

CITY OF NAPERVILLE
Address: 24524 W. 111th
Naperville, IL 60563
Approval Date: 10/17/22



Final Landscape Development Plans



- ▲ 5.11.2022 - Per City Review Comments dated 4.26.2022
- ▲ 7.8.2022 - Per City Review Comments dated 5.25.2022
- ▲ 9.28.2022 - Final Plans
- ▲ 12.12.2022 - Per City Review Comments dated 10.25.2022
- ▲ 1.13.2023 - Per City Review Comments dated 12.29.2022

THE BELVEDERE

NAPERVILLE, ILLINOIS

OWNER : **BRIDGE CAPITAL PARTNERS**
336 Bon Air Center # 351
Greenbrae, CA 94904

ARCHITECT : **TORCH ARCHITECTURE**
27 W. Jefferson - Suite 200
Naperville, Illinois 60540
Project Manager: Rob Costello, Principal

ENGINEER : **CEMCON, Ltd.**
2280 White Oak Circle
Aurora, IL 60502
(630) 862.2100 voice
Project Manager : Kim Morgart, P.E.

LANDSCAPE ARCHITECT : **Signature Design Group, Inc.**
132 N. Washington Street
Naperville, Illinois 60540
(630) 305.3980 voice
Project Manager: Greg G. Sagen, RLA



LOCATION MAP

INDEX OF DRAWINGS

- L.100 Overall Landscape Plan
- L.101 Landscape Plan - South
- L.102 Landscape Plan - North
- L.103 Clubhouse / Pool Area Enlargement
- L.104 Typical Building Planting Plans
- L.105 Turf Establishment Exhibit
- L.106 Plant Material List, Detail & Notes
- L.107 Enlargement Details
- L.108 Playground & Dog Park Detail
- TS.100 Existing Tree Survey

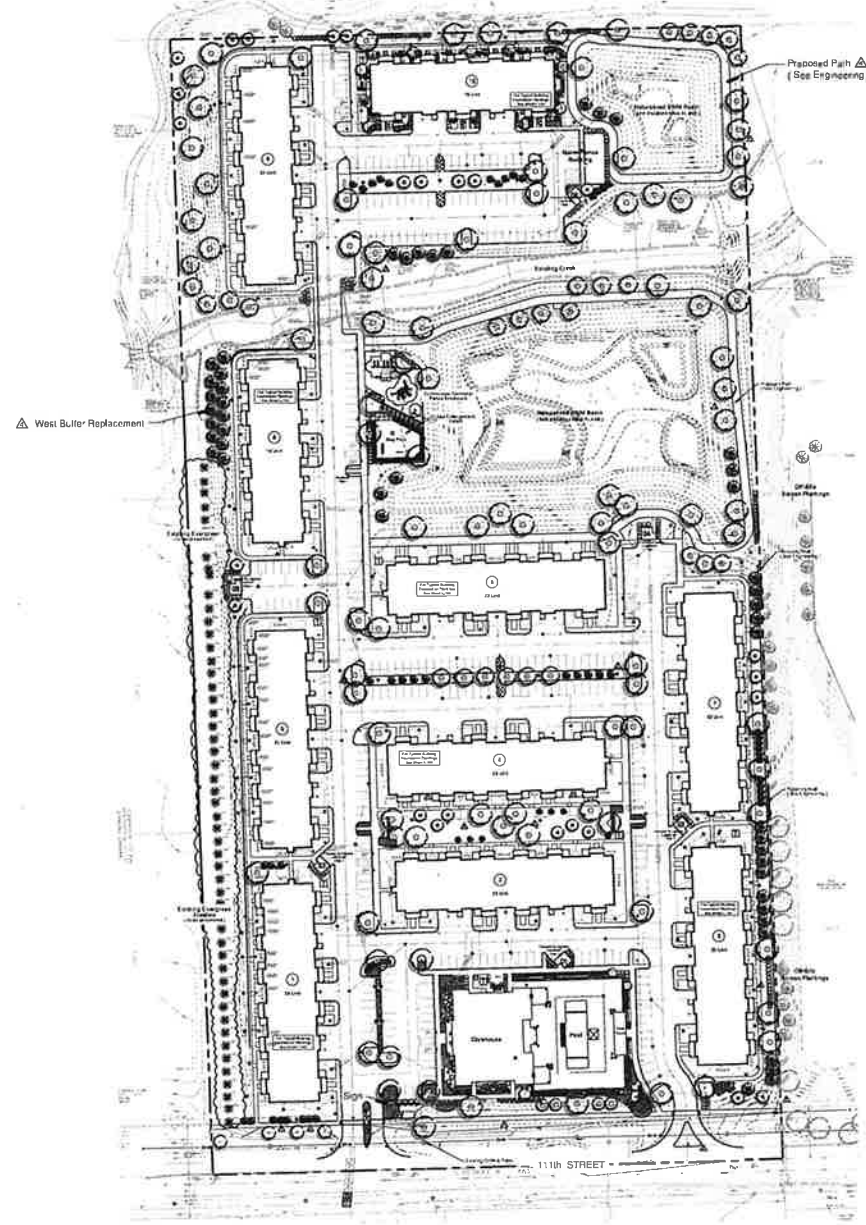
CITY OF NAPERVILLE
 Approved: 2/28/24
 Approved Date: 1/13/23

Plant Material Legend :

- Shade Tree, 2 1/2' - 3'
- River Birch, 8' - 10' m/s
- Ornamental Tree, 6'
- Evergreen Tree 6'
- Columnar Evergreen Tree, 6'
- Deciduous Shrub Bed, 36"
- Evergreen Shrub Bed, 18"
- Ornamental Grass Bed, 1gal,
- ◻ Proposed Transformers (12)

Notes :

- See Sheet L.104 for Typical Building Planting Plan
- See Sheet L.105 for Turf Establishment Plan
- See Sheet L.106 for Plant Material List



Land Planning
 Landscape Architecture
 Environmental Site Design

project

The Belvedere

111th Street
 Naperville, Illinois

sheet description

Overall Landscape Plan

owner:

Bridge Capital Partners
 336 Bon Air Center #351
 Greenbrae, CA 94904



north: scale:



1.13.2023	Per City Review Comments dated 1/13/2023
12.18.2022	Per City Review Comments dated 1/13/2023
8.28.2022	Final Plans
7.8.2022	Per City Review Comments dated 7/27/2022
5.11.2022	Per City Review Comments dated 5/18/2022

original issue date: **22 March 2022**

drawn by:
 checked by:
 project no.: **22007**
 sheet no.:

L.100

EXHIBIT C

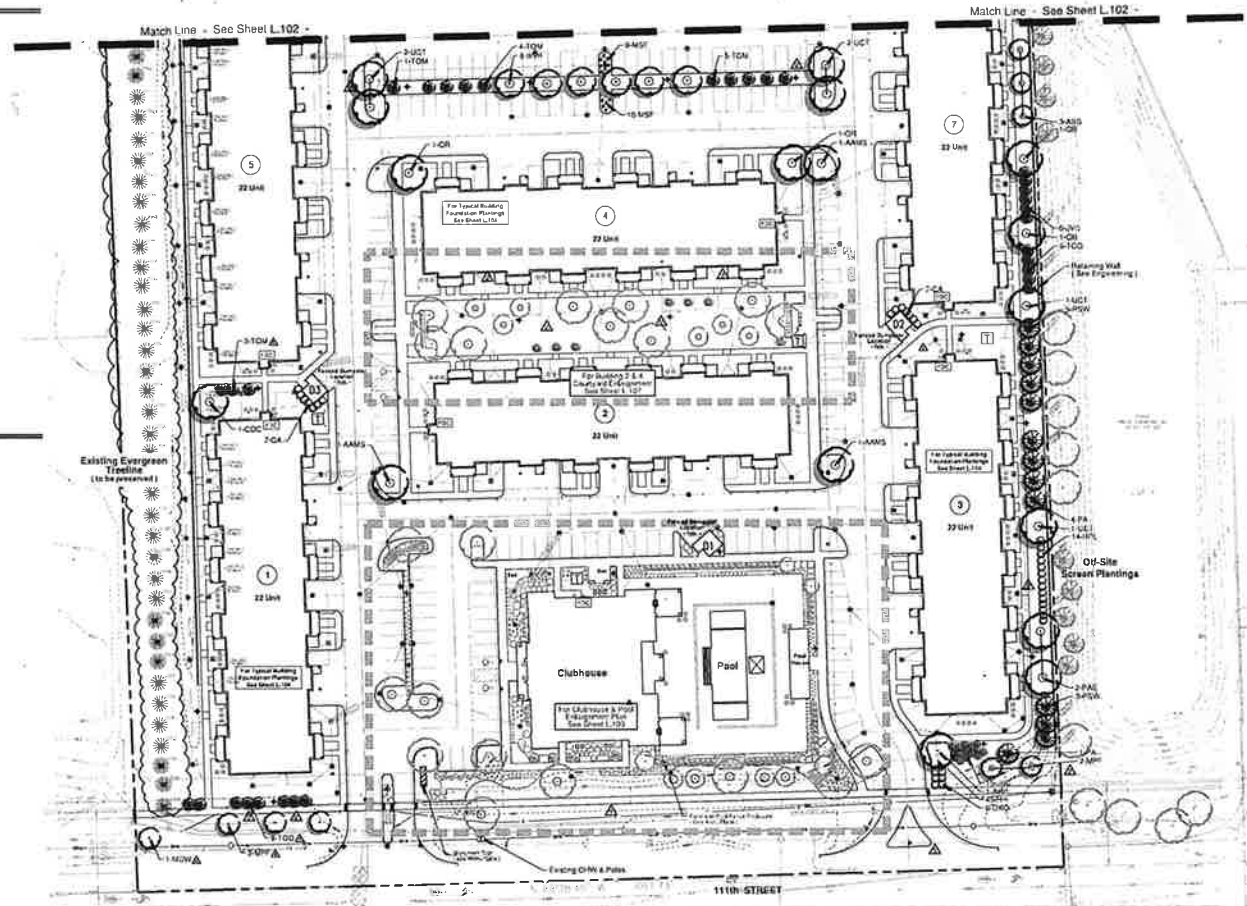
CITY OF NAPERVILLE
 Address: 2425 W 111th
 Unit: Box 650 Champaign, IL 61820
 Approved: 10/1/22

Plant Material Legend :

-  - Understory Parkway Tree, 2 1/2"
-  - Shade Tree, 2 1/2" - 3"
-  - River Birch, 8" - 10" m/s
-  - Ornamental Tree, 6"
-  - Evergreen Tree 6"
-  - Columnar Evergreen Tree, 6"
-  - Deciduous Shrub Bed, 36"
-  - Evergreen Shrub Bed, 18"
- Ornamental Grass Bed, 1 gal.

Notes :

- See Sheet L.104 for Typical Building Planting Plan
- See Sheet L.105 for Turf Establishment Plan
- See Sheet L.106 for Plant Material Legend



Land Planning
 Landscape Architecture
 Environmental Site Design

The Belvedere

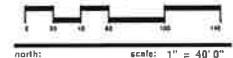
111th Street
 Naperville, Illinois

sheet description:

Final Landscape Plan

South Half

Bridge Capital Partners
 336 Bon Air Center #351
 Greenbrae, CA 94904



▲ 1.18.2021	Per City Review Comments dated 12.28.2021
▲ 11.14.2021	Per City Review Comments dated 12.21.2021
▲ 8.26.2021	Final Plan
▲ 7.8.2022	Per City Review Comments dated 10.10.2022
▲ 5.11.2021	Per City Review Comments dated 4.28.2021

original issue date: **22 March 2022**

drawn by:
 checked by:
 project no.: 22007
 sheet no.:

L.101

CITY OF NAPERVILLE
 Mayor: DAN RAY
 City Clerk: JILL BROWN
 Date: 7/13/22
 Approval Date: 10/11/22

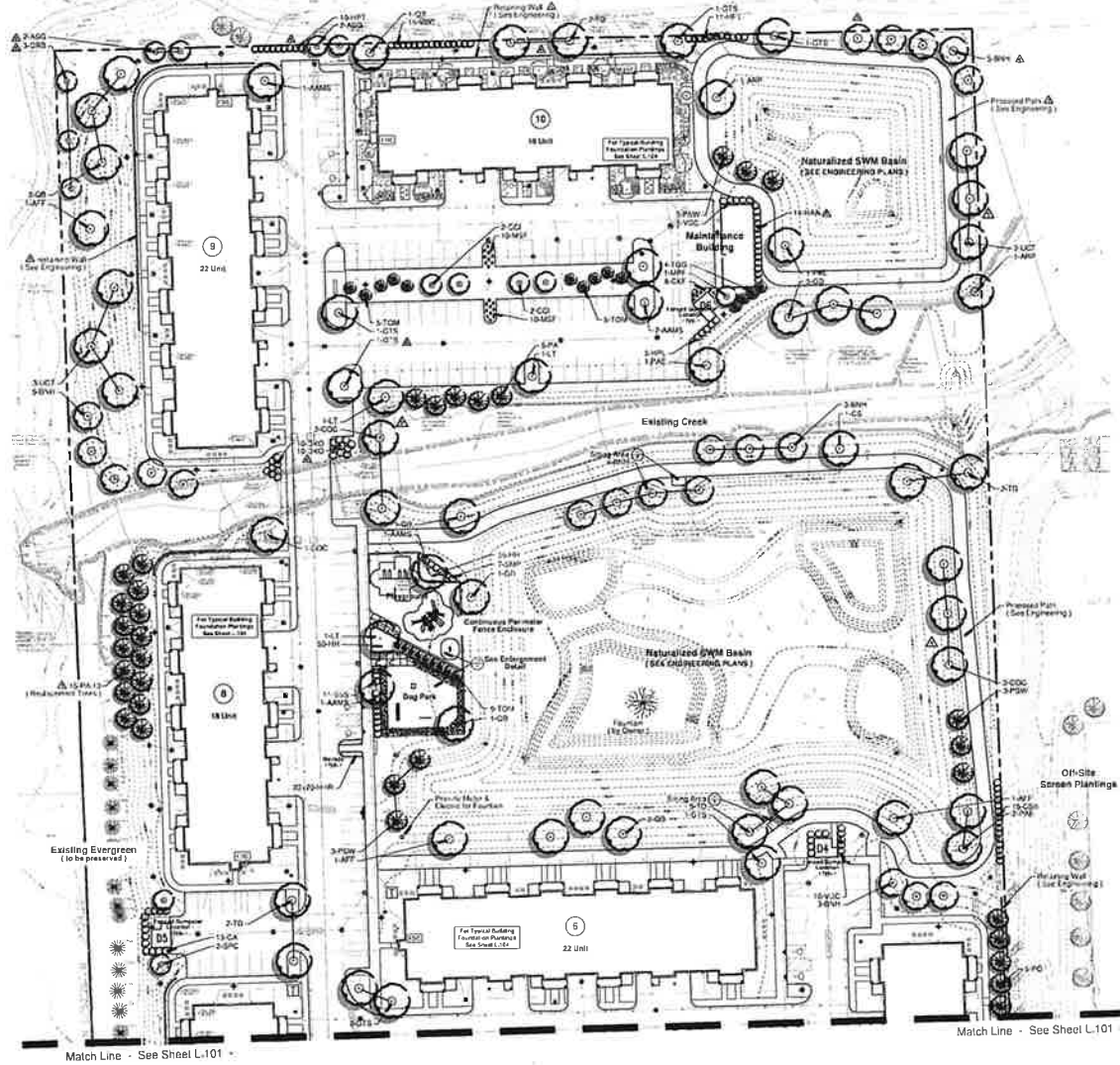


Plant Material Legend :

- Shade Tree, 2' - 3'
- River Birch, 8' - 10' m/s
- Ornamental Tree, 6'
- Evergreen Tree 6'
- Columnar Evergreen Tree, 6'
- Deciduous Shrub Bed, 36"
- Evergreen Shrub Bed, 18"
- Ornamental Grass Bed, 1gal.

Notes :

- See Sheet L.104 for Typical Building Planting Plan
- See Sheet L.105 for Turf Establishment Plan
- See Sheet L.108 for Plant Material Legend



Land Planning
 Landscape Architecture
 Environmental Site Design

100 N. Washington St., Suite 212 • Naperville, IL 60563 • Tel: 630.330.1100

project

The Belvedere

111th Street
 Naperville, Illinois

sheet description:

Final Landscape Plan

North Half

owner:

Bridge Capital Partners
 336 Bon Air Center #351
 Greenbrae, CA 94904



North: ↑ scale: 1" = 40' 0"

▲ 1.13.2021	Per City Review Comments dated 12/29/2021
▲ 12.12.2021	Per City Review Comments dated 12/25/2021
▲ 02.24.2022	Final Plans
▲ 7.2.2022	Per City Review Comments dated 5.16.2022
▲ 8.10.2022	Per City Review Comments dated 7.29.2022

original issue date: **22 March 2022**

drawn by: _____
 checked by: _____
 project no.: 22007
 sheet no.: _____

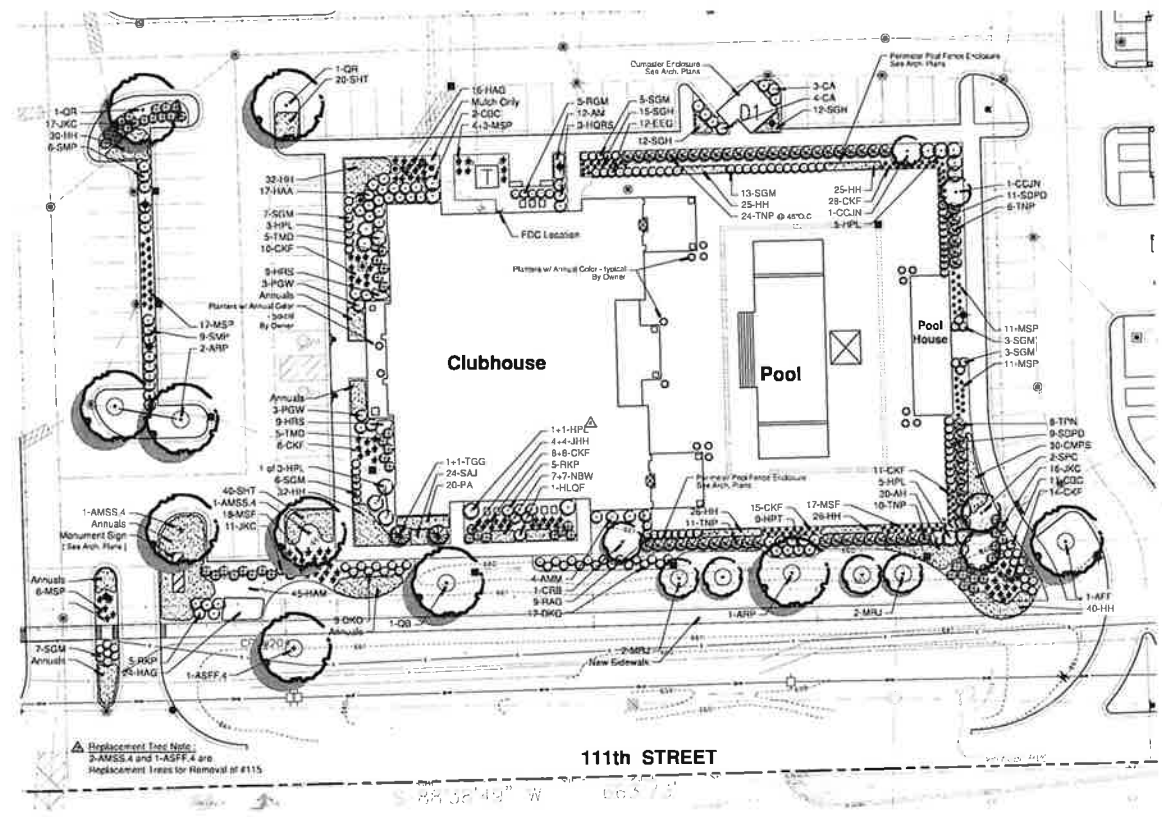
L.102

The Belvedere

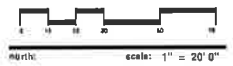
111th Street
Naperville, Illinois

sheet description:
**Clubhouse / Pool
Enlargement**

owner:
**Bridge Capital Partners
336 Bon Air Center #351
Greenbrae, CA 94904**



Replacement Tree Note:
2-AMSS.4 and 1-ASFF.4 are
Replacement Trees for Removal of #115.



1/23/2014	Per City Review Comments Serial 12.10.2014
1/23/2014	Per City Review Comments Serial 12.10.2014
8/28/2014	Final Plans
7/8/2014	Per City Review Comments Serial 6.26.2014
6/11/2014	Per City Review Comments Serial 6.26.2014

original issue date: **22 March 2022**

drawn by:
checked by:
project no: **22007**
sheet no.:

EXHIBIT C

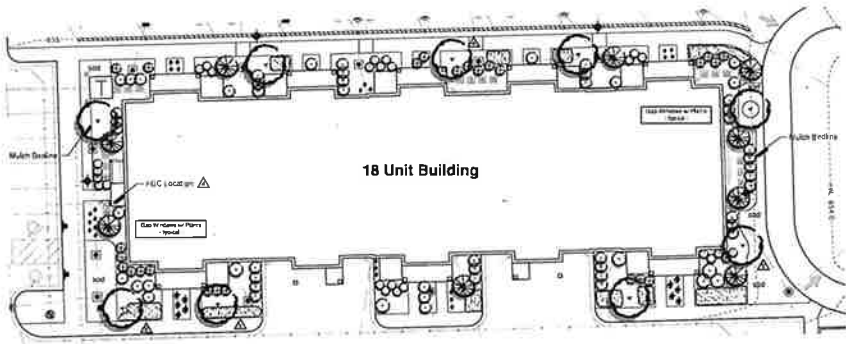
PLANT MATERIAL LEGEND: (Sheet L104 Only)

- Large Ornamental Trees, 8" - 10" cal.**
 100% River Birch, 8" - 10" cal.
- Ornamental Trees, 6" - 8" cal. or 2.5" cal.**
 20% Fraxino Ficus, 6" or 2.5"
 20% Red Jewel Crab, 6" or 2.5"
 20% Apple Sarcocolla, 7"
 20% Acer Magnolia, 5"
 10% Common Witchhazel, 4"
 10% Ivory Silk Tree Lilac, 6"
- Upright Evergreen, 4" - 6" tall**
 40% Masson Arborvitae, 4"
 20% Japanese Spindle Tree, 5"
 20% Green Giant Arborvitae, 4"
- Evergreen Shrubs, 24" wide**
 25% Dwarf Yew, 24"
 25% Green Velvet Sarcocolla, 18"
 50% Kalmia Compact Juniper, 18"
- Deciduous Shrubs, 24" - 36" tall**
 25% Bergamot Compact Rosehip Dogwood, 30" (large)
 25% Blue Mistle-Beane Viburnum, 30" (large)
 25% Lindalgh Hydrangea, 30" (large)
 25% Max Kim Lilia, 36" (large)
 25% Max Kim Lilia, 36" (large)
 40% Anaxosata Hydrangea, 34" (med.)
 20% Black Chaboterry, 24" (med.)
 20% Little Lime Hydrangea, 18" (med.)
 10% Kousa Orange Camellia, 15" (med.)
 10% Grovela Gumac, 15" (med.)
 20% D.M. Alpine Currant, 15" (small)
 20% Baldpate Spirea, 15" (small)
 20% Black Forsythia, 18" (small)
 20% Kousa Orange Camellia, 15" (small)
 20% Little Phlox Spirea, 15" (small)
- Perennial, 1 gal.**
 20% Blue Warden Catmint
 20% Happy Return Daylily
 20% Autumn Joy Sedum
 20% Summer Beauty Astilbe
 20% Hosta Gold Standard or Royal Standard Hosta
- Ornamental Grass A, 1 gal.**
 45% K2, Fairytale Heart Grass
 35% Ethernedead Red Switch Grass
- Ornamental Grass B, 1 gal.**
 40% Dwarf Prairie Dropseed (Tara)
 40% Autumn Moor Grass
 20% Northern Sea Oats

* Shade Tolerance: Shade tolerant plants are noted with an asterisk to be used on North side of building.
 * Adjacent Parking Lot and Common Area Landscaping are not shown on this exhibit for clarity.

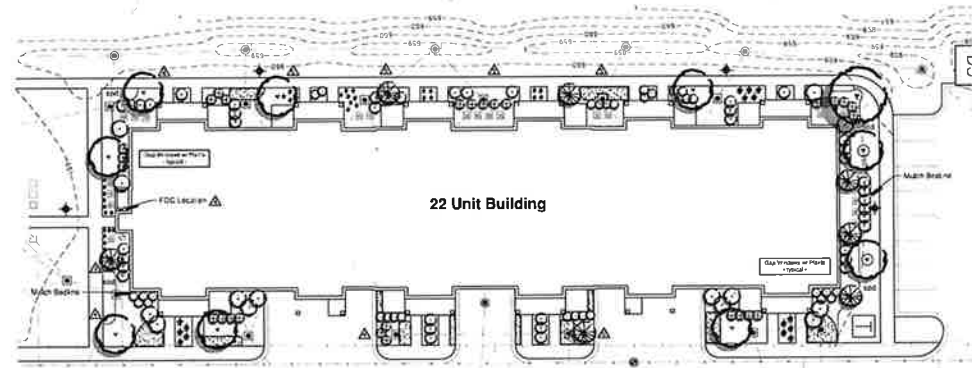
CONSTRUCTION NOTES:

- Sod all turf areas as noted with an approved blend of improved Kentucky Bluegrass seed with a 1/4" root ball.
- Fine grading shall provide slopes which are erodible and continuous. Positive drainage shall be provided in all areas.
- Prior to soil replacement all areas shall be leveled with a 1/2" - 2" erodible texture at 1 inch.
- 100 lbs. per bag.
- Prepare permanent ornamental grass, groundcover and annual flower beds with 1 CY, maximum depth per 100 SF, installed to an 8" depth.
- Mow all trees, shrubs, perennials and grass beds with a 1/4" mulch of iron-rich shredded hardwood pine mulch.
- Mow all groundcover and annual beds with iron-rich mulch.
- All bed lines and tree stakes require a 4" deep sandstone between lawn and mulch areas.
- All perennial (flower) beds and shrubs shall be grown in a 100% shade or partial shade.
- Plant material using watering and ball stakes shall conform to the "American Standards for Nursery Stock" (latest edition) by the American Association of Nurserymen, Inc.
- Plant material shall be nursery grown and be either balled and burlapped or container grown. Grasses are sown on plants but represent minimum requirement.
- All plants shall be supplied as specimens. Comments shall specify all varieties, and in case of a specimen, the plant shall provide.
- The Landscape Contractor shall adjust plant locations in field to the site's appropriate spacing from the hydrants, light poles, all soil by structures, driveway and accessible. Approval of the Landscape Architect is required when field adjustments to be implemented as per approval by the owner of the plan.
- Comments of all report any discrepancies in the field to the architect without excusing the owner.
- The Landscape Contractor shall verify locations of all underground utilities prior to planting. It is required to Contact 811, (1-800-485-2121) and any other public or private agency necessary for utility location information prior to planting.
- Before planting the landscape, all field equipment must be inspected by the landscape architect.
- The Landscape Contractor shall water plants in the field and shall ensure that the plants have been adequately established and shall not overwater the plants. Owner to provide all equipment, watering and proper care and maintenance of all plants, mulch, soil and sod areas after acceptance of Landscape Contractors work.
- The plants are to be planted at a minimum 10% above the line shown on the landscape plan.
- The plants are to be planted at a minimum 10% above the line shown on the landscape plan.
- Landscape Contractor shall provide all material and labor for a period of 90 days from the date of field acceptance and shall include any permits and signage as may be required for the site during the 90-day period.



A Typical 18 Unit Foundation Planting Plan 2 Total
 scale: 1" = 20'0"

Note: Adjust plantings as required to accommodate adjacent common area trees and to maintain utility setback requirements.



B Typical 22 Unit Foundation Planting Plan 8 Total
 scale: 1" = 20'0"



Land Planning
 Landscape Architecture
 Environmental Site Design

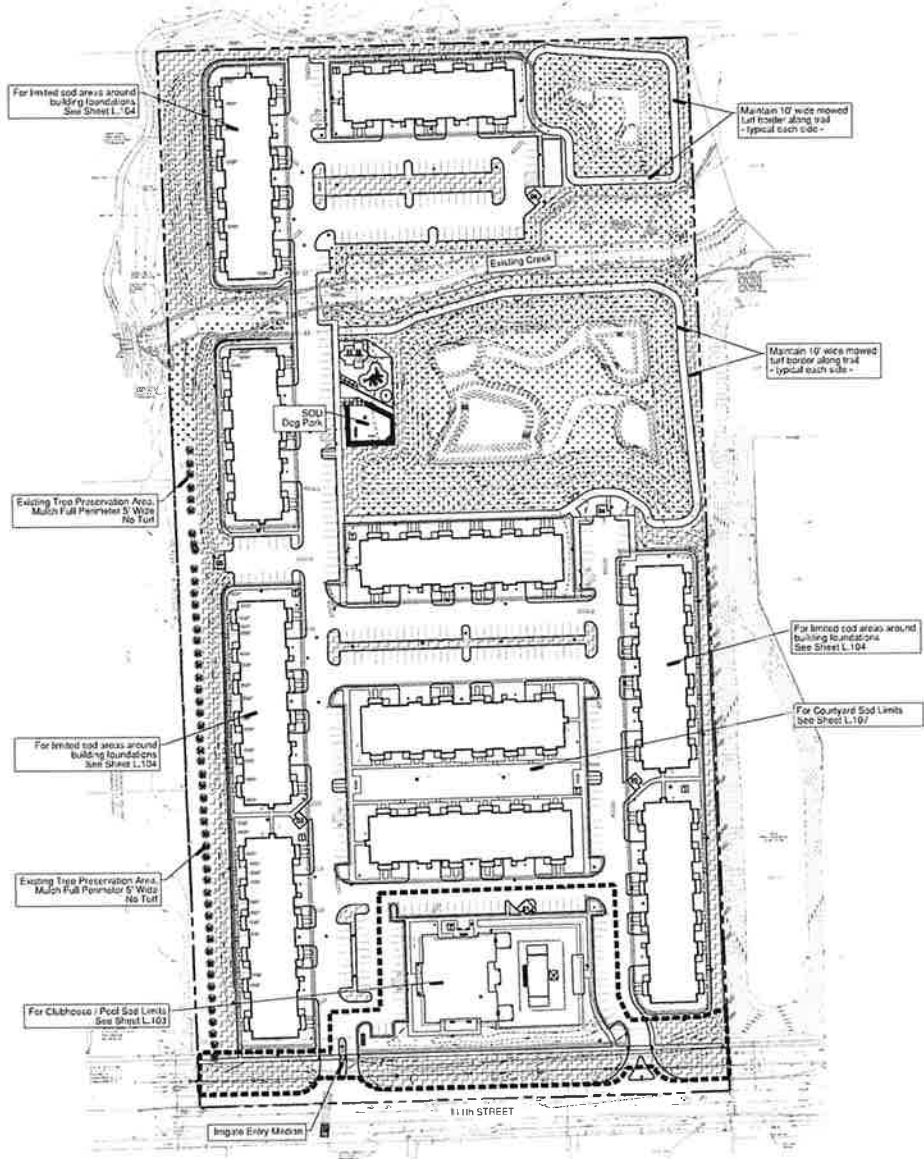
The Belvedere

1111th Street
 Naperville, Illinois

Typical Building Landscape Plan

Bridge Capital Partners
 336 Bon Air Center #351
 Greenbrae, CA 94904

Scale: 1" = 20'0"	North Arrow
1.0.0.0000	Per City Review Comments dated 10/10/2021
1.0.0.0001	Per City Review Comments dated 10/10/2021
1.0.0.0002	Per City Review Comments dated 10/10/2021
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1.0.0.0005	Per City Review Comments dated 10/10/2021
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1.0.0.0048	Per City Review Comments dated 10/10/2021
1.0.0.0049	Per City Review Comments dated 10/10/2021
1.0.0.0050	Per City Review Comments dated 10/10/2021



Turf Legend :

	SOD	1,800 SY
	Irrigation	600 SY
	Seed Mix A & Blanket	12,500 SY
	Native Seeding - By Others	14,400 SY

Project:

The Belvedere

111th Street
 Naperville, Illinois

Sheet description:

Turf & Irrigation Exhibit

Sheet no.:

Bridge Capital Partners
 335 Bon Air Center #351
 Greenbrae, CA 94904



North: scale: 1" = 70' 0"

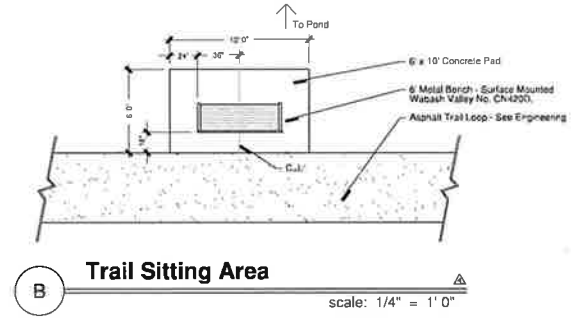


1.11.2022	Per City Review Comments dated 12/29/2021
1.12.2022	Per City Review Comments dated 10/25/2021
2.28.2022	Final Plans
2.8.2022	Per City Review Comments dated 12/23/2021
2.11.2022	Per City Review Comments dated 12/23/2021

original issue date: **22 March 2022**

drawn by: _____
 checked by: _____
 project no.: 22007
 sheet no.:

EXHIBIT C



The Belvedere

111th Street
 Naperville, Illinois

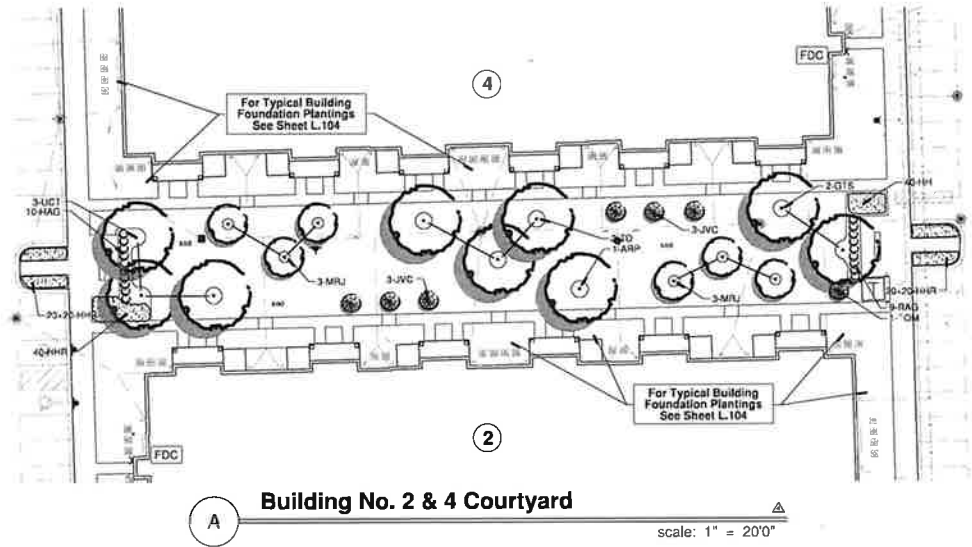
Enlargement Details

Bridge Capital Partners
 336 Bon Air Center #351
 Greenbrae, CA 94904

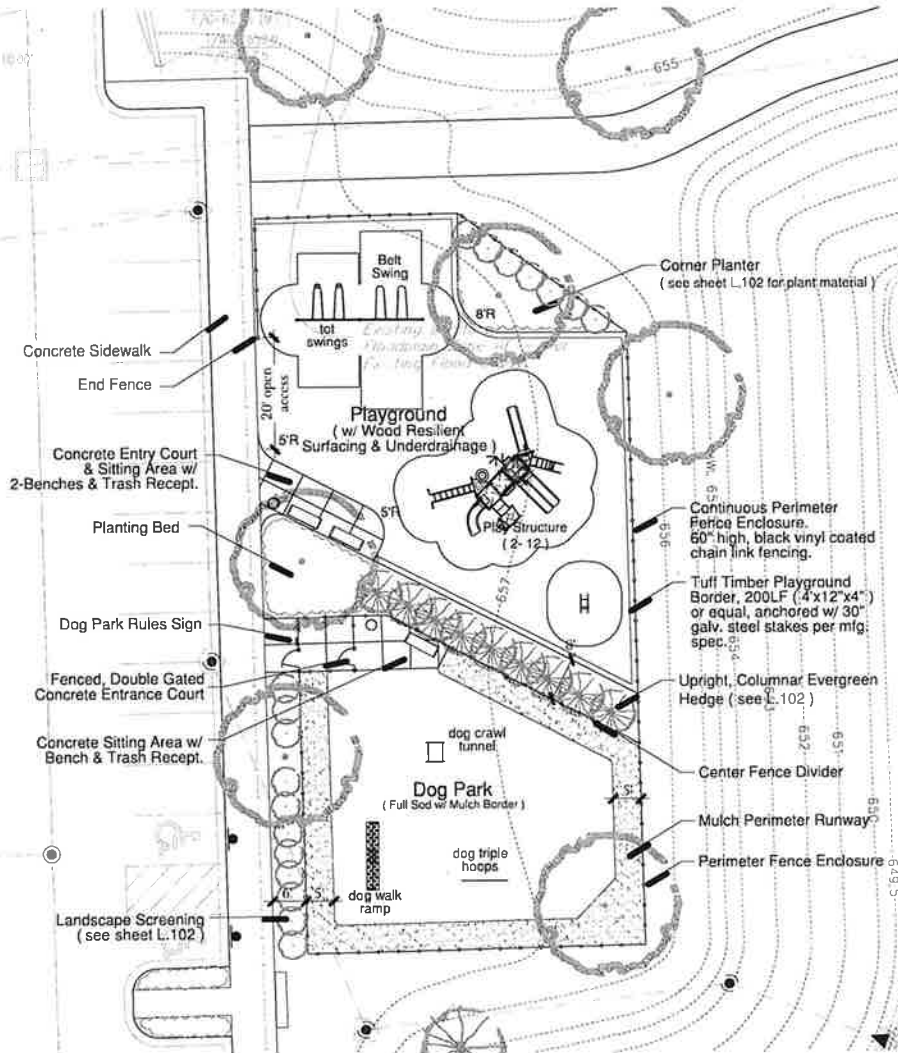
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12.12.2022	Per City Review Comments dated 12/12/2022
6.28.2022	Final Plans
2.8.2022	Per City Review Comments dated 2/8/2022
6.11.2021	Per City Review Comments dated 6/11/2021
original issue date:	22 March 2022
drawn by:	
check by:	
project no.:	22007
sheet no.:	

CONSTRUCTION NOTES:

- Set all built areas at least with an approved blend of improved Kentucky Bluegrass Seed with a hard soil track.
- Fine grading shall provide slopes which are smooth and consistent. Positive drainage shall be provided in all areas.
- Prior to final installation all areas shall be fertilized with a 18-12-12 granular fertilizer at a rate of 100 lbs. per Acre.
- Prepare general, ornamental grass, groundcover and annual flower beds with 1 CY maximum compost per 100 SF, returned to an 8" depth.
- Mow all times, except between 8 AM and 5 PM, with a 1/2" mulch or three inches undisturbed hardwood bark mulch.
- Use all groundcover and annual beds with minimum of one inch landscape fabric.
- All bed lines and tree locations require a 4" deep shaded edge between lawn and mulch areas.
- All irrigation (sprinkler) lines and valves must be grown on a tubular plastic pipe per standard.
- Plant material including shrubs and ball trees shall conform to the "American Standards for Nursery Stock" (latest edition) by the American Association of Nurserymen, Inc.
- Plant material shall be nursery grown and be either balled and burlapped or container grown. Grasses are spread on dirt but represent minimum requirements.
- On any site are exposed as a consequence, Contractor shall verify all quantities, used in case of a discrepancy, the plan shall prevail.
- The Landscape Contractor shall verify all plant locations in field to make a determination as to the proper planting depth, all utility structures, overhead and subsurface. Approval of the Landscape Architect is required when field adjustments to be implemented do not conform to the intent of the plans.
- Contractor shall report any discrepancies to the Field to the Landscape Architect and/or Designer.
- The Landscape Contractor shall verify locations of all underground utilities prior to digging, as required to Contact 213.33, of 602.800 8123, and any other public or private agency necessary to verify location of utilities prior to construction.
- Where underground utilities exist, all field adjustments must be approved by the Landscape Architect.
- The Landscape Contractor shall water plant material, shall install all areas of the plants to be installed as indicated on the plan and field locations by this series. Owner to provide all supplemental watering and proper care and maintenance of all plant materials, seed and soil areas after acceptance of Landscape Contractor work.
- No plants are to be changed or substituted without the approval of the Landscape Architect and the City of Naperville.
- Landscape Contractor shall supervise all material and labor for a period of one year from the date of final acceptance and shall verify any deficiencies and replace all items prior to final acceptance. An approved survey for water is provided.



CITY OF NAPERVILLE
 Last Revision: 2/28/24
 Date: 1/1/23
 Approval Date: 1/1/23



A Playground & Dog Park Enlargement
 scale: 1" = 10'0"



Land Planning
 Landscape Architecture
 Environmental Site Design

100 N. WASHINGTON ST. (OFFICE) • SUITE 200 • NAPERVILLE, IL 60563-3640

sheet #:

The Belvedere

111th Street
 Naperville, Illinois

sheet description:

Final Playground & Dog Park Details

owner:

Bridge Capital Partners
 336 Bon Air Center #351
 Greenbrae, CA 94904



▲ 1.13.2022	Per City Review Comments dated 1/13/2022
▲ 1.14.2022	Per City Review Comments dated 1/14/2022
▲ 1.18.2022	Final Plans
▲ 1.18.2022	Per City Review Comments dated 1/18/2022
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The Belvedere

111th Street
 Naperville, Illinois

Bridge Capital Partners
 335 Bon Air Center #351
 Greenbrae, CA 94904



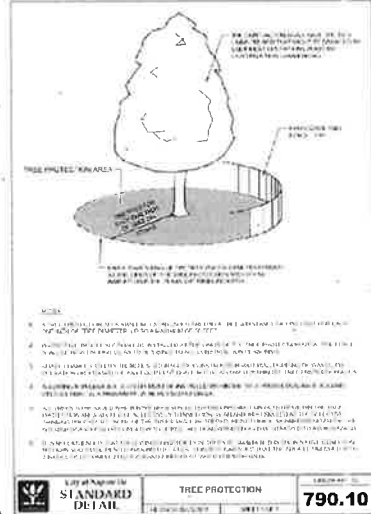
North

- 1.1.2.2023 Per City Review Comments dated 12/20/23
- 1.1.2.2023 Per City Review Comments dated 12/20/23
- 6.3.1.2023 Final Plans
- 7.1.2023 Per City Review Comments dated 6/23/23
- 8.1.18.2022 Per City Review Comments dated 5/26/22

original issue date: **22 March 2022**

Drawn by: _____
 Checked by: _____
 Project No.: 22007
 Sheet No.: _____

TS-100



Condition Rating Key :

Rating	Description	General Criteria
5	Excellent	The tree is typical of the species, has less than 10% deadwood in the crown that is attributable to normal causes, has no other observed problems, and requires no remedial action.
4	Good	The tree is typical of the species and/or has less than 25% deadwood in the crown, only 1 or 2 minor problems that are easily corrected with normal care.
3	Fair	The tree is typical of the species and/or has less than 40% deadwood in the crown, only 1 or 2 minor problems that are not conveniently located in the live and not significant structural or significant decay or structural problems, but the tree must have remedial care above normal care in order to minimize the impact of future stress and to ensure continued health.
2	Poor	The tree is not typical of the species and/or has over 50% deadwood in the crown, major decay or structural problems, is hazardous or is severely involved with insects, disease, or other problems that even if aggressively corrected would not result in the long term survival of the tree.
1	Dead	Less than 15% of the tree shows signs of life.

Tree Inventory Data :

Tree ID	Common Name	Botanical Name	DBH	Condition	Remarks	S/R
101	Thuja occidentalis	Mossy Arborvitae	20	Good		R
102	Morus sp	Catsappa	8	Good		R
103	Picea abies	Norway Spruce	35	Good		R
104	Picea abies	Norway Spruce	20	Poor	Tapped	R
105	Syringa reticulata	Jap. Tree Lilac	4	Good		R
106	Delonix regia	River Birch	20	Good		R
107	Lilac cordata	Red Maple	7	Good		R
108	Betula nigra	Red Maple	30	Good		R
109	Acer rubrum	Sugar Maple	6	Poor		R
110	Acer rubrum	Red Maple	6	Fair		R
111	Acer saccharum	Sugar Maple	12	Poor		R
112	Acer rubrum	Red Maple	2	Good		R
113	Acer saccharum	Sugar Maple	15	Poor		R
114	Acer saccharum	Sugar Maple	12	Good		R
115	Acer saccharum	Sugar Maple	13	Excellent		R
116	Morus sp	Catsappa	6	Poor		R
117	Lymnocytus dioica	Kentucky Coffinwood	15	Excellent		R
118	Lilac cordata	Red Maple	15	Good		R
119	Picea pungens	Colorado Spruce	15	Good		R
120	Morus sp	Mulberry	20	Fair		R
121	Morus sp	Mulberry	20	Fair		R
122	Morus sp	Mulberry	20	Fair		R
123	Acer saccharum	Sugar Maple	6	Fair		R
124	Cornus occidentalis	Hawthorn	6	Fair		R
125	Morus sp	Mulberry	15	Fair		R
126	Morus sp	Mulberry	15	Fair		R
127	Acer saccharum	Silver Maple	6	Poor		R
128	Pyrus calleryana	Callery Pear	8	Fair		R
129	Ulmus pumila	Siberian Elm	12	Good		R
130	Hamamelis virginiana	Honey Locust	7	Fair		R
131	Gleditsia triacanthos	Honey Locust	10	Fair		R
132	Prinus strobus	White Pine	20	Good		R
133	Prinus nigra	Austrian Pine	20	Poor		R
134	Prinus nigra	Austrian Pine	20	Fair		R
135	Prinus nigra	Austrian Pine	20	Fair		R
136	Salix sp	Willow	9	Poor		R
137	Ulmus pumila	Siberian Elm	5	Good		R
138	Ulmus pumila	Siberian Elm	8	Good		R
139	Ulmus pumila	Siberian Elm	8	Good		R
140	Populus deltoides	Cottonwood	8	Fair		R
141	Populus deltoides	Cottonwood	8	Fair		R
142	Populus deltoides	Cottonwood	10	Fair		R
143	Salix sp	Willow	10-12	Poor		R
144	Salix sp	Willow	10-12	Poor		R
145	Salix sp	Willow	10-12	Poor		R
146	Salix sp	Willow	10-12	Poor		R
147	Salix sp	Willow	10-12	Poor		R
148	Salix sp	Willow	10-12	Poor		R
149	Salix sp	Willow	10-12	Poor		R
150	Salix sp	Willow	10-12	Poor		R
151	Salix sp	Willow	10-12	Poor		R
152	Salix sp	Willow	10-12	Poor		R
153	Picea abies	Norway Spruce	37	Good		R
154	Picea abies	Norway Spruce	...	Good		R
155	Picea abies	Norway Spruce	...	Good		R
156	Picea abies	Norway Spruce	24	Fair		R
157	Picea abies	Norway Spruce	26	Good		R
158	Picea abies	Norway Spruce	25	Good		R
159	Picea abies	Norway Spruce	24	Good		R
160	Picea abies	Norway Spruce	24	Good		S
161	Picea abies	Norway Spruce	24	Good		S

Note: Three (3) 4" caliper replacement trees required for removal of tree #115. See Sheet L-103 for locations.

Note: Fifteen (15) 10" tall replacement evergreen trees are required for removal of trees #153, 156, 157, 158, 159. See Sheet L-102 for Replacement locations.

Existing Tree Survey Date :

Existing tree inventory and rating completed by Signature Design Group on March 14, 2022. Location and Tree Sizing Survey prepared by CEMCON, Ltd. Additional west treeline data added December 7, 2022.