 FORT ST. PARK, IL 60140
 TEL: (312) 217-8653
 rt@rtarch.com

PROJECT ARCHITECT:
RT
 DRAFTPERSON:
CS
 APPROVED:
RT
 PREPARED FOR:
OWNER
 LOCATION:
223 Center Street
Naperville, IL 60540
 JOB NUMBER:
223CS-07012023



SHEET No: SP
 SHEET Name: Site Plan

ABBREVIATIONS

A	G	Q
AC Accoustical ceiling	GA Gauge	QTY Quantity
AC Air conditioning	GALY Galvanized	
ADJ Adjust	GC General Contractor	R Radius
AF Above finished floor	GL Glass	R Radius
ALT Aluminum	GRD Ground	RAD Radius
AL Aluminum	GWB Gypsum Wallboard	RD Roof Drain
ALUM Aluminum	GYP Gypsum	REF Reference
AP Access panel		RENF Reinforced, Reinforcing
APPROX Approximately	H Hose Bibb	REDD Rerouted
	HC Handicapped Accessible	REV Revision
B Bottom, Bottom of	HDV Hardware	RM Room
BD Board	HM Hallow Metal	RO Rough Opening
BLDG Building	HORIZ Horizontal	
BLK Block, Blocking	HP High Point	S South
BM Beam	HVAC Heating, Ventilation & AC	SC Solid Core
BSMT Basement		SECT Section
	I Inch	SF Square foot
C Cabinet	INSUL Insulation	SHT Sheet
CC Center-to-center	INT Intake	SM Similar
CI Cast-iron	INT Intake	SPEC Specification
CL Center line	J Joint	SPKR Speaker
CLG Ceiling	JT Joint	SS Stainless Steel
CLR Clear		ST Stainless
CRU Concrete Masonry Unit	L Laminated	STD Standard
COL Column	LAM Laminated	STL Steel
CONC Concrete	LAV Lavatory	STRUCT Structural
CONST Construction	LP Low Point	SUSP Suspended
CONT Continuous	LT Light	
CORR Corridor	LTG Lighting	T Top of
CPT Carpet		TAB Top and bottom (of)
CT Ceramic Tile	MACH Machine	TAG Tongue & groove
	MAS Masonry	TEL Telephone
	MATL Material	THK Thick
	MAX Maximum	TYP Typical
	MECH Mechanical	
	MFR Manufacturer	
	MEN Manufacturer	
	MISC Miscellaneous	
	MU Masonry Opening	
	MTR Metal	
	MULL Mullion	
	MVT Vinyl Composition Tile	
	N North	
	NC Non-combustible	
	NIC Not in Contract	
	NO Number	
	NRG Noise Reduction Coefficient	
	NIS Not to scale	
	NVD Without	
	OC On center	
	OCC Occupancy, Occupant(s)	
	OH Opposite Hand	
	OPNG Opening	
	OPP Opposite	
	PLAM Plastic Laminate	
	PLNB Plumbing	
	PLYD Plywood	
	PROP Property	
	PTD Painted	
	PVC Polyvinyl Chloride	

WORKING DRAWING NOTES

- CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO BIDDING AND START OF AND DURING CONSTRUCTION. IF ANY DISCREPANCIES OR OMISSIONS ARE FOUND, THE ARCHITECT SHALL BE NOTIFIED, IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
- DO NOT SCALE DRAWINGS. CONTRACTOR SHALL RELY ON WRITTEN DIMENSIONS GIVEN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATIONS. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR AND COORDINATED WITH ALL OF THE WORK OF ALL TRADES. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING FOR CLARIFICATION BEFORE THE COMMENCEMENT OR RETURN TO WORK.
- ABBREVIATIONS THROUGHOUT THE PLANS ARE THOSE IN COMMON USE. NOTIFY THE ARCHITECT OF ANY ABBREVIATIONS IN QUESTION.
- DIMENSIONS SHOWN ON FLOOR PLANS, SECTIONS, ELEVATIONS, AND DETAILS ARE TO FINISH FACE OF WALL, MASONRY, OR CONCRETE, UNLESS OTHERWISE NOTED.
- IN THE CASE OF A CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS, SPECIFICATIONS SHALL TAKE PRECEDENCE. CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- THE SPECIFICATIONS AND ALL CONSULTANT DRAWINGS ARE SUPPLEMENTAL TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF ANY OF THE CONSULTANT'S WORK AND TO BRING ANY DISCREPANCIES OR CONFLICTS TO THE ATTENTION OF THE ARCHITECT, IN WRITING FOR CLARIFICATION. IMPROPERLY INSTALLED WORK SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT HIS EXPENSE AND AT NO EXPENSE TO THE ARCHITECT, HIS/her CONSULTANTS, OR THE OWNER.
- THE ARCHITECT SHALL BE CONSULTED IN ALL CASES WHERE CUTTING INTO AN EXISTING STRUCTURAL PORTION OF ANY BUILDING IS EITHER EXPEDIENT OR NECESSARY. PRIOR TO PROCEEDING WITH WORK, REINFORCEMENT AND/OR SUPPORT SATISFACTORY TO ARCHITECT AND STRUCTURAL ENGINEER SHALL BE PROVIDED BY CONTRACTOR PRIOR TO CUTTING INTO STRUCTURAL PORTIONS OF ANY BUILDING.
- LEGAL EXITS SHALL NOT BE BLOCKED AT ANY TIME.
- FINAL CLEAN UP AND DISPOSAL: REMOVE DEBRIS, RUBBISH, AND WASTE MATERIALS FROM THE OWNER'S PROPERTY TO A LAWFUL DISPOSAL AREA AND PAY ALL HAULING AND DUMPING COSTS. CONFORM TO PERTAINING FEDERAL, STATE AND LOCAL LAWS, REGULATIONS AND ORDERS UPON COMPLETION OF WORK. ALL CONSTRUCTION AREAS SHALL BE LEFT VACUUM-CLEAN AND FREE FROM DEBRIS, CLEAN ALL DUST, DIRT, STAINS, HANDMARKS, PAINT SPOTS, DROPPINGS AND OTHER BLEMISHES.
- PRIOR TO INSPECTION OF EXISTING FACILITY, THE CONTRACTOR MUST RECEIVE PERMISSION FOR SITE ACCESS FROM THE OWNER OR THE DESIGNATED REPRESENTATIVE.
- WHEN IT IS NECESSARY TO INTERRUPT ANY EXISTING UTILITY SERVICE TO MAKE CORRECTIONS AND/OR CONNECTION, A MINIMUM OF 48 HOURS ADVANCE NOTICE SHALL BE GIVEN TO THE OWNER. INTERRUPTIONS IN UTILITY SERVICES SHALL BE OF THE SHORTEST POSSIBLE DURATION FOR THE WORK AT HAND AND SHALL BE APPROVED IN ADVANCE BY THE OWNER.
- IN THE EVENT THE UTILITY SERVICE IS INTERRUPTED WITHOUT THE REQUIRED 48 HOUR NOTICE, THEN THE CONTRACTOR SHALL BE FINANCIALLY LIABLE FOR ALL DAMAGES SUFFERED BY THE OWNER DUE TO THE UNAUTHORIZED INTERRUPTION. RECONNECTION SHALL BE MADE IMMEDIATELY.
- IF THE CONTRACTOR ASCERTAINS AT ANY TIME THAT THE REQUIREMENTS OF THIS CONTRACT CONFLICT WITH, OR ARE IN VIOLATION OF, APPLICABLE LAWS, CODES, REGULATIONS, AND ORDINANCES, HE SHALL NOT PROCEED THE WORK IN QUESTION, EXCEPT AT HIS OWN RISK, UNTIL ARCHITECT HAS BEEN NOTIFIED IN WRITING AND WRITTEN DETERMINATION IS MADE BY THE ARCHITECT, WHERE COMPLETED OR PARTIALLY COMPLETED WORK IS DISCOVERED TO BE IN VIOLATION WITH APPLICABLE LAWS, CODES, REGULATIONS AND ORDINANCES, CONTRACTOR SHALL BE REQUIRED TO REMOVE THAT WORK WITH ALL NEW COMPLYING WORK AT NO ADDITIONAL EXPENSE TO THE OWNER, ARCHITECT OR CONSULTANTS.
- ANY WORK INSTALLED IN CONFLICT WITH THE CONTRACT DOCUMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS/her EXPENSE AND AT NO ADDITIONAL EXPENSE TO THE OWNER, ARCHITECT OR CONSULTANTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING FLOOR-TO-FLOOR ELEVATIONS; THE NEW BUILDING EXPANSIONS GROUND FLOOR SHALL ALIGN IN ELEVATION WITH RESPECTIVE FLOORS IN EXISTING BUILDING.
- THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, EQUIPMENT, TRANSPORTATION AND SERVICES NECESSARY FOR THE SATISFACTORY COMPLETION OF WORK UNLESS DESIGNATED (I.L.C.) OR (O.F.D.), ALL EQUIPMENT, WORK AND MATERIALS SHALL COMPLY WITH ALL CURRENT AND LOCAL APPLICABLE CODES AND GOVERNING REGULATIONS, AND CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL PROTECT ALL FINISH WORK AND SURFACES FROM DAMAGE DURING THE COURSE OF CONSTRUCTION AND SHALL REPLACE AND/OR REPAIR ALL DAMAGED SURFACES CAUSED BY THE CONTRACTOR OR SUBCONTRACTOR PERSONNEL TO THE SATISFACTION OF THE OWNER AND ARCHITECT.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PERMITS AND INSPECTIONS.
- SPECIAL NOTICE TO CONTRACTOR: ALL CONTRACTORS PERFORMING WORK ON THE PREMISES SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING A REASONABLE AND PRUDENT SAFETY PROGRAM INCLUDING BUT NOT LIMITED TO THE ISOLATION OF WORK AREAS AND PROMPT REMOVAL OF ANY DEBRIS OR TOOLS WHICH MAY ENDANGER VISITORS AND STAFF OF THE OWNER OR ARCHITECT.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES BELOW GRADE AND RELATED SERVICE CONNECTIONS WITH THE RESPECTIVE UTILITY COMPANIES.
- THE CONTRACTOR SHALL PROVIDE SANITARY FACILITIES FOR WORKERS USE. EXISTING FACILITIES SHALL AND MAY NOT BE USED.
- THE CONTRACTOR SHALL OBTAIN OSHA PERMITS FOR ANY VERTICAL EXCAVATION OVER 5'-0" DEEP INTO WHICH PERSONS MUST DESCEND.
- CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING ALL PERMITS AND FEES REQUIRED, NOT NORMALLY COVERED BY THE BUILDING PERMITS.
- DRAWINGS OF EXISTING CONDITIONS HAVE BEEN COMPILED FROM EXISTING DATA SUPPLIED BY THE OWNER TO THE ARCHITECT. THE ARCHITECT MAKES NO WARRANTY EITHER EXPRESSED OR IMPLIED, FOR THE ACCURACY OR COMPLETENESS OF THE EXISTING INFORMATION RECORDED. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS. NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
- THE EXIT DOOR MUST OPEN OVER A LANDING NOT MORE THAN 1'-0" BELOW THE THRESHOLD.
- OVERHEAD DOORS ARE NOT PERMITTED AS EXIT DOORS.
- THE CONSTRUCTION OR DEMOLITION OF ANY BUILDING STRUCTURE, SCAFFOLDING OR FALSEWORK MORE THAN THREE STORIES OR 36'-0" IN HEIGHT REQUIRES A PERMIT FROM THE STATE OF ILLINOIS DIVISION OF INDUSTRIAL SAFETY (OR EQUAL) PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- APPROVED NUMBERS AND ADDRESSES SHALL BE PROVIDED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET.

MATERIAL NOTES

WOOD
1. SOUTHERN YELLOW PINE, PRESSURE TREATED USING ACQ-C, ACQ-D, CBA OR CAB PRESERVATIVE. GRADE 16L OR BETTER SHALL BE USED FOR COLUMNS AND GRADE 16D OR BETTER SHALL BE USED FOR ALL OTHER MEMBERS.
2. ALL WOOD CONSTRUCTION SHALL CONFORM TO THE AIA (AMERICAN INSTITUTE OF TIMBER CONSTRUCTION) AND THE APA (AMERICAN PLYWOOD ASSOCIATION) NATIONAL DESIGN SPECIFICATIONS.
3. ALL WOOD CONSTRUCTION EXPOSED TO WEATHER TO BE PRESSURE TREATED.
FASTENERS
FASTENERS SHALL BE AS FOLLOWS:
1. NAILS: STAINLESS STEEL OR HOT-DIPPED GALVANIZED, SIZED AS SPECIFIED IN DETAILS.
2. DECK SCREWS: 2-1/2" TO 3-1/2" LONG, #8 MINIMUM SIZE, STAINLESS STEEL OR HOT-DIPPED GALVANIZED.
3. LAG BOLTS: STAINLESS STEEL OR HOT-DIPPED GALVANIZED, SIZED AS SPECIFIED IN DETAILS. MATERIAL SHALL BE GRADE 304.
4. HEX BOLTS: STAINLESS STEEL OR HOT-DIPPED GALVANIZED, SIZED AS SPECIFIED IN DETAILS. MATERIAL SHALL BE ASTM A307.
CONCRETE
1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE 'AMERICAN CONCRETE INSTITUTE BUILDING CODE' (ACI 318) AND WITH 'SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS' (ACI 308), LATEST EDITION.
2. ALL NORMAL WEIGHT CONCRETE (145 P.C.F.) SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH AS FOLLOWS: FOOTINGS - 3500 PSI FUELSIALS - 3000 PSI
3. PRECAUTIONS MUST BE TAKEN TO PROTECT ALL CONCRETE WORK FROM FROST DAMAGE WITH SPECIAL ATTENTION PAID TO FOOTING AND OTHER ON-GRADE CONSTRUCTION PRIOR TO BACKFILLING AND EXPOSING THE BUILDING.
4. CALCIUM CHLORIDE AND/OR ADJUVANTS CONTAINING CALCIUM CHLORIDE SHALL NOT BE USED IN CONCRETE.
5. ALL CONCRETE SUBJECT TO EXTERIOR EXPOSURE WITH SPECIFIED STRENGTH LESS THAN 4000 PSI SHALL BE AIR ENTRAINED 4% TO 6%.
6. COLD WEATHER CONCRETING SHALL BE DONE IN ACCORDANCE WITH ACI 308. HOT WEATHER CONCRETING SHALL BE DONE IN ACCORDANCE WITH ACI 308.
7. EXCAVATION WORK TO BE PERFORMED BY A LICENSED, INSURED & BONDED, EXCAVATION CONTRACTOR, WITH THE CITY OF NAPERVILLE.
REINFORCEMENT BARS
1. REINFORCEMENT BARS SHALL BE ASTM A615, GRADE 60 STEEL.
MASONRY
1. MASONRY UNITS SHALL COMPLY WITH APPLICABLE ASTM STANDARDS, AND MORTAR SHALL BE TYPE M OR S, WITH 1-1/2" PSI.
METAL CONSTRUCTION CONNECTORS
1. SHALL BE STAINLESS STEEL, HOT-DIPPED GALVANIZED OR TRIPLE ZINC GALVANIZED (G-185), SIMPSON STRONG-TIE UNITED STEEL PRODUCTS OR EQUAL. TO BE USED FOR JOIST HANGER, COLUMN BASE, METAL STRAP AND METAL ANGLE CONNECTIONS. NOTE THAT IF HOT-DIPPED GALVANIZED OR TRIPLE ZINC GALVANIZED CONNECTIONS ARE USED, ALL THE FASTENERS FOR THAT CONNECTION MUST BE HOT-DIPPED GALVANIZED AS WELL, SINCE THE STAINLESS STEEL COULD DAMAGE THE GALVANIZING.
FLASHING AND SEALANTS
1. FLASHING SHALL BE 26 GA. STAINLESS STEEL (0.019" MINIMUM THICKNESS ASTM A167, TYPE 304) OR 16oz ROLLED COPPER (0.021" MINIMUM THICKNESS ASTM B370), CARLISLE COATINGS' COV-106 SELF-ADHERING VAPOR/BARRIER SYSTEM OR EQUAL SHALL BE USED FOR THE VAPOR BARRIER AT THE LEDGER BEAM CONNECTIONS. SEALANT SHALL BE 100% SILICONE RUBBER SEALANT WITH A 50 YEAR DURABILITY GUARANTEE.
STRUCTURAL STEEL
1. ALL STRUCTURAL STEEL SHALL BE ASTM A-36, COATED WITH A RUST PROTECTED PRIMER WITH A MINIMUM DRY THICKNESS OF 3 MILS.

TABLE A - METAL CONNECTORS

ITEM	SST MODEL#	USP MODEL#	GAGE	INSTALLATION HARDWARE
SINGLE JOIST HANGER 1	LUS210-Z OR SS	JUS210-TZ, SS	18	4-10d (A&B), 8-10d (B&C)
DOUBLE JOIST HANGER 2	LUS210-Z2 OR SS	JUS210-TZ2, SS	18	6-10d (A&B), 8-10d (B&C)
SINGLE JOIST HANGER 3	LUS28-Z	JUS28-TZ, SS	18	4-10d (A&B), 6-10d (B&C)
DOUBLE JOIST HANGER 4	LUS28-Z2	JUS28-TZ2	18	4-10d (A&B), 6-10d (B&C)
METAL ANGLE 1	180-Z	AC9-TZ	16	10-10d, 5 each leg
METAL ANGLE 2	420-Z	AS3-TZ	18	8-10d x 1-1/2", 4 each leg
METAL ANGLE 3	TAB-Z OR KT	SCA9-TZ	12	6-10" dia. x 1-1/2" wood Screws
COLUMN BASE, 6"x6" POST	CBS066-SDS2 HDG	CBS066-SDS2 TZ	12	14-1/4" dia. x 2" wood Screws
COLUMN BASE, 6"x6" POST	ABUR6Z	---	---	---
POST BASE, RAILING POST	PBS14A HDG	YAS 41 TZ	12	12-16d, (2) 1/2" dia. Bolts
METAL STRAP	MSTA12-Z OR SS	MSTA12 TZ, SS	18	10-10d
POST BASE PLATE	CP64	CP64	---	4-10d

NOTES:
1. USE SMALLER LENGTH NAIL WITH SPECIFIED PENNY WEIGHT.
2. SST = STAINLESS STEEL, Z = ZINC GALVANIZED OR G-185, TZ = TRIPLE ZINC GALVANIZED (G-185)

FLAME SPREAD RATING

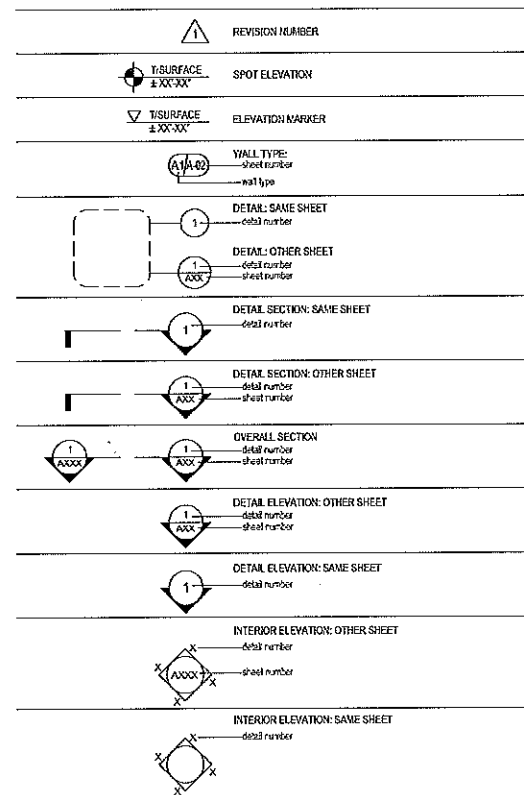
MATERIALS USED FOR INTERIOR WALL AND CEILING FINISH SHALL CONFORM AS FOLLOWS:

CLASSIFICATION	FLAME SPREAD RATING	SMOKE DEVELOPED
CLASS 1	0 TO 12	200
CLASS 2	25 TO 75	450
CLASS 3	76 TO 200	450

BUILDING DESIGN LOADS

LOAD TYPE	LOAD VALUE
LIVE LOAD	15 PSF
DEAD LOAD	15 PSF
SNOW LOAD	25 PSF
DELT SNOW LOAD	15 PSF
FIRST FLOOR LOADS	
LIVE LOADS	
RESIDENTIAL	40 PSF
DEAD LOADS	20 PSF
LATERAL LOADS	
WIND LOADS	20 PSF

GENERAL DRAWING SYMBOLS



Convert 2-Unit to Single Family Residence, Interior Rehab & New 2-Story Frame Addition including New Partitions, New Electrical, Mechanical & Plumbing Systems, New Root System & New Rear Deck & Balcony per Plans.
 223 Center Street, Naperville Illinois 60540

R.T. ARCHITECT INC.

RADULE TEPAVCEVIC
7501 BROWN AVE., SUITE A
FOREST PARK, IL 60130
TEL: (617) 277-8553
rt@rtarchitect.com

PROJECT ARCHITECT: RT
DRAFTER/PERSON: CS
APPROVED: RT
PREPARED FOR: OWNER
LOCATION: 223 Center Street Naperville, IL 60540
JOB NUMBER: 223CS-07042023

SHEET No: **G-01**
SHEET Name: General Project Information



DIVISION 1 GENERAL REQUIREMENTS

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES AND ORDINANCES AND ALL AUTHORITIES HAVING JURISDICTION.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH WORK AND NOTIFY SUPERINTENDENT AT ONCE OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
3. PLUMBING SCHEMATIC DRAWING, HVAC DRAWING, SEWER MAIN, ELECTRICAL OUTLETS, SWITCHES, LIGHT LOCATIONS FOR ROUTING ALL PLUMBING, MECHANICAL AND ELECTRICAL WORK IS TO BE COORDINATED BETWEEN THE TRADES AFFECTED BY THE WORK AS PART OF THEIR INSTALLATION LAYOUT. NO PLUMBING, MECHANICAL OR ELECTRICAL INFORMATION IS TO BE SCALED FROM THE DRAWING.
4. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF EACH SUBCONTRACTOR.
5. EXTRAS SHALL BE AUTHORIZED IN WRITTEN CHANGE ORDERS ONLY BY THE A/E OF RECORD. OWNER TO AUTHORIZE CHANGE ORDERS IF CONTRACT BETWEEN OWNER & CONTRACTOR ALLOWS THEM.
6. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER.
7. EACH CONTRACTOR SHALL INCLUDE LABOR, MATERIALS, TOOLS, EQUIPMENT, ETC., FOR THE COMPLETE CONSTRUCTION OF WORK INDICATED AND SPECIFIED BY THE DRAWINGS AND SPECIFICATIONS.
8. MATERIALS AS SPECIFIED ON DRAWINGS SHALL BE USED OR EQUAL APPROVED.
9. SUBSTITUTION OF MATERIALS SHALL NOT BE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE GENERAL CONTRACTOR.
10. EACH SUBCONTRACTOR SHALL AMEND AND MAKE GOOD AT HIS/HER OWN COST, ANY DEFECT OR OTHER FAULTS IN THEIR WORK OR MATERIAL.
11. EACH CONTRACTOR IS TO CLEAN UP DEBRIS INSIDE AND OUTSIDE THE BUILDING SITE WHICH HAS BEEN CAUSED BY THEIR WORK OR BE BACKCHARGED AT A RATE OF \$45.00 PER HOUR.
12. THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTORS' RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION.
13. ALL WORK AND USE OF MATERIALS SHALL BE IN ACCORDANCE WITH THE APPLICABLE MANUFACTURERS TRADE ASSOCIATION AND/OR INSTITUTE STANDARDS AND SPECIFICATIONS.
14. OWNER WILL REQUIRE THE SUBCONTRACTORS TO OBTAIN AND MAINTAIN COMMERCIAL GENERAL LIABILITY INSURANCE WITH BRACED FROM PROPERTY DAMAGE COVERAGE AND CONTRACTUAL LIABILITY ENDORSEMENT INSURING THE INDEMNITY REQUIRED OF THE CONTRACTOR. THE INDEMNITIES ENDORSEMENT INCLUDED ON THE CONTRACTORS COMMERCIAL GENERAL LIABILITY POLICY WILL PROVIDE THE FOLLOWING:
 - A. THAT THE COVERAGE AFFORDED THE ADDITIONAL INSURED WILL BE THE PRIMARY INSURANCE FOR THE ADDITIONAL INSURED WITH RESPECT TO CLAIMS ARISING OUT OF OPERATIONS PERFORMED ON OR ON BEHALF OF THE CONTRACTOR.
 - B. THAT IF THE ADDITIONAL INSURED HAVE OTHER INSURANCE WHICH IS APPLICABLE TO THE LOSS SUCH OTHER INSURANCE WILL BE ON AN EXCESS OR CONTINGENT BASIS.
 - C. THAT THE AMOUNT OF THE COMPANY'S LIABILITY UNDER THE INSURANCE POLICY WILL NOT BE REDUCED BY THE EXISTENCE OF SUCH OTHER INSURANCE.
 - D. THAT ADDITIONAL INSURED WILL BE GIVEN NOT LESS THAN 30 DAYS PRIOR WRITTEN NOTICE OF ANY CANCELLATION THEREOF.
15. SUBCONTRACTORS SHALL CARRY THE FOLLOWING MINIMUM INSURANCE COVERAGE:

LIABILITY:	\$ 1,000,000.00
BODILY INJURY:	\$ 1,000,000.00
PROPERTY DAMAGE:	\$ 1,000,000.00

DIVISION 2 SITE WORK

1. REMOVE EXISTING CONSTRUCTION AND PERFORM DEMOLITION WORK AS NECESSARY TO PREPARE THE SITE FOR THE NEW WORK AS FURTHER DESCRIBED IN THE CONTRACT DOCUMENTS.
2. REMOVE ALL DEMOLISHED MATERIALS FROM SITE IMMEDIATELY.
3. MAINTAIN EXIT AND ACCESS WAYS IN A CLEAN, UNOBSTRUCTED, AND PROPERLY ILLUMINATED MANNER AT ALL TIMES.
4. PROTECT UNAFFECTED SPACES FROM DUST, NOISE AND DAMAGE. MAINTAIN SITE IN A CLOSED AND SECURE MANNER TO PREVENT THEFT, VANDALISM, AND UNAUTHORIZED ENTRY.

DIVISION 3 CONCRETE

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE "AMERICAN CONCRETE INSTITUTE BUILDING CODE" (ACI 318) AND WITH "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 301), LATEST EDITION.
2. ALL NORMAL WEIGHT CONCRETE (145 P.C.F.) SHALL OBTAIN A MINIMUM 28 DAY COMPRESSIVE STRENGTH AS FOLLOWS:
 - A. FOOTINGS 3500 PSI
 - B. FOUNDATION WALLS 3500 PSI
3. CALCIUM CHLORIDE AND/OR ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL NOT BE USED IN CONCRETE.
4. ALL CONCRETE SUBJECT TO EXTERIOR EXPOSURE WITH SPECIFIED STRENGTH LESS THAN 6000 PSI SHALL BE AIR ENTRAINED 4% TO 6%.
5. COLD WEATHER CONCRETING SHALL BE DONE IN ACCORDANCE WITH ACI-306, HOT WEATHER CONCRETING SHALL BE DONE IN ACCORDANCE WITH ACI-305.
6. BEARING CAPACITY OF SOIL SHALL BE 3000 LBS/FT.
7. IN CASE OF OVEREXCAVATING FOR FOOTING, ALL OVEREXCAVATION UNDER FOOTING SHALL BE FILLED WITH CONCRETE.

DIVISION 4 MASONRY

1. CLAY, BRICK, AND CONCRETE MASONRY CONSTRUCTION SHALL CONFORM TO THE "BUILDING CODE REQUIREMENTS FOR ENGINEERED BRICK MASONRY" ISSUED BY THE BRICK INSTITUTE OF AMERICA AND "SPECIFICATION FOR THE DESIGN AND CONSTRUCTION OF LOAD BEARING CONCRETE MASONRY" ISSUED BY THE NATIONAL CONCRETE MASONRY ASSOCIATION, LATEST EDITION.
2. GIVEN DESIGN DATA ASSUMES THE EXISTENCE OF ADEQUATE FIELD SUPERVISION OF CONSTRUCTION, FULFILLING THE "WITH INSPECTION" CRITERIA OF THE CODES.
3. MASONRY MATERIALS SHALL CONFORM TO THE LATEST EDITIONS OF THE FOLLOWING SPECIFICATIONS:
 - A. HOLLOW-LOAD BEARING UNITS, ASTM C90, COMPRESSIVE STRENGTH SHALL BE OVER 1,600 PSI ON AVERAGE NET AREA OF UNITS.
 - B. SOLID-LOAD BEARING UNITS, ASTM C145, COMPRESSIVE STRENGTH SHALL BE OVER 1,551 PSI ON AVERAGE GROSS AREA OF UNITS.
 - C. MORTAR, ASTM C270, TYPE "M" OR "S", ONLY. FOR REINFORCED MASONRY MORTAR SHALL BE ASTM C476, TYPE "S".
 - D. METAL WIRES USED AS TIES AND ANCHORS SHALL CONFORM TO ASTM A92, ONLY CORROSION-RESISTANT METALS OR METALS WITH SUCH COATING SHALL BE USED.
 - E. REINFORCEMENT, WHEN INDICATED SHALL BE ASTM A615, GRADE 60.
4. CONCRETE MASONRY STRENGTH, f_m AT 28 DAYS SHALL BE 1,350 PSI MINIMUM.
5. CALCIUM CHLORIDE AND/OR ADMIXTURES CONTAINING CALCIUM CHLORIDE, SHALL NOT BE INCLUDED IN MORTAR OR GROUT MIX.
6. NO EXTERIOR MASONRY SHALL BE LAID WHEN THE OUTSIDE TEMPERATURE IS LESS THAN 40 DEGREES FARENHEIT UNLESS ADEQUATE PROTECTION, APPROVED BY THE ARCHITECT IS USED.

7. MASONRY WALLS SHALL BE ADEQUATELY BRACED DURING ERECTION.
8. TYPICAL JOINT REINFORCEMENT SHALL BE #9 GA. CONTINUOUS SIDE WIRES WITH #9 GA. CROSS TIES, SPACING 16" O.C. (VERTICALLY).

DIVISION 5 METALS

1. STRUCTURAL STEEL SHALL BE DETAIL, FABRICATED AND ERECTED IN ACCORDANCE WITH THE AISC "SPECIFICATION FOR DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" AND THE AISC "CODE OF STANDARD PRACTICE".
2. STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS (UNLESS OTHERWISE NOTED):

STRUCTURAL SHAPES AND PLATES:	A36
STRUCTURAL TUBING:	A-500 GRADE B
3. TYPICAL CONNECTIONS FOR STEEL BEAMS SHALL BE STANDARD AISC FRAMED BEAM CONNECTIONS, EXCEPT WHERE SHOWN WELDED, SHALL BE BOLTED WITH 3/4" DIA. HIGH STRENGTH BOLTS CONFORMING TO ASTM A325-4, OR GREATER, UNLESS OTHERWISE NOTED. CONNECTIONS SHALL BE DESIGNED FOR 60% OF THE TOTAL ALLOWABLE UNIFORM LOAD DERIVED FROM THE AISC MANUAL'S TABLE OF "UNIFORM LOAD CONSTANTS" FOR NON-COMPOSITE BEAMS.
4. ALL COPED BEAMS TO BE DESIGNED IN ACCORDANCE WITH APPENDIX "B" OF THE AISC MANUAL "ENGINEERING FOR STEEL CONSTRUCTION". PROVIDE REINFORCING AS REQUIRED. ALL RE-ENTRANT CORNERS TO BE SHAPED, NOTCH-FREE, TO A RADIUS OF AT LEAST 1/2".
5. ALL WELDING ELECTRODES SHALL BE E-70XX. ALL SHOP AND FIELD WELDING SHALL BE MADE IN ACCORDANCE WITH A.W.S. D1.1-88 "CODE FOR WELDING IN BUILDING CONSTRUCTION", AND SHALL BE MADE BY QUALIFIED "CERTIFIED" WELDERS.
6. ALL STRUCTURAL STEEL EXPOSED TO THE ELEMENTS SHALL RECEIVE ONE COAT OF APPROVED SHOP PAINT, IN ADDITION TO FIELD PAINT AS SPECIFIED IN THE ARCHITECTURAL SPECIFICATIONS.
7. PROVIDE MINIMUM WELD SIZE PER AISC 1.17.2.

DIVISION 6 CARPENTRY

1. FLEXURAL FRAMING MEMBERS SHALL BE AS FOLLOWS:
 - A. RAFTERS: SPRUCE-PINE-FIR #2
 - B. FLOOR JOISTS: SPRUCE-PINE-FIR #2
 - C. CEILING JOISTS: SPRUCE-PINE-FIR #2
2. LAMINATED VENEER LUMBER ("MICROLAM") SHALL BE BY TRUSS JOISTS MACMILLAN OR ARCHITECT APPROVED EQUAL MINIMUM STRUCTURAL REQUIREMENTS; $F_b=2,500$ psi, MODULUS OF ELASTICITY=1,900,000.
3. PROVIDE 1" x 4" OR METAL CROSS BRIDGING NOT OVER 6' ON CENTER FOR ALL WOOD JOISTS.
4. PROVIDE SOLID BLOCKING OF THE SAME DIMENSION AS THE JOISTS BETWEEN THE JOISTS AT ALL SUPPORTS.
5. ALL PLYWOOD SHOWN FOR FLOOR/ROOF DECKS AND AS WALL SHEATHING SHALL BE OF THE THICKNESS SHOWN ON THE DRAWINGS AND SHALL MEET ALL THE REQUIREMENTS OF U.S. PRODUCT STANDARD PS 1, LATEST EDITION, FOR STRUCTURAL I GRADE MATERIAL.
6. FOR HEADERS WITH SPANS IN EXCESS OF 6 FEET, MIN. END BEARING AT HEADERS SHALL BE 2-2x4 (JACKS) AND 1-2x4 FULL HEIGHT (KING) STUD.
7. PROVIDE DOUBLE JOISTS UNDER ALL BEARING PARTITIONS.
8. NOTCHING IS PERMITTED TO 1/8 JOISTS DEPTH, EXCEPT NOTCHING IS NOT PERMITTED @ MIDDLE 1/3 OF SPAN.
9. HOLES MAY BE BORED THROUGH FRAMING NOT TO EXCEED 2" IN DIAMETER, OR BE CLOSER THAN 2" TO TOP OR BOTTOM OF MEMBER.
10. WOOD SILL PLATES ON TOP OF FOUNDATION WALLS SHALL BE PRESSURE TREATED, ON A 1/2" FOAM SILL SEALER WITH CEDAR SHIMS @ 16" O.C. (MAXIMUM) AND ANCHORED WITH BOLTS AS SHOWN IN DRAWINGS.
11. ALL BOTTOM PLATES OF BASEMENT PARTITIONS TO BE PRESSURE TREATED.
12. ALL WALL PARTITIONS TO HAVE STUDS @ 16" O.C. MAXIMUM SPACING. DOUBLE TOP PLATES @ ALL EXTERIOR BEARING WALL WITH MINIMUM LAP OF 4".
13. BALLOON FRAME WALLS @ VOLUME CEILINGS.
14. ALL SUBFLOORS TO BE 3/4" TONGUE AND GROOVE PLYWOOD GLUED AND SCREWED @ 6" O.C. @ EDGES AND 12" O.C. @ FIELD.
15. ALL EXTERIOR DECK FRAMING SHALL BE PRESSURE TREATED.
16. ADHERE TO T.H.MACMILLAN REQUIREMENTS FOR MINIMUM END BEARING @ LVL'S.

DIVISION 7 INSULATION

1. PROVIDE INSULATION IN ACCORDANCE WITH PLANS AND SPECIFICATIONS AND AS NEEDED TO ACHIEVE THE FOLLOWING VALUES FOR COMPLETED ASSEMBLIES ACCORDING TO 2019 IECC:
 - A. FENESTRATION: U-FACTOR = 0.30
 - B. SKYLIGHT: U-FACTOR = 0.55
 - C. CEILING: R-VALUE = 49
 - D. EXTERIOR FRAME WALL: R-VALUE = 20 or 13+5 (Cavity + Continuous)
 - E. MASS WALL: R-VALUE = 13/17
 - F. FLOOR: R-VALUE = 30
 - G. CRAWL SPACE WALL: R-VALUE = 15/19
2. INSTALL INSULATION MATERIALS IN ACCORDANCE TO MANUFACTURER'S RECOMMENDATIONS. FILL CAVITIES COMPLETELY AND TAPE JOINTS BETWEEN BOARDS.
3. FILL GAPS BETWEEN JAMBS AND FRAMING WITH NON-FORMALDEHYDE FOAM FILLER.
4. INSULATE DUCTS AND PLUMBING PIPES SUBJECT TO SWEATING

DIVISION 8 WINDOWS & DOORS

INTERIOR DOORS

1. PROVIDE BLOCKING @ HINGES AND JAMB REINFORCING AS RECOMMENDED BY DOOR FRAME MANUFACTURER.
 2. BI-FOLD DOORS SHALL BE IN ALIGNMENT WITH ONE ANOTHER AND PARALLEL TO THE TRACK WHEN CLOSED, PROVIDE SPACERS AS REQUIRED. BI-FOLD DOORS SHALL BE 1 3/8", 2 PANEL FOR PAINT WITH HEAVY-DUTY TRACK, TRACK TO BE CONCEALED BY 1/4 ROUND WOOD TRIM. BI-FOLD DOOR JAMBS TO BE TRIMMED OUT WITH 1x POPLAR JAMBS AND DOOR CASING AS NOTED ABOVE.
 3. ALL INTERIOR SWING DOORS SHALL BE 1-3/4" SOLID CORE, 2-PANEL DOORS FOR PAINT FINISH.
 4. INTERIOR DOORS SHALL BE TRIMMED WITH 1x POPLAR JAMBS AND DOOR CASING AND PLINTH BLOCKS AS SPECIFIED ABOVE.
 5. PROVIDE THRESHOLDS FOR EXTERIOR DOOR, NEOPRENE WEATHER STRIPPING, TYPICAL AT HEADS, JAMBS AND SILLS.
- #### DOOR HARDWARE
1. PROVIDE HARDWARE COMPATIBLE WITH DOOR THICKNESS, WEIGHT AND MATERIAL.
 2. ALL DOORS SHALL HAVE 1-1/2" PAIR HINGES FOR SIZES UP TO 3x7.
 3. LATCH BOLTS SHALL HAVE 5/8" THROW AT ALL LATCH SETS AND LOCKSETS.
 4. EXTERIOR DOOR HARDWARE SHALL BE LEVER TYPE, STANDARD GRADE, CYLINDER LATCH BY BALDIWIN (OR OWNER APPROVED EQUAL).
 5. INTERIOR DOOR HARDWARE SHALL BE LEVER TYPE, RESIDENTIAL GRADE, CYLINDER LATCH BY SCHLAGE (OR EQUAL).

DIVISION 9 FINISHES

FINISHES GENERAL NOTES

1. ALL FINISHES SHALL BE CLASS 1, 0-25 FLAME SPREAD RATING.
2. CLEAN AND PREPARE PRIME SURFACES IN COMPLIANCE WITH THE FINISH MATERIALS MANUFACTURERS INSTRUCTIONS.
3. PROVIDE A MINIMUM OF ONE PRIME COAT AND ONE FINISH COAT FOR ALL PAINTED SURFACES.
4. DO NOT PAINT OVER LABELS, FACTORY FINISH METAL TRIM, DOOR HARDWARE, ELECTRICAL FIXTURES, EQUIPMENT, SPRINKLER HEADS, OR MILLWORK ASSEMBLIES.
5. PROVIDE TOUCH-UP PAINTING TO MATCH EXISTING PAINT COLORS AND TEXTURES WHERE INFILL OR PATCH AND REPAIR WORK IS REQUIRED AT EXISTING CONSTRUCTION.
6. ALL DRYWALL SURFACES SHALL BE PAINTED EXCEPT WHERE CERAMIC TILE IS SPECIFIED.
7. PROVIDE CORNER AND J-BEADS AT ALL TERMINATIONS AND CORNERS OF GYPSUM BOARD.
8. ALL DIMENSIONS TO FACE OF DRYWALL.
9. GENERAL CONTRACTOR SHALL COORDINATE STAIR CONSTRUCTION WITH FINAL FLOOR FINISH SELECTIONS TO OBTAIN PROPER HEIGHTS.
10. PROVIDE CEMENTITIOUS BACKER BOARD AT ALL TILE LOCATIONS AND WET SURFACES.
11. PROVIDE THRESHOLDS AS REQUIRED OR AS NOTED AT ALL FLOOR MATERIAL TRANSITIONS. PROVIDE BLOCKING AS REQUIRED BY DRAWINGS. COORDINATE WITH OTHER TRADES FOR SIZE AND LOCATION.

GYPSUM BOARD

1. PROVIDE ALL LABOR AND MATERIALS NECESSARY TO COMPLETE THE WORK IN ACCORDANCE WITH ALL CODE AND GOVERNING ORDINANCES.
2. ALL DRYWALL SHALL BE MINIMUM 5/8" THICK UNO.
3. COMPLY WITH THE RECOMMENDATIONS OF THE GYPSUM CONSTRUCTION HANDBOOK PUBLISHED BY THE USG CORPORATION, LATEST EDITION, FOR METHODS AND INSTALLATION OF METAL FRAMING AND GYPSUM DRYWALL SYSTEMS
4. PROVIDE METAL CORNER REINFORCEMENT TRIM AT ALL OUTSIDE CORNER CONDITIONS. TRIM SHALL BE USG-DUR-A-BED OR EQUAL.
5. PROVIDE CONTINUOUS BED OF SOUND SEALANT AT TOP AND BOTTOM OF ALL SOUND RATED INSULATED PARTITIONS AND AT PARTITION PENETRATIONS, INCLUDING ELECTRICAL OPENINGS.
6. COORDINATE WITH OTHER TRADES FOR INSTALLATION OF WOOD BLOCKING.
7. PROVIDE GYPSUM BOARD EDGE TRIM, USG 801-A AT EXPOSED EDGES OF ALL NON-FULL HEIGHT GYPSUM DRYWALL PARTITIONS EXCEPT WHERE TOP OF WALL HAS DRYWALL FINISH.
8. FINISH DRYWALL JOINTS AND CONCEAL ALL FASTENERS USING USG "PERF-A-TAPE" SYSTEM OR EQUAL. APPLY FINISHING COMPOUND, SAND AND REPEAT AS NEEDED TO COMPLETELY CONCEAL ALL JOINTS AND FASTENERS.
9. PROVIDE ADDITIONAL SUPPORTS, BRACKETS, TIES, AND FRAMING AS RECOMMENDED OR REQUIRED FOR PROPER INSTALLATION AND RIGID ASSEMBLY.
10. CLEAN ALL SURFACES AND LEAVE READY FOR PAINT. REMOVE ALL EXCESS MATERIALS AND DEBRIS FROM SITE.
11. ALL DRYWALL USED ON WALLS IN THE TOILET ROOMS SHALL BE WATER RESISTANT RATED.
12. DRYWALL SUPPORT SYSTEMS AND FRAMING SHALL BE OF SUFFICIENT CAPACITY AND RIGIDITY TO SUPPORT THE ASSEMBLY WITH A MAXIMUM DEFLECTION OF L/240 WHERE 'L' REPRESENTS THE LENGTH OF THE SPAN. DEFLECTION LIMIT INCLUDES LIVE LOADS AND DEAD LOADS SIMULTANEOUSLY IMPOSED.

PAINTING

1. PREPARE SUBSTRATES AS REQUIRED TO RECEIVE PAINT. PATCH ALL NAIL HOLES, REPAIR DEFECTS.
2. PRIME ALL EXPOSED GYPSUM BOARD SURFACES. SPRAYED SURFACES SHALL BE ROLLED OUT WITH A MEDIUM NAP ROLLER.
3. INTERIOR MILLWORK TO BE FOR PAINT SHALL BE PRIMED WITH OIL BASED PRIMER. FINISH PAINT SHALL BE TWO COATS HIGH GLOSS ALKYD ENAMEL, (SAND BETWEEN COATINGS).
4. CEILINGS (SLOPED & FLAT) SHALL BE PAINTED WITH TWO COATS CEILING FLAT LATEX PAINT-WHITE.
5. WALLS SHALL BE PAINTED WITH TWO COATS EGGSHELL ENAMEL.

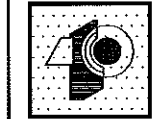
CERAMIC TILE

- CERAMIC TILE FOR FLOORS SHALL BE 12"x 12" x 3/8" FLOOR TILE UNLESS OTHERWISE NOTED. ORDER SELECTION SHALL PREVAIL. INSPECT SUBSTRATE PRIOR TO INSTALLATION REPAIR ANY AND ALL DEFECTS. LEVEL NEW CONCRETE SLAB WITH APPROPRIATE LEVELING MATERIAL. SET TILES WITH LATEX THINSET BEDDING COMPOUND. WALL TILES SHALL BE INSTALLED ONLY ON CEMENTITIOUS BACKER BOARD UNITS (back) THAT IS LEVEL AND FREE OF DEBRIS, WITH APPROPRIATE LATEX THINSET SETTING MATERIAL. GROUT SHALL BE UNSAUNDED TYPE FOR GROUT JOINTS LESS THAN 1/8" AND SANDED FOR JOINTS 1/8" AND LARGER. LAYOUT TILE SUCH THAT TILE IS NOT LESS THAN 1/2 THE WIDTH OF THE TILE.

NO.	BY:	DATE:	DESCRIPTION:
	RT	07/16/2023	Review
	RT	07/26/2023	Permit

Convert 2-Unit to Single Family Residence, Interior Rehab
 & New 2-Story Frame Addition including New Partitions,
 New Electrical, Mechanical & Plumbing Systems, New
 Roof System & New Rear Deck & Balcony per Plans.
 223 Center Street, Naperville Illinois 60540

R.T. ARCHITECT INC.



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 rt@rtarch.com

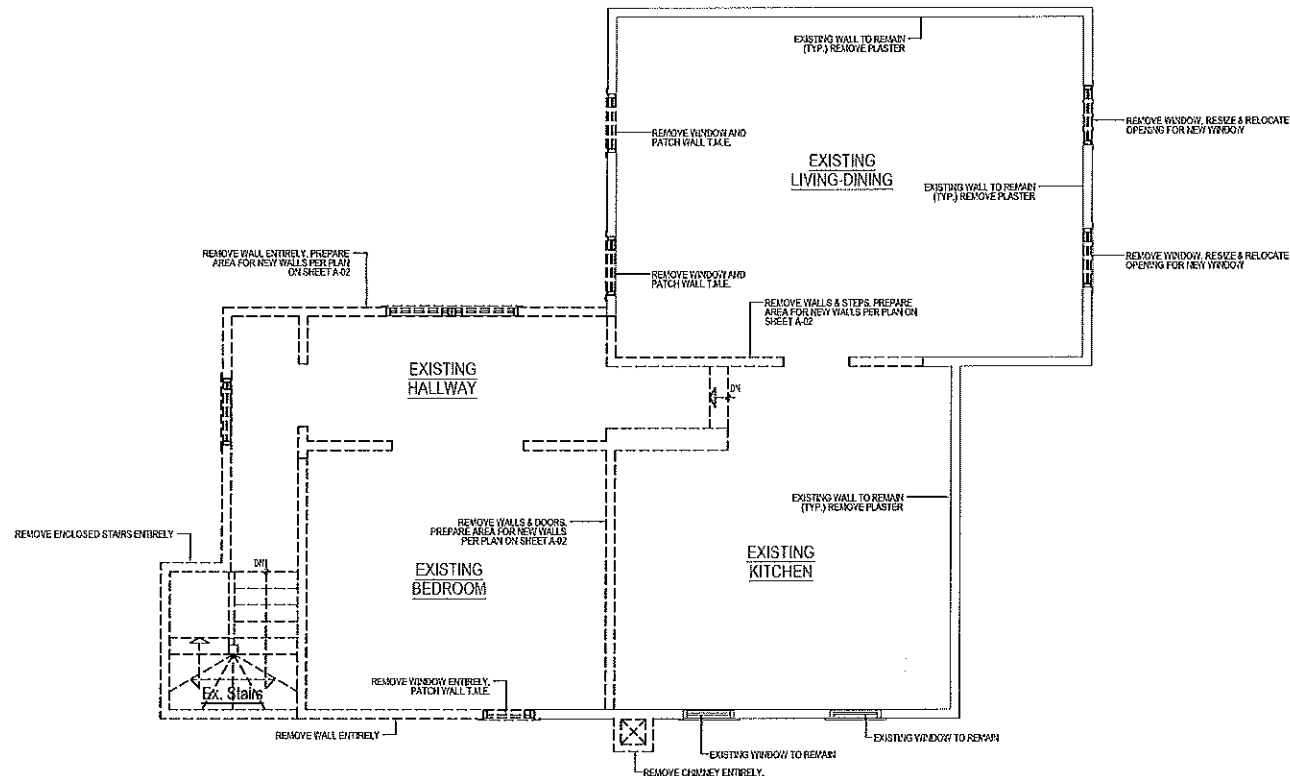
PROJECT ARCHITECT:
 RT
 DRAFTER/PERSON:
 CS
 APPROVED:
 RT
 PREPARED FOR:
 OWNER
 LOCATION:
 223 Center Street
 Naperville, IL 60540
 JOB NUMBER:
 223CS-07042023

SHEET No.:

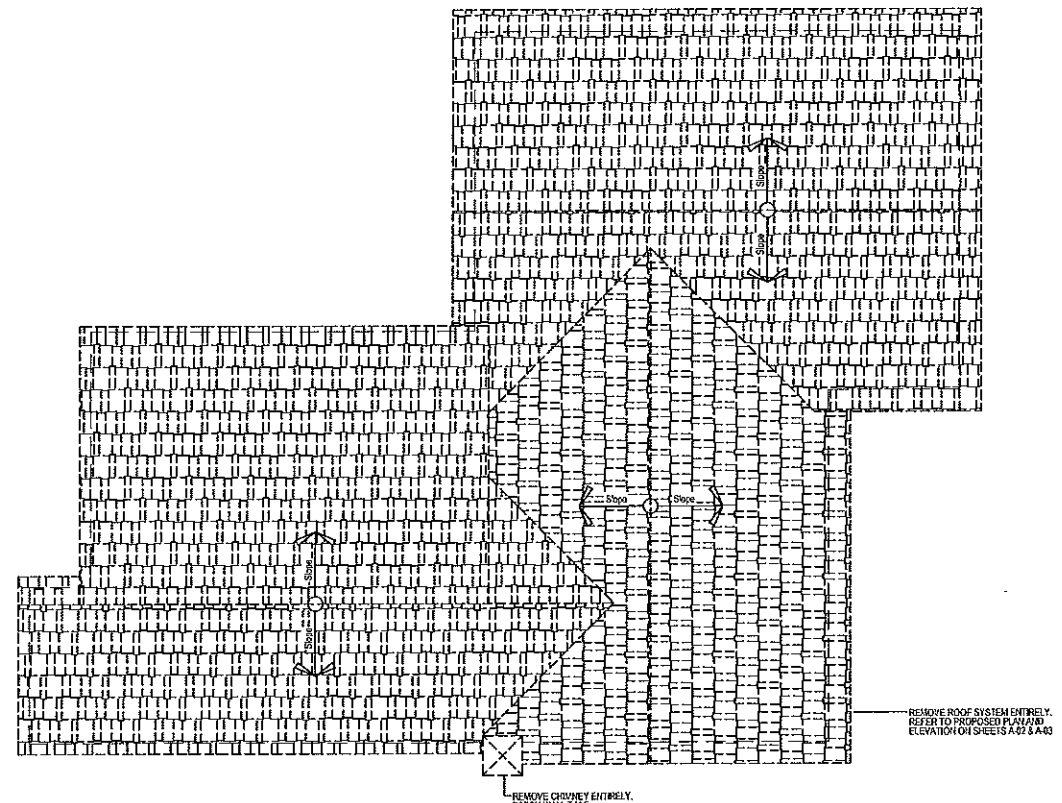
G-02

SHEET Name:
 Specifications

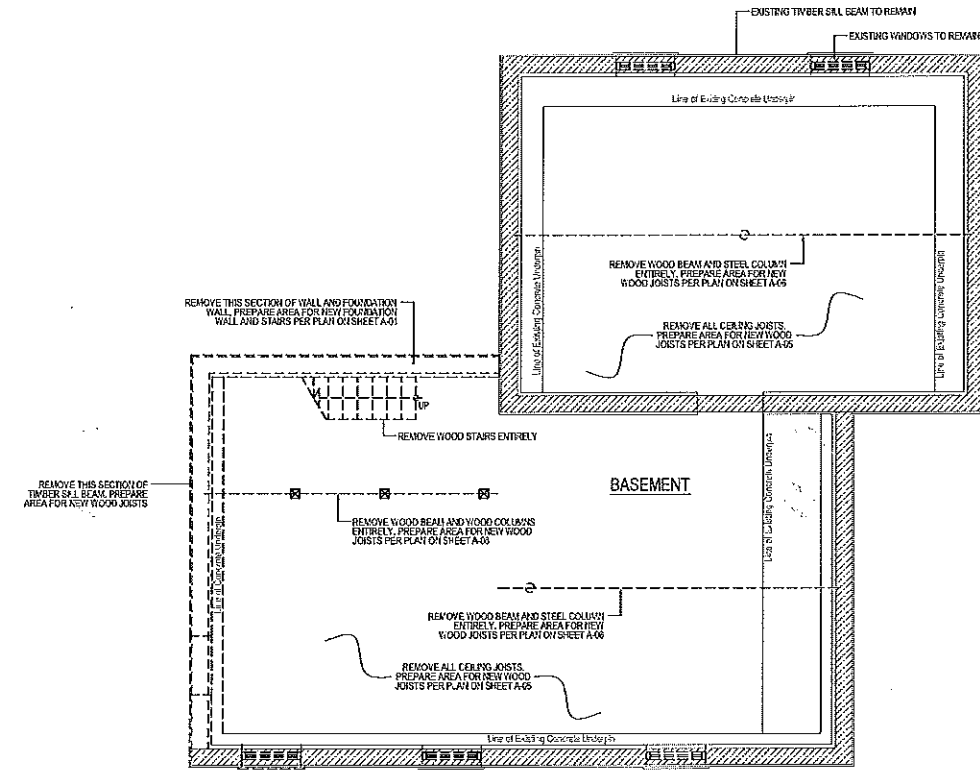




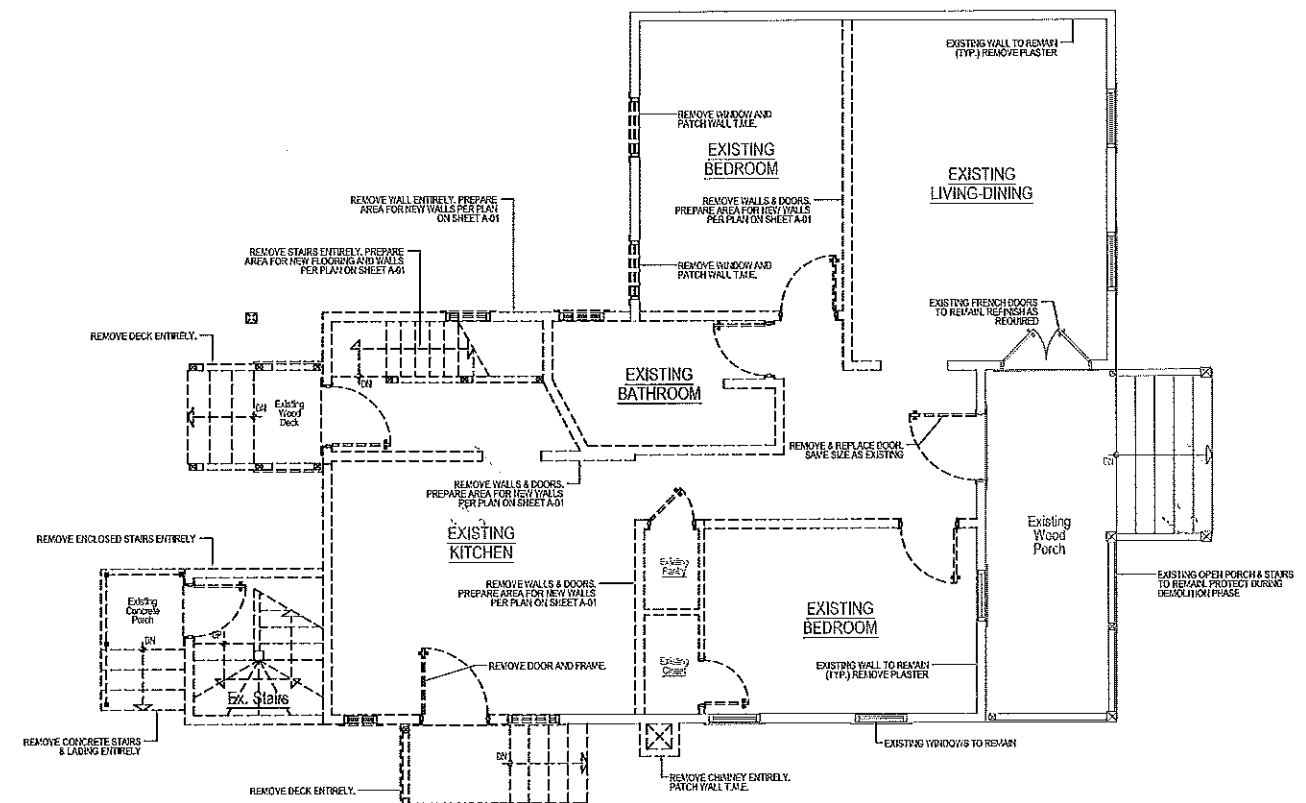
3 EXISTING-DEMOLITION PLAN
SECOND FLOOR SCALE 1/4"=1'-0"



4 DEMOLITION PLAN
ROOF SCALE 1/4"=1'-0"



1 EXISTING-DEMOLITION PLAN
BASEMENT SCALE 1/4"=1'-0"



2 EXISTING-DEMOLITION PLAN
FIRST FLOOR SCALE 1/4"=1'-0"

NO.	BY	DATE	DESCRIPTION
1	RT	07/04/2023	Review
2	RT	07/04/2023	Permit

Convert 2-Unit to Single Family Residence, Interior Rehab & New 2-Story Frame Addition including New Partitions, New Electrical, Mechanical & Plumbing Systems, New Roof System & New Rear Deck & Balcony per Plans.
223 Center Street, Naperville Illinois 60540

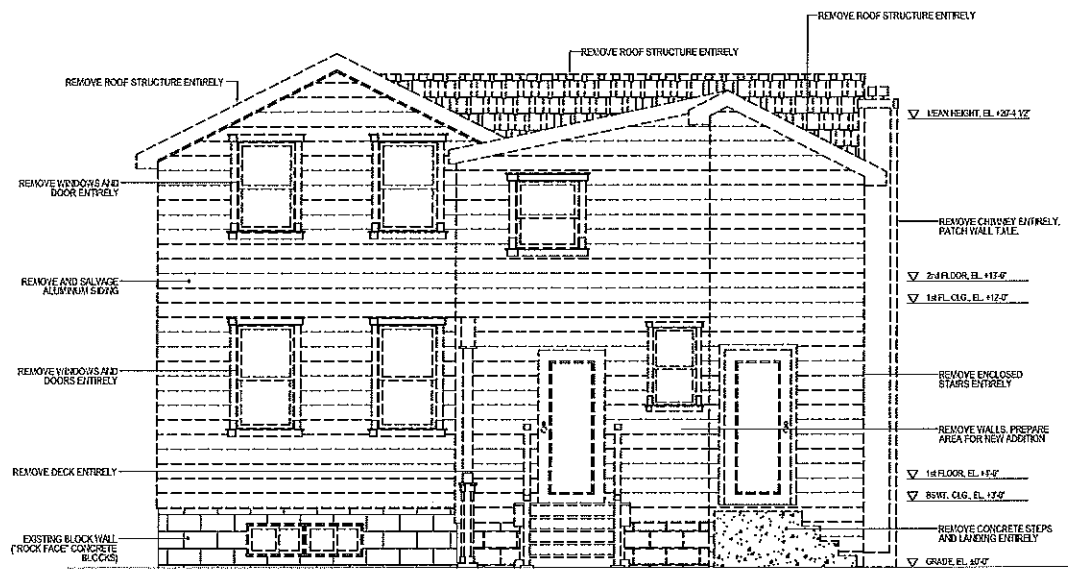
R.T. ARCHITECT INC.

 RADULE TEPAVCEVIC
 7907 BROWN AVE., SUITE A
 FOREST PARK, IL 60130
 TEL: (312) 217-5653
 rtepa@rtai.com

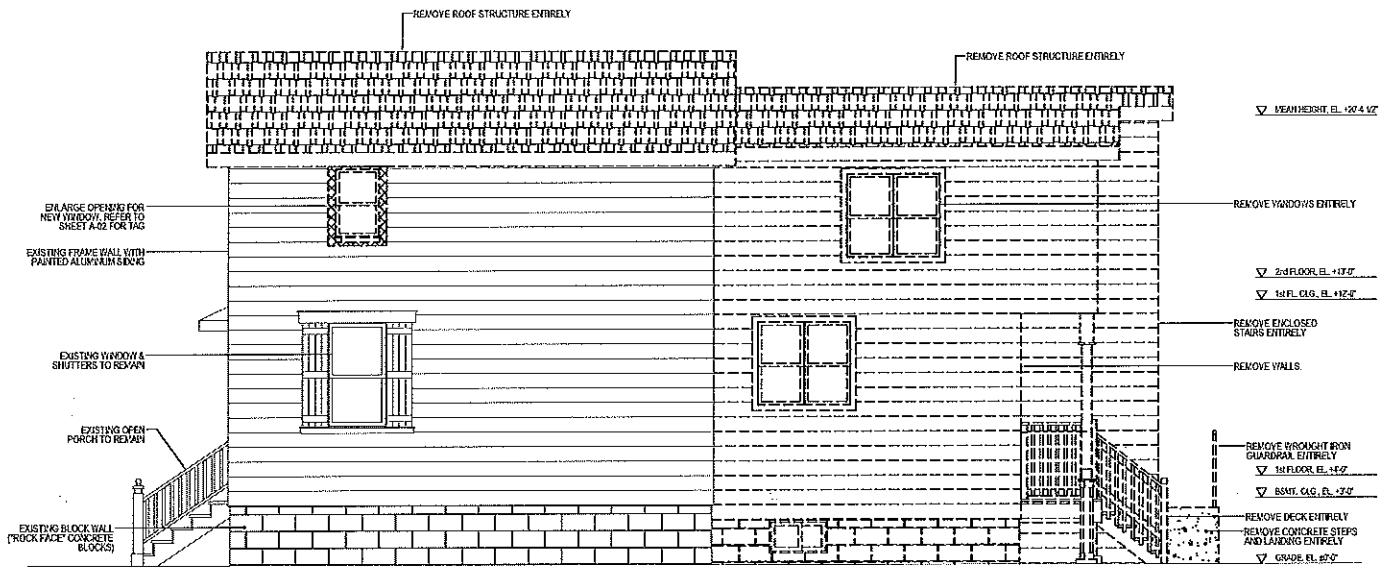
PROJECT ARCHITECT:
RT
 DRAFTPERSON:
CS
 APPROVED:
RT
 PREPARED FOR:
OWNER
 LOCATION:
223 Center Street
Naperville, IL 60540
 JOB NUMBER:
23CS-07042023

SHEET No: **AD-01**
 SHEET Name:
Existing-Demolition Floor Plans

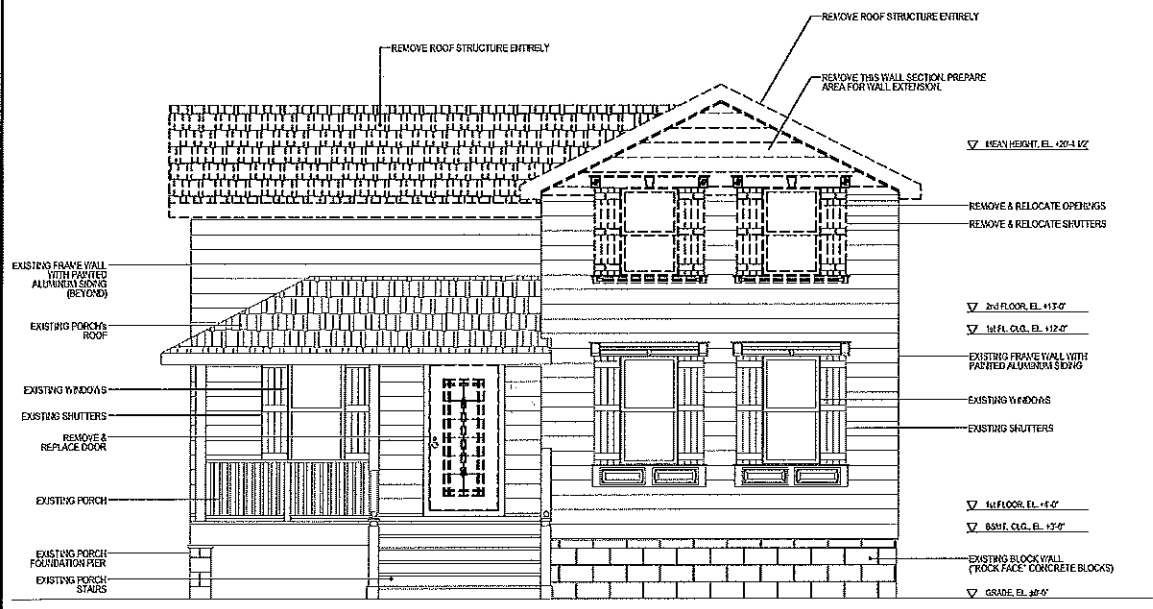




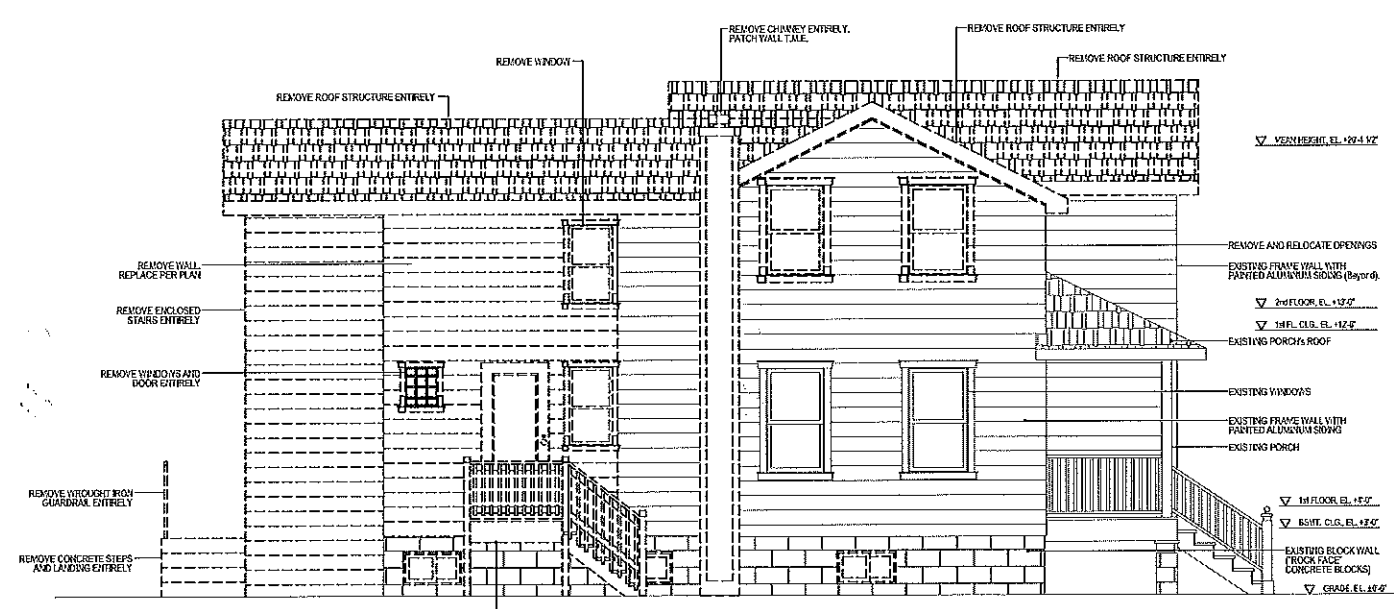
3 EXISTING-DEMOLITION WEST ELEVATION
(REAR ELEVATION) SCALE 1/4"=1'-0"



4 EXISTING-DEMOLITION NORTH ELEVATION
SCALE 1/4"=1'-0"



1 EXISTING-DEMOLITION EAST ELEVATION
(FRONT ELEVATION) SCALE 1/4"=1'-0"



2 EXISTING-DEMOLITION SOUTH ELEVATION
SCALE 1/4"=1'-0"

NO.	DATE	DESCRIPTION
1	07/04/2023	Revise
2	07/04/2023	Final

Convert 2-Unit to Single Family Residence, Interior Rehab & New 2-Story Frame Addition including New Partitions, New Electrical, Mechanical & Plumbing Systems, New Roof System & New Rear Deck & Balcony per Plans.
223 Center Street, Naperville Illinois 60540



PROJECT ARCHITECT:
RT
DRAFTPERSON:
CS
APPROVED:
RT
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OWNER
LOCATION:
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Naperville, IL 60540
JOB NUMBER:
223CS-07042023

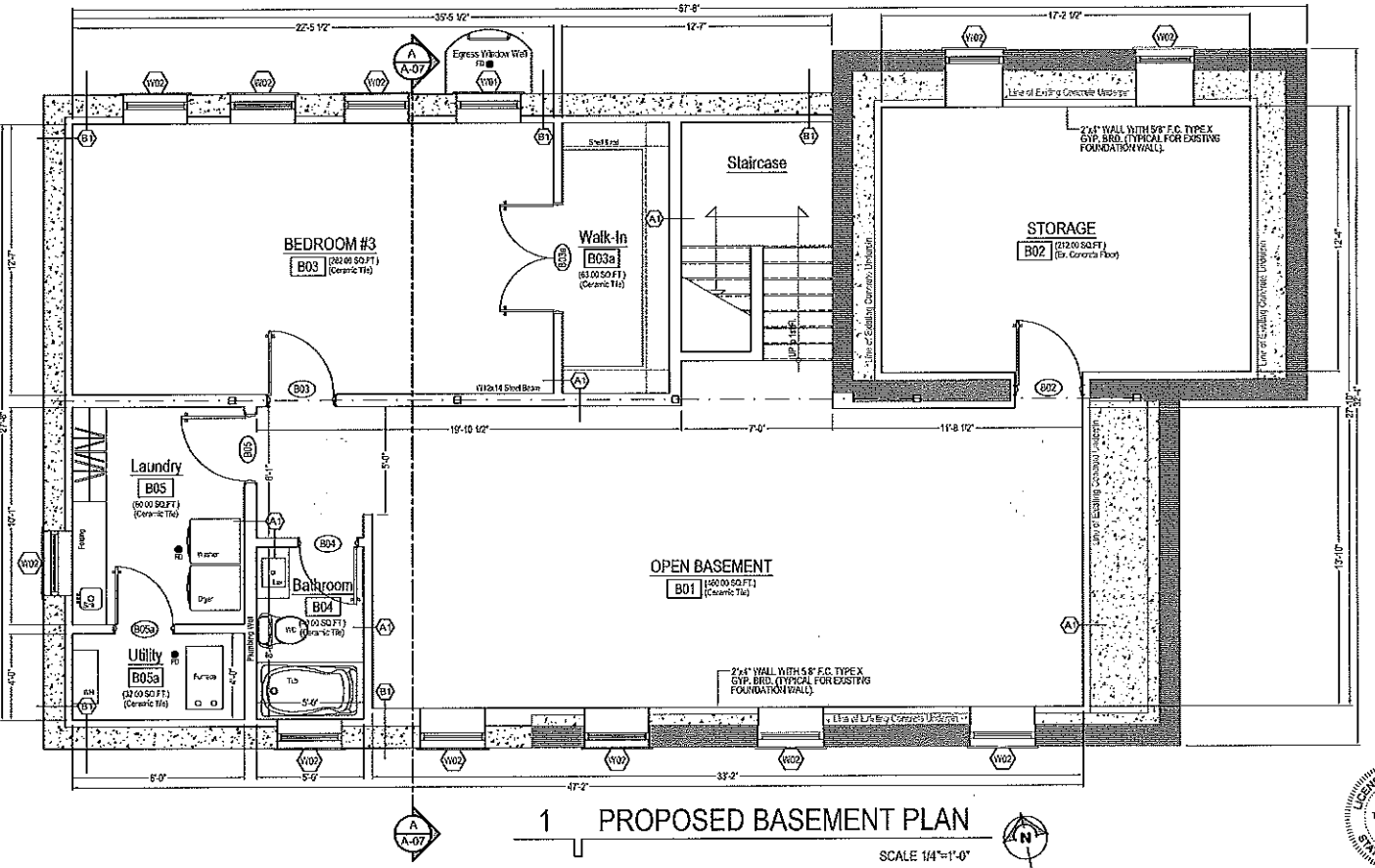
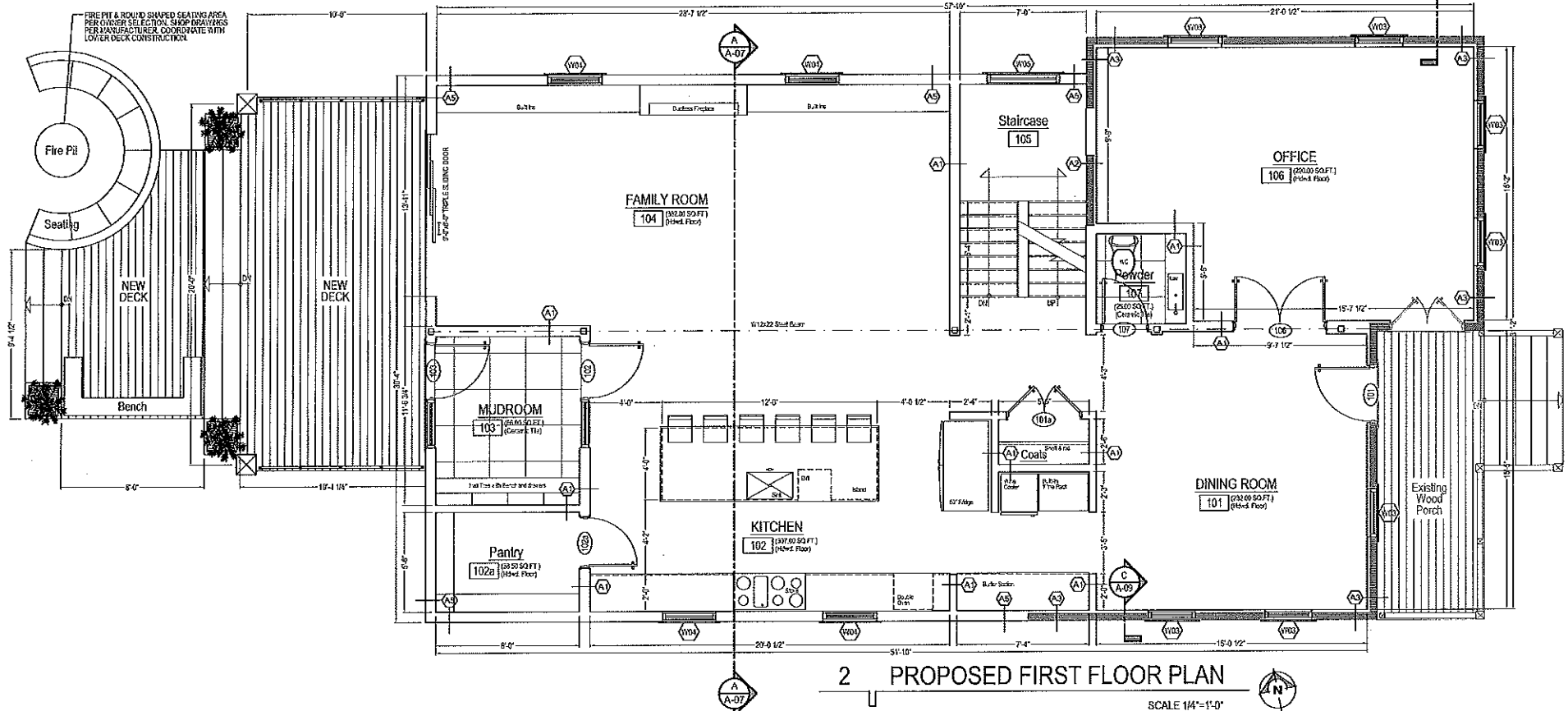
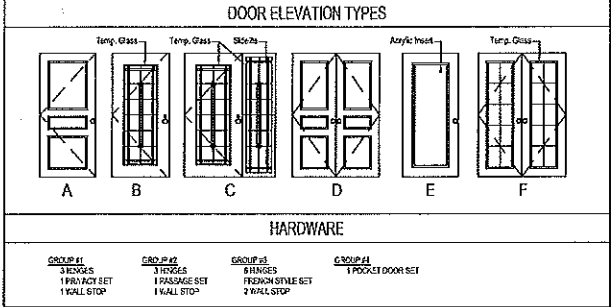
SHEET No: **AD-02**
SHEET Name:
Existing-Demolition Elevations



NEW WINDOW SCHEDULE							
NO.	KEY SIZE	NET GLASS (SQ FT)	NET VENT (SQ FT)	TYPE	FRAME MATERIAL	REMARKS	
W01	2'-0" x 4'-0"	6.23	12.33	ESCAPE WINDOW	VINYL	NEW WINDOW, THERMOPLANE, LOW-E GLAZING	
W02	2'-0" x 2'-0"	4.12	4.12	AWNING	VINYL	NEW WINDOW, THERMOPLANE, LOW-E GLAZING	
W03	2'-0" x 2'-0"	4.12	4.12	DOUBLE-HUNG	VINYL	NEW WINDOW, THERMOPLANE, LOW-E GLAZING	
W04	2'-0" x 2'-0"	4.12	4.12	DOUBLE-HUNG	VINYL	NEW WINDOW, THERMOPLANE, LOW-E GLAZING	
W05	4'-0" x 1'-0"	5.28	0.00	FIXED	VINYL	NEW WINDOW, THERMOPLANE, LOW-E GLAZING	

ROOM FINISH SCHEDULE											
ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS				CILING	CEILING HEIGHT	REMARKS	
				N	E	S	W				
821	WALK-IN CLOSET	VP	WD	DA/PT	DA/PT	DA/PT	DA/PT	DA/PT	8'-0"		
822	STORAGE	VP	WD	DA/PT	DA/PT	DA/PT	DA/PT	DA/PT	8'-0"		
823	ESCAPE WINDOW	VP	WD	DA/PT	DA/PT	DA/PT	DA/PT	DA/PT	8'-0"		
824	BATHROOM	VP	WD	DA/PT	DA/PT	DA/PT	DA/PT	DA/PT	8'-0"	CT AT TUB WALLS	
825	LAUNDRY	VP	WD	DA/PT	DA/PT	DA/PT	DA/PT	DA/PT	8'-0"		
826	UTILITY	VP	WD	DA/PT	DA/PT	DA/PT	DA/PT	DA/PT	8'-0"		
101	DINING ROOM	HD	WD	DA/PT	DA/PT	DA/PT	DA/PT	DA/PT	10'-0"		
102	KITCHEN	HD	WD	DA/PT	DA/PT	DA/PT	DA/PT	DA/PT	10'-0"	CT AT KITCHEN BACKERASH	
103	PANTRY	CT	WD	DA/PT	DA/PT	DA/PT	DA/PT	DA/PT	10'-0"		
104	FAMILY ROOM	HD	WD	DA/PT	DA/PT	DA/PT	DA/PT	DA/PT	10'-0"		
105	STAIRCASE	HD	WD	DA/PT	DA/PT	DA/PT	DA/PT	DA/PT	10'-0"		
106	OFFICE	HD	WD	DA/PT	DA/PT	DA/PT	DA/PT	DA/PT	10'-0"		
107	PORCH ROOM	CT	WD	DA/PT	DA/PT	DA/PT	DA/PT	DA/PT	10'-0"		
108	HALLWAY	HD	WD	DA/PT	DA/PT	DA/PT	DA/PT	DA/PT	10'-0"		
109	CLASH BEDROOM	HD	WD	DA/PT	DA/PT	DA/PT	DA/PT	DA/PT	10'-0"		
110	BATHROOM	CT	WD	DA/PT	DA/PT	DA/PT	DA/PT	DA/PT	10'-0"	CT AT TUB WALLS	
111	CLOSET	HD	WD	DA/PT	DA/PT	DA/PT	DA/PT	DA/PT	10'-0"		
112	ESCAPE WINDOW	HD	WD	DA/PT	DA/PT	DA/PT	DA/PT	DA/PT	10'-0"		
113	CLOSET	HD	WD	DA/PT	DA/PT	DA/PT	DA/PT	DA/PT	10'-0"		
114	BEDROOM	CT	WD	DA/PT	DA/PT	DA/PT	DA/PT	DA/PT	10'-0"	CT AT SHOWER WALLS	
115	BEDROOM #2	HD	WD	DA/PT	DA/PT	DA/PT	DA/PT	DA/PT	10'-0"		
116	MASTER BEDROOM	HD	WD	DA/PT	DA/PT	DA/PT	DA/PT	DA/PT	10'-0"		
117	WALK-IN CLOSET	HD	WD	DA/PT	DA/PT	DA/PT	DA/PT	DA/PT	10'-0"		
118	MASTER BATHROOM	CT	WD	DA/PT	DA/PT	DA/PT	DA/PT	DA/PT	10'-0"	CT AT SHOWER WALLS	
119	LAUNDRY	CT	WD	DA/PT	DA/PT	DA/PT	DA/PT	DA/PT	10'-0"		
120	UTILITY ROOM	CT	WD	DA/PT	DA/PT	DA/PT	DA/PT	DA/PT	10'-0"		

NEW DOOR AND FRAME SCHEDULE												
DOOR NO.	TYPE	SIZE	THICK	GLAZING	FINISH	GLAZING	FRAME	FINISH	FRAME	FINISH	REMARKS	
821	A	2'-0" x 8'-0"	1 1/2"	ND	PTD	---	SC	PH	AD	PTD	NR	GROUP #1
822	A	2'-0" x 8'-0"	1 1/2"	ND	PTD	---	SC	PH	AD	PTD	NR	GROUP #1
823	D	2'-0" x 2'-0"	1 1/2"	ND	PTD	---	SC	PH	AD	PTD	NR	GROUP #1
824	A	2'-0" x 2'-0"	1 1/2"	ND	PTD	---	SC	PH	AD	PTD	NR	GROUP #1
825	E	2'-0" x 8'-0"	1 1/2"	ND	PTD	---	SC	PH	AD	PTD	NR	GROUP #1
826	A	2'-0" x 8'-0"	1 1/2"	ND	PTD	---	SC	PH	AD	PTD	NR	GROUP #1
101	B	2'-0" x 8'-0"	1 1/2"	ND	PTD	---	SC	PH	AD	PTD	NR	GROUP #1
102	C	2'-0" x 8'-0"	1 1/2"	ND	PTD	---	SC	PH	AD	PTD	NR	GROUP #1
103	A	2'-0" x 8'-0"	1 1/2"	ND	PTD	---	SC	PH	AD	PTD	NR	GROUP #1
104	F	2'-0" x 8'-0"	1 1/2"	ND	PTD	---	SC	PH	AD	PTD	NR	GROUP #1
107	A	2'-0" x 8'-0"	1 1/2"	ND	PTD	---	SC	PH	AD	PTD	NR	GROUP #1
108	A	2'-0" x 8'-0"	1 1/2"	ND	PTD	---	SC	PH	AD	PTD	NR	GROUP #1
109	A	2'-0" x 8'-0"	1 1/2"	ND	PTD	---	SC	PH	AD	PTD	NR	GROUP #1
110	A	2'-0" x 8'-0"	1 1/2"	ND	PTD	---	SC	PH	AD	PTD	NR	GROUP #1
111	A	2'-0" x 8'-0"	1 1/2"	ND	PTD	---	SC	PH	AD	PTD	NR	GROUP #1
112	A	2'-0" x 8'-0"	1 1/2"	ND	PTD	---	SC	PH	AD	PTD	NR	GROUP #1
113	A	2'-0" x 8'-0"	1 1/2"	ND	PTD	---	SC	PH	AD	PTD	NR	GROUP #1
114	A	2'-0" x 8'-0"	1 1/2"	ND	PTD	---	SC	PH	AD	PTD	NR	GROUP #1
115	A	2'-0" x 8'-0"	1 1/2"	ND	PTD	---	SC	PH	AD	PTD	NR	GROUP #1
116	A	2'-0" x 8'-0"	1 1/2"	ND	PTD	---	SC	PH	AD	PTD	NR	GROUP #1
117	A	2'-0" x 8'-0"	1 1/2"	ND	PTD	---	SC	PH	AD	PTD	NR	GROUP #1
118	A	2'-0" x 8'-0"	1 1/2"	ND	PTD	---	SC	PH	AD	PTD	NR	GROUP #1
119	D	2'-0" x 8'-0"	1 1/2"	ND	PTD	---	SC	PH	AD	PTD	NR	GROUP #1
120	A	2'-0" x 8'-0"	1 1/2"	ND	PTD	---	SC	PH	AD	PTD	NR	GROUP #1



REVISIONS			
NO.	DATE	DESCRIPTION	BY

Convert 2-Unit to Single Family Residence, Interior Rehab & New 2-Story Frame Addition including New Partitions, New Electrical, Mechanical & Plumbing Systems, New Root System & New Rear Deck & Balcony per Plans.

223 Center Street, Naperville Illinois 60540

R.T. ARCHITECT INC.

RADULE TERAPCEVIC
7501 BROWN AVE. SUITE A
FOREST PARK, IL 60130
TEL: (617) 277-6653
rt@rtarchitect.com

PROJECT ARCHITECT:
RT

DRAFTPERSON:
CS

APPROVED:
RT

PREPARED FOR:
OWNER

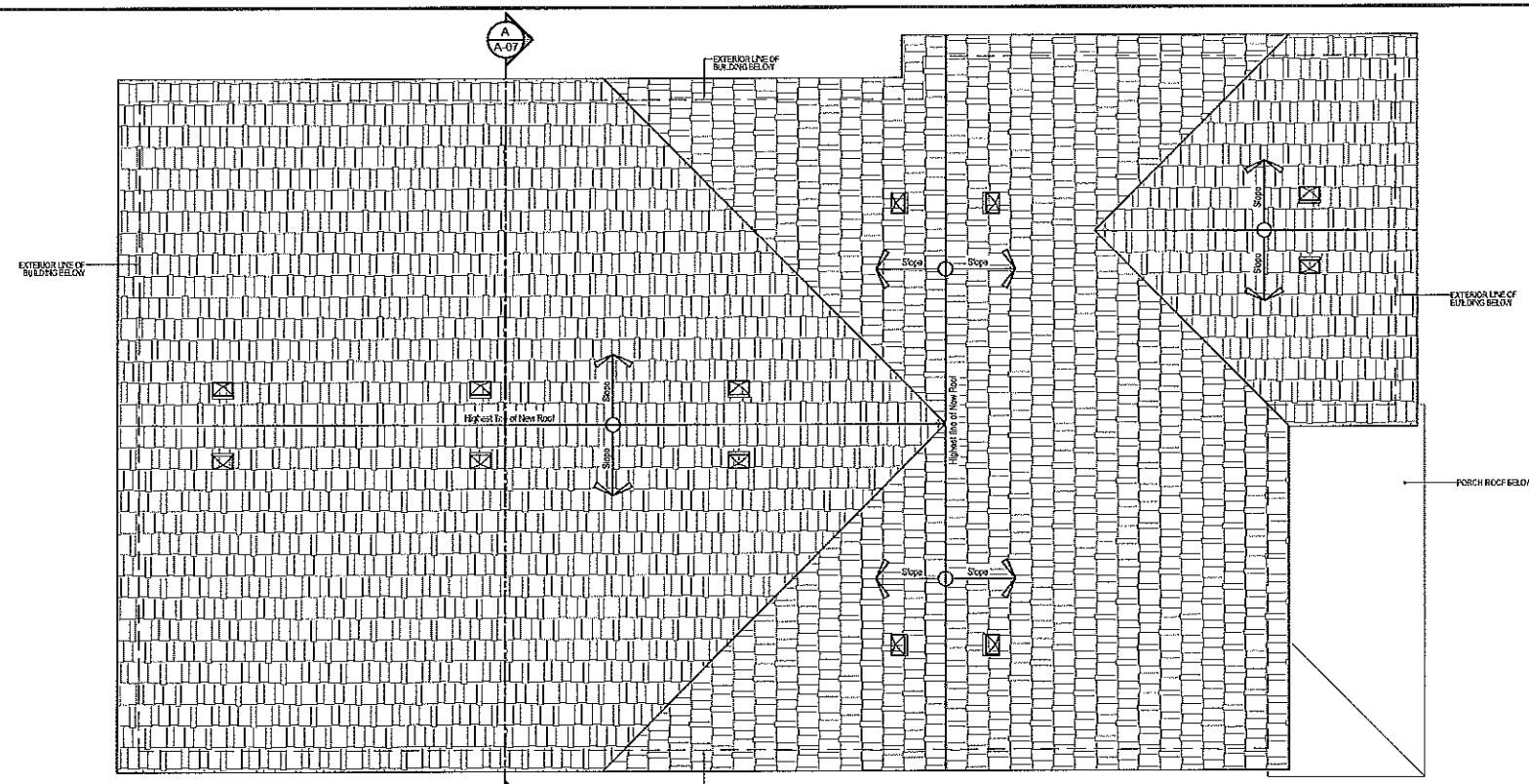
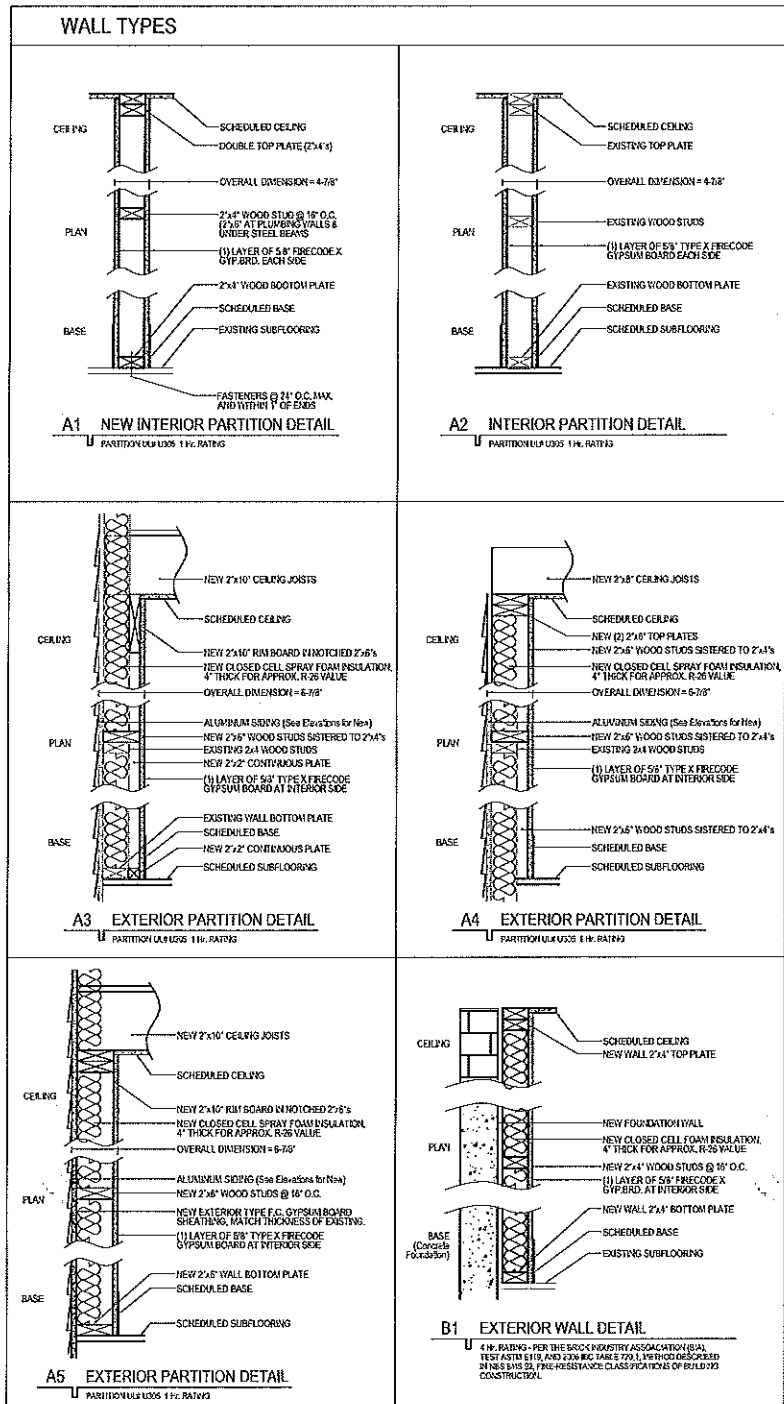
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223 Center Street
Naperville, IL 60540

JOB NUMBER:
223CS-07042023

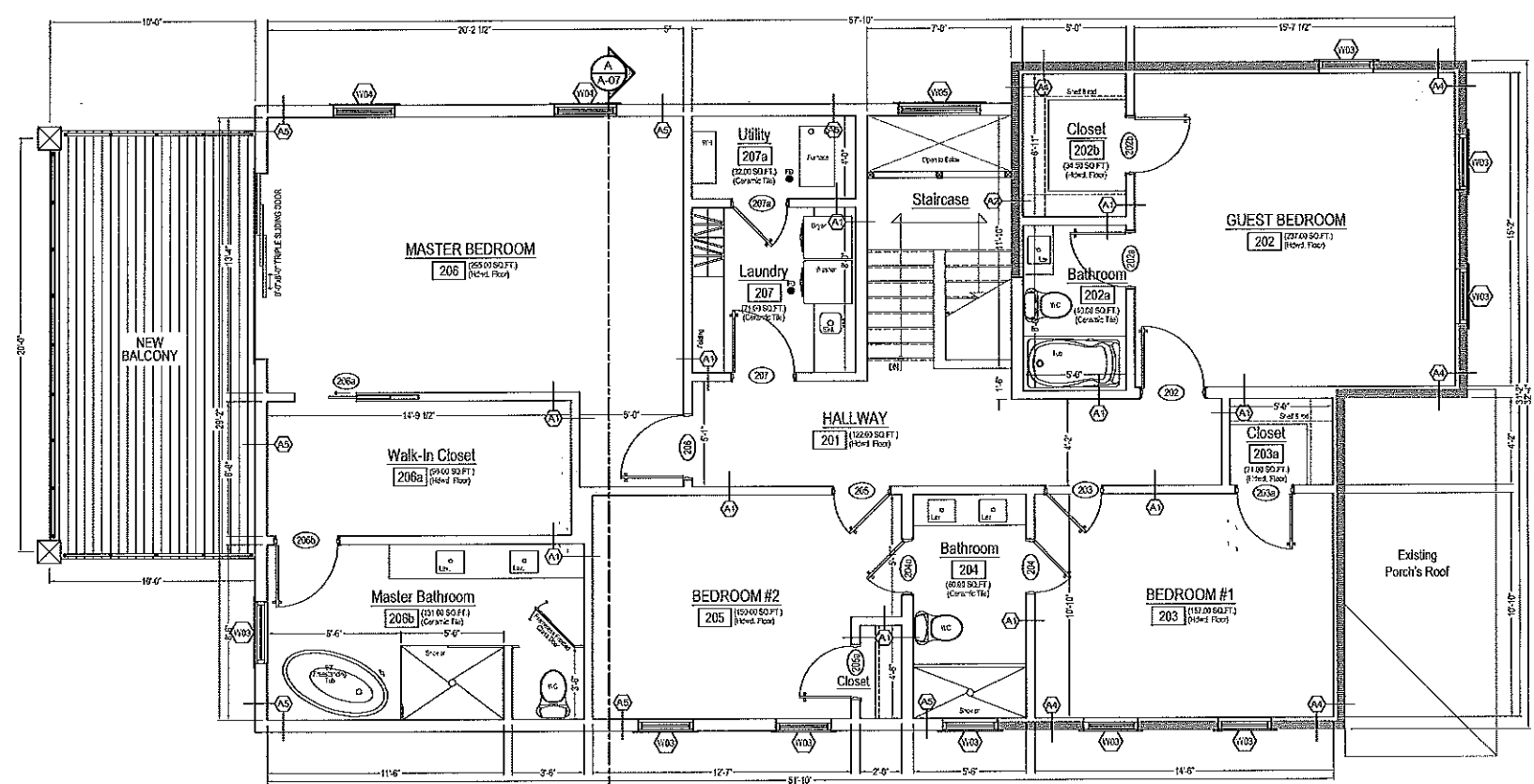
SHEET No: **A-01**

SHEET Name:
Proposed Floor Plans





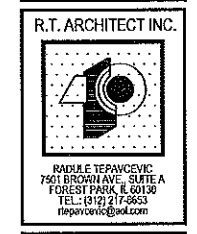
2 PROPOSED ROOF PLAN
SCALE 1/4"=1'-0"



1 PROPOSED SECOND FLOOR PLAN
SCALE 1/4"=1'-0"

REVISIONS	DATE	DESCRIPTION
NO.	BY	REVIEW
1	RT	07/26/2023
2	RT	07/26/2023

Convert 2-Unit to Single Family Residence, Interior Rehab & New 2-Story Frame Addition including New Partitions, New Electrical, Mechanical & Plumbing Systems, New Roof System & New Rear Deck & Balcony per Plans.
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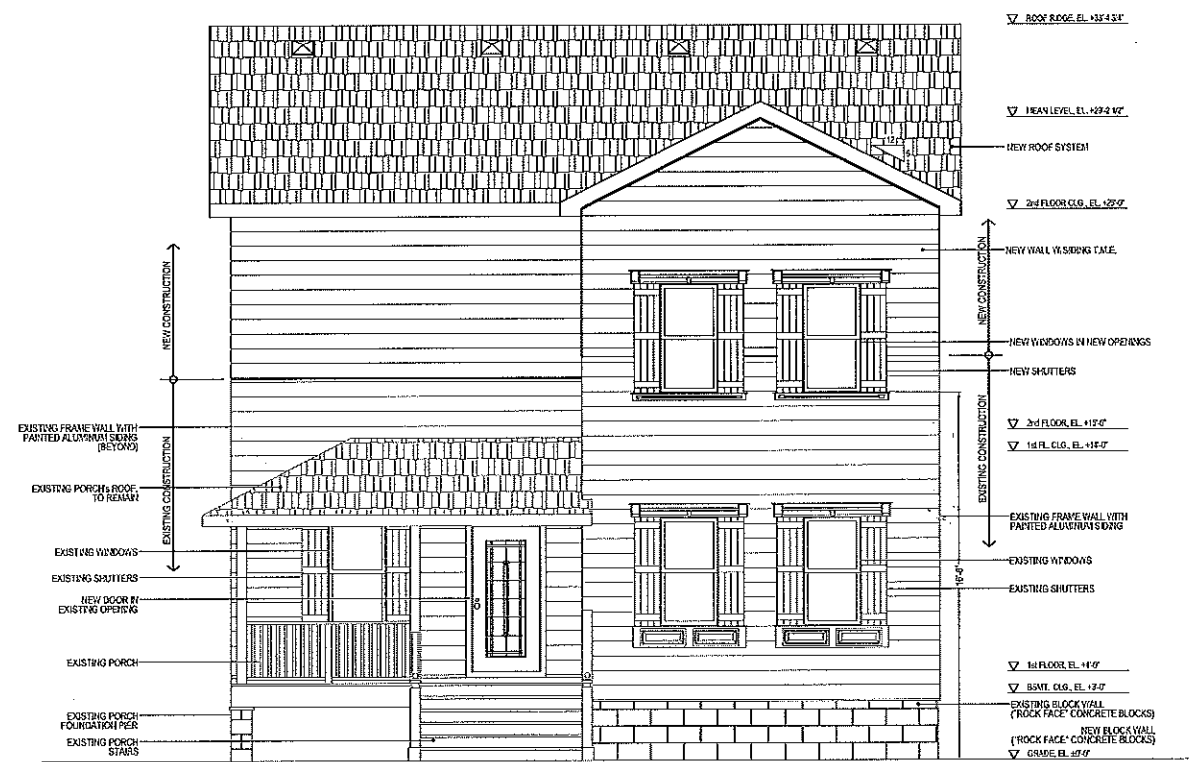
PROJECT ARCHITECT:
RT
DRAFTPERSON:
CS
APPROVED:
RT
PREPARED FOR:
OWNER
LOCATION:
223 Center Street
Naperville, IL 60540
JOB NUMBER:
223CS-0704-2023

SHEET No.: **A-02**
SHEET Name:
Proposed Floor Plans





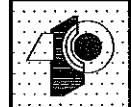
2 PROPOSED WEST ELEVATION
(REAR ELEVATION) SCALE 1/4"=1'-0"



1 PROPOSED EAST ELEVATION
(FRONT ELEVATION) SCALE 1/4"=1'-0"

REVISIONS	DATE	DESCRIPTION
NO. BY: RT	07/04/2023	Review
RT	07/04/2023	Permit

Convert 2-Unit to Single Family Residence, Interior Rehab & New 2-Story Frame Addition including New Partitions, New Electrical, Mechanical & Plumbing Systems, New Roof System & New Rear Deck & Balcony per Plans.
223 Center Street, Naperville Illinois 60540

R.T. ARCHITECT INC.

 RADULE TEPAVCEVIC
 7501 BROWN AVE. SUITE A
 FOREST PARK, IL 60130
 TEL: (312) 217-8653
 rtepc@rtai.com

PROJECT ARCHITECT:
RT
 DRAFTER/PERSON:
CS
 APPROVED:
RT
 PREPARED FOR:
OWNER
 LOCATION:
223 Center Street
Naperville, IL 60540
 JOB NUMBER:
23CS-07042023

SHEET No: A-03
 SHEET Name:
Proposed Elevations





2 PROPOSED NORTH ELEVATION
SCALE 1/4"=1'-0"



1 PROPOSED SOUTH ELEVATION
SCALE 1/4"=1'-0"

REVISIONS NO.	DATE	DESCRIPTION
1	07/04/2023	Revise
2	07/04/2023	Revise

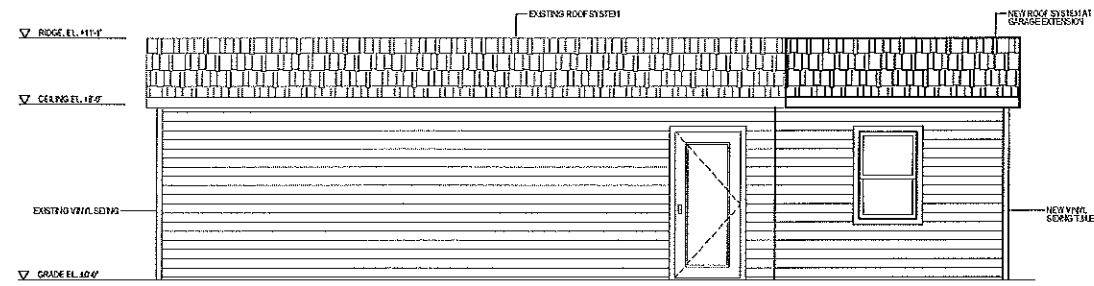
Convert 2-Unit to Single Family Residence, Interior Rehab & New 2-Story Frame Addition including New Partitions, New Electrical, Mechanical & Plumbing Systems, New Roof System & New Rear Deck & Balcony per Plans.
223 Center Street, Naperville Illinois 60540



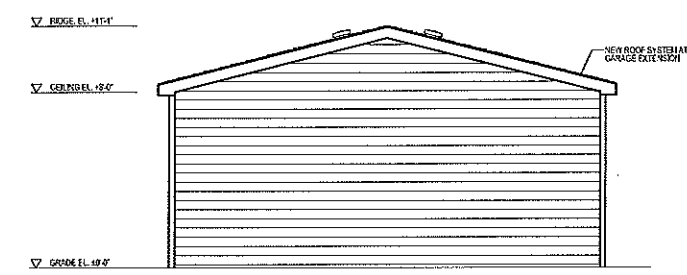
PROJECT ARCHITECT:
RT
DRAFTPERSON:
CS
APPROVED:
RT
PREPARED FOR:
OWNER
LOCATION:
223 Center Street
Naperville, IL 60540
JOB NUMBER:
223CS-07042023

SHEET No: **A-04**
SHEET Name:
Proposed Elevations

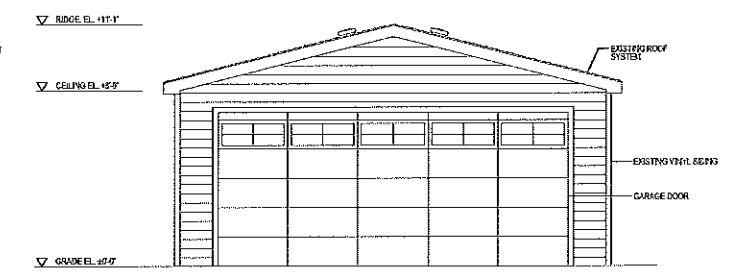




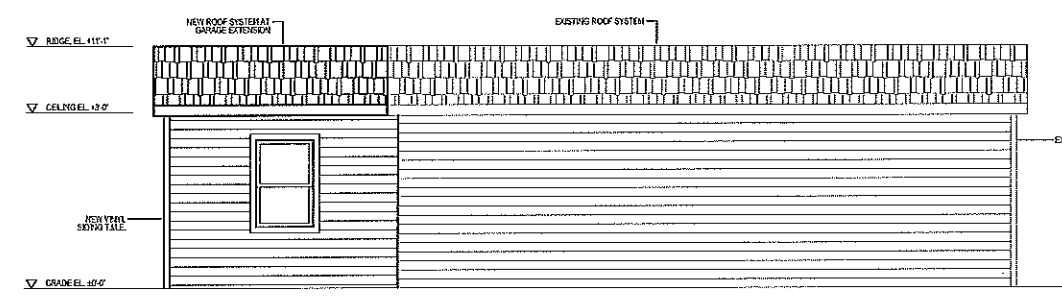
1 GARAGE NORTH ELEVATION
SCALE 1/4"=1'-0"



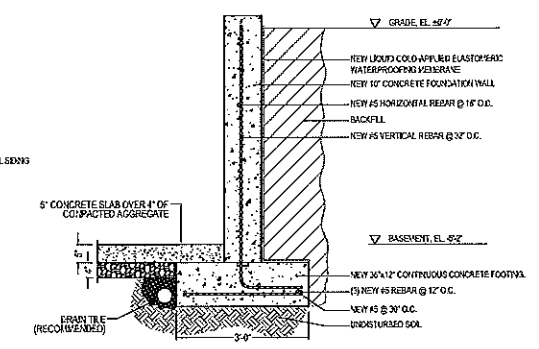
2 GARAGE WEST ELEVATION
SCALE 1/4"=1'-0"



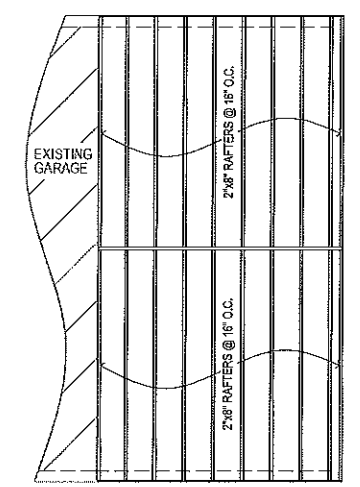
3 GARAGE EAST ELEVATION
SCALE 1/4"=1'-0"



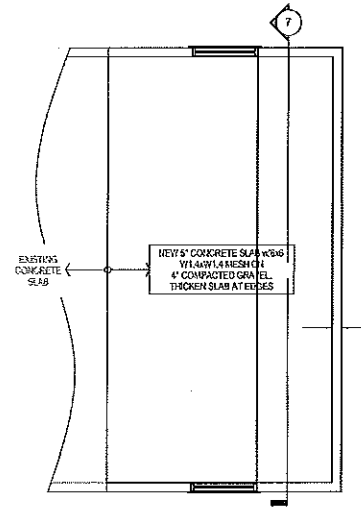
4 GARAGE SOUTH ELEVATION
SCALE 1/4"=1'-0"



A FOUNDATION SECTION
REAR BUILDING ADDITION

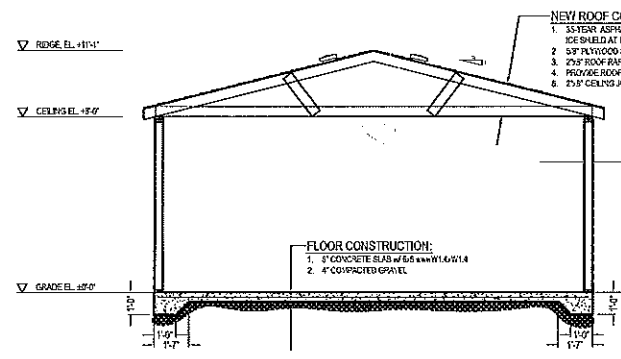


5 ROOF FRAMING PLAN
GARAGE EXTENSION SCALE 1/4"=1'-0"

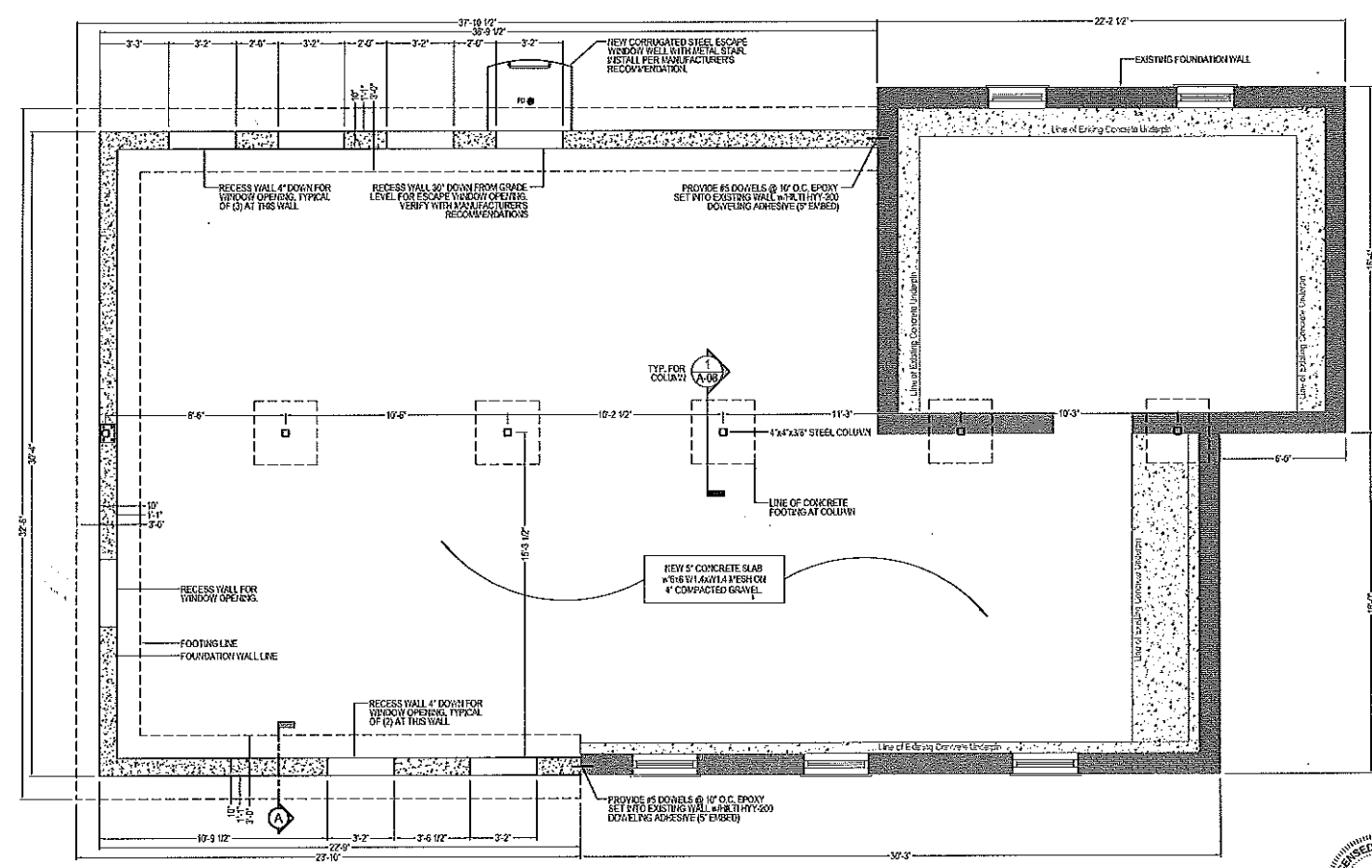


6 PROP. GARAGE PLAN
SCALE 1/4"=1'-0"

- NEW WALL CONSTRUCTION:**
1. PROVIDE (1) LAYER OF 5/8" F.C. TYPE "A" INTERIOR GRADE GYPSUM BOARD AT INTERIOR FACE.
 2. PROVIDE 2x4 STUDS @ 16" O.C.
 3. PROVIDE (1) LAYER OF 5/8" F.C. TYPE "X" EXTERIOR GRADE GYPSUM BOARD AT EXTERIOR FACE OF WALL.
 4. PROVIDE DIAGONAL METAL BRACING @ BOTH ENDS OF EXTERIOR WALLS.
 5. PROVIDE AIR INfiltration BARRIER (TYING 1/2" OVERLAP).
 6. PROVIDE NEW VINYL SIDING (Color/Texture per Owner Selection).



7 GARAGE SECTION
SCALE 1/4"=1'-0"



8 PROPOSED FOUNDATION PLAN
REAR BUILDING ADDITION

REVISIONS	NO.	DATE	DESCRIPTION
	1	07/16/2023	Revise
	2	07/26/2023	Permit

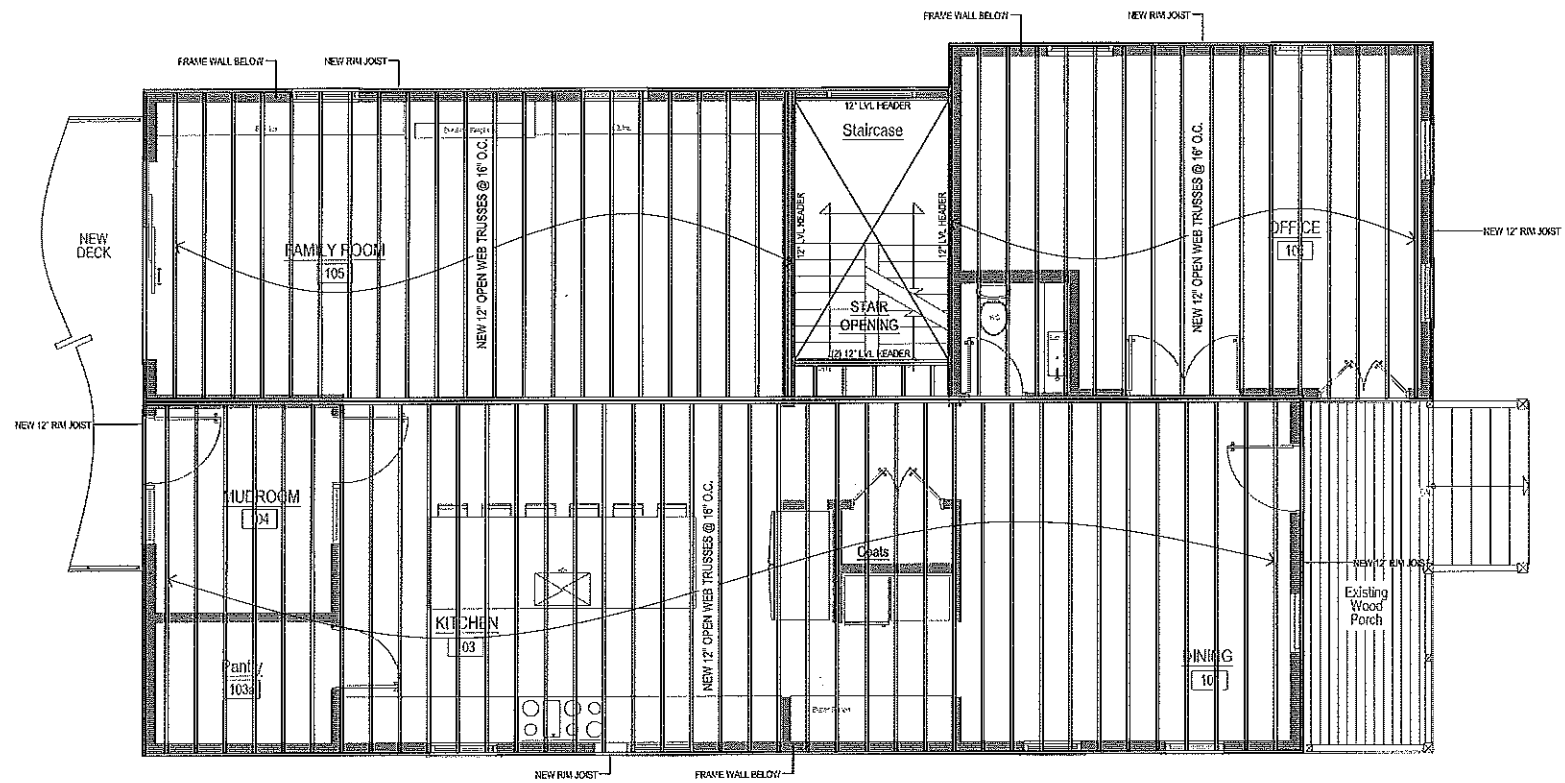
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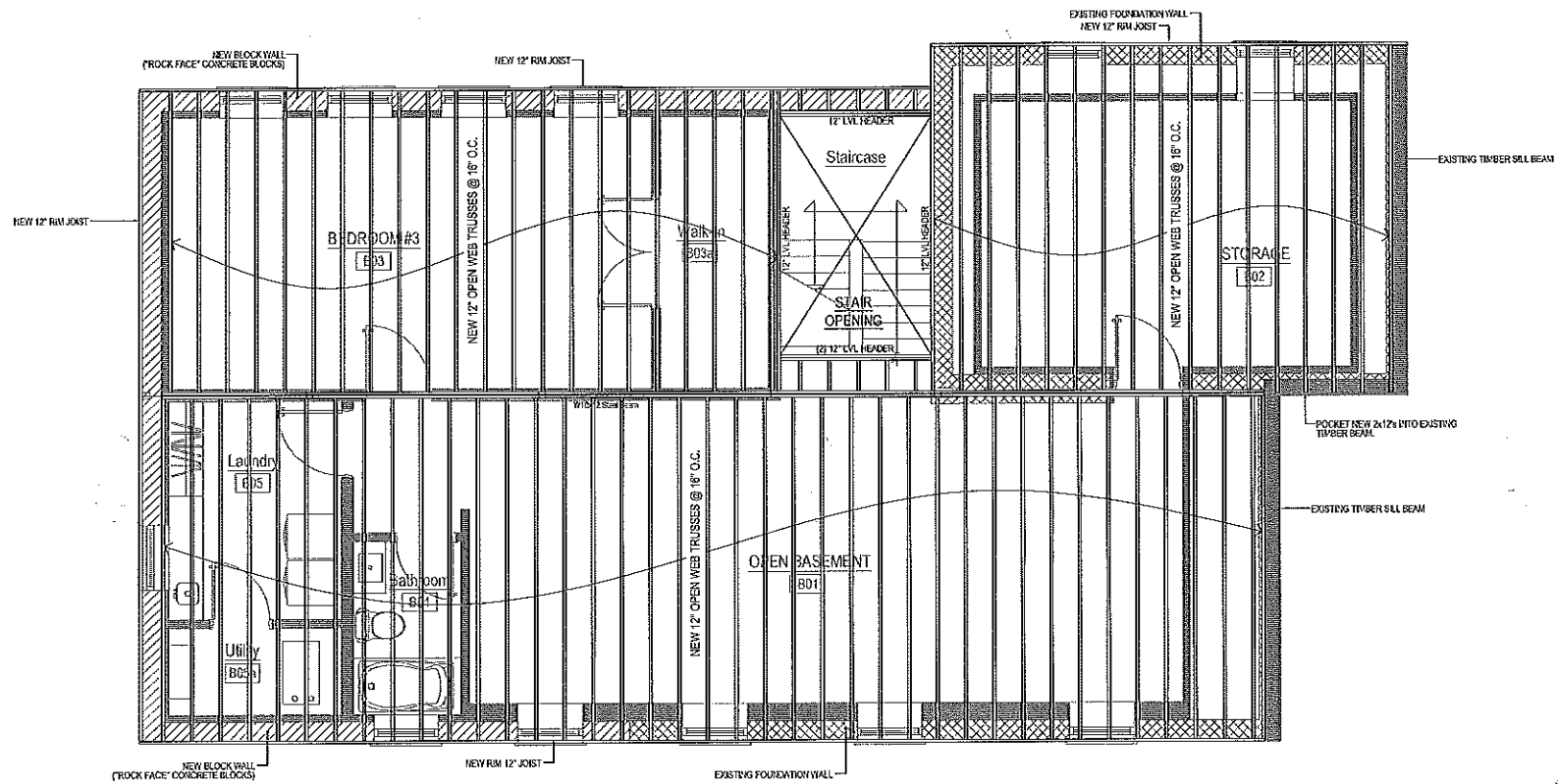
PROJECT ARCHITECT:
RT
DRAFTER/PERSON:
CS
APPROVED:
RT
PREPARED FOR:
OWNER
LOCATION:
223 Center Street
Naperville, IL 60540
JOB NUMBER:
223CS-07042023

SHEET No: **A-05**
SHEET Name:
Addition Foundation
Plan & Garage
Extension Plans &
Elevations





2 PROPOSED FRAMING PLAN
SECOND FLOOR DECK SCALE 1/4"=1'-0"



1 PROPOSED FRAMING PLAN
FIRST FLOOR DECK SCALE 1/4"=1'-0"

NO.	BY	DATE	DESCRIPTION
1	RT	07/06/2023	Review
2	RT	07/06/2023	Permit

Convert 2-Unit to Single Family Residence, Interior Rehab & New 2-Story Frame Addition including New Partitions, New Electrical, Mechanical & Plumbing Systems, New Root System & New Rear Deck & Balcony per Plans.
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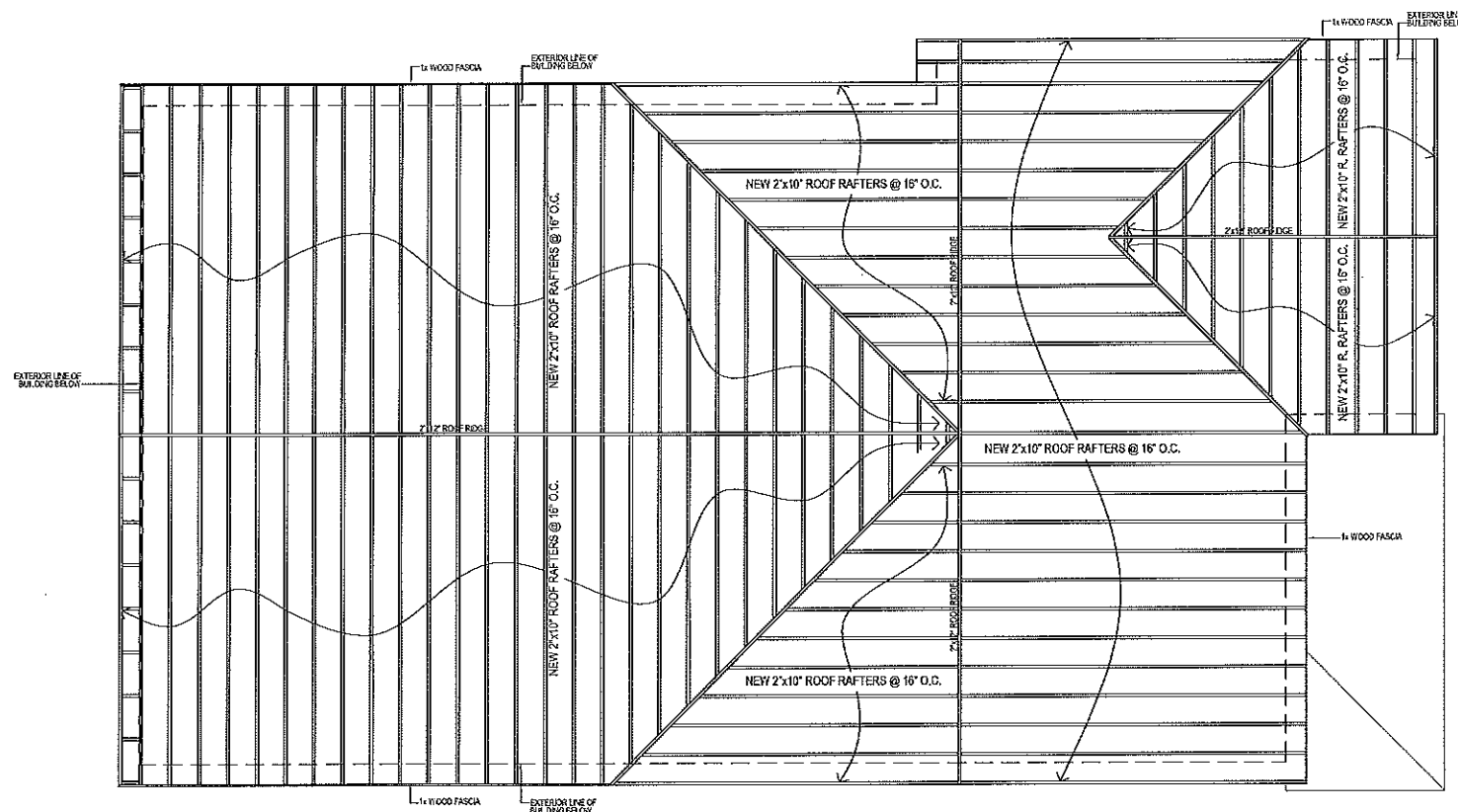
R.T. ARCHITECT INC.

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 7601 BROWN AVE. SUITE A
 FOREST PARK, IL 60130
 TEL: (312) 217-9653
 tepaycevic@aol.com

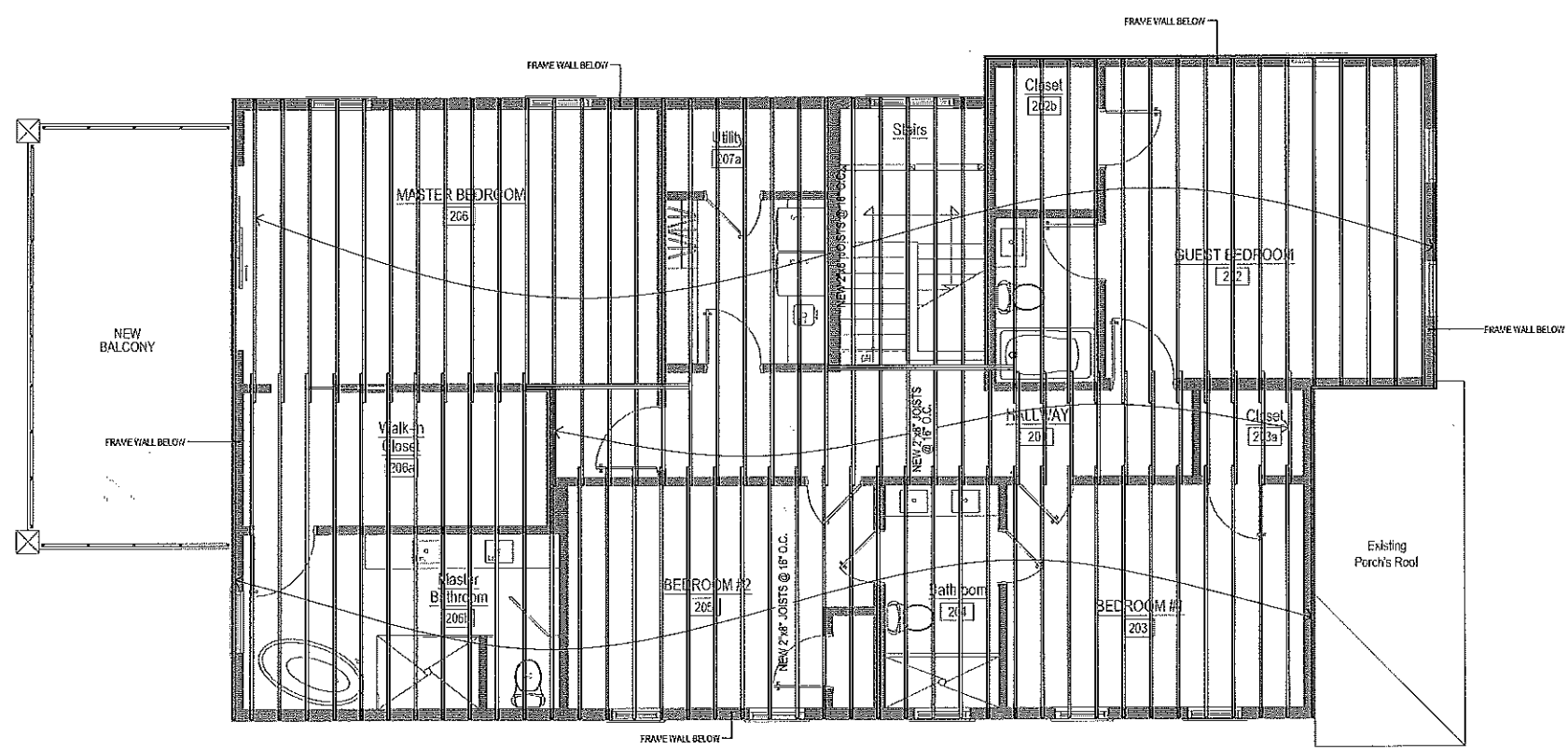
PROJECT ARCHITECT:
 RT
 DRAFTPERSON:
 CS
 APPROVED:
 RT
 PREPARED FOR:
 OWNER
 LOCATION:
 223 Center Street
 Naperville, IL 60540
 JOB NUMBER:
 223CS-07012023



SHEET No: **A-06**
 SHEET Name: **Proposed Framing Plans**



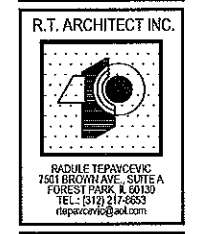
2 PROPOSED ROOF FRAMING PLAN
SCALE 1/4"=1'-0"



1 PROPOSED FRAMING PLAN
SECOND FLOOR CEILING SCALE 1/4"=1'-0"

NO.	DATE	DESCRIPTION
1	07/04/2023	Revise
2	07/04/2023	Permit

Convert 2-Unit to Single Family Residence, Interior Rehab & New 2-Story Frame Addition including New Partitions, New Electrical, Mechanical & Plumbing Systems, New Roof System & New Rear Deck & Balcony per Plans.
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JOB NUMBER:
223CS-07042023

SHEET No: **A-07**
SHEET Name:
Proposed Framing Plans



GENERAL FRAMING NOTES

1. PROVIDE DIAGONAL METAL BRACING @ BOTH ENDS OF EXTERIOR FRAME WALLS. USE SIMPSON STRONG-TIE T108-22 GA. WALL BRACKS OR EQUAL APPROVED.
2. ALL DIMENSIONS ON DRAWINGS TO BE CHECKED AGAINST ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS BY THE GENERAL CONTRACTOR. ANY DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT/ENGINEER OF RECORD IMMEDIATELY.
3. GENERAL CONTRACTOR SHALL INSPECT ALL EXISTING (TO REMAIN) STRUCTURAL MEMBERS PRIOR TO COMMENCEMENT OF ANY NEW WORK. GENERAL CONTRACTOR SHALL INFORM THE ARCHITECT/ENGINEER (A/E) OF RECORD OF ANY DAMAGED AND/OR MISSING PARTS OF STRUCTURAL SUPPORT MEMBERS IMMEDIATELY. NO WORK SHALL BE DONE UNLESS ARCHITECT/ENGINEER HAS GIVEN THE WRITTEN AUTHORIZATION TO CONTINUE AND THE CONSERVATIONS TO BE DONE ACCORDING TO EXISTING CONDITIONS.

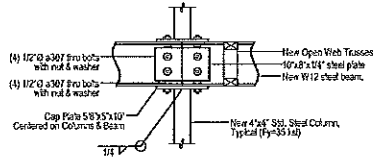
ATTIC VENTILATION CODE REQUIREMENT

REQUIRED ATTIC VENTILATION:
According to IRC, Section R0302.2:
 $V = \text{Vent Rating Area} = (1000/A)$
 $A = \text{Attic Area} = 1,738 \text{ Square Feet}$
 $V = (1000)/(1,738) = 5.60 \text{ Square Feet (535.2 Square Inches)}$

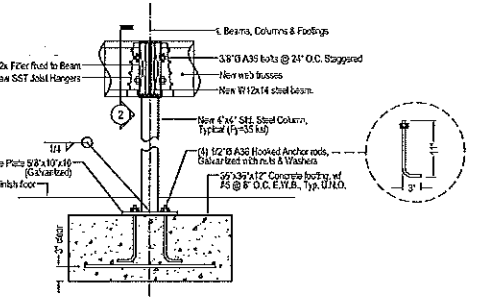
PROVIDED VENTILATION:
Using Vent Soffits Series by "GAF", which comes in 6' long sections with a net free area of 68 square inches each and Roof Vents Model RT-63 by "GAF" with a net free area of 60 square inches:
Soffit Vents = $(8)(68) = 544 \text{ square inches}$, and
Roof Vents = $(1)(60) = 60 \text{ square inches}$
Total Vents = $544 + 60 = 604 \text{ square inches} > 535.2$

NOTES:

1. A VAPOR BARRIER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM SHALL BE INSTALLED ON THE WARMER/WINTER SIDE OF THE CEILING (6-mil polyethylene plastic sheathing used).
2. VENTILATING OPENINGS SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE MESH, WITH 1/8" MINIMUM TO 1/4" MAXIMUM OPENINGS.
3. WHERE FAN OR CRANK VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT.



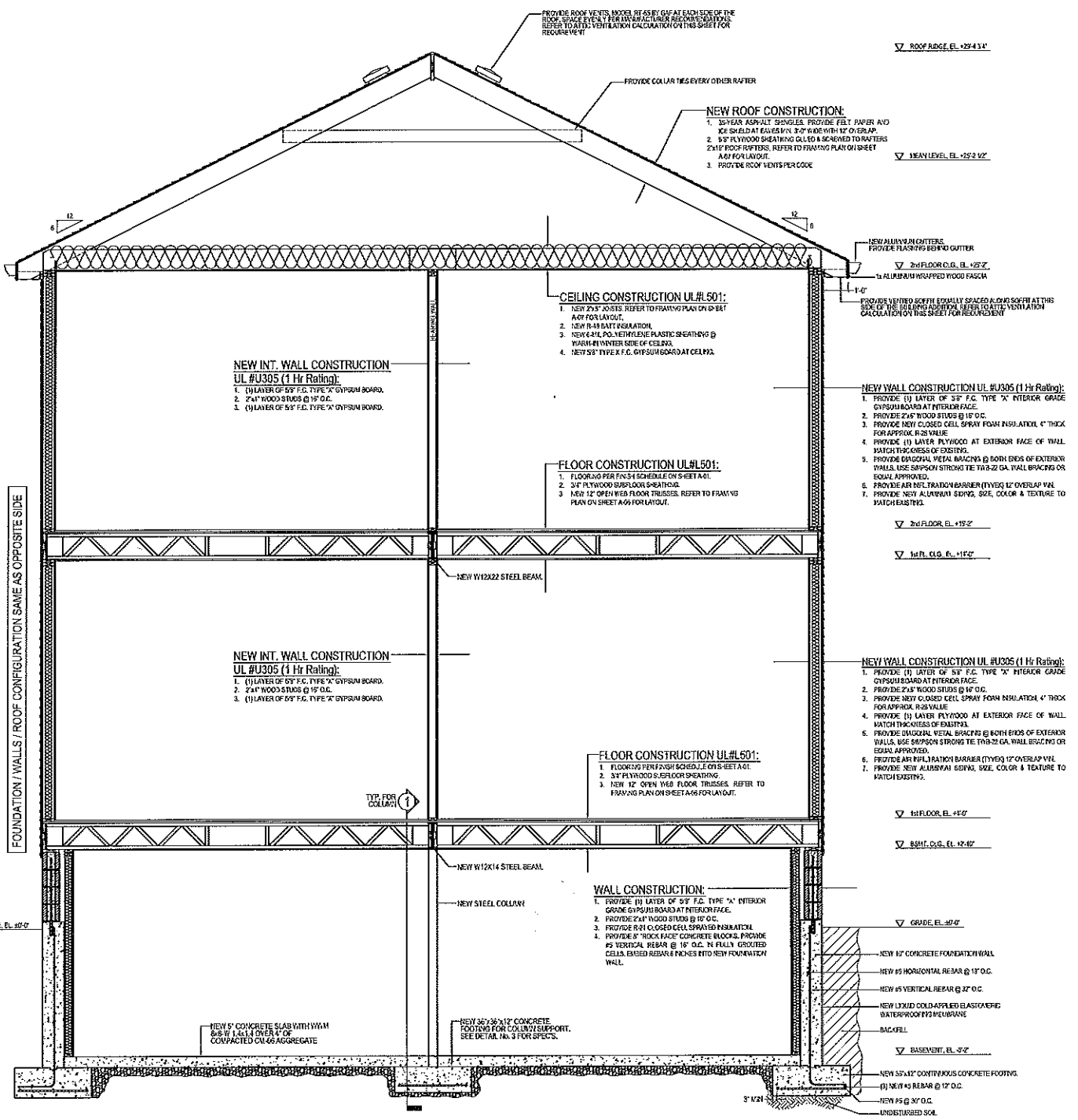
2 W12 BEAM DETAIL
SCALE 3/4"=1'-0"



1 COLUMN-FOOTING DETAIL
SCALE 3/4"=1'-0"

NOTES:

W12:10 - ASTM A992, $F_y = 50 \text{ ksi}$
4" O.D. PIPE: ASTM A53, $F_y = 35 \text{ ksi}$
PLATES: ASTM A36, $F_y = 36 \text{ ksi}$
ANCHOR BOLTS: ASTM A307, $F_y = 36 \text{ ksi}$
GRAVADOME SHEET PILES:
SHOP PAINT ALL OTHER STEEL
PAINT FIELD WITH W/60 VINYLCHROM PANT
CONCRETE: $f_c = 3000 \text{ psi}$
SOIL: $CU \text{ (low)} = 2,500 \text{ psf/ft}^2$ (Surveys)
CONCRETE FIELD.



A-A BUILDING OVERALL SECTION
SCALE 3/8"=1'-0"

NO.	BY	DATE	DESCRIPTION
	RT	07/24/2023	Review
	RT	07/24/2023	Final

Convert 2-Unit to Single Family Residence, Interior Rehab & New 2-Story Frame Addition including New Partitions, New Electrical, Mechanical & Plumbing Systems, New Roof System & New Rear Deck & Balcony per Plans.
223 Center Street, Naperville Illinois 60540

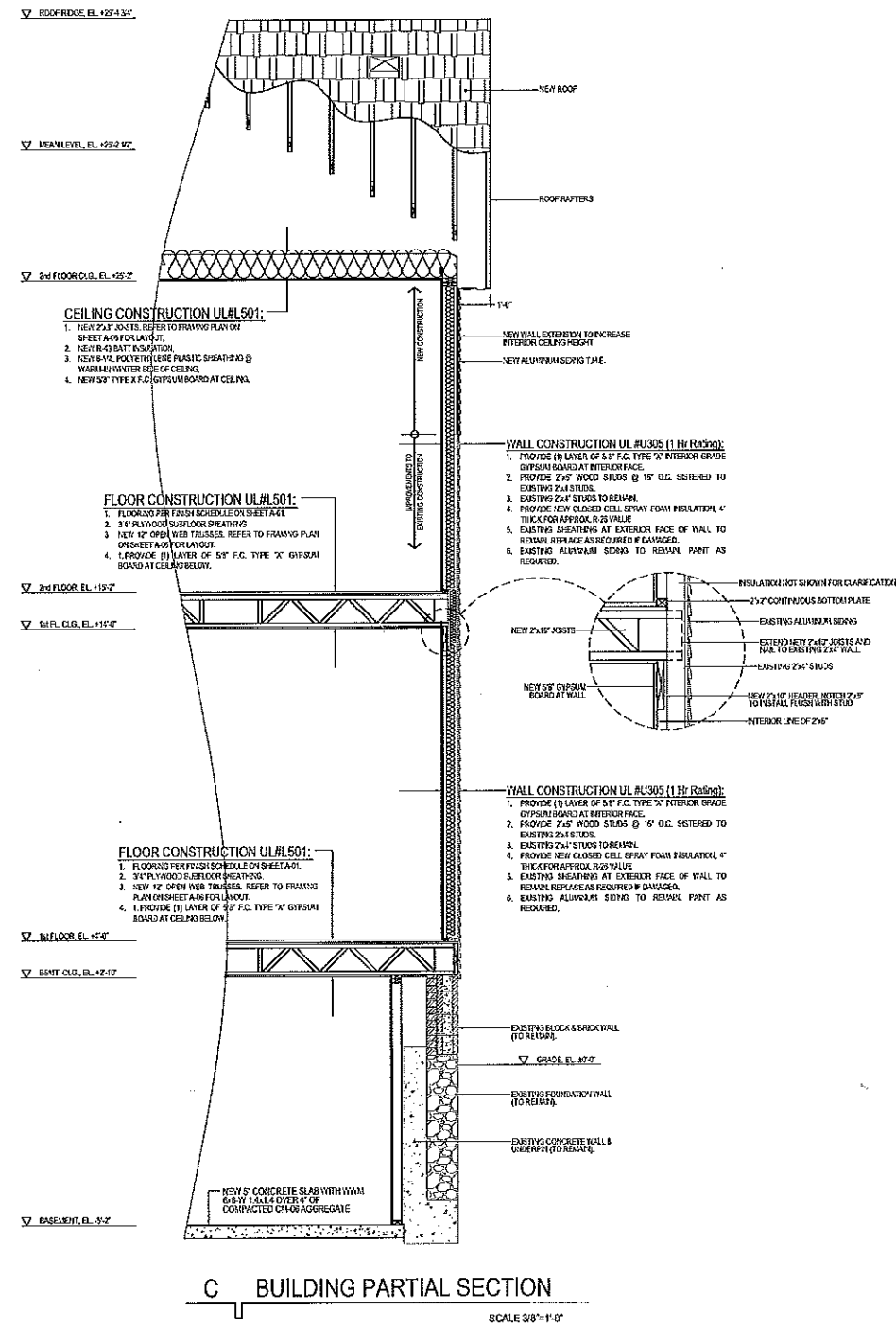
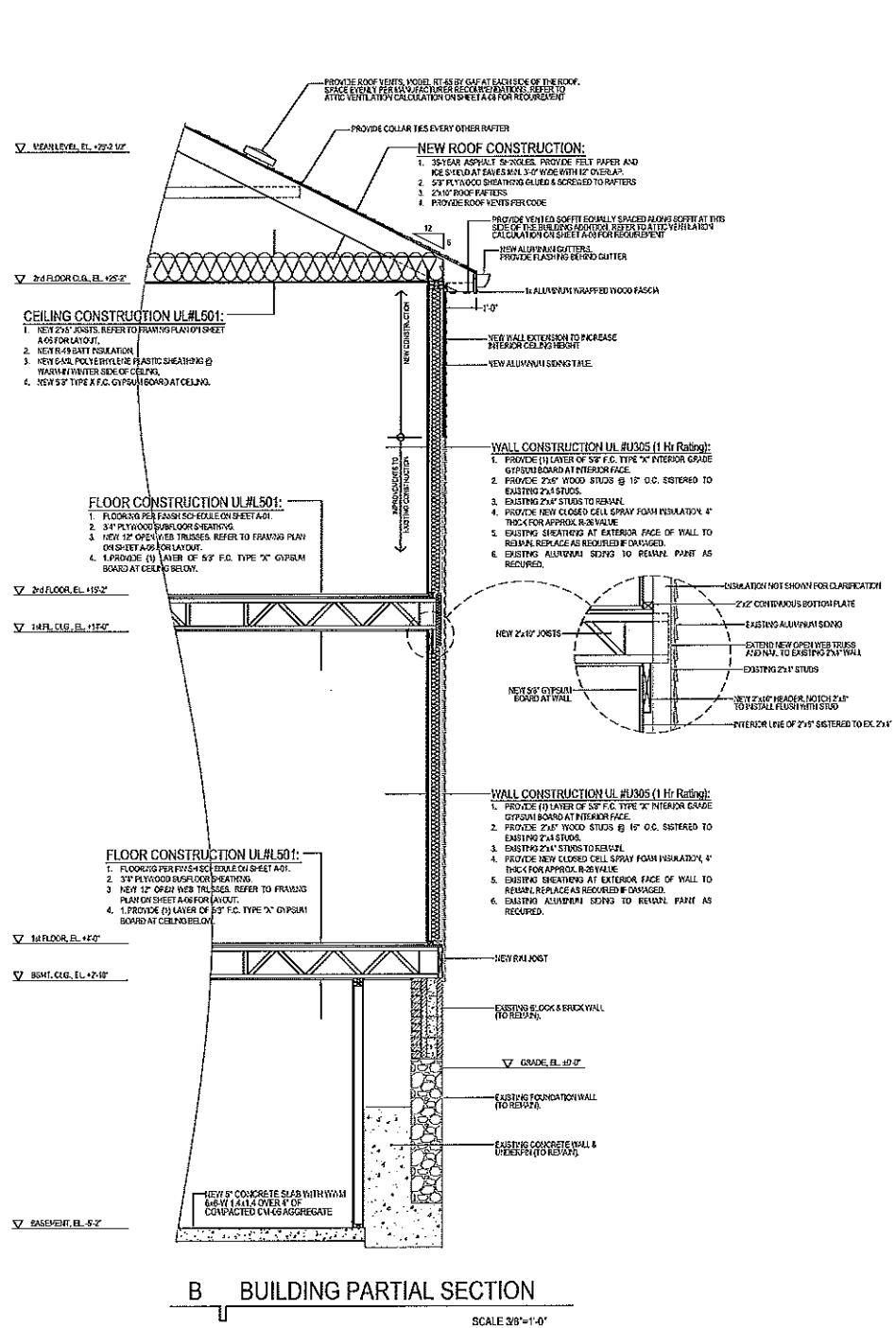
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rt@rtarchitect.com

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DRAFTPERSON:
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PREPARED FOR:
OWNER
LOCATION:
223 Center Street
Naperville, IL 60540
JOB NUMBER:
223CS-07042023

SHEET No: A-08
SHEET Title: Building Section



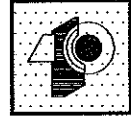


REVISIONS	NO.	BY	DATE	DESCRIPTION
	1	RT	07/04/2023	Review
	2	RT	07/04/2023	Print

Convert 2-Unit to Single Family Residence, Interior Rehab & New 2-Story Frame Additional & Plumbing Systems, New Electrical, Mechanical & Plumbing Systems, New Roof System & New Rear Deck & Balcony per Plans.

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JOB NUMBER:
223CS-07042023

SHEET No: **A-09**
SHEET Name:
Building Sections



NEW SPREAD FOOTING SCHEDULE										f _c = 3,500 psi
MARK	FOOTING					PEDESTAL				NOTES
	LONG WAY "B"	SHORT WAY "D"	MINIMUM "t"	REINFORCEMENT		DIAMETER "Ø"	LENGTH "L"	REINFORCEMENT		
				LONG WAY	SHORT WAY			HORIZ.	VERTICAL	
F-1	1'-6"	1'-6"	1'-0"	(3)-#5	(3)-#5	10"	36"	#3 @ 18" O.C.	(4)-#5	1, 2
F-2	2'-0"	2'-0"	1'-0"	(3)-#5	(3)-#5	14"	36"	#3 @ 18" O.C.	(4)-#5	1, 2
F-3	3'-0"	3'-0"	1'-0"	(3)-#5	(3)-#5	14"	36"	#3 @ 18" O.C.	(4)-#5	1, 2

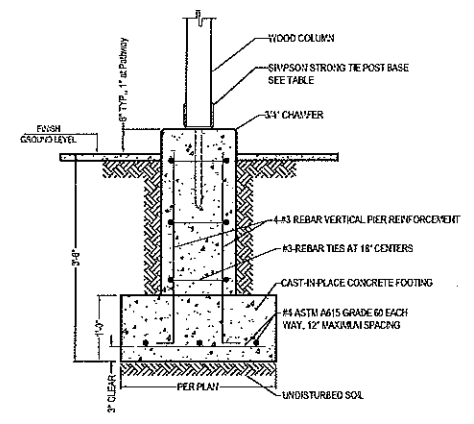
NOTES:
 1. FOOTING REINFORCEMENT TO BE SPACED EVERY 12" ON EACH SIDE. NUMBER OF BARS AS SPECIFIED.
 2. REFER TO MATERIAL NOTES ON SHEET A-2 FOR MATERIAL SPECIFICATIONS.

COLUMN SCHEDULE					
MARK	TYPE	SIZE	MATERIAL	BASE CONNECTOR	NOTES
C-1 to C-3	NEW	6"x8"	P.T. WOOD	CBS08-S0S2	1, 2
C-4 to C-10	NEW	6"x6"	P.T. WOOD	CBS06-S0S2	1, 2

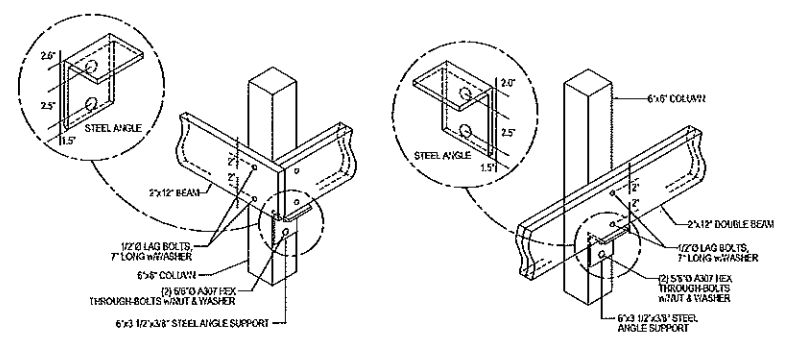
NOTES:
 1. SEE TABLE ON SHEET G-01 FOR CONNECTOR DESCRIPTION.
 2. REFER TO MATERIAL NOTES ON SHEET G-01 FOR MATERIAL SPECIFICATIONS.

ARCHITECTURAL NOTES

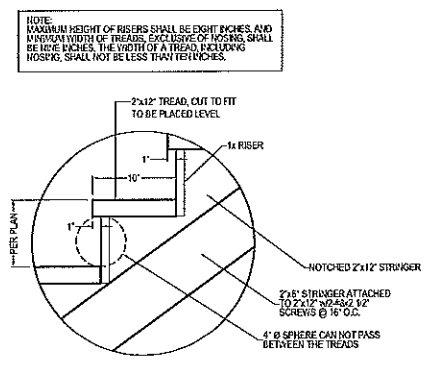
- THE ABOVE PLANS SHOW ONLY A PARTIAL PORTION OF THE FRAME BUILDING. REFER TO PROPOSED PLAN ON SHEETS A-01 & A-02 FOR LOCATION OF DECK & BALCONY IN GENERAL VIEW.
- THRUSTS ON HANDRAILS:
 HANDRAILS SHALL BE DESIGNED TO RESIST A SIMULTANEOUS VERTICAL & HORIZONTAL THRUST OF 50 LBS. APPLIED AT THE TOP OF THE RAILING OR A CONCENTRATED LOAD OF 200 LBS. IN ANY DIRECTION.



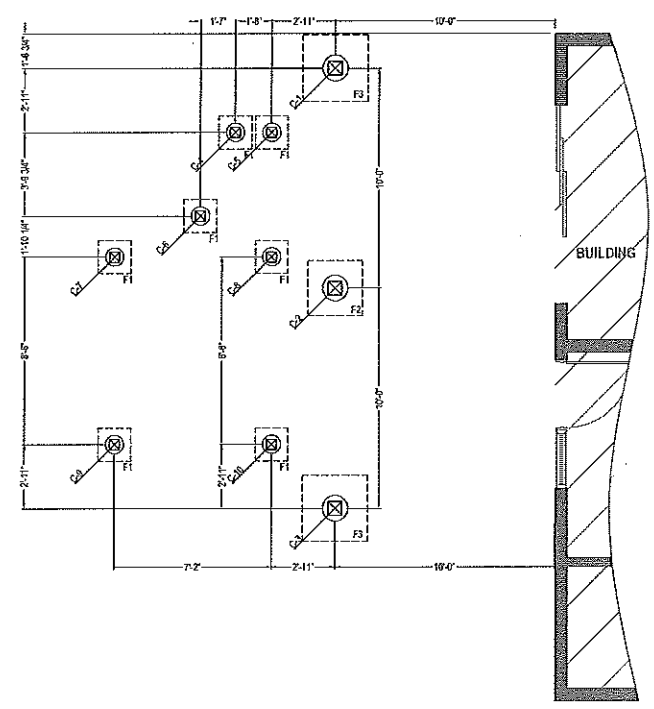
D-1 POST SPREAD FOOTING
 FOR COLUMNS
 NOT TO SCALE



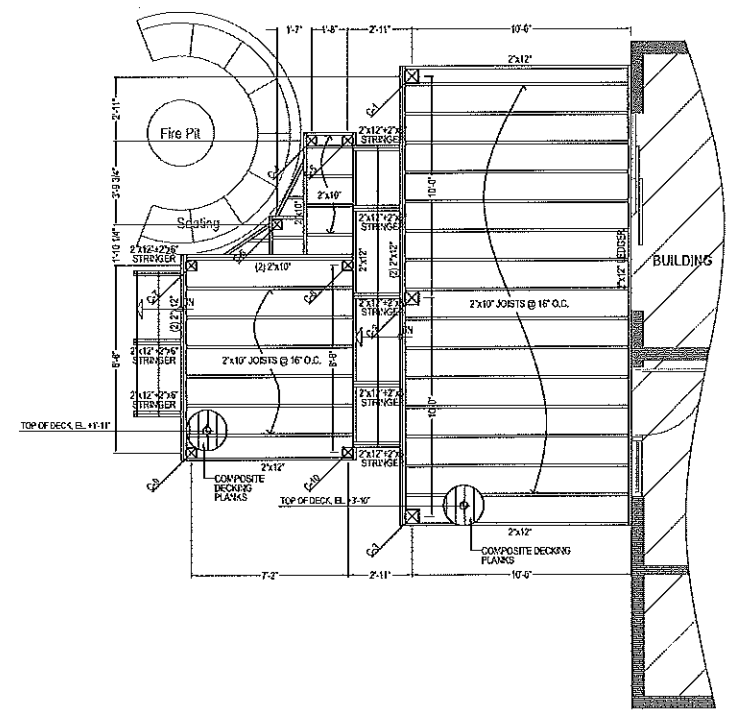
D-2 COLUMN DETAILS
 NOT TO SCALE
 NOTE: ALL STRUCTURAL STEEL TO BE COATED WITH A RUST PROHIBITED PRIMER (3 MIL DRY THICKNESS MIN)



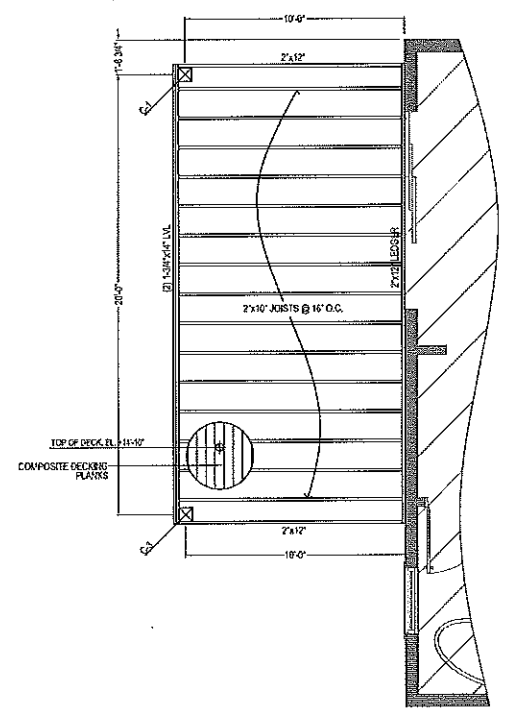
D-3 TREAD & RISER DETAIL
 NOT TO SCALE



1 PROPOSED FOUNDATION PLAN
 REAR DECK
 SCALE 1/4"=1'-0"



2 PROPOSED FRAMING PLAN
 REAR DECK - FIRST FLOOR
 SCALE 1/4"=1'-0"



3 PROPOSED FRAMING PLAN
 REAR BALCONY - SECOND FLOOR
 SCALE 1/4"=1'-0"

REVISIONS		DATE	DESCRIPTION
NO.	BY	DATE	DESCRIPTION

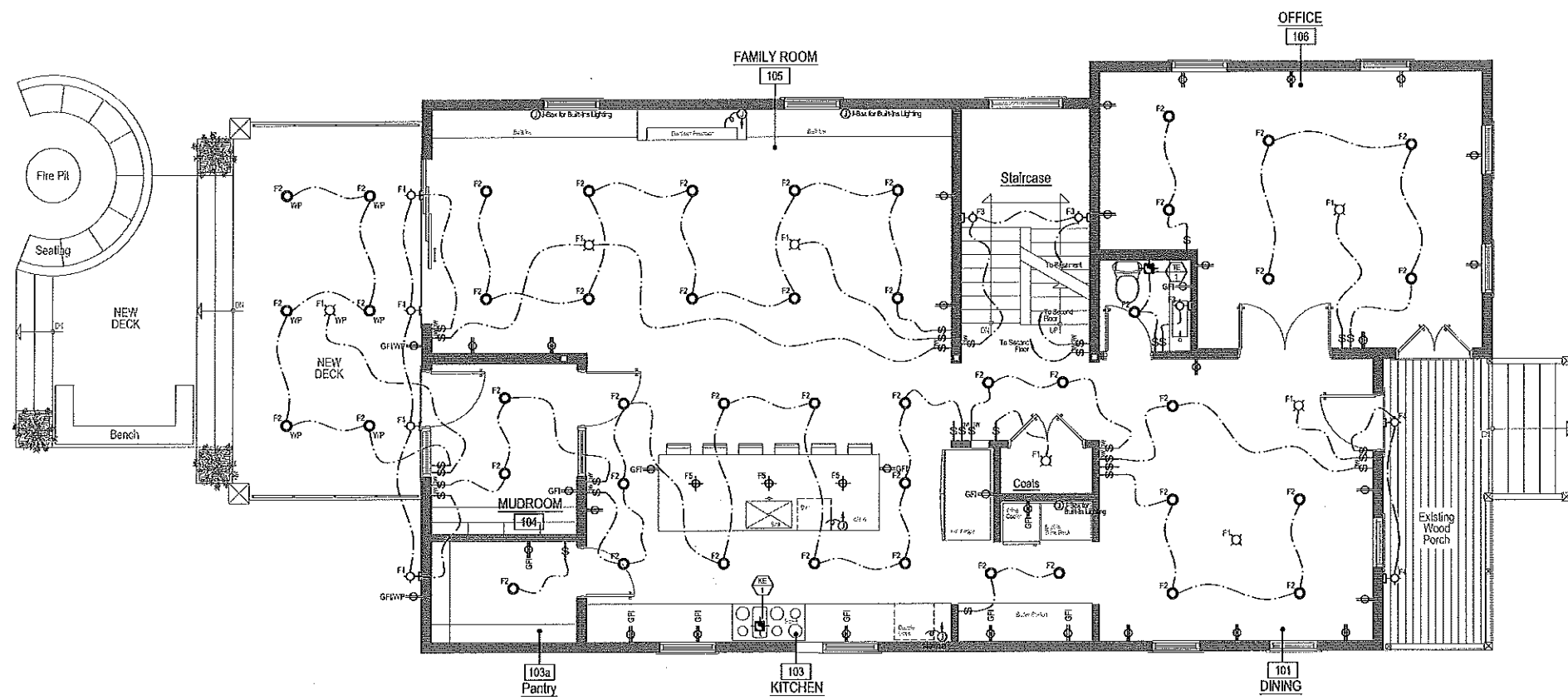
Convert 2-Unit to Single Family Residence, Interior Rehab & New 2-Story Frame Addition including New Partitions, New Electrical, Mechanical & Plumbing Systems, New Root System & New Rear Deck & Balcony per Plans.
 223 Center Street, Naperville Illinois 60540



PROJECT ARCHITECT:
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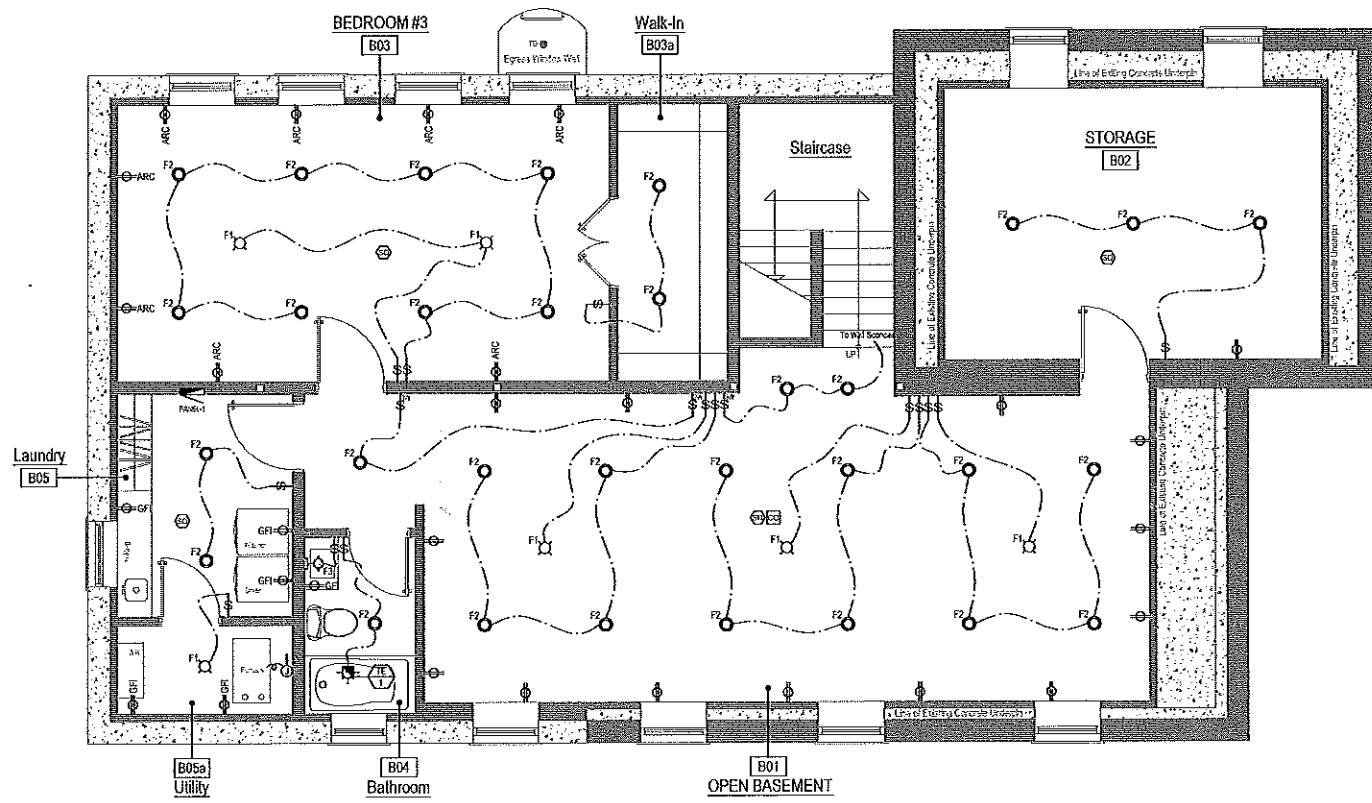


SHEET No: **A-10**
 SHEET Name:
Porch & Balcony Plans & Details



2 POWER & LIGHTING PLAN
FIRST FLOOR

SCALE 1/4"=1'-0"



1 POWER & LIGHTING PLAN
BASEMENT

SCALE 1/4"=1'-0"

NO.	BY	DATE	DESCRIPTION
1	RT	07/04/2023	Revise
2	RT	07/04/2023	Permit

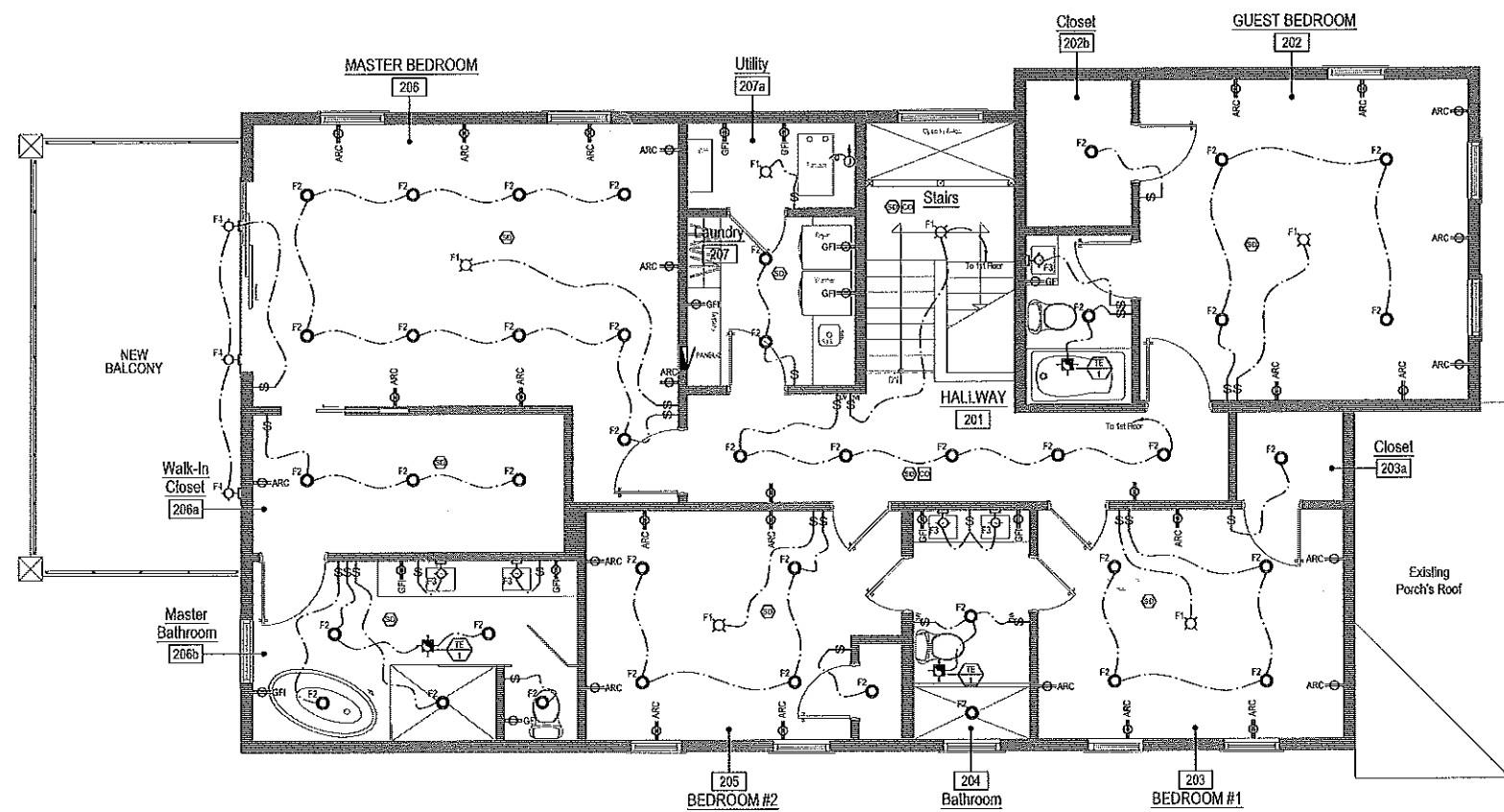
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Naperville, IL 60540
JOB NUMBER:
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SHEET No: E-01
SHEET Name: Power & Lighting Plans



1 POWER & LIGHTING PLAN
 SECOND FLOOR
 SCALE 1/4"=1'-0"

REVISIONS			
NO.	BY	DATE	DESCRIPTION

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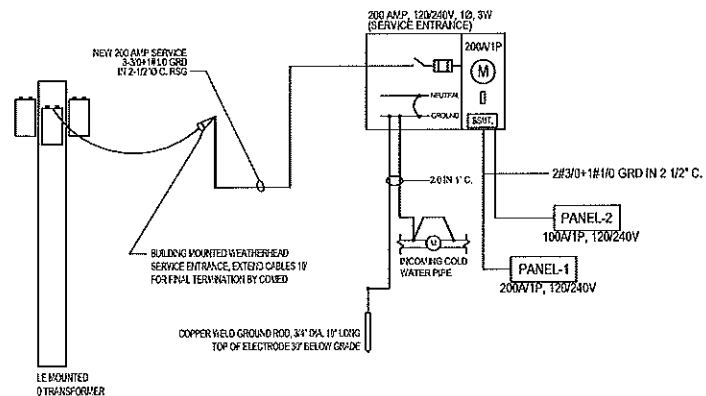
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 OWNER
 LOCATION:
 223 Center Street
 Naperville, IL 60540
 JOB NUMBER:
 223CS-0704/2/23

SHEET No: **E-02**
 SHEET Name:
Power & Lighting Plans



ELECTRICAL NOTES

- ALL ELECTRICAL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER BY A LICENSED ELECTRICIAN IN THE CITY OF NAPERVILLE. ALL ELECTRICAL WORK MUST COMPLY WITH THE CITY OF NAPERVILLE ADOPTED ELECTRICAL CODE.
- ALL MATERIALS SHALL BE U.L. LISTED, AND APPROVED FOR THE PURPOSE INTENDED.
- OBTAIN AND PAY ALL FEES, TAXES, AND PERMITS REQUIRED FOR ELECTRICAL WORK. PREPARE AND SUBMIT TO THE CITY OF NAPERVILLE ANY AND ALL DATA, DRAWINGS, AND DETAILS WHICH MAY BE REQUIRED FOR APPROVAL PRIOR TO INSTALLATION OF SAME.
- FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND RELATED APPURTENANCES REQUIRED FOR ALL WORK INCLUDED AS PART OF THE ELECTRICAL INSTALLATION FOR THIS PROJECT.
- COORDINATE ELECTRICAL WORK WITH ALL OTHER TRADES TO AVOID CONFLICTS AND DELAYS.
- FURNISH AND INSTALL ALL AUXILIARY SUPPORTS AND MATERIAL NECESSARY TO INSTALL EQUIPMENT, MATERIAL, LIGHTING FIXTURES, DEVICES, CONDUIT AND WIRING.
- ALL SYSTEMS WHICH ARE INCLUDED AS PART OF THE ELECTRICAL INSTALLATION FOR THIS PROJECT SHALL BE COMPLETE IN ALL DETAILS, INCLUDING ALL COMPONENTS REQUIRED FOR PROPER AND SATISFACTORY OPERATION.
- ALL WIRE SHALL BE INSTALLED IN CONDUIT. MINIMUM SIZE OF CONDUIT SHALL BE 1/2" I.D. LARGER SIZES SHALL BE USED WHERE REQUIRED BY ADOPTED ELECTRICAL CODE.
- ELECTRICAL METALLIC TUBING (EMT) MAY BE USED WITHIN CODE LIMITATIONS ON INTERIORS ONLY.
- CONDUITS SHALL BE CONCEALED IN ALL "FINISHED" AREAS. IN "UNFINISHED" AREAS CONDUITS MAY BE RUN EXPOSED, PARALLEL WITH OR PERPENDICULAR TO BUILDING LINES.
- FURNISH AND INSTALL ALL OUTLET BOXES RAISED COVERS, COVER PLATES, AND SUPPORTS AS REQUIRED.
- FURNISH AND INSTALL BREAKERS FOR ALL EQUIPMENT, INCLUDING EQUIPMENT FURNISHED BY OWNER AND OTHERS.
- ALL ELECTRICAL OUTLETS SHALL BE:
 - RECESSED LIGHTS WITH 6" CLEARANCE BETWEEN FIXTURE AND NEAREST POINT OF STORAGE SPACE.
 - FLUORESCENT LIGHTS WITH 6" CLEARANCE BETWEEN FIXTURE AND NEAREST POINT OF STORAGE SPACE.
 - INCANDESCENT LIGHTS WITH 12" CLEARANCE BETWEEN FIXTURE AND NEAREST POINT OF STORAGE SPACE.



1 ELECTRICAL SINGLE LINE DIAGRAM

CALCULATION FOR ELECTRICAL SERVICE

LIGHTING*
 Basement 1,272 Sq.Ft. x 3 (W per Sq.Ft.)= 3,816 W
 1st Floor 1,543 Sq.Ft. x 3 (W per Sq.Ft.)= 4,629 W
 2nd Floor 1,510 Sq.Ft. x 3 (W per Sq.Ft.)= 4,530 W

POWER*
 Basement 1,272 Sq.Ft. x 4 (W per Sq.Ft.)= 5,088 W
 1st Floor 1,543 Sq.Ft. x 4 (W per Sq.Ft.)= 6,172 W
 2nd Floor 1,510 Sq.Ft. x 4 (W per Sq.Ft.)= 6,040 W

MOTOR LOAD @ 100%..... 18,000 W

25% MOTOR LOAD=..... 4,500 W

TOTAL LOAD= 52,775 W

(52,775 W/240V)0.80 = 176 AMPS
SELECTED 200 AMPS

*FROM MECHANICAL AND ELECTRICAL SYSTEMS HANDBOOKS BY RICHARD R. LEWIS AND ALD. TABLE 13-3A, 419

ELECTRICAL SYMBOL LIST

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	NEW SINGLE POLE LIGHT SWITCH 4'-0" ABOVE FINISH FLOOR (TYP.)	F2	NEW RECESSED CAN LIGHT
	NEW CEILING MOUNTED HARDWIRED SMOKE DETECTOR W/ BATTERY BACK-UP	F3	NEW WALL MOUNTED LIGHT FIXTURE
	NEW CEILING MOUNTED CARBON MONOXIDE DETECTOR W/ BATTERY BACK-UP	F4	NEW WALL MOUNTED WEATHERPROOF LIGHT FIXTURE "MS" TAG FOR MOTION SENSOR ACTIVATED FIXTURES.
	NEW EXHAUST FAN - SINGLE PHASE	F5	NEW CEILING MOUNTED PENDANT LIGHT FIXTURE
	NEW 120V, 1Ø, WALL-MOUNTED DUPLEX GROUND OUTLET 1'Ø ABOVE FLOOR (TYP.)		NEW ELECTRICAL PANEL
	NEW 120V, 1Ø, WALL-MOUNTED DUPLEX GROUND FAULTED INTERRUPTOR OUTLET		NEW ELECTRICAL METER
	NEW 120V, 1Ø, WALL-MOUNTED DUPLEX GFI-FAULTED INTERRUPTOR OUTLET		EMERGENCY LIGHT W/ BATTERY BACK-UP
	NEW CEILING MOUNTED LIGHT FIXTURE "MC" TAG FOR PHOTOVOLTAIC SENSOR ACTIVATED FIXTURES.		EXIT SIGN W/ BATTERY BACK-UP

PANEL BOARD SCHEDULE, PANEL-1

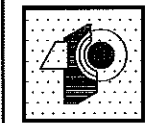
PANEL MTS.	WALL MOUNTED	VOLTAGE	1Ø/2Ø/3Ø V	PHASE	HEIGHT	AS REQ'D.
MAIN FUSE	200 AMP BREAKER	PHASE	1Ø (Ø/Ø)	Ø/Ø/Ø	Ø/Ø/Ø	
WIRING	Ø/Ø/Ø	FEEDER SIZE	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	
LOADS	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	
NO. OF CTRS.	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	
GR. BAR	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	
ISO. GR.	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	

PANEL BOARD SCHEDULE, PANEL-2

PANEL MTS.	WALL MOUNTED	VOLTAGE	1Ø/2Ø/3Ø V	PHASE	HEIGHT	AS REQ'D.
MAIN FUSE	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	
WIRING	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	
LOADS	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	
NO. OF CTRS.	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	
GR. BAR	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	
ISO. GR.	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	Ø/Ø/Ø	

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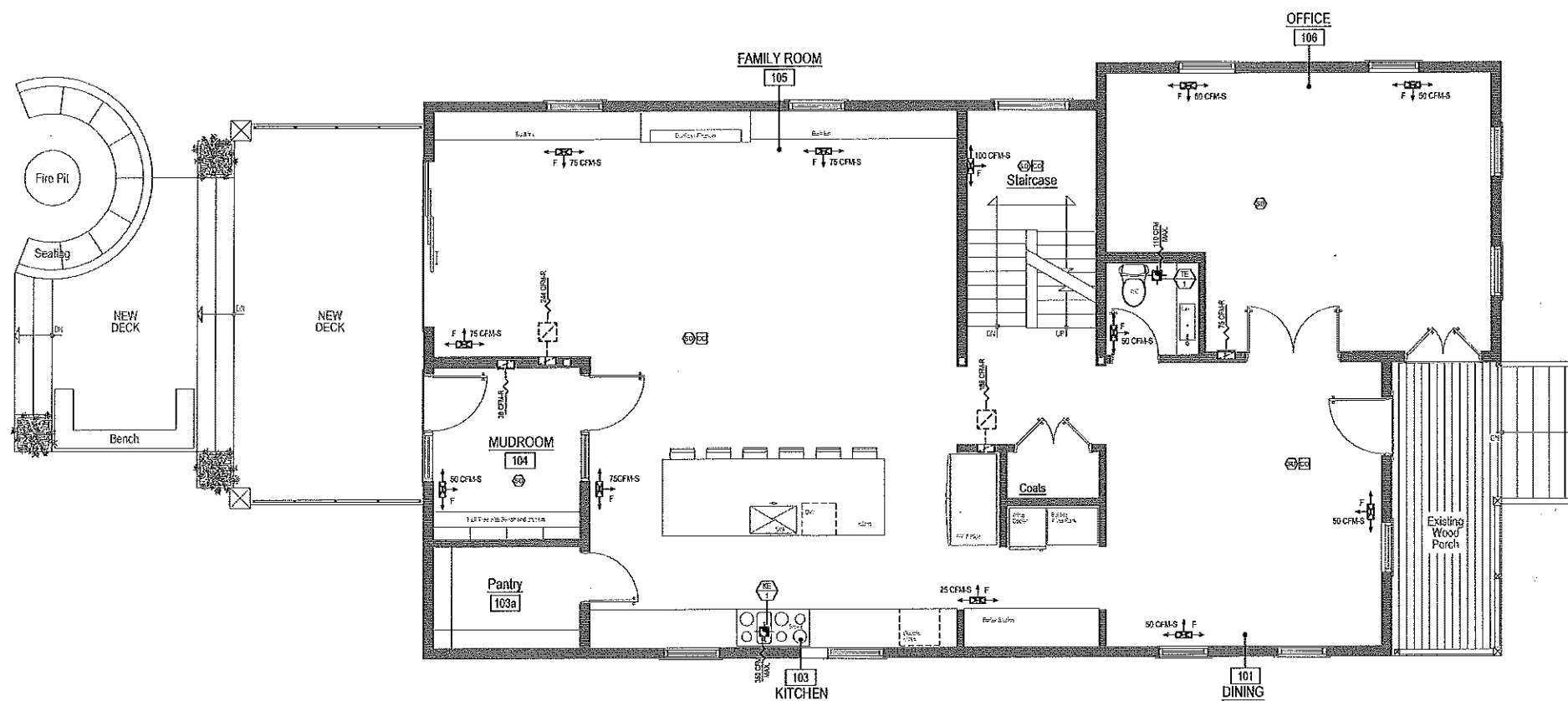


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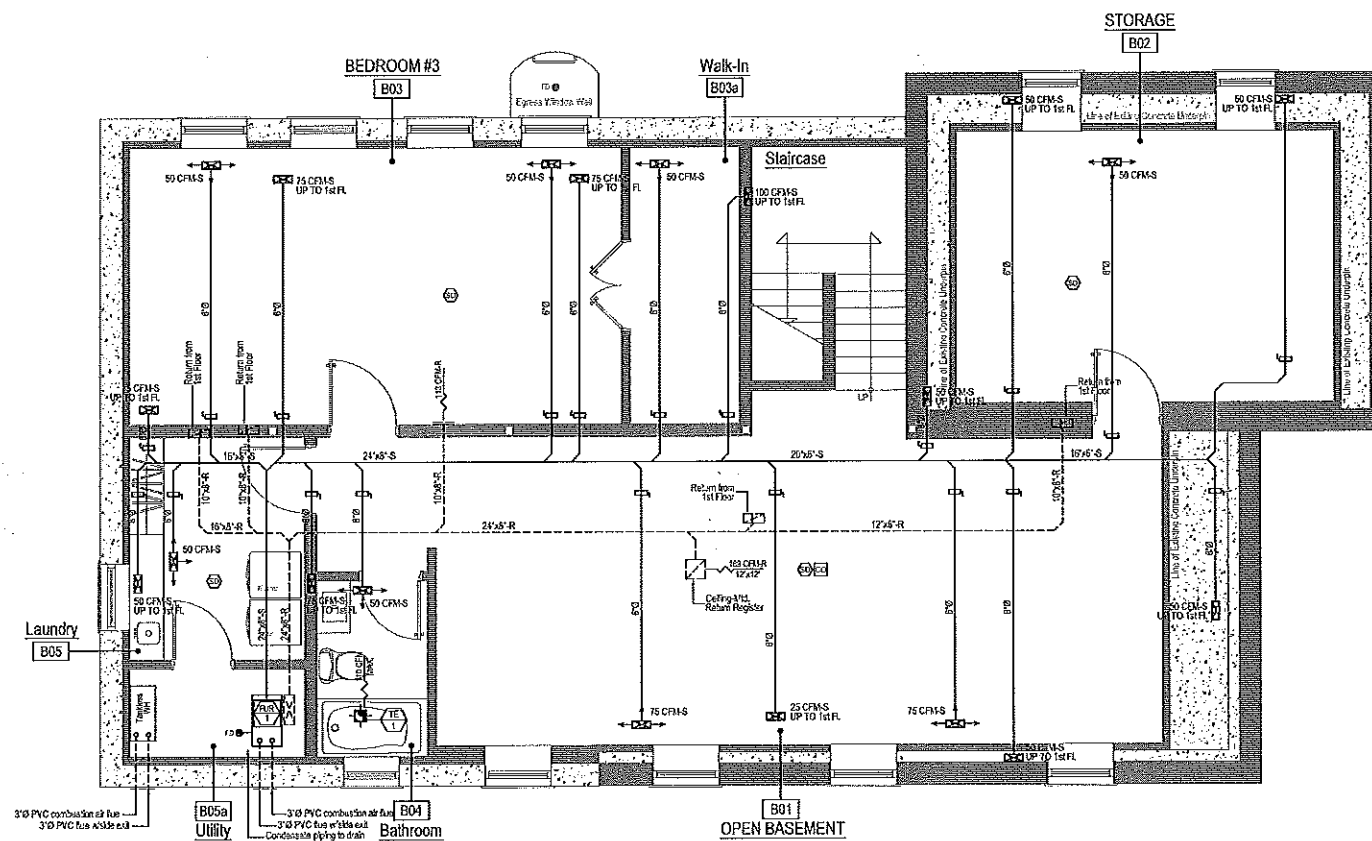
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 223CS-07042023



SHEET No: **E-03**
 SHEET Name:
Riser Diagram, Load Calc's & Schedules & Panelboards



2 MECHANICAL PLAN
FIRST FLOOR
SCALE 1/4"=1'-0"



1 MECHANICAL PLAN
BASEMENT
SCALE 1/4"=1'-0"

NO.	BY	DATE	DESCRIPTION
1	RT	07/04/03	Review
2	RT	07/04/03	Permit

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& New 2-Story Frame Addition including New Partitions,
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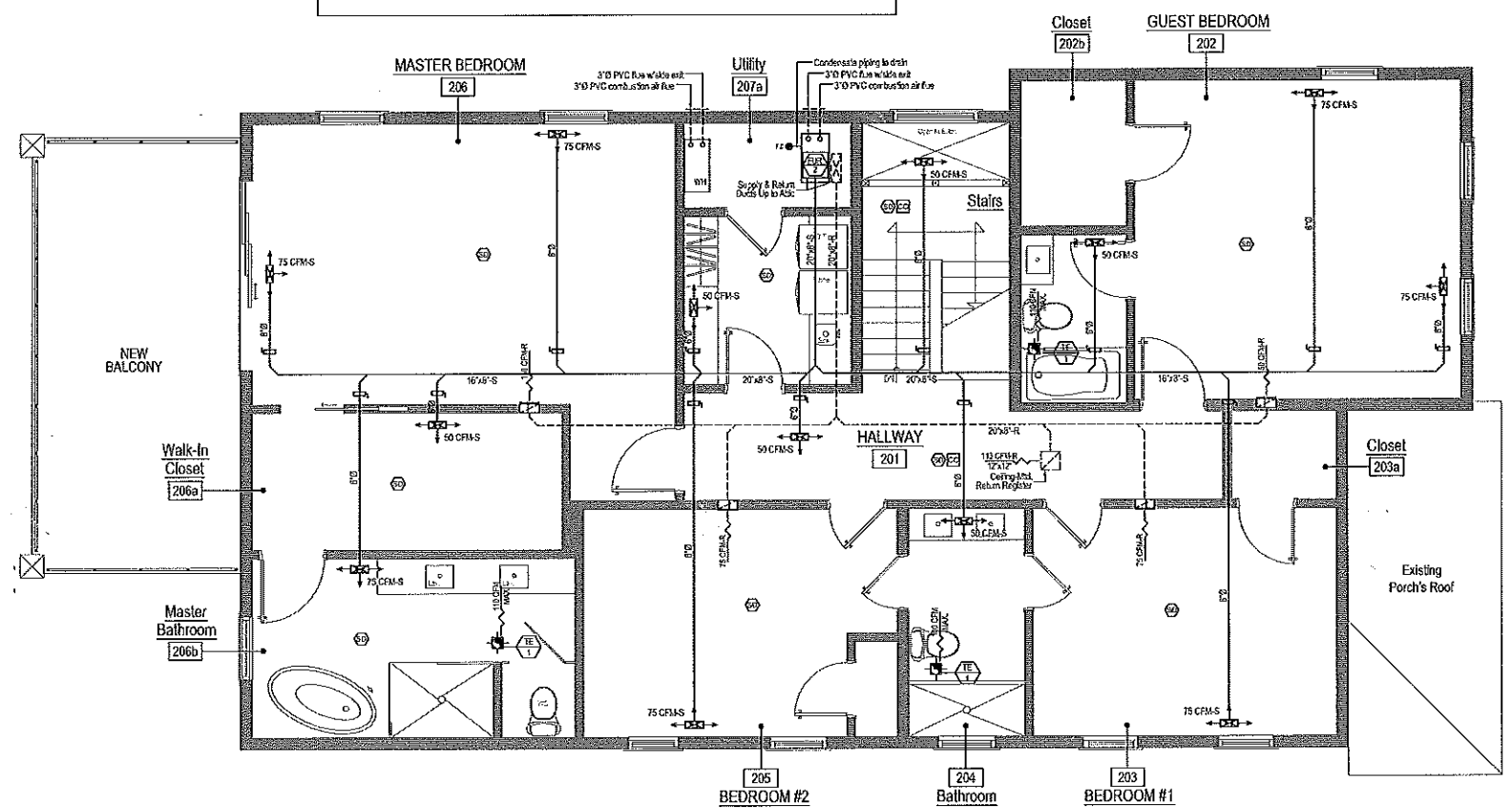
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SHEET No: **M-01**
 SHEET Name: **Mechanical Plans**



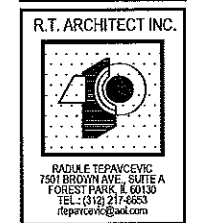
FURNACE FUR-2 RELATED SUPPLY AND RETURN DUCTWORK TO BE LOCATED ABOVE SECOND FLOOR CEILING IN ATTIC SPACE. ALL DUCTWORK IN UNHEATED SPACES MUST BE PROTECTED AGAINST THE ELEMENTS.



1 MECHANICAL PLAN
 U SECOND FLOOR
 SCALE 1/4"=1'-0"

NO.	BY	DATE	DESCRIPTION
	RT	07/04/2023	Review
	RT	07/04/2023	Permit

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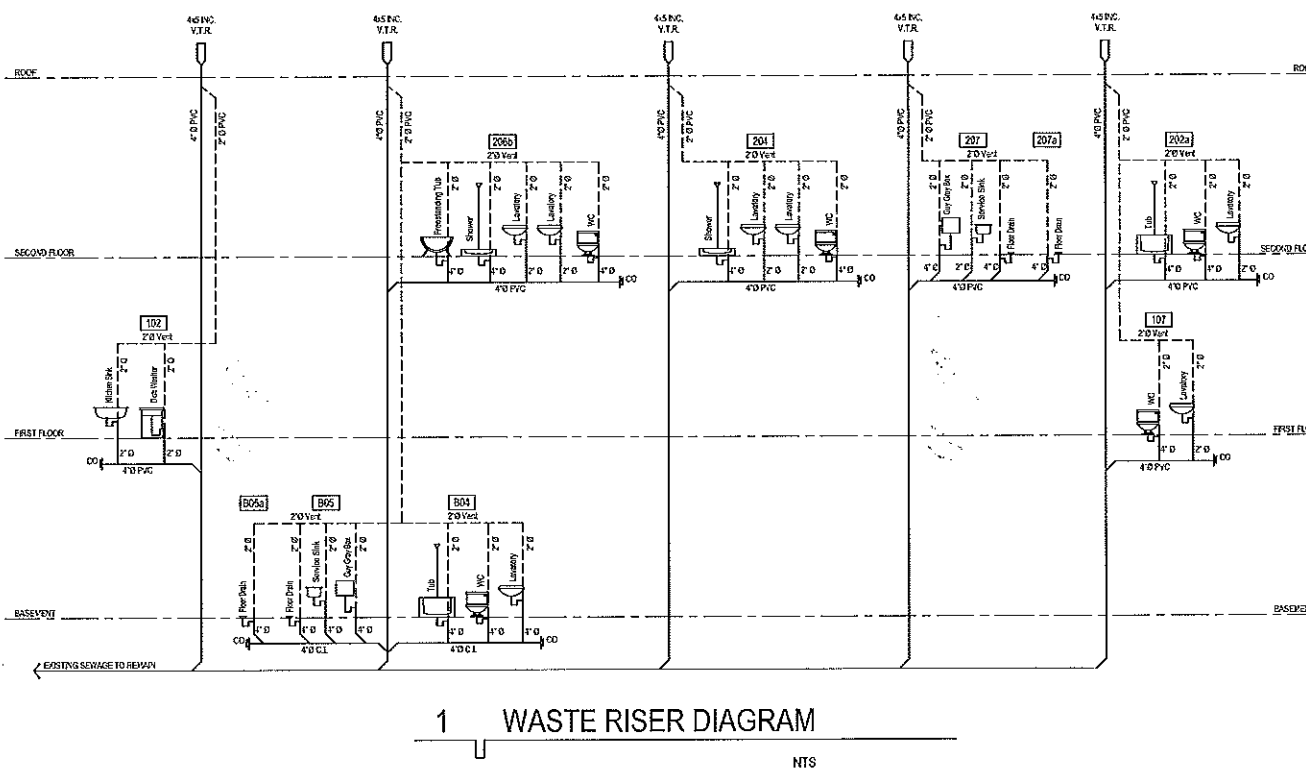
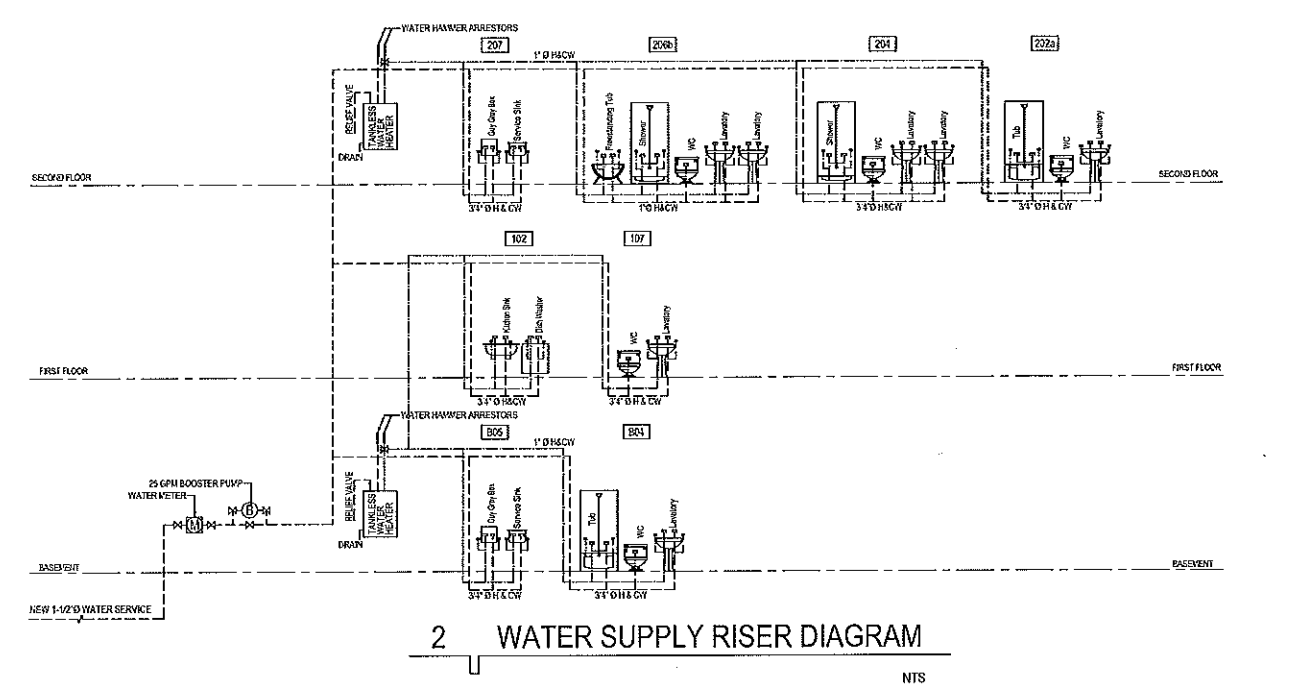
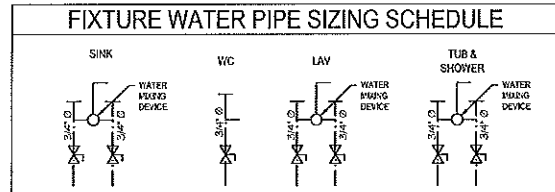
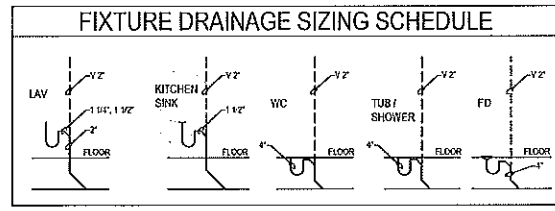
PROJECT ARCHITECT:
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 223 Center Street
 Naperville, IL 60540
 JOB NUMBER:
 223CS-07042023

SHEET No.: M-02
 SHEET Name: Mechanical Plans



PLUMBING FIXTURE SCHEDULE		
SYMBOL	DESCRIPTION	QUANTITY
	NEW TOILET / W.C. PER OWNER SELECTION	5
	NEW LAVATORY PER OWNER SELECTION	7
	NEW TUB PER OWNER SELECTION (60")	1
	NEW FREESTANDING TUB PER OWNER SELECTION (60")	1
	NEW SHOWER PER OWNER SELECTION	2
	WASHER PER OWNER SELECTION (Residential Grade)	2
	LAUNDRY SERVICE SINK PER OWNER SELECTION	1
	NEW KITCHEN SINK PER OWNER SELECTION	1
	DISHWASHER PER OWNER SELECTION (Residential Grade)	1
	TOTAL	21
	NEW WATER HEATER HIGH EFFICIENCY TANKLESS PER MANUFACTURER RECOMMENDATION	2

- PLUMBING NOTES**
- THE PLUMBING CONTRACTOR SHALL INCLUDE ALL NECESSARY LABOR MATERIALS AND EQUIPMENT REQUIRED FOR A COMPLETE AND OPERABLE INSTALLATION OF ALL WATER AND SEWAGE SYSTEMS.
 - ALL SYSTEMS AND EQUIPMENT SHALL CONFORM TO APPLICABLE LOCAL, STATE AND NATIONAL CODES.
 - UNDERGROUND WATER PIPING SHALL BE TYPE K; COPPER WITH FLARED FITTINGS.
 - INTERIOR SUSPENDED WASTE AND VENT PIPING SHALL BE SCHEDULE 40 PVC PIPE AND FITTINGS.
 - BURIED WASTE PIPES AND THE VENTS CONNECTED TO IT SHALL BE CAST IRON OF SERVICE WEIGHT, UNLESS CITY APPROVES THE USE OF SCH 40 PVC.
 - SUSPENDED WATER PIPING SHALL BE TYPE 1/2" COPPER WITH LEAD FREE SOLDER.
 - ALL WATER PIPES TO FIXTURES AND WATER HEATER SHALL BE VALVED.
 - PROVIDE "T" OR "Y" CONNECTION FROM DISHWASHER TO DISPOSAL.
 - PLUMBING FIXTURES TO BE PER ATTACHED BUILDER'S SPECIFICATION.
 - UNDERGROUND & UNDERFLOOR WASTE MIN. 4".
 - UNDERGROUND & UNDERFLOOR VENT MIN. 2".
 - ALL FLOOR DRAINS SHALL BE INDIVIDUALLY VENTED.
 - WATER TEMP. FOR TUBS AND SHOWERS - 110.
 - PROVIDE "P" TRAPS FOR ALL FLOOR FIXTURES, MAX 24" FROM FIXTURE TO TRAP WEIR.
 - SUPPLY & WASTE ARE NOT PERMITTED IN EXTERIOR WALLS OR OTHER UNHEATED SPACES.
 - TIET VENTING NOT PERMITTED.
 - EXTERIOR DRAIN WASTE LINES SDR 26 OR BETTER IS PERMITTED.
 - PROVIDE SHUT-OFF VALVES AT EACH PLUMBING FIXTURE.
 - ALL DRAIN, WASTE AND VENT PIPING SHALL BE TESTED & INSPECTED PRIOR TO ENCLOSING. SUCH TEST SHALL BE DONE BY FILLING THE ENTIRE SYSTEM WITH WATER. WHEN WEATHER CONDITION PRECLUDE WATER TESTING THE ENTIRE SYSTEM SHALL BE PUT UNDER AIR PRESSURE AT 5 LBS. FOR A PERIOD OF 15 MINUTES OR MORE.



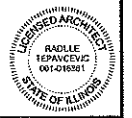
REVISIONS	NO.	BY	DATE	DESCRIPTION
	1	RT	07/06/2023	Review
	2	RT	07/06/2023	Print

Convert 2-Unit to Single Family Residence, Interior Rehab & New 2-Story Frame Addition including New Partitions, New Electrical, Mechanical & Plumbing Systems, New Root System & New Rear Deck & Balcony per Plans.
223 Center Street, Naperville Illinois 60540



PROJECT ARCHITECT:
RT
DRAFTPERSON:
CS
APPROVED:
RT
PREPARED FOR:
OWNER
LOCATION:
223 Center Street
Naperville, IL 60540
JOB NUMBER:
23CS-01042023

SHEET No: **P-01**
SHEET Name:
Plumbing Riser Diagrams





CITY OF NAPERVILLE

Transportation, Engineering & Development (TED) Business Group

HISTORIC PRESERVATION COMMISSION CERTIFICATE OF APPROPRIATENESS (COA) APPLICATION PACKET

An application for a Certificate of Appropriateness (COA) is either subject to an administrative review through the Fast Track Approval process or review by the Historic Preservation Commission at a public meeting. The Historic Preservation Commission is a nine-member board that typically meets every other month to review COA applications that are subject to Commission review. To find out about if your project is subject to administrative or Commission review, please refer to the attached informational sheet ([Exhibit A](#)). If your project is subject to administrative review, please fill out the Fast Track Application which can be found on the City's website. This application is only applicable for projects which require Commission review. To facilitate the review process, COA applicants are required to provide the information and documentation set forth below.

Step 1: Prepare Application Materials

Applicant shall fill out pages 3-9 of the attached Application form and prepare necessary application materials based on the requirements specified in the application packet. For first time applicants, it is strongly encouraged for the applicant to meet with staff prior to submitting the application to go over the process and determine the required submittals and the appropriate approval process. Please contact Assistant Planner, Brad Iwicki at iwickib@naperville.il.us to schedule an appointment.

Step 2: Submit Application Materials

Please submit your application to Assistant Planner, Brad Iwicki at iwickib@naperville.il.us. Once submitted, City staff will review the application materials and provide the applicant with review comments, if any. The Applicant is encouraged to work with staff to address issues identified in the review comments prior to submission of the Application to the Historic Preservation Commission. Any outstanding issues will be forwarded to the Commission for discussion and review at the public meeting.

Once staff determines the application is complete, staff will work with the Applicant to schedule the case for a Historic Preservation Commission meeting, taking into consideration the public notification requirements (see step 3 below). There is no fee for the filing of the application.

Step 3: Send out Public Notification

NOTICE LETTER

Before the scheduled Historic Preservation Commission meeting, the applicant shall give written notice of the meeting to the current owners of all lots lying within three hundred feet (300') of the subject property, inclusive of public right-of-way. To obtain a list of property owners within 300', please contact your applicable township office. The written notice can be delivered personally or may be sent by first class mail no later than fifteen (15) days in advance of the public meeting. If notices are delivered personally, a log of signatures confirming the property owners received the notice must be submitted. A signature log template is included in [Exhibit B](#). A sample notification letter is included in [Exhibit C](#).

NOTICE SIGN

The applicant shall also post notice of the public meeting on a sign visible from the street (excluding alleys) upon the subject property, for a continuous period of not more than thirty (30) days and not less than fifteen (15) days in advance of the public meeting. The applicant can check out a standard notification sign from the city for use on the subject property with a \$100 deposit. The deposit will be refunded after the sign is returned to the city. If the applicant wishes to check out a notification sign, please complete the "Sign Deposit Acknowledgement" form contained in Exhibit D and request the sign from staff at the meeting to submit the application.

AFFIDAVIT THAT NOTICE HAS BEEN GIVEN

Prior to the public meeting, the applicant shall file a sworn (notarized) affidavit, including a copy of the notification letter, with the city showing the names and addresses of the persons to whom the written notices have been sent or delivered, and that such notices were sent or delivered no less than fifteen (15) days in advance of the public meeting. A sample affidavit is included in Exhibit E.

Step 4: Attend the Historic Preservation Commission Meeting

The applicant is required to attend the Historic Preservation Commission meeting to present the project and answer questions. The Commission will also hear public comments prior to voting on the project. The Commission may approve, approve with conditions, or deny the COA application at the end of the meeting. If approved, a signed copy of the COA will be issued and emailed to you following the meeting.

Step 5: Complete Your Improvement

Please note that the project may still require a separate building permit prior to any work commencing. Refer to the approved COA to find out whether you should apply for a building permit as the next step.

For improvements that do not require a building permit, a COA inspection needs to be scheduled at the time of the COA approval. You may call Inspection Dispatch at 630-420-6100 (press "1") to schedule or reschedule an inspection. Inspections for other improvements shall follow the building permit process.

**For further information about COAs please contact:
Brad Iwicki, Assistant Planner
Iwickib@naperville.il.us
630.305.7021**



CITY OF NAPERVILLE

TRANSPORTATION, ENGINEERING, & DEVELOPMENT (T.E.D.) BUSINESS GROUP

HISTORIC PRESERVATION COMMISSION CERTIFICATE OF APPROPRIATENESS (COA) APPLICATION PACKET

This application form is used for the Historic Preservation Commission's review of COA applications.

PLEASE TYPE OR PRINT CLEARLY. **NO MAIL-IN APPLICATIONS WILL BE ACCEPTED******

1. OWNER/APPLICANT (REQUIRED INFORMATION)

Property Address:	223 center st
Applicant Name(s):	Mkjh Remodling llc
Address/Zip:	60540
Telephone – Day/Evening:	708-372-5766
Fax (optional):	
Email:	m Khalil_915@yahoo.com
Property Owner Name(s):	Moses Khalil
Address/Zip:	223center street 60540
Telephone – Day/Evening	708-372-5766

2. PICTURES OF EXISTING STRUCTURE OR PORTION OF STRUCTURE TO BE MODIFIED

Provide color photos (clearly labeled) or a building elevation diagram to show the existing structure or portion of structure that would be affected by the proposed work.

3. PROPOSED WORK (Check all that apply)

A COA from the Historic Preservation Commission is required for the following works performed on the primary façade (street-facing façade) of the principal building, fences, driveways or attached garages. Please refer to Exhibit A for a list of improvements that are waived from the COA requirement or are eligible for fast track (staff level) approval.

	Improvement Type*	A COA from the Commission is required for the following:
<input checked="" type="checkbox"/>	Doors	New opening, a change in style or opening, or use of material that is not wood or original material
<input checked="" type="checkbox"/>	Windows	New opening, a change in style or opening, or use of material other than wood or aluminum clad wood
<input checked="" type="checkbox"/>	Roofs	A change in height or pitch; or use of material other than asphalt or original material.
<input type="checkbox"/>	Exterior Building Materials	A change in reveal or profile; or use of material other than wood, fiber cement board or original material.
<input type="checkbox"/>	Porches	New enclosure, a change in size or style, or use of material that is not one of the following: <ol style="list-style-type: none"> 1. Replacement of porch columns with use of wood, plaster or cement materials; 2. Replacement of porch flooring with use of wood or composite decking materials; or 3. Replacement of other porch components with use of wood or original material.
<input type="checkbox"/>	Shutters and Awnings	A change in size, style or new addition
<input type="checkbox"/>	New Principal Structure	The primary façade of the new structure
<input type="checkbox"/>	Additions	The primary façade of the addition
<input type="checkbox"/>	Modifications to the Primary Façade	Any modifications that will change the appearance of the original Improvement.
<input type="checkbox"/>	Demolition	Demolition of a principal structure in whole; removal without replacement of original architectural features contributing to the style of the principal building or structure
<input type="checkbox"/>	Driveways	New or relocated street access that is more than five feet (5') from the existing street access.

<input checked="" type="checkbox"/>	Fences	Along the street: fences constructed of materials other than wood or iron open picket
<input type="checkbox"/>	Attached Garage	New attached garages
<input type="checkbox"/>	Solar Panels and Skylights	Solar Panels and Skylights on Principal Structures

***A building permit may also be required for the above improvements. Please contact the Development Services Department at 630-420-6100 (press "2") to confirm.**

4. DESCRIPTION OF PROPOSED WORK (attach a separate sheet as needed)

- A. If demolition is proposed, describe the scope of the demolition in detail, including a list of original features to be removed or replaced from the primary façade of the building.

We will be demoing the roof line, the windows and the front door

- B. Describe the proposed work in full detail, including materials, style and specifications of key items (e.g., windows and trim; siding and reveal, soffit, fascia, and gutters; porch rails, balustrades, pillars, decking, and ceiling; roofing; exposed foundation; fencing; etc.). If a portion of the residence is being removed or added, please describe the material and justification (e.g. in-kind replacement; aligns with the style of the residence; etc.).

The roof will be elevated and replace with shingles. Windows will be replaced and moved to a safer height as the current height is not safe. The front door is damaged and not repairable so will be replaced with a new wood door. New gutter, fascia, soffit and siding will be repaired and replaced with similar materials. Shutters will stay.

C. Describe how the proposed work will affect any external architectural features of the structure.

The only part of the home that will change architecturally is the roof line will be similar to the old roof line however just raised higher

D. Attach drawings and specifications (not to exceed 11"X17" in size) to include:

- Address of property
- Date of most recent revision
- Site Plan to include:
 - i. Measurements of the lot
 - ii. Existing buildings
 - iii. Proposed modifications or additions with the distance from all lot lines labeled.
- Demolition Plan to clearly identify any portion of the structure to be demolished, even if it will be replaced with a similar structure or building addition.
- Building Elevations of proposed modifications or building additions. Please see Exhibit F for an example of a complete building elevation submittal. If the property is located on a corner lot and the proposed modifications can be seen from both the corner and front sides of the property line, elevations of the corner and front should be provided. The elevations should include:
 - i. A key that specifies the location of the façade and details of the proposed building materials and styles. All new materials must be clearly labeled on the elevations. Please note if the material is in-kind or aligns with the style of the residence. If the material is not in-kind or in the style of the residence, please explain why the material was chosen.
 - ii. On a separate sheet, please provide a written description of how each change to the façade complies with the existing structure's architectural style. If the change is not consistent with the architectural style, please explain why. This can be included on a separate sheet or on the elevations. Clarify whether the style can be found elsewhere existing on the structure or why the new style should be approved. For example, if the beams of the proposed new front porch are tapered at the top, please explain why this style was chosen and, if applicable, reference the Historic Building Design and Resource Manual.
 - iii. We recommend adding weight to the lines, showing the proposed changes in a thick weight and the existing structure in the standard weight.
 - iv. Height of any proposed building additions or new structures.

5. FACTORS FOR CONSIDERATION OF A CERTIFICATE OF APPROPRIATENESS APPLICATION RESPONSES (attach a separate sheet as needed)

Respond to the factors for consideration below that demonstrate the need and appropriateness of your request. Example responses to each factor can be found in Exhibit G. Your responses will be forwarded to the Historic Preservation Commission along with the staff memo. **Before responding to the standards, review the Historic Building Design and Resource Manual** (<https://www.naperville.il.us/contentassets/7fed1bf2ba19496fa9a037f019616748/cdg-historic-building-design-and-resource-manual.pdf>) **against your proposed changes**. If your proposed changes are not listed in the Historic Building Design and Resource Manual as "encouraged" or "acceptable" changes, please respond to 5.3 and 5.4. If the changes are considered "encouraged" or "acceptable" please write "N/A" for 5.3 and 5.4. Please provide thorough responses to each of the standards below.

Factors For Consideration Of A Certificate Of Appropriateness Application:

5.1. Compatibility With District Character: The Commission and Zoning Administrator shall consider the compatibility of the proposed improvement with the character of the historic district in terms of scale, style, exterior features, building placement and site access, as related to the primary facade(s), in rendering a decision to grant or deny a certificate of appropriateness.

Explanation: Please describe how the proposed changes will be generally consistent with the overall character of the Historic District. With this factor, the Historic Preservation Commission seeks to confirm that the proposed changes will not conflict with the characteristics (i.e., building setback, height, materials, etc.) that are typically found in the district.

Response to 5.1:

Keeping the roof design of our home to blend in with the neighboring house as well as keeping the front door and windows made from the same materials as the original home will keep our home historical characteristics.

5.2. Compatibility With Architectural Style: The Commission and Zoning Administrator shall consider the compatibility of the proposed improvement with the historic architectural style of the building or structure to be modified by the certificate of appropriateness request.

Explanation: As a structure in the Historic District, guidelines for appropriate maintenance, rehabilitation and new improvements to enhance and preserve the appearance of homes are outlined in the Historic Building Design and Resource Manual. The Manual also provides background information on each architectural style found in the Historic District. For this factor, please use the Historic Building Design and Resource Manual to identify the historic features of your home as well as if your proposed changes are "encouraged, acceptable or discouraged" in the manual. Please also reference the 2008 Architectural Survey (<https://www.naperville.il.us/about-naperville/historic-district/>) and identify if any of the listed significant features of the home are being removed or changed.

Response to 5.2:

After reviewing the link above, I believe our home will not have any issues with compatibility of architectural style. We will keep all of key points to make sure our home still looks like mixture of American Foursquare/ Greek Revival

COA # _____

5.3. Economic Reasonableness: The Commission and the Zoning Administrator shall consider the economic reasonableness of any recommended changes determined to be necessary to bring the application into conformity with the character of the historic district.

Explanation: If the proposed improvement is "discouraged" in the Historic Building Design and Resource Manual, this factor allows the applicant to explain if there is an economic benefit necessitating the requested improvement instead of an improvement that is considered "encouraged" or "accepted". The economic benefit must be reasonable. The explanation should compare the economic benefit in receiving the COA approval for the improvement, as requested, as opposed to the alternative improvement required if the COA was not approved.

Response to 5.3 (Only respond if your proposed changes do not meet the Historic Building Design and Resource Manual guidelines):

NA

5.4. Energy Conservation Effect: In making its determinations, the Commission and Zoning Administrator shall consider the effect that any recommended changes may have on energy conservation.

Explanation: If the proposed improvement is "discouraged" in the Historic Building Design and Resource Manual, this factor allows the applicant to explain if there is an Energy Conservation benefit which is necessitating the requested improvement instead of an improvement that is considered "encouraged" or "accepted." Please describe which aspects of the proposed changes will impact the energy efficiency of the home, and if possible, include metrics that show the change in efficiency. The explanation should compare the efficiency benefit in receiving the COA approval for the improvement, as requested, as opposed to the alternative improvement required if the COA was not approved.

Response to 5.4 (Only respond if your proposed changes do not meet the Historic Building Design and Resource Manual guidelines):

By changing the windows, we will improve the energy use of the home. Also, a safer home by raisin the window to proper height to lower risk of a fall as the current window is very close to the floor.

5.6. The City's Historic Building Design and Resource Manual may be used as a resource in consideration of the above.

Explanation: The Historic Building Design and Resource Manual is a guiding document for the Historic Preservation Commission with educational resources to assist the members in making well-informed decisions to protect and maintain the Historic District. In this section, please list and describe all portions of the manual that apply to your proposed changes. Please note if the proposed changes align with what is "encouraged", "acceptable", or "discouraged" in the manual.

Response to 5.6:

We are keeping the GABLE, GABLE ROOF, FOUNDATION, EAVE and COLUMNS on the porch. By doing this, I would consider our home "Acceptable" because of the replacement of original building materials with substitute materials that match or approximate the original in appearance and texture. Our home will still retain the appearance and architectural styles of historic buildings and the overall character of the neighborhood.

6. RELATED VARIANCE, CONDITIONAL USE OR REZONING REQUEST(S):

Please describe any zoning variance, conditional use, or rezoning requests that may be required to complete the proposed work. (note: a separate application must be filed with the Planning Services Team for these requests).

NA

Please note: If the COA is approved, any changes to the approved COA will require additional review by city staff or the Historic Preservation Commission. An approved COA is valid for three (3) years from the date of the issuance of the COA.

Required Signature: The undersigned certifies that the statements set forth in this application including all drawings and specifications submitted herewith are true and correct, and further agrees that the proposed improvements described in this application will be constructed in all respects in accordance with the approved COA as specified in the application, drawings and specifications submitted herewith.

Signature of Applicant:  Date: 9-15-23

Signature of Owner (if different): _____ Date: _____

EAST ELEVATION



South Elevation



West Elevation



North Elevation



