

IGNASH RESIDENCE

214 N. LAIRD AVENUE
NAPERVILLE, IL
SITE IMPROVEMENT PLANS

SUGGESTED CONSTRUCTION SEQUENCE

1. INSTALL SILT & CHAIN LINK FENCE AT LOCATIONS AS INDICATED ON THE PLANS.
2. SITE DEMOLITION AND PREP
3. EXCAVATE AND PREP FOR FINISH INSTALLATIONS..
4. CONSTRUCT HARDSCAPE IMPROVEMENTS PER PLAN.
5. COMPLETE TOPSOIL PLACEMENT AND PERMANENT SEEDING/SODDING AND LANDSCAPING.
6. REMOVE AND PROPERLY DISPOSE OF TEMPORARY EROSION CONTROL MEASURES.

BENCHMARK: (OFF-SITE)

CITY OF NAPERVILLE STATION NO. 705
LOCATED AT THE SW CORNER OF OGDEN AVE. & COLUMBIA ST.

EL = 734.64 NAVD88

SITE BENCHMARK
CROSS CUT IN TOP OF CURB OPPOSITE THE SW CORNER OF LOT 36.

ELEVATION = 703.88 NAVD88

PREPARED FOR:

IGNASH FAMILY
214 N. LAIRD STREET
NAPERVILLE, IL 60540

ALPINE RIDGE BUILDERS, LLC
12249 S. RHEA DRIVE, STE. 2
PLAINFIELD, IL 60585



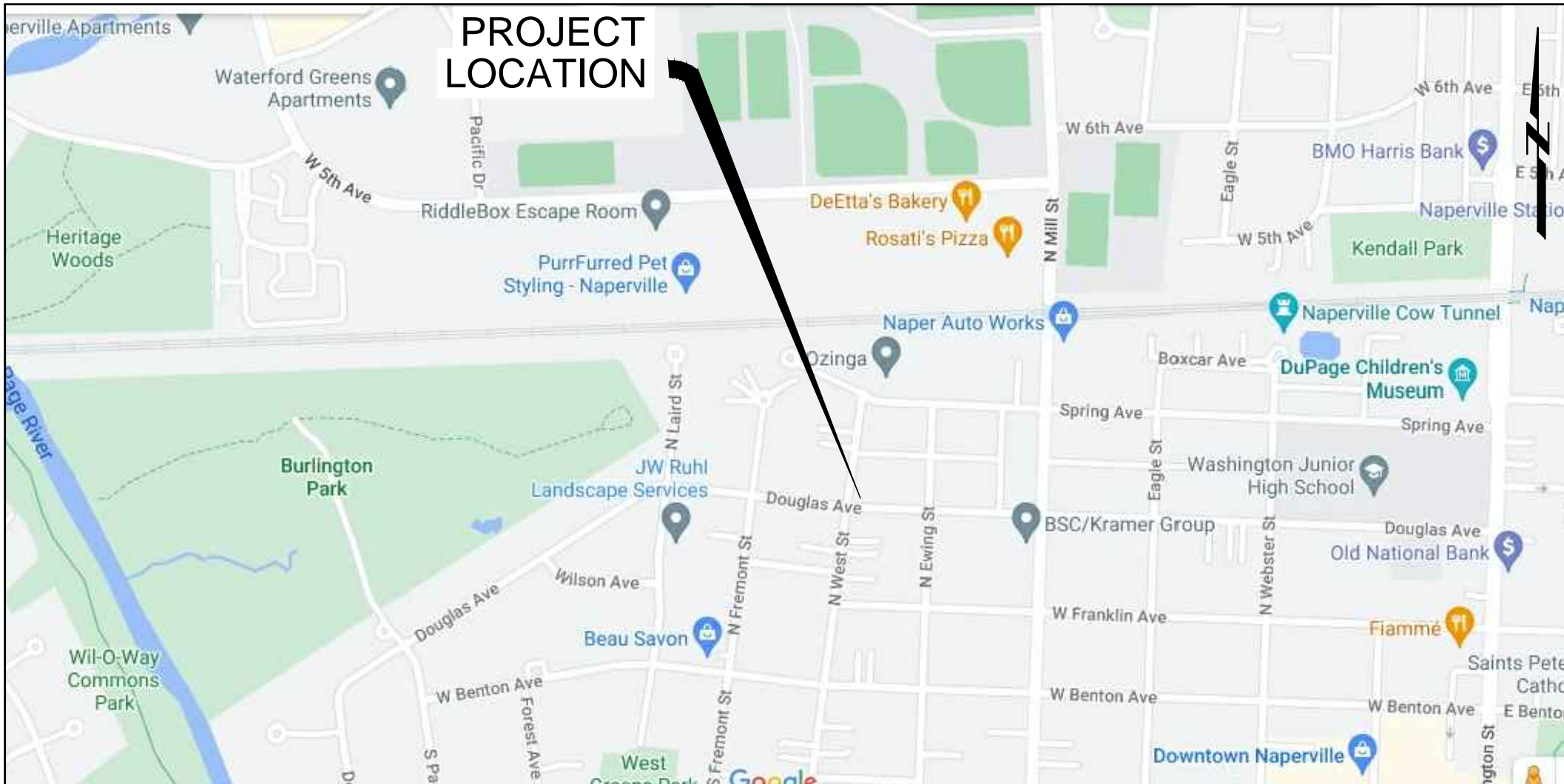
CONTACT JULIE AT 811
OR 800-892-0123

48 HOURS (2 working days) BEFORE YOU DIG



AERIAL MAP

N.T.S.



VICINITY MAP

N.T.S.

INDEX OF DRAWINGS

SHEET NO.	DRAWING TITLE
C1.0	COVER SHEET
C2.0	EXISTING CONDITIONS
C2.1	SITE DEMO AND EROSION CONTROL PLAN
C3.0	SITE GRADING PLAN

CONSTRUCTION NOTE

1. A SET OF THE FINAL APPROVED ENGINEERING PLANS SHALL BE ON SITE DURING ANY CONSTRUCTION ACTIVITIES AT ALL TIMES. FAILURE TO DO SO MAY RESULT IN A NOTICE TO STOP CONSTRUCTION ACTIVITIES.

SURFACE WATER STATEMENT

STATE OF ILLINOIS)
COUNTY OF DU PAGE) SS

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH DEVELOPMENT OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE OWNER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE DEVELOPMENT.

DATED THIS 27TH DAY OF SEPTEMBER, A.D., 20 22

THOMAS G. CRNKOVICH, III

ILLINOIS REGISTERED
PROFESSIONAL ENGINEER
062-060814

STATE REGISTRATION NUMBER

2/28/22

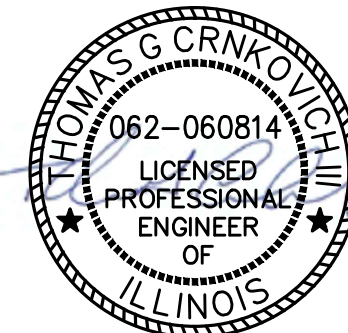
REGISTRATION EXPIRATION / RENEWAL DATE

OWNER COMPANY NAME: RIVERCREST CONSULTING, LLC

BY: *Thomas G. Crnkovich, III* ATTEST:

SIGNATURE SIGNATURE

TITLE: MANAGING PARTNER TITLE:



COVER SHEET

IGNASH RESIDENCE

NAPERVILLE, IL

PROJ. MGR.: TGC
PROJ. ENG.: TGC
DRAWN BY: TGC
DATE: 09/27/22
SCALE: N.T.S.

SHEET NO.
C1.0

PROJ. NUMBER: 22135

PENDING APPROVAL - NOT FOR CONSTRUCTION

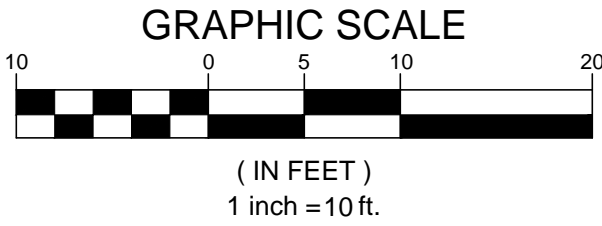
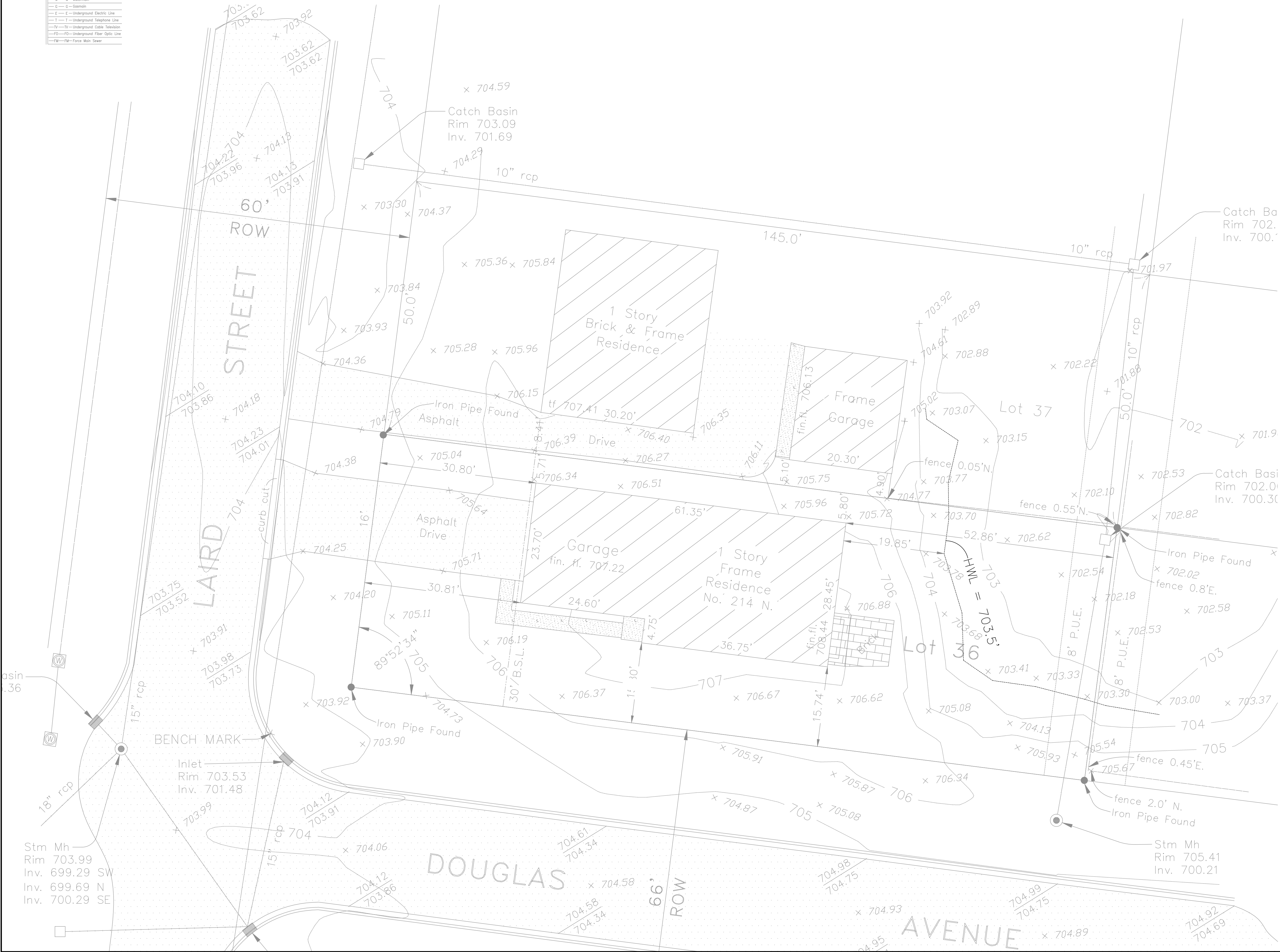
PLAT of SURVEY

- of -

LOT 36 IN LAIRD'S ADDITION TO NAPERVILLE, BEING A SUBDIVISION IN THE WEST HALF OF SECTION 13, TOWNSHIP 38 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 10, 1928 AS DOCUMENT 267356, IN DUPAGE COUNTY, ILLINOIS.

PROPERTY DESCRIBED CONTAINS 7,250 S.F.
PARCEL NO. 07-13-104-005
COMMON ADDRESS: 214 N. LAIRD STREET, NAPERVILLE, IL. 60540

Symbols Legend	
	Sanitary Sewer Manhole
	Storm Sewer Manhole
	Catch Basin
	Curb Inlet
	Fire Hydrant
	Water Valve in Vault
	Water Valve
	B-Side
	Sign
	Street Sign
	Gas Valve
	Landscape Light / Post
	Light Pole
	Electric Transformer
	Utility Pedestal
	Telephone Manhole
	Electric Manhole
	Traffic Signal Pole
	Pole Anchor
	Utility Pole w/ Overhead Wire Division
	Storm Sewer
	Sanitary Sewer
	Watermain
	Gasmain
	Underground Electric Line
	Underground Telephone Line
	Underground Cable Television
	Underground Fiber Optic Line
	Force Main Sewer



REVISIONS	

RIVERCREST CONSULTING, LLC	Civil Engineering
	Stormwater Management Entitlements
8952 HANSLIK COURT, UNIT 13 NAPERVILLE, IL 60564 (630) 538-5108	

EXISTING CONDITIONS & PLAT OF SURVEY	IGNASH RESIDENCE	NAPERVILLE, IL

PROJ. MGR.:	TGC
PROJ. ENG.:	TGC
DRAWN BY:	TGC
DATE:	09/27/22
SCALE:	1"=10'
SHEET NO.	
C2.0	
PROJ. NUMBER:	22135

PENDING APPROVAL - NOT FOR CONSTRUCTION

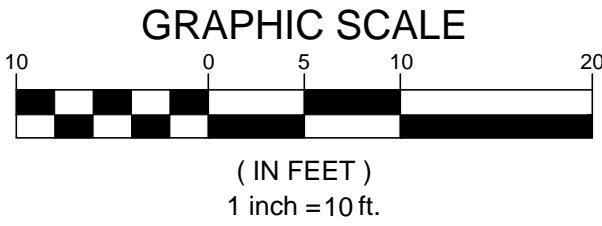
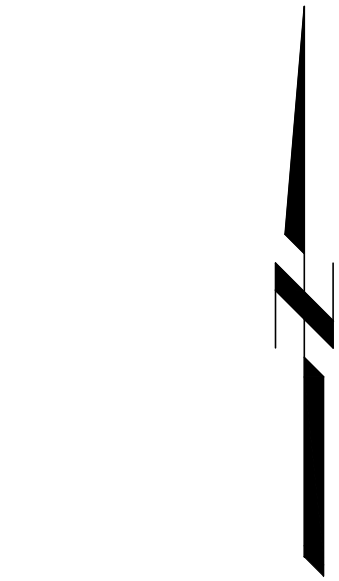
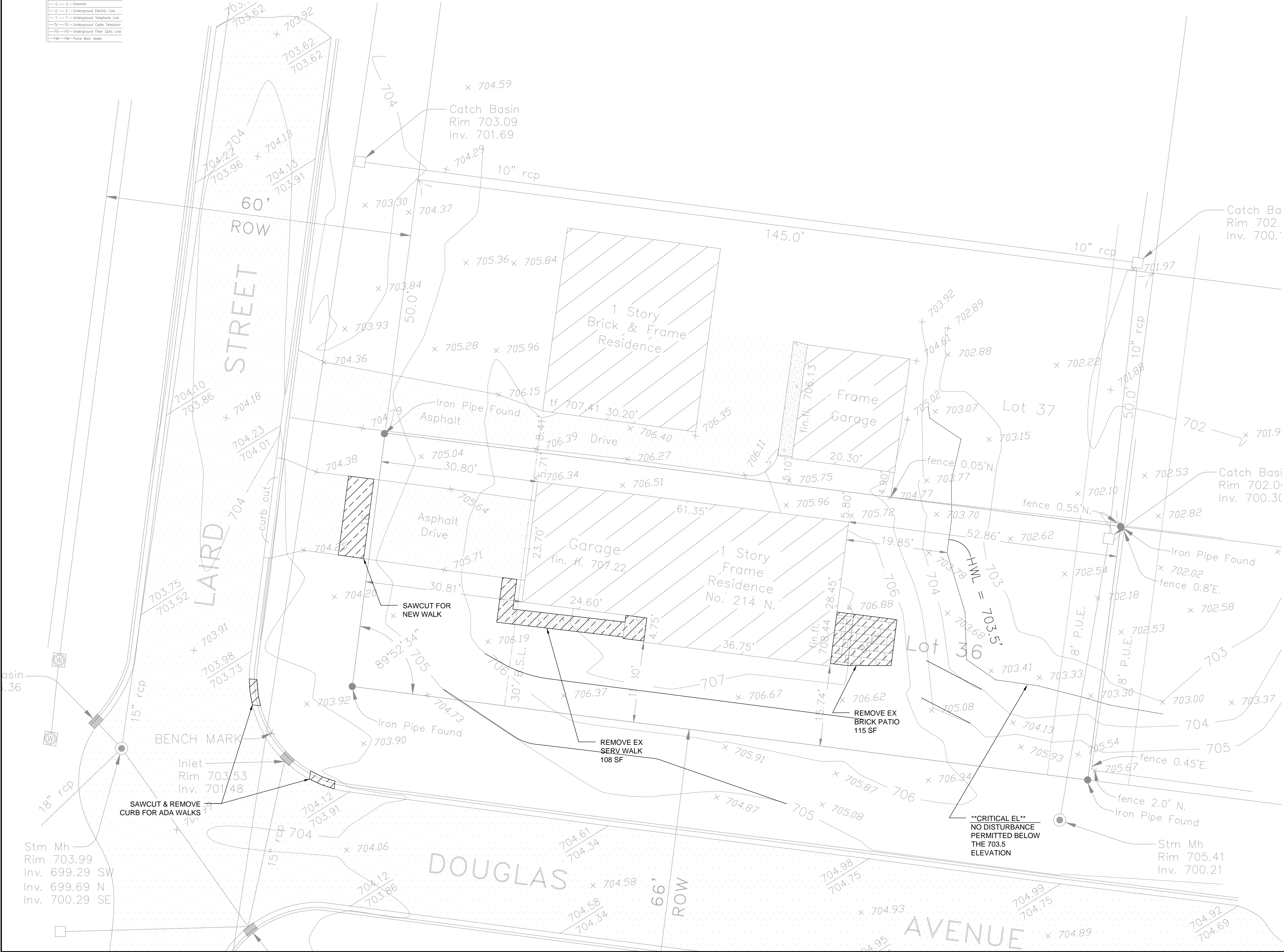
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	Light Pole
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	Utility Pedestal
	Telephone Manhole
	Electric Manhole
	Traffic Signal Pole
	Pole Anchor
	Utility Pole w/ Overhead Wire Direction
	Storm Sewer
	Sanitary Sewer
	W - Waterways
	G - Gasmold
	E - Underground Electric Line
	T - Underground Telephone Line
	TV - Underground Cable Television
	FO - Underground Fiber Optic Line
	FM - Force Main Sewer



DEMOLITION LEGEND	
	EX. DECK TO BE REMOVED
	EX. PAVEMENT TO BE REMOVED
	EX. BUILDING TO BE REMOVED
	EX. TREE TO BE REMOVED

DEMOLITION NOTES	
1. ALL UTILITY COMPANIES ARE TO BE CONTACTED TO PERMIT MARKING THEIR FACILITIES BEFORE <u>ANY</u> WORK IS DONE ON THE SITE.	
2. THE OWNER SHALL BE PROVIDED WITH COPIES OF ALL DEMOLITION PERMITS AND UTILITY INFORMATION PRIOR TO THE COMMENCEMENT OF THE WORK.	
3. THE EXTENT OF SITE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN. FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND SERVICE NECESSARY TO COMPLETE THE WORK. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, REMOVAL AND DISPOSAL OFF-SITE OF THE FOLLOWING ITEMS: <ul style="list-style-type: none">ON-SITE PAVEMENTDEBRIS FROM ALL DEMOLISHED STRUCTURESALL PAVEMENT TO BE REMOVED ADJACENT TO PAVEMENT THAT IS TO REMAIN SHALL BE SAWCUT FULL DEPTH AT THE EDGES PRIOR TO REMOVAL TO OBTAIN A "CLEAN" JOINT WHERE IT ABUTS NEW CURB OR PAVEMENT.	
CONTRACTOR MUST RECEIVE APPROVAL FROM GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.	
4. PORTIONS OF STRUCTURE TO BE DEMOLISHED SHALL BE VACATED AND DISCONTINUED FROM USE PRIOR TO START OF WORK. OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF STRUCTURES TO BE DEMOLISHED. CONDITIONS EXISTING AT TIME OF INSPECTION FOR BIDDING PURPOSES WILL BE MAINTAINED BY OWNER IN SO FAR AS PRACTICABLE. HOWEVER, VARIATIONS WITHIN THE STRUCTURES MAY OCCUR BY OWNER'S REMOVAL AND SALVAGE OPERATIONS PRIOR TO START OF DEMOLITION WORK. ITEMS OF SALVAGEABLE VALUE TO CONTRACTOR MAY BE REMOVED FROM SITE AS WORK PROGRESSES AND AS APPROVED BY THE OWNER. SALVAGED ITEMS MUST BE TRANSPORTED FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED. THE USE OF EXPLOSIVES WILL NOT BE PERMITTED. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.	
6. UNDERGROUND UTILITIES SHOWN ARE BASED ON ATLASES AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR SHALL CALL "JULIE" (800-892-0123) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND AS DIRECTED BY THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. PROPER NOTIFICATION TO THE OWNERS OF THE EXISTING UTILITIES SHALL BE MADE AT LEAST 48 HOURS BEFORE CONSTRUCTION COMMENCES.	
8. USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE EROSION CONTROL SHEETS FOR FURTHER EROSION CONTROL REQUIREMENTS.	
9. REMOVE FROM SITE DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. BURNING OF REMOVED MATERIALS WILL NOT BE PERMITTED ON SITE. TRANSPORT MATERIALS REMOVED AND DISPOSE OF OFF-SITE IN A LEGAL MANNER.	
10. ALL EXISTING BUILDINGS, FOUNDATIONS, UTILITIES, AND LANDSCAPING AND OTHER IMPROVEMENTS ON ADJACENT PROPERTIES SHALL BE PROTECTED AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION WORK. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND INSTALL ANY MATERIALS, EQUIPMENT, AND/OR MANPOWER NECESSARY TO ACCOMPLISH THIS.	

REVISIONS	

RIVERCREST CONSULTING, LLC	Civil Engineering
	Stormwater Management Entitlements
8952 HANBLIK COURT, UNIT 13 NAPERVILLE, IL 60564 (630) 538-5108	

EXISTING CONDITIONS, SITE DEMO, AND EROSION CONTROL PLAN	
IGNASH RESIDENCE	
NAPERVILLE, IL	

PROJ. MGR.:	TGC
PROJ. ENG.:	TGC
DRAWN BY:	TGC
DATE:	09/27/22
SCALE:	1"=10'
SHEET NO.	
C2.1	
PROJ. NUMBER:	22135

PENDING APPROVAL - NOT FOR CONSTRUCTION

PROPOSED CONDITIONS SITE DATA

TOTAL LOT AREA = 7,250 S.F.

EX RESIDENCE = 1,628 S.F.
EX WALKS & PATIOS = 223 S.F.
EX DRIVEWAY= 484 S.F.

TOTAL EX COVERAGE = 2,335 S.F.

TOTAL EX COVERAGE % = 32.2%

PROPOSED LOT COVERAGE
PROPOSED RESIDENCE = 2,638 S.F.
PROPOSED DRIVEWAY = 484 S.F.
PROPOSED SERVICE WALK = 50 S.F.
PROPOSED DECK & STAIRS = 26 S.F.

TOTAL PROPOSED NEW IMPERVIOUS = 3198 S.F.
NET NEW IMPERVIOUS = 863 S.F. THEREFORE NO BMP'S
REQUIRED

TOTAL PROPOSED NEW COVERAGE = 3,198 S.F.
TOTAL LOT COVERAGE = 44.11%

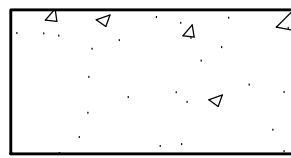
BUILDING SETBACK TABLE

FRONT YARD - 30'
SIDEYARD - 6'
CORNER YARD - 15'
REAR YARD - 25% UP TO 30'

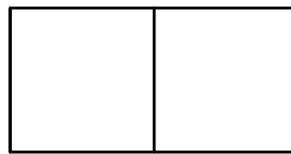
HEIGHT TABLE

NOT USED

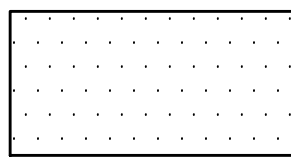
SITE PAVING LEGEND



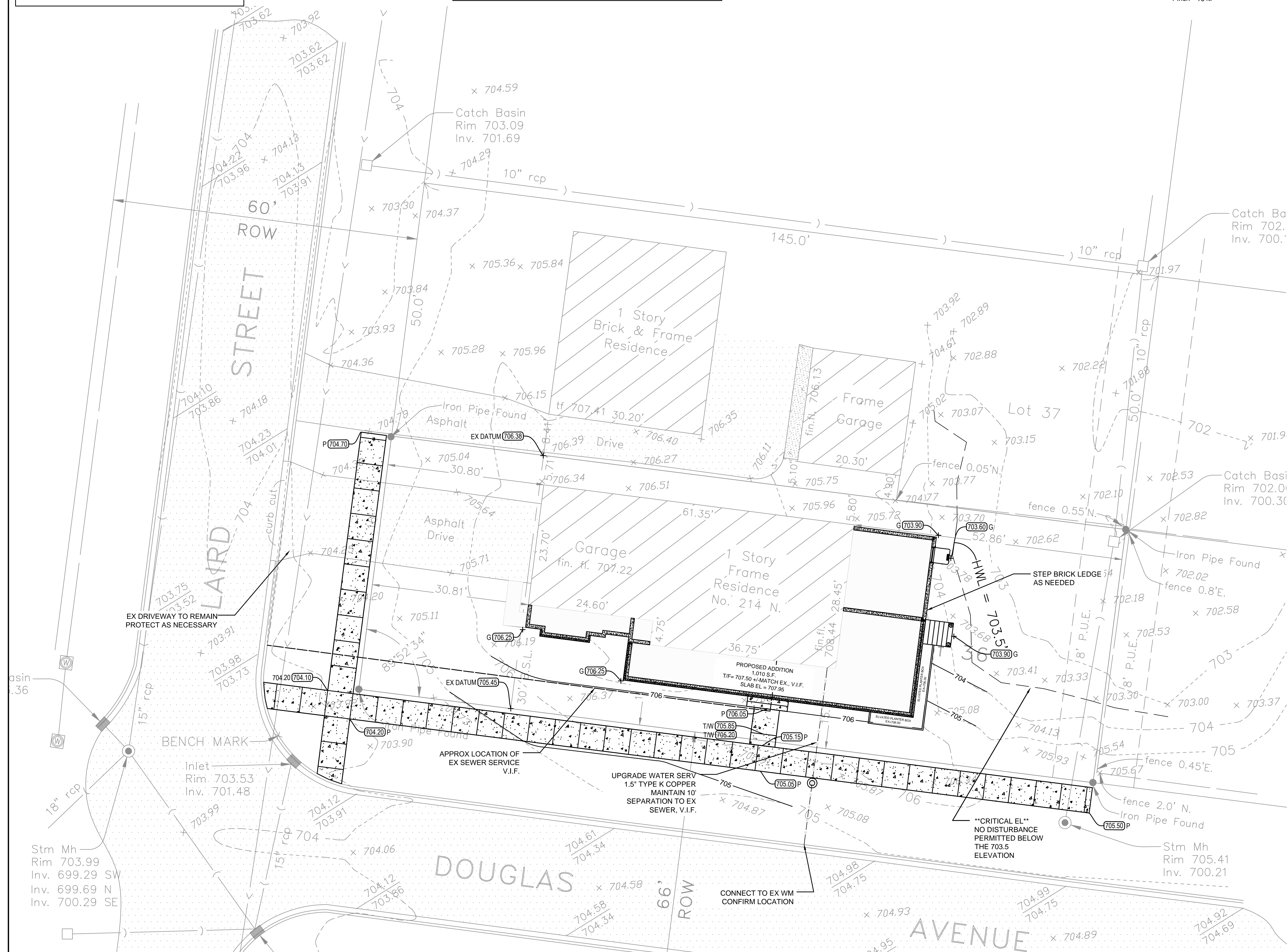
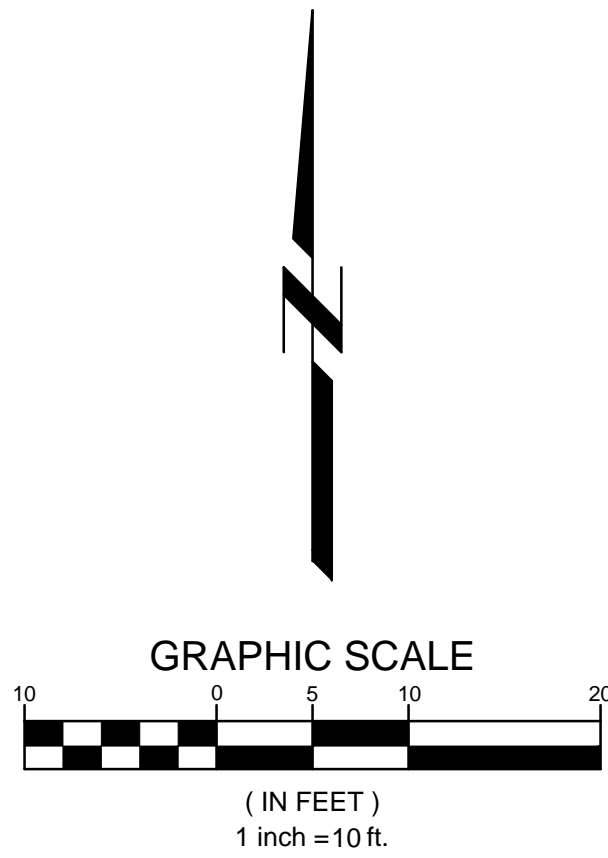
PRIVATE CONCRETE PAVEMENT
5" P.C. CONCRETE PAVEMENT
6" AGGREGATE BASE (CA-6)



PUBLIC CONCRETE WALK
5" P.C. CONCRETE PAVEMENT
6" P.C. CONCRETE PAVEMENT AT DRIVEWAY
6" AGGREGATE BASE (CA-6)



ASPHALT PAVEMENT DRIVE
2" HOT-MIX ASPHALT SURFACE COURSE, MIX "C", N50
8" AGGREGATE BASE COURSE, TYPE B, CA-6



CITY NAPERVILLE GENERAL NOTES

1. THE OWNER OR HIS/HER/THEIR REPRESENTATIVE IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED BY APPLICABLE GOVERNMENTAL AGENCIES.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF NAPERVILLE DESIGN MANUAL AND STANDARD SPECIFICATIONS (CURRENT EDITION) AND WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION'S "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (CURRENT EDITION).
3. ALL CONTRACTORS DOING WORK IN THE PUBLIC RIGHT-OF-WAY MUST BE LICENSED (WHEN APPLICABLE) TO MAKE PUBLIC IMPROVEMENTS WITHIN THE NAPERVILLE CORPORATE LIMITS.
4. THE CONTRACTOR/DEVELOPER ASSUMES ALL RESPONSIBILITY AND LIABILITY FOR ANY DAMAGE RESULTING FROM THEIR WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
5. THE CONTRACTOR/DEVELOPER SHALL INDEMNIFY AND HOLD HARMLESS THE CITY OF NAPERVILLE.
6. PRIOR TO COMMENCEMENT OF ANY OFF-SITE CONSTRUCTION, THE CONTRACTOR SHALL SECURE WRITTEN AUTHORIZATION THAT ALL OFF-SITE EASEMENTS HAVE BEEN SECURED AND THAT PERMISSION HAS BEEN GRANTED TO ENTER ONTO PRIVATE PROPERTY.
7. THE CONTRACTOR AND THEIR ON-SITE REPRESENTATIVES WILL BE REQUIRED TO ATTEND A PRECONSTRUCTION MEETING WITH THE CITY OF NAPERVILLE PRIOR TO ANY WORK BEING STARTED. A PRECONSTRUCTION MEETING WILL NOT BE SCHEDULED UNTIL THE PROJECT HAS BEEN APPROVED BY THE CITY OF NAPERVILLE DEVELOPMENT REVIEW TEAM AND THE REQUIRED SURVEY HAS BEEN POSTED.
8. A SUMMARY OF NOTICE SHALL BE GIVEN TO THE CITY OF NAPERVILLE TED BUSINESS GROUP (630-420-6082) PRIOR TO STARTING WORK OR RESTARTING WORK AFTER SOME ABSENCE OF WORK FOR ANY REASON.
9. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ADEQUATELY IDENTIFY AND LOCATE ALL EXISTING UTILITIES PRIOR TO EXCAVATION. BEFORE STARTING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT JULIE FOR THE LOCATION OF ANY AND ALL UTILITIES. THE TOLL FREE NUMBER IS 800-892-IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ANY PRIVATE FACILITIES OR NON-JULIE MEMBER FACILITIES.
10. THE CONTRACTOR CAN SCHEDULE ALL NECESSARY SITE INSPECTIONS WITH THE CITY OF NAPERVILLE BY CALLING (630) 420-6082 BETWEEN THE HOURS OF 8:00AM AND 4:00PM (CLOSED 1:00PM TO 2:00PM ON WEEKDAYS WHEN THE CITY IS OPEN FOR BUSINESS. THE CONTRACTOR WILL BE REQUIRED TO PROVIDE THE SITE PERMIT NUMBER FOR THE PROJECT IN ORDER TO SCHEDULE THE INSPECTION(S).
11. RECORD DRAWINGS ARE REQUIRED TO BE SUBMITTED AND APPROVED BY THE CITY OF NAPERVILLE PRIOR TO FINAL OCCUPANCY BEING GRANTED.
12. FINAL ACCEPTANCE OF PUBLIC IMPROVEMENTS SHALL BE GRANTED ONLY AFTER A PUBLIC INSPECTION HAS BEEN COMPLETED AND THE CONTRACTOR STATED THAT ALL IMPROVEMENTS HAVE BEEN SATISFACTORILY COMPLETED IN ACCORDANCE WITH THE NAPERVILLE STANDARD SPECIFICATIONS. UTILITIES ARE NOT CONSIDERED ACCEPTED UNTIL THEY ARE FORMALLY ACCEPTED

GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF BUILDING UNLESS OTHERWISE INDICATED.
2. ALL DISTURBED LANDSCAPE AREAS ARE TO BE RESTORED TO EX. CONDITION. 6" TOPSOIL RESPREAD AND SEEDING.
3. STOCKPILES SHALL BE PROVIDED WITH PERIMETER SILT FENCE AT ALL TIMES DURING CONSTRUCTION.
4. STOCKPILES TO REMAIN IN PLACE MORE THAN THREE (3) DAYS SHALL BE PROVIDED WITH SOIL EROSION AND SEDIMENTATION CONTROL.
5. LAND DISTURBANCE ACTIVITIES IN STREAMS AND DITCHES SHALL BE AVOIDED WHERE POSSIBLE.
6. SOIL STOCKPILES SHALL NOT BE LEFT OVERNIGHT IN DITCHES OR WITHIN FLOODPLAINS.
7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITH THIRTY (30) DAYS AFTER FINAL STABILIZATION IS ACHIEVED. TRAPPED SEDIMENT AND OTHER SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION.
8. A MASONRY TREATMENT OR DROP SIDING MAY BE REQUIRED TO ENSURE THAT NO MORE THAN SIX INCHES OF THE FOUNDATION REMAIN EXPOSED IN ANY LOCATION.
9. A CONCRETE WASHOUT AREA SHOULD BE PROVIDED ONSITE. CONCRETE CANNOT BE WASHED OUT INTO THE PUBLIC RIGHT OF WAY OR STORM SEWER SYSTEM.
10. INSPECTION OF UTILITY TAPS AND DISCONNECTS SHALL BE INSPECTED BY CITY OF NAPERVILLE STAFF PRIOR TO BACKFILL. 24 HOUR NOTICE SHALL BE REQUIRED AHEAD OF INSPECTIONS.
11. PROPOSED SIDEWALK SHALL MATCH EXISTING GRADE AT THE LIMITS OF REPLACEMENT WHERE ABUTTING TO EXISTING WALK.
12. SPECIAL CARE SHALL BE TAKEN TO MINIMIZE COMPACTION OF THE PROPOSED PERMEABLE GRASSPAVE SUBGRADE AREAS. PRIOR TO CONSTRUCTION OF ANY PERMEABLE PAVER SYSTEMS, CITY OF ELMHURST ENGINEERING SHALL BE CONTACTED TO OBSERVE RELATED WORK TO ENSURE PROPER INSTALLATION.
13. PUMPING OF SEDIMENT LADEN WATER INTO ANY STORMWATER FACILITY OR DRAINAGE-WAY NOT DESIGNATED TO BE A SEDIMENT TRAP IS PROHIBITED.

SITE GRADING PLAN

IGNASH RESIDENCE

NAPERVILLE, IL

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