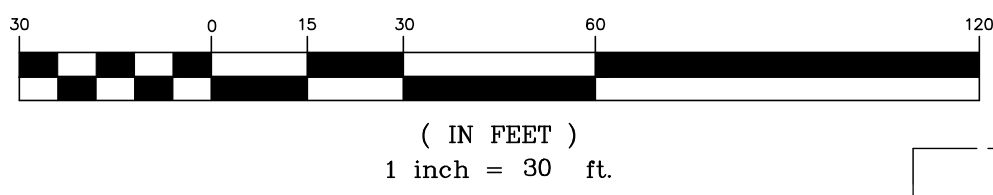


# FINAL PLANNED UNIT DEVELOPMENT FOR RAILWAY PLAZA COMMERCIAL RESUBDIVISION OF LOT 1

BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 38 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

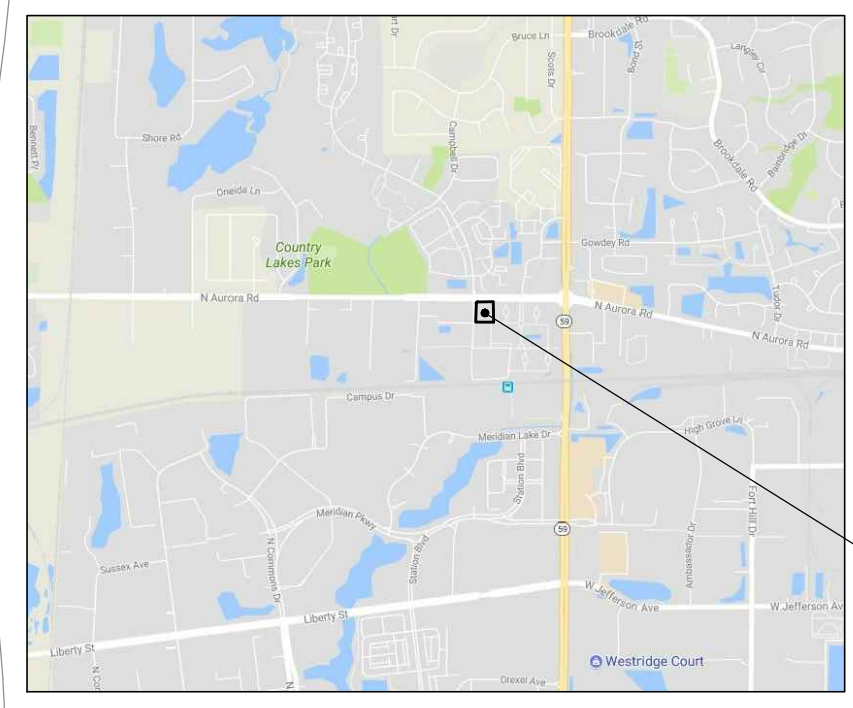
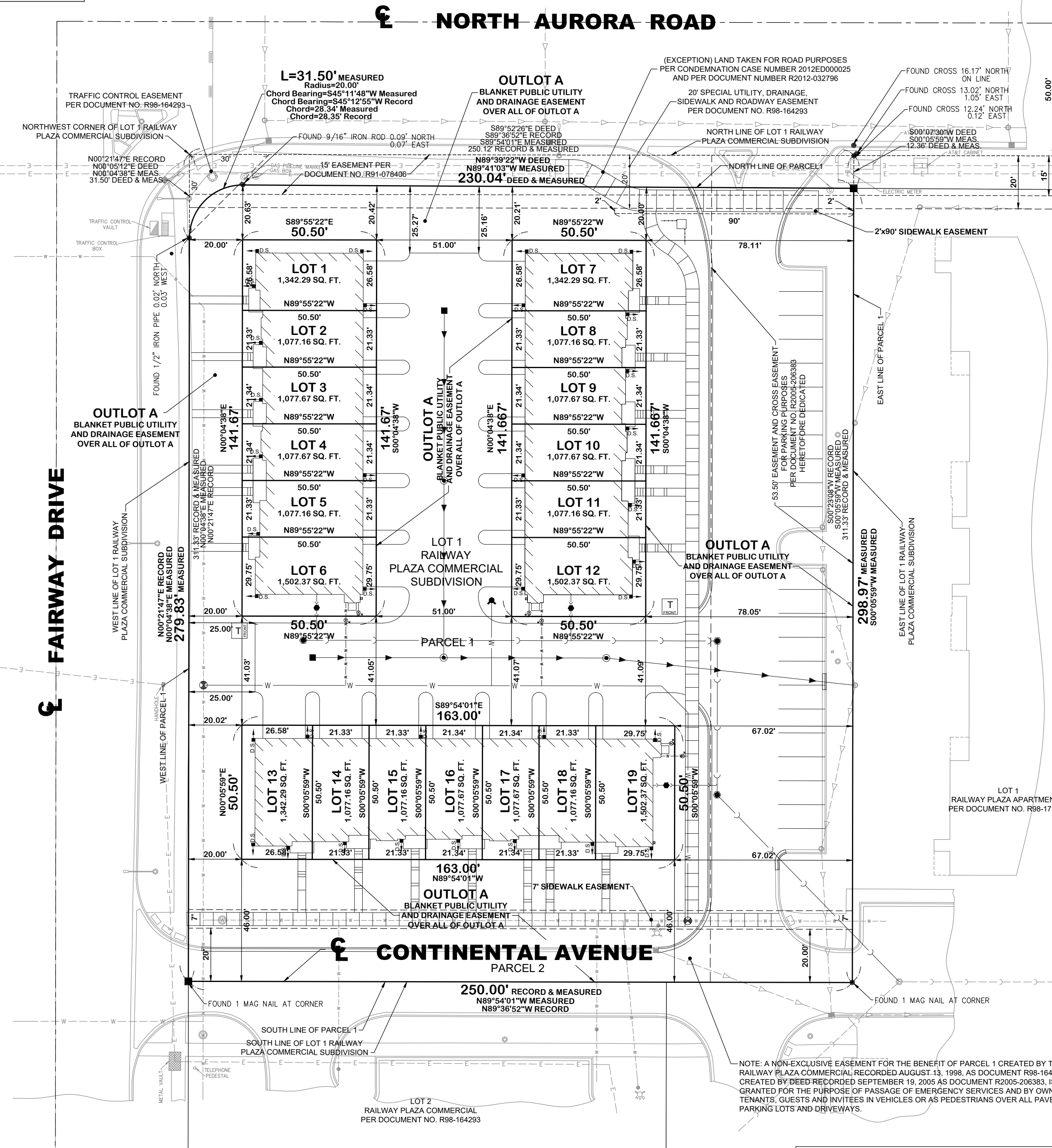
THIS PLAT HAS BEEN SUBMITTED FOR RECORDING BY AND RETURN TO:  
 NAME: NAPERVILLE CITY CLERK  
 ADDRESS: 400 S. EAGLE STREET  
 NAPERVILLE, ILLINOIS 60540

GRAPHIC SCALE



**STATEMENT OF INTENT AND CONCEPT**

THIS WILL BE A 19-UNIT TOWNHOME PLAN THAT CONTINUES THE CREATIVE AND ATTRACTIVE ARCHITECTURAL DESIGN APPROACH OF THE SURROUNDING USES AND ENHANCES THE COMMUTER FOCUSED LIVABILITY OF RAILWAY PLAZA.



SITE DATA	
TOTAL SITE AREA =	74,791 SF = 1.717 AC
SITE ZONING =	R3 PUD
PROPOSED BUILDINGS:	TWO 6-UNIT TOWNHOME BUILDINGS ONE 7-UNIT TOWNHOME BUILDING
TOTAL UNITS =	19 UNITS
DENSITY =	11 UNITS PER ACRE
<b>PARKING SUMMARY</b>	
PARKING REQUIRED =	2 SPACE PER UNIT + 5 GUEST SPACES = 43 SPACES
PARKING PROVIDED =	UNIT PARKING PROVIDED = 38 SPACES GUEST PARKING PROVIDED = 38 SPACES (IN DRIVEWAY APRONS)
TOTAL PARKING PROVIDED =	76 SPACES

LOT NUMBER	AREA
LOT 1	1,342.29 SQ. FT.
LOT 2	1,077.16 SQ. FT.
LOT 3	1,077.16 SQ. FT.
LOT 4	1,067.67 SQ. FT.
LOT 5	1,077.16 SQ. FT.
LOT 6	1,502.37 SQ. FT.
LOT 7	1,342.29 SQ. FT.
LOT 8	1,077.16 SQ. FT.
LOT 9	1,077.16 SQ. FT.
LOT 10	1,077.16 SQ. FT.
LOT 11	1,077.16 SQ. FT.
LOT 12	1,502.37 SQ. FT.
LOT 13	1,342.29 SQ. FT.
LOT 14	1,077.16 SQ. FT.
LOT 15	1,077.16 SQ. FT.
LOT 16	1,077.16 SQ. FT.
LOT 17	1,077.16 SQ. FT.
LOT 18	1,077.16 SQ. FT.
LOT 19	1,502.37 SQ. FT.
OUTLOT A	52,252.24 SQ. FT.

EASEMENTS	AREA
REMAINDER OF 20' SPECIAL UTILITY, DRAINAGE, SIDEWALK AND ROADWAY EASEMENT PER DOCUMENT NO. R98-164293	1,955.6 SQ. FT.
REMAINDER OF 15' EASEMENT PER DOCUMENT NO. R91-078406	734.3 SQ. FT.
REMAINDER OF 53.50' EASEMENT AND CROSS EASEMENT FOR PARKING PURPOSES PER DOCUMENT NO. R2005-206383	16,800.3 SQ. FT.
7' SIDEWALK EASEMENT	1,750.0 SQ. FT.
2 x 90' SIDEWALK EASEMENT	180.0 SQ. FT.

**PUBLIC UTILITIES AND DRAINAGE EASEMENT PROVISIONS**

PUBLIC UTILITIES AND DRAINAGE EASEMENT PROVISIONS ARE HEREBY RESERVED FOR AND GRANTED TO THE CITY OF NAPERVILLE, ILLINOIS ("CITY") AND TO THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE OR CONTRACT WITH THE CITY, OR OTHERWISE AUTHORIZED BY THE CITY, INCLUDING BUT NOT LIMITED TO ILLINOIS BELL TELEPHONE COMPANY DBA AT&T ILLINOIS, INCOGAS COMPANY, AND THEIR SUCCESSORS AND ASSIGNS, OVER, UPON, UNDER AND THROUGH ALL OF THE AREAS MARKED "PUBLIC UTILITIES AND DRAINAGE EASEMENTS" OR ("PU&D") ON THE PLAT FOR THE PERPETUAL, RIGHT, PRIVILEGE AND AUTHORITY TO INSTALL, SURVEY, CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN, AND OPERATE VARIOUS UTILITY TRANSMISSION AND DISTRIBUTION SYSTEMS, COMMUNITY ANTENNAE TELEVISION SYSTEMS AND INCLUDING STORM AND/OR SANITARY SEWERS, TOGETHER WITH ANY AND ALL NECESSARY MANHOLES, CATCHBASINS, CONNECTIONS, APPLIANCES AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID CITY, OVER, UPON, UNDER AND THROUGH SAID INDICATED EASEMENTS, TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE PROPERTY FOR NECESSARY PERSONNEL AND EQUIPMENT TO DO ANY OF THE ABOVE WORK.

THE RIGHT IS ALSO GRANTED TO TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE SEWERS OR OTHER UTILITIES. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENTS, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS. WHERE AN EASEMENT IS USED BOTH FOR SEWERS AND OTHER UTILITIES, THE OTHER UTILITY INSTALLATION SHALL BE SUBJECT TO THE ORDINANCES OF THE CITY OF NAPERVILLE.

EASEMENTS ARE HEREBY RESERVED AND GRANTED TO THE CITY OF NAPERVILLE AND OTHER GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OF THE LAND SUBDIVIDED HEREBY OVER THE ENTIRE EASEMENT AREA FOR INGRESS, EGRESS AND THE PERFORMANCE OF MUNICIPAL AND OTHER GOVERNMENTAL SERVICES, INCLUDING BUT NOT LIMITED TO, WATER, STORM AND SANITARY SEWER SERVICE AND MAINTENANCE.

THERE IS HEREBY RESERVED FOR AND GRANTED TO THE CITY AN EASEMENT FOR RIGHT OF ACCESS ON, OVER, ALONG AND ACROSS THE PROPERTY DESCRIBED HEREIN FOR THE LIMITED PURPOSE OF READING, EXAMINING, INSPECTING, INSTALLING, OPERATING, MAINTAINING, EXCHANGING, REMOVING, REPAIRING, TESTING AND/OR REPLACING CITY OWNED UTILITY EQUIPMENT AND METERS WHICH SERVE SAID PROPERTY, INCLUDING NECESSARY PERSONNEL AND EQUIPMENT TO DO ANY OF THE ABOVE WORK.

**DUPAGE COUNTY RECORDER'S CERTIFICATE**

STATE OF ILLINOIS) SS.  
 COUNTY OF DUPAGE)  
 THIS INSTRUMENT \_\_\_\_\_ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_ AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ A.M. AND WAS RECORDED IN BOOK \_\_\_\_\_ OF PLATS ON PAGE \_\_\_\_\_  
 RECORDER OF DEEDS

**SURVEYOR'S CERTIFICATE**

STATE OF ILLINOIS) SS.  
 COUNTY OF DUPAGE)  
 THIS IS TO CERTIFY THAT I, MICHAEL NELSON, AN ILLINOIS PROFESSIONAL LAND SURVEYOR NUMBER 035-3095, HEREBY STATE THAT I HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

PARCEL 1: LOT 1 IN RAILWAY PLAZA COMMERCIAL, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 38 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT HEREOF RECORDED AUGUST 13, 1998 AS DOCUMENT R98-164293, (EXCEPTING THEREFROM THAT PART OF THE LAND TAKEN FOR ROAD PURPOSES PURSUANT TO CONDEMNATION CASE NUMBER 2012ED000025, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2: A NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF PARCEL 1 CREATED BY THE PLAT OF RAILWAY PLAZA COMMERCIAL RECORDED AUGUST 13, 1998 AS DOCUMENT R98-164293, AND AS CREATED BY DEED RECORDED SEPTEMBER 19, 2005 AS DOCUMENT R2005-206383, FOR THE PURPOSE OF PASSAGE OF EMERGENCY SERVICES AND BY OWNERS, EMPLOYEES, TENANTS, GUESTS AND INVITEES IN VEHICLES OR AS PEDESTRIANS OVER ALL PAVED AREAS, ROADS, PARKING LOTS AND DRIVEWAYS.

I FURTHER STATE THAT THE TOTAL AREA OF THE PROPERTY SURVEYED HEREON CONTAINS 74,791.36 SQUARE FEET OR 1.716 ACRES.

I FURTHER STATE THAT ALL OF THE PROPERTY INCLUDED IN THE ANNEXED PLAT IS WITHIN THE CORPORATE LIMITS OF THE CITY OF NAPERVILLE, ILLINOIS.

I FURTHER STATE THAT THE CITY OF NAPERVILLE HAS ADOPTED AN OFFICIAL COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY THE STATE OF ILLINOIS ACCORDING TO 65 ILCS 5/11-12.6 AS HERETOFORE AND HEREAFTER AMENDED.

I FURTHER STATE THAT THE PROPERTY IN THIS SUBDIVISION IS IN ZONE "X" AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, AS SET FORTH ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF NAPERVILLE, ILLINOIS, COMMUNITY PANEL NUMBER 17043C0076H, WITH AN EFFECTIVE DATE OF DECEMBER 16, 2004. ZONE "X" IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN.

GIVEN UNDER MY HAND AND SEAL THIS 18TH DAY OF AUGUST, A.D. 2017.



ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3095  
 MY REGISTRATION EXPIRES ON NOVEMBER 30, 2016  
 PROFESSIONAL DESIGN FIRM LICENSE NO. 184-007246-0010 EXPIRES 04/30/2019  
 DATE OF COMPLETION: 08/18/2017  
 DATE OF REVISION: 09/25/2017 PER VILLAGE COMMENTS 09/15/2017

METRO WEST SUBDIVISION  
 CITY OF NAPERVILLE PROJECT # 17-10000092  
 PREPARED: SEPTEMBER 26, 2017  
 REVISED: OCTOBER 12, 2017 PER CITY COMMENTS  
 REVISED: OCTOBER 24, 2017 PER CITY COMMENTS  
 REVISED: NOVEMBER 14, 2017 PER CITY COMMENTS

MY LICENSE EXPIRES NOVEMBER 30, 2018

**OWNER'S CERTIFICATE**  
 STATE OF ILLINOIS) SS.  
 COUNTY OF \_\_\_\_\_)  
 THIS IS TO CERTIFY THAT \_\_\_\_\_ IS THE OWNER OF THE PROPERTY DESCRIBED ABOVE AND AS SUCH OWNER, HAS CAUSED THE SAME TO BE PLATED AS SHOWN HEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH AND AS ALLOWED AND PROVIDED BY STATUTES, AND AS SAID OWNER, DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE AFORESAID.  
 DATED AT \_\_\_\_\_, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_  
 OWNER

**NOTARY CERTIFICATE**  
 STATE OF ILLINOIS) SS.  
 COUNTY OF \_\_\_\_\_)  
 THE UNDERSIGNED, A NOTARY PUBLIC IN THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT \_\_\_\_\_ WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AS OWNER RESPECTIVELY, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT, AS OWNER, FOR THE USES AND PURPOSES THEREIN SET FORTH.  
 GIVEN UNDER MY HAND AND NOTARIAL SEAL  
 THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_  
 NOTARY PUBLIC SIGNATURE  
 PRINT NAME

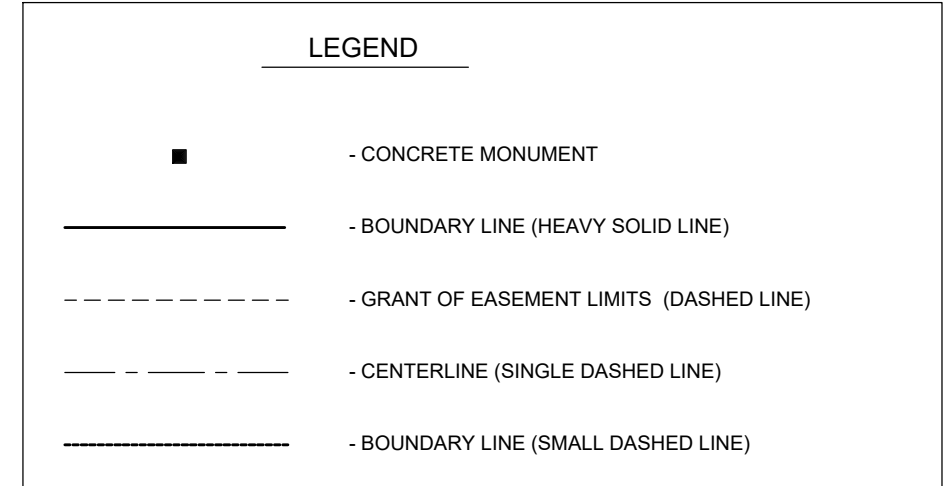
**PLAN COMMISSION CERTIFICATE**  
 STATE OF ILLINOIS) SS.  
 COUNTY OF DUPAGE)  
 APPROVED BY THE CITY OF NAPERVILLE PLAN COMMISSION  
 AT A MEETING HELD THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_  
 BY: \_\_\_\_\_ CHAIRMAN ATTEST: \_\_\_\_\_ SECRETARY

**CITY TREASURER'S CERTIFICATE**  
 STATE OF ILLINOIS) SS.  
 COUNTY OF DUPAGE)  
 I, TREASURER FOR THE CITY OF NAPERVILLE, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPOINTED AGAINST THE TRACT OF LAND INCLUDED IN THE ANNEXED PLAT.  
 DATED AT NAPERVILLE, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_  
 CITY TREASURER/DIRECTOR, FINANCE DEPARTMENT

**CITY COUNCIL CERTIFICATE**  
 STATE OF ILLINOIS) SS.  
 COUNTY OF DUPAGE)  
 APPROVED AND ACCEPTED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF NAPERVILLE, ILLINOIS, AT A MEETING HELD THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_  
 BY: \_\_\_\_\_ ATTEST:

**DUPAGE COUNTY CLERK'S CERTIFICATE**  
 STATE OF ILLINOIS) SS.  
 COUNTY OF DUPAGE)  
 I, \_\_\_\_\_ COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.  
 I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.  
 GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT WHEATON, ILLINOIS.  
 THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_\_\_  
 COUNTY CLERK

**NOTES**  
 ALL MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.  
 DIMENSIONS SHOWN ALONG CURVES ARE ARC DISTANCES.  
 BASIS OF BEARINGS: THE BEARINGS SHOWN ON THE PLAT ARE BASED THE WEST LINE OF LOT 1 IN RAILWAY PLAZA COMMERCIAL = N00°04'38"E MEASURED (NAD 83) IL-EAST  
 ALL EASEMENTS ARE PROPOSED UNLESS OTHERWISE NOTED.  
 ALL EASEMENTS DEPICTED ON THE PLAT MAP ARE FOR PUBLIC UTILITIES AND DRAINAGE PURPOSES UNLESS OTHERWISE NOTED.



## EXHIBIT B