

PRELIMINARY ENGINEERING PLANS

AUDREY SENIOR RESIDENCES

2939 AUDREY AVE
NAPERVILLE, ILLINOIS 60540

UTILITY AND GOVERNING AGENCY CONTACTS

ENGINEERING DEPARTMENT
400 S. EAGLE STREET
NAPERVILLE, IL 60540
TEL: (630) 420-6111

DPU ELECTRIC
ERIC MIKSZTA
1392 AURORA AVE, SUITE 100
NAPERVILLE, IL 60540
TEL: (630) 420-6180

PLANNER
KATHLEEN RUSSELL
400 S EAGLE ST
NAPERVILLE, IL 60540
TEL: (630) 420-6075

DPU WATER
BILL BOLSTER
400 S EAGLE ST
NAPERVILLE, IL 60540
TEL: (630) 420-4122

PROJECT ENGINEER
KATIE RUBUSH, PE
400 S EAGLE ST
NAPERVILLE, IL 60540
TEL: (630) 305-5326

FIRE DEPARTMENT
BEN DEANDA
1380 AURORA AVE
NAPERVILLE, IL 60540
TEL: (630) 305-5900

PROJECT TEAM

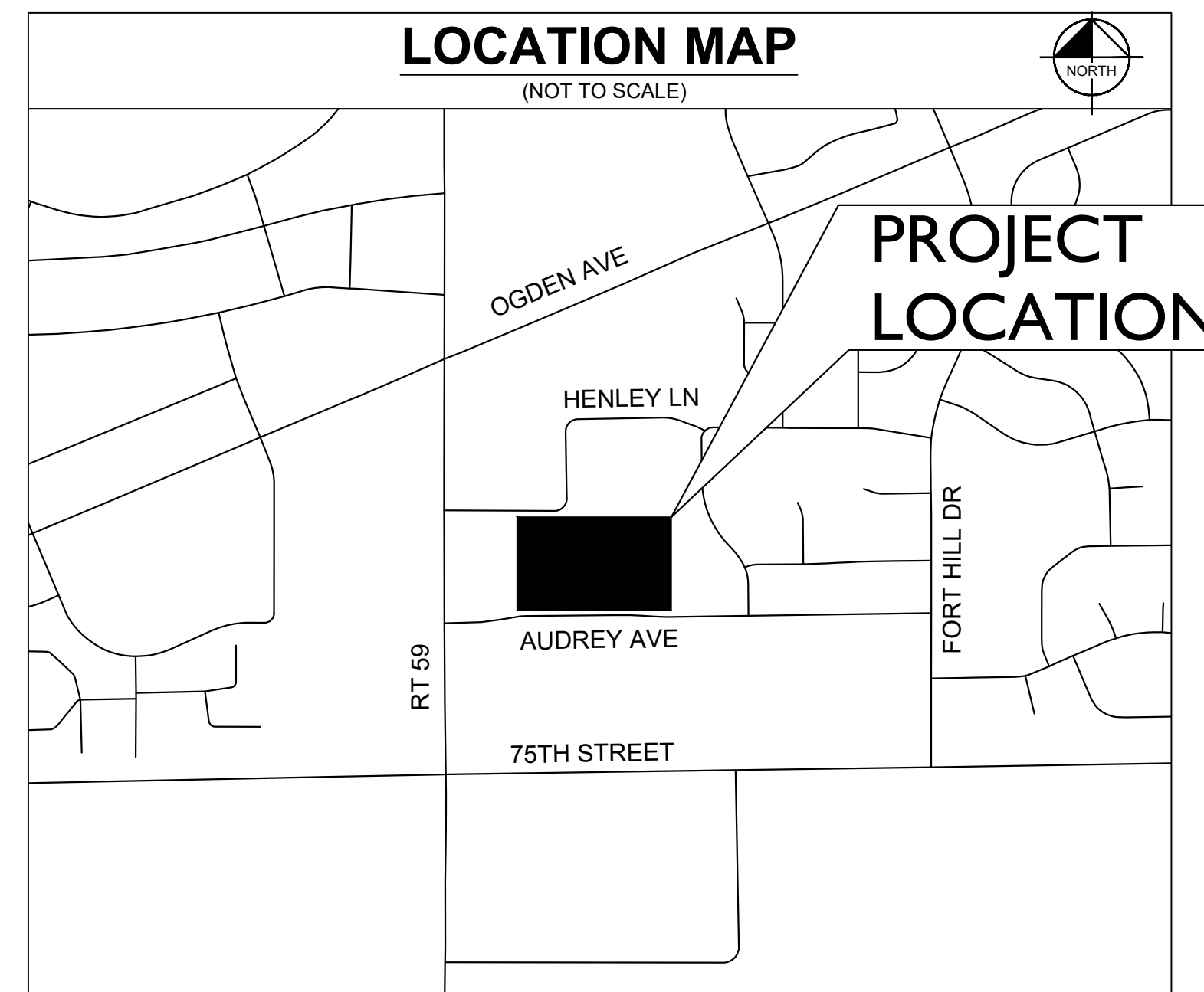
DEVELOPER
RYAN COMPANIES US, INC.
700 OAKMONT LANE, SUITE 100
WESTMONT, IL 60559
TEL: (630) 441-0615
EMAIL: KEITH.DEMCHINSKI@RYANCOMPANIES.COM
CONTACT: KEITH DEMCHINSKI, LEED AP

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD RD, SUITE 600
WARRENVILLE, IL 60555
TEL: (630) 487-5550
EMAIL: TAYLOR.ESCHBACH@KIMLEY-HORN.COM
CONTACT: TAYLOR ESCHBACH, P.E.

TRAFFIC ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD RD, SUITE 600
WARRENVILLE, IL 60555
TEL: (630) 487-5550
EMAIL: EMMA.ALBERS@KIMLEY-HORN.COM
CONTACT: EMMA ALBERS, P.E.

LANDSCAPE ARCHITECT
RYAN COMPANIES US, INC.
533 SOUTH THIRD STREET, SUITE 100
MINNEAPOLIS, MN 55415
TEL: (612) 492-4279
EMAIL: JUSTIN.BAGGENSTOSS@RYANCOMPANIES.COM
CONTACT: JUSTIN BAGGENSTOSS, PLA, ASLA

SURVEYOR
COMPASS SURVEYING
2631 GINGER WOODS PARKWAY, SUITE 100
AURORA, IL 60502
TEL: (630) 820-9100
EMAIL: DWALTER@CLSURVEYING.COM
CONTACT: DANIEL WALTER, P.L.S.



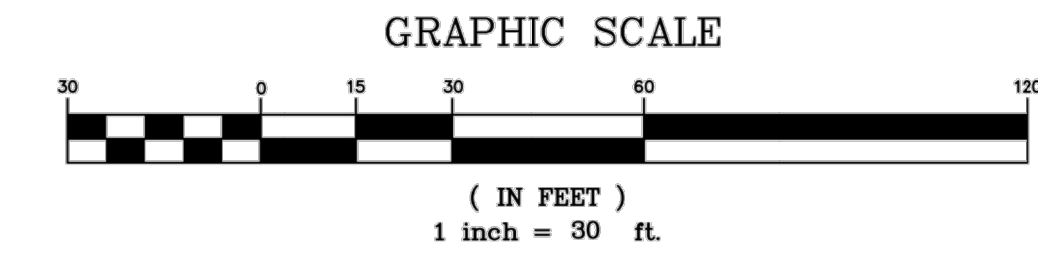
Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
V0.0	ALTA NSPS LAND TITLE SURVEY
V0.1	ALTA NSPS LAND TITLE SURVEY
V0.2	ALTA NSPS LAND TITLE SURVEY
C0.1	GENERAL NOTES
C1.0	EXISTING CONDITIONS & DEMOLITION PLAN
C2.0	SITE DIMENSION PLAN
C3.0	GRADING & DRAINAGE PLAN
C4.0	UTILITY PLAN
C5.0	STORMWATER PLAN

BENCHMARKS
<p>REFERENCE BENCHMARKS: (LOCATIONS SHOWN ON SURVEY)</p> <p>CITY OF NAPERVILLE STATION NUMBER 1004 DATUM: NAVD88 BERNSTEN 3D TOP SECURITY MONUMENT. CONSISTING OF A 1/2" DIA. STAINLESS STEEL DATUM POINT ON THREADED 3/8" X 4' LONG ROD TOTALING (12') IN LENGTH WITH GREASED TOP SECURITY SLEEVE ENCLOSED IN SAND AND 6" PVC PIPE WITH BMAC 6 ALUMINUM ACCESS COVER. ELEVATION=703.93</p> <p>SITE BENCHMARKS:</p> <p>SB #1 TAG BOLT ON FIRE HYDRANT EAST ALONG THE SOUTH SIDE OF AUDREY AVENUE NEAR SOUTHWEST CORNER OF SITE ELEVATION=711.61</p> <p>SB #2 TAG BOLT ON 2ND FIRE HYDRANT EAST ALONG THE SOUTH SIDE OF AUDREY AVENUE FROM ILLINOIS ROUTE 59 ELEVATION=709.90</p> <p>SB #3 NORTHEAST BONNET BOLT ON FIRE HYDRANT ALONG THE NORTH SIDE OF AUDREY AVENUE AND WEST OF THE SOUTHEAST CORNER OF THE SITE ELEVATION=707.83</p> <p>SB #4 NORTHWEST BONNET BOLT ON FIRE HYDRANT ALONG THE NORTH SIDE OF AUDREY AVENUE AND EAST OF THE SOUTHEAST CORNER OF SITE ELEVATION=707.90</p>

Drawing name: K:\GIS\DEV\168018020_Ryan_Senior Living_Naperville_IL\2 Design\CAD\Drawings\C0.0 - COVER SHEET.dwg
 Layout: Mar 17, 2023 9:11am by: Taylor Westenhoff
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

<p>© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600 WARRENVILLE, IL 60555 PHONE: 630-487-5550 WWW.KIMLEY-HORN.COM</p>	
SCALE: AS NOTED DESIGNED BY: TRE DRAWN BY: TTK CHECKED BY: TRE	CITY COMMENTS CITY COMMENTS CITY COMMENTS REVISIONS
COVER SHEET	
AUDREY SENIOR RESIDENCES 2939 AUDREY AVE NAPERVILLE, IL 60540	
ORIGINAL ISSUE: 11/04/2022 KHA PROJECT NO. 168018020 SHEET NUMBER C0.0	

ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY



Know what's below.
Call before you dig.

LINE LEGEND

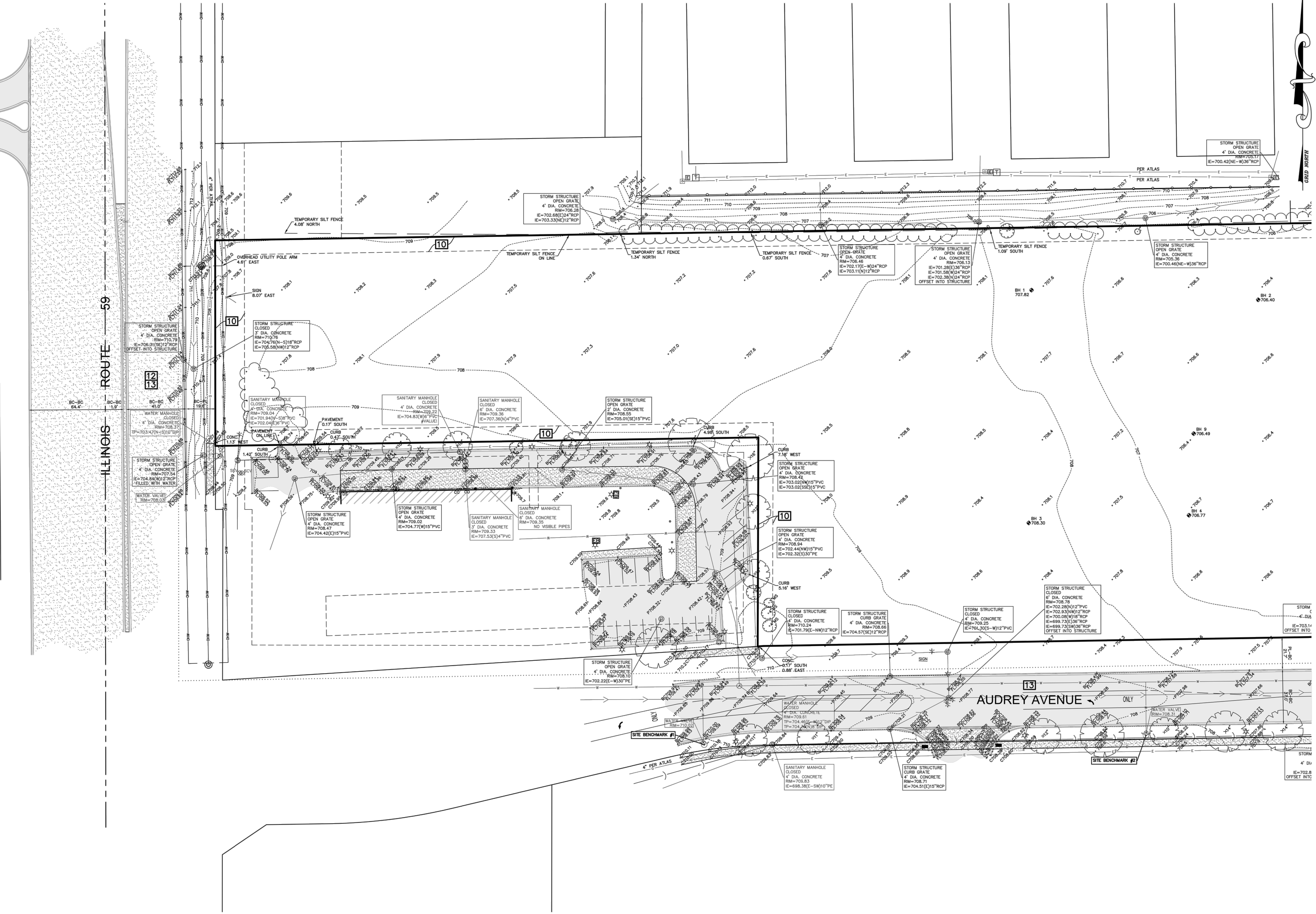
- LIMITS OF LAND PER LEGAL DESCRIPTION
- ADJACENT LAND PARCEL LINE
- EASEMENT LINE
- CENTERLINE
- BUILDING SETBACK LINE
- SECTION LINE
- EXISTING CONTOUR

ABBREVIATIONS

- O.D.I.P. = OUTSIDE DIAMETER IRON PIPE
- TF = TOP OF FOUNDATION
- FF = FINISHED FLOOR
- FES = FLARED END SECTION
- VCP = VITRIFIED CLAY PIPE
- DIP = DUCTILE IRON PIPE
- PVC = POLYVINYL CHLORIDE
- RCP = REINFORCED CONCRETE PIPE
- CMP = CORRUGATED METAL PIPE
- (R) = RECORD BEARING OR DISTANCE
- (M) = MEASURED BEARING OR DISTANCE
- (C) = CALCULATED BEARING OR DISTANCE
- (D) = DEED BEARING OR DISTANCE
- N = NORTH
- S = SOUTH
- E = EAST
- W = WEST
- A = ARC LENGTH
- R = RADIUS
- CH = CHORD
- CB = CHORD BEARING
- B.S.L. = BUILDING SETBACK LINE
- U.E. = UTILITY EASEMENT
- D.E. = DRAINAGE EASEMENT
- P.U.E. = PUBLIC UTILITY EASEMENT
- P.O.C. = POINT OF COMMENCEMENT
- P.O.B. = POINT OF BEGINNING
- P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT
- BC = BACK OF CURB
- BDC = BACK OF DEPRESSED CURB
- FL = FLOW LINE
- C = CONCRETE
- P = PAVEMENT
- G = GRAVEL
- EW = EDGE OF WALK
- TW = TOP OF WALL
- TP = TOP OF PIPE
- IE = INVERT ELEVATION
- PL = PROPERTY LINE
- DS = DOWN SPOUT
- S.F. = SQUARE FEET
- SL = SHORE LINE
- TSF = TRANSFORMER
- B = PAVERS

LEGEND

- FOUND 7/8" O.D.I.P. UNLESS OTHERWISE NOTED (HELD LOCATION)
- CONCRETE MONUMENT
- ⊕ CROSS IN CONCRETE
- ⊙ MANHOLE
- ⊙ STORM STRUCTURE
- ⊙ SANITARY MANHOLE
- ⊙ CLEANOUT
- ⊖ FLARED END SECTION
- ⊖ TRANSFORMER PAD
- ⊖ ELECTRIC MANHOLE
- ⊖ ELECTRIC BOX
- ⊖ ELECTRIC PEDESTAL
- ⊖ ELECTRIC MARKER
- ⊖ ELECTRIC METER
- ⊖ UTILITY POLE
- ⊖ UTILITY POLE W/LIGHT
- ⊖ UTILITY POLE W/TSF
- ⊖ GUY POLE
- ⊖ OVERHEAD TRAFFIC SIGNAL
- ⊖ TRAFFIC SIGNAL MANHOLE
- ⊖ LIGHT
- ⊖ LIGHT POLE
- ⊖ HAND HOLE
- ⊖ VALVE VAULT
- ⊖ FIRE HYDRANT
- ⊖ IRRIGATION CONTROL VALVE
- ⊖ POST INDICATOR VALVE
- ⊖ SAMESIDE WATER CONNECTION
- ⊖ WATER MARKER
- ⊖ WATER METER
- ⊖ VALVE BOX
- ⊖ B/BOX
- ⊖ SPRINKLER CONTROL VALVE
- ⊖ TELEPHONE MANHOLE
- ⊖ TELEPHONE NETWORK INTERFACE
- ⊖ COMMUNICATION MARKER
- ⊖ TELEPHONE PEDESTAL
- ⊖ CABLE TELEVISION PEDESTAL
- ⊖ CONTROL BOX
- ⊖ WETLAND FLAG
- ⊖ GAS METER
- ⊖ GAS VALVE
- ⊖ GAS MARKER
- ⊖ DOWN SPOUT
- ⊖ BORING HOLE
- ⊖ MONITORING WELL
- ⊖ GATE POST
- ⊖ BOLLARD POLE
- ⊖ SIGN
- ⊖ FLAG POLE
- ⊖ MAILBOX
- ⊖ SANITARY SEWER
- ⊖ STORM SEWER
- ⊖ WATER MAIN
- ⊖ GAS MAIN
- ⊖ ELECTRIC LINE
- ⊖ OVERHEAD WIRES
- ⊖ COMMUNICATION LINE
- ⊖ CONIFEROUS TREE W/APPROX. DIAMETER
- ⊖ DECIDUOUS TREE W/APPROX. DIAMETER
- ⊖ MULTI-STEM (DRIP LINE SHOWN IS APPROXIMATE)
- TREE LINE
- + ELEVATION
- BITUMINOUS PAVEMENT
- CONCRETE SURFACE
- DEPRESSED CURB
- GRAVEL SURFACE
- LANDSCAPE AREA
- STONE SURFACE
- DETECTABLE TACTILE WARNING SURFACE
- BRICK PAVERS
- WOOD FENCE
- CHAIN LINK FENCE
- METAL FENCE
- METAL GUARDRAIL
- OVERHEAD TRAFFIC ARM



UTILITY STATEMENT
THE UNDERSIGNED HAS CONDUCTED A VISUAL SURVEY OF THE AREA AND HAS FOUND NO OTHER UTILITIES IN THE AREA, EITHER IN SERVICE OR NOT IN SERVICE. THE UNDERSIGNED UTILITIES SHOWN ARE IN THE EXACT LOCATION AS POSSIBLE FROM AVAILABLE INFORMATION. THE SURVEYOR HAS PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

NO.	DATE	BY	REVISIONS

CLIENT: Ryan Companies US, Inc
700 Oklahoma State 100
Westmont, IL 60559

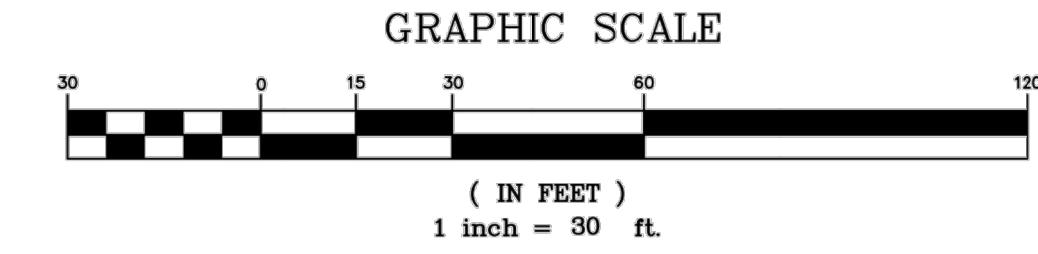
PROJECT: Audrey Senior Living
Naperville

COMPASS SURVEYING LTD
ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING
2631 GINGER WOODS PARKWAY, STE. 100
AURORA, IL 60502
PHONE: (630) 824-9100 FAX: (630) 824-7600 EMAIL: ADMIN@COMPASSSURVEYING.COM

SCALE: 1" = 30'

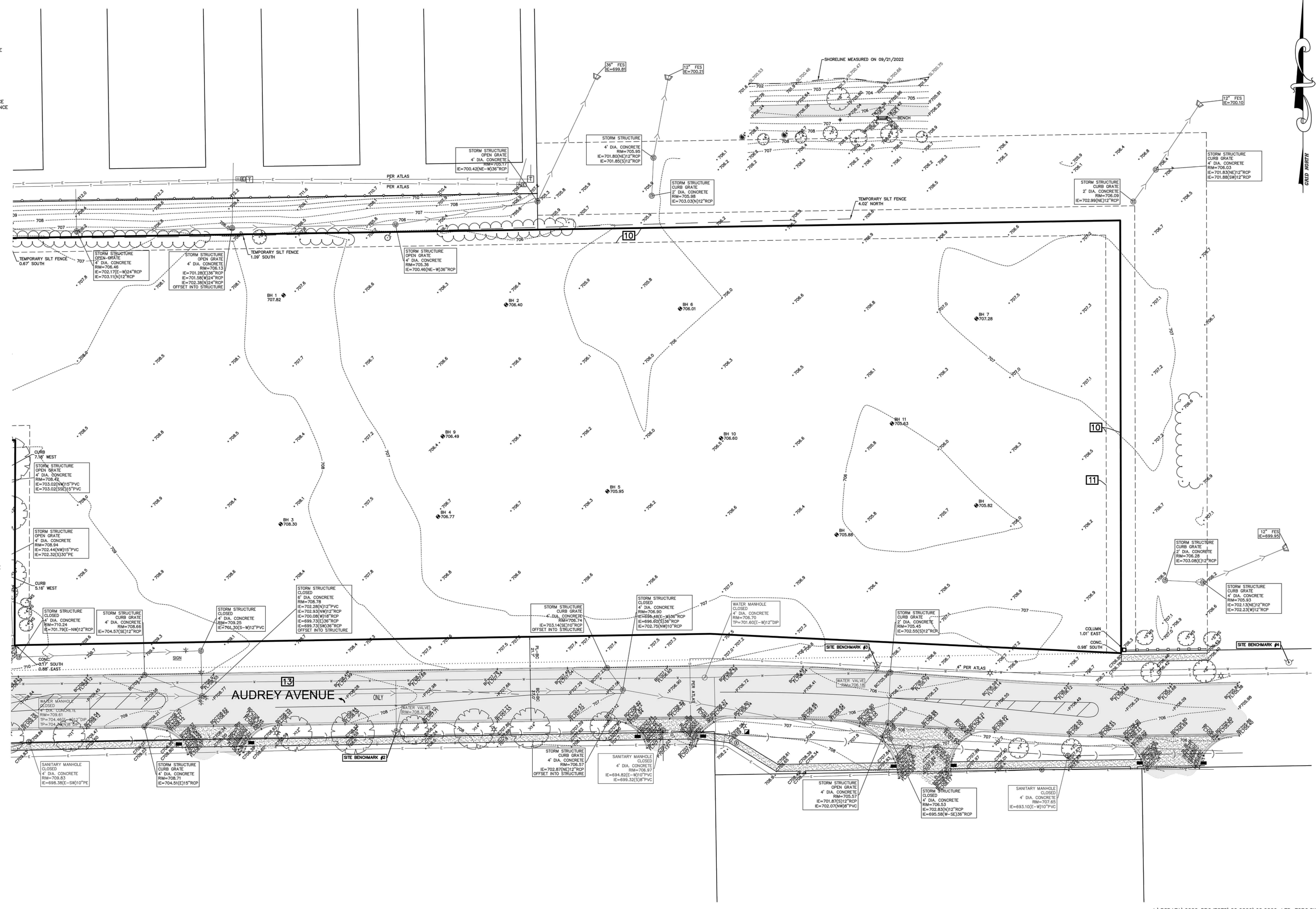
V0.1

ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY



Know what's below.
Call before you dig.

- LINE LEGEND**
- LIMITS OF LAND PER LEGAL DESCRIPTION
 - - - ADJACENT LAND PARCEL LINE
 - - - EASEMENT LINE
 - - - CENTERLINE
 - - - BUILDING SETBACK LINE
 - - - SECTION LINE
 - - - EXISTING CONTOUR
- ABBREVIATIONS**
- O.D.I.P. = OUTSIDE DIAMETER IRON PIPE
 - TF = TOP OF FOUNDATION
 - FF = FINISHED FLOOR
 - FES = FLARED END SECTION
 - FES = FLARED END SECTION
 - VP = VITRIFIED CLAY PIPE
 - DIP = DUCTILE IRON PIPE
 - PVC = POLYVINYL CHLORIDE
 - RCP = REINFORCED CONCRETE PIPE
 - CMP = CORRUGATED METAL PIPE
 - (R) = RECORD BEARING OR DISTANCE
 - (M) = MEASURED BEARING OR DISTANCE
 - (C) = CALCULATED BEARING OR DISTANCE
 - (D) = DEED BEARING OR DISTANCE
 - N = NORTH
 - S = SOUTH
 - E = EAST
 - W = WEST
 - A = ARC LENGTH
 - R = RADIUS
 - CH = CHORD
 - CB = CHORD BEARING
 - B.S.L. = BUILDING SETBACK LINE
 - U.E. = UTILITY EASEMENT
 - D.E. = DRAINAGE EASEMENT
 - P.U.E. = PUBLIC UTILITY EASEMENT
 - P.O.C. = POINT OF COMMENCEMENT
 - P.O.B. = POINT OF BEGINNING
 - P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT
 - BC = BACK OF CURB
 - BDC = BACK OF DEPRESSED FLOW LINE
 - C = CONCRETE
 - P = PAVEMENT
 - G = GRAVEL
 - EW = EDGE OF WALK
 - TW = TOP OF WALL
 - TP = TOP OF PIPE
 - IE = INVERT ELEVATION
 - PL = PROPERTY LINE
 - DS = DOWN SPOUT
 - S.F. = SQUARE FEET
 - SL = SHORE LINE
 - TSF = TRANSFORMER
 - B = PAVERS
- LEGEND**
- FOUND 7/8" O.D.I.P. UNLESS OTHERWISE NOTED (HELD LOCATION)
 - CONCRETE MONUMENT
 - ✚ CROSS IN CONCRETE
 - ⊙ MANHOLE
 - ⊙ STORM STRUCTURE
 - ⊙ SANITARY MANHOLE
 - CLEANOUT
 - ▽ FLARED END SECTION
 - ▭ TRANSFORMER PAD
 - ⊙ ELECTRIC MANHOLE
 - ⊙ ELECTRIC BOX
 - ⊙ ELECTRIC PEDESTAL
 - ⊙ ELECTRIC MARKER
 - ⊙ ELECTRIC METER
 - UTILITY POLE
 - UTILITY POLE W/LIGHT
 - UTILITY POLE W/TSF
 - GUY POLE
 - ⊙ OVERHEAD TRAFFIC SIGNAL
 - ⊙ TRAFFIC SIGNAL MANHOLE
 - ⊙ LIGHT
 - ⊙ LIGHT POLE
 - ⊙ HAND HOLE
 - ⊙ VALVE VAULT
 - ⊙ FIRE HYDRANT
 - ⊙ IRRIGATION CONTROL VALVE
 - ⊙ POST INDICATOR VALVE
 - ⊙ SAMOSE WATER CONNECTION
 - ⊙ WATER MARKER
 - ⊙ WATER METER
 - ⊙ VALVE BOX
 - ⊙ B/BOX
 - ⊙ SPRINKLER CONTROL VALVE
 - ⊙ TELEPHONE MANHOLE
 - ⊙ TELEPHONE NETWORK INTERFACE
 - ⊙ TELEPHONE MARKER
 - ⊙ TELEPHONE PEDESTAL
 - ⊙ CABLE TELEVISION PEDESTAL
 - ⊙ CONTROL BOX
 - ⊙ WETLAND FLAG
 - ⊙ GAS METER
 - ⊙ GAS VALVE
 - ⊙ GAS MARKER
 - ⊙ DOWN SPOUT
 - ⊙ BORING HOLE
 - ⊙ MONITORING WELL
 - ⊙ GATE POST
 - ⊙ BILLBOARD POLE
 - ⊙ SIGN
 - ⊙ FLAG POLE
 - ⊙ MAILBOX
 - ⊙ SANITARY SEWER
 - ⊙ STORM SEWER
 - ⊙ WATER MAIN
 - ⊙ GAS MAIN
 - ⊙ ELECTRIC LINE
 - ⊙ OVERHEAD WIRES
 - ⊙ COMMUNICATION LINE
 - ⊙ CONIFEROUS TREE
 - ⊙ W/APPROX. DIAMETER
 - ⊙ DECIDUOUS TREE
 - ⊙ W/APPROX. DIAMETER
 - ⊙ MS=MULTI-STEM (DRIP LINE SHOWN IS APPROXIMATE)
 - ⊙ TREE LINE
 - ⊙ ELEVATION
 - ▨ BITUMINOUS PAVEMENT
 - ▨ CONCRETE SURFACE
 - ▨ DEPRESSED CURB
 - ▨ GRAVEL SURFACE
 - ▨ LANDSCAPE AREA
 - ▨ STONE SURFACE
 - ▨ DETECTABLE TACTILE WARNING SURFACE
 - ▨ BRICK PAVERS
 - ⊙ WOOD FENCE
 - ⊙ CHAIN LINK FENCE
 - ⊙ METAL FENCE
 - ⊙ METAL GUARDRAIL
 - ⊙ OVERHEAD TRAFFIC ARM



UTILITY STATEMENT

THE UNDERSIGNED HAS CONDUCTED A VISUAL SURVEY OF THE AREA AND HAS IDENTIFIED ALL UTILITIES THAT ARE KNOWN TO BE LOCATED IN THE AREA. THE UNDERSIGNED HAS NOT CONDUCTED A FIELD SURVEY TO PHYSICALLY LOCATE THE UTILITIES. THE UNDERSIGNED HAS NOT BEEN ADVISED OF ANY CHANGES TO THE UTILITIES SINCE THE DATE OF THIS SURVEY. THE UNDERSIGNED HAS NOT BEEN ADVISED OF ANY CHANGES TO THE UTILITIES SINCE THE DATE OF THIS SURVEY. THE UNDERSIGNED HAS NOT BEEN ADVISED OF ANY CHANGES TO THE UTILITIES SINCE THE DATE OF THIS SURVEY.

NO.	DATE	BY	REVISIONS

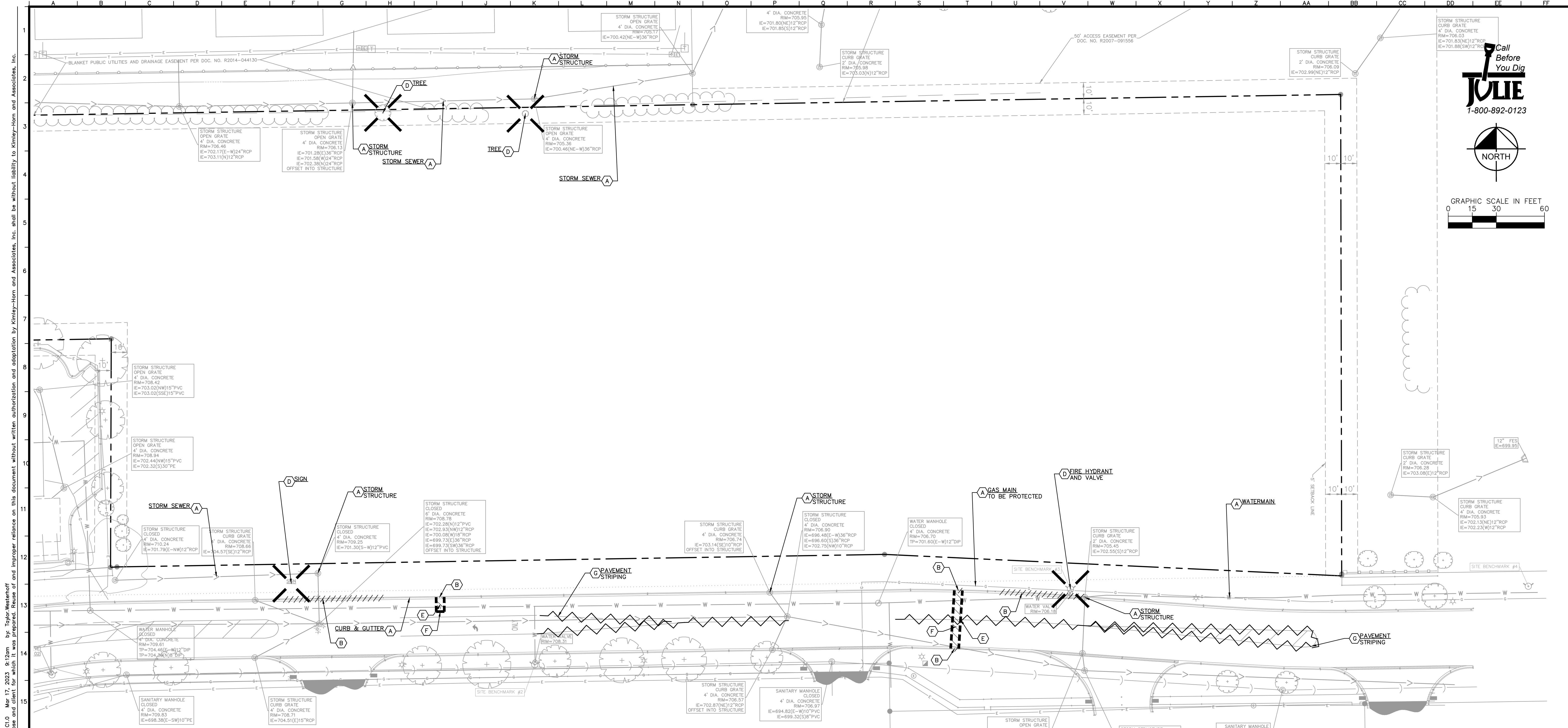
CLIENT
Ryan Companies US, Inc
700 Oklahoma State Suite 100
Wentworth, IL 60159

PROJECT
Audrey Senior Living
Naperville

COMPASS SURVEYING LTD

ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING

2631 GINGER WOODS PARKWAY, STE. 100
AURORA, IL 60502
PHONE: (630) 824-1100 FAX: (630) 824-1000 EMAIL: ADMIN@COMPASSSURVEYING.COM



DEMOLITION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR SHALL NOT DEMOLISH ANYTHING OUTSIDE THE OWNERS LEASE/PROPERTY LINE UNLESS SPECIFICALLY MENTIONED ON THIS SHEET.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNER TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING IDOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
- QUANTITIES DEPICTED ON THIS SHEET SHALL SERVE AS A GUIDE ONLY. CONTRACTOR TO VERIFY ALL DEMOLITION QUANTITIES.
- CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
- EROSION CONTROL MUST BE ESTABLISHED PRIOR TO ANY WORK ON SITE INCLUDING DEMOLITION.
- THE EXTENT OF SITE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN.
- CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.
- EXISTING UTILITIES, WHICH DO NOT SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH FA-1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO BE BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY WITHIN PAVED AREAS AND TO 90% OF MODIFIED PROCTOR DENSITY FOR GREEN SPACE AREAS, IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.
- UNDERGROUND UTILITIES SHOWN ARE BASED ON ATLASSES AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR SHOULD CALL 'JULIE' (1-800-892-0123) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND AS DIRECTED BY THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. PROPER NOTIFICATION TO THE OWNERS OF THE EXISTING UTILITIES SHALL BE MADE AT LEAST 48 HOURS BEFORE CONSTRUCTION COMMENCES.
- USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SPATTERING IN THE AIR TO THE LOWEST LEVEL. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE EROSION CONTROL SHEETS FOR FURTHER EROSION CONTROL REQUIREMENTS.
- COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF STRUCTURES TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE DOT APPROVED CRUSHED LIMESTONE (CA-6) OR APPROVED EQUAL. USE SATISFACTORY SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. PRIOR TO PLACEMENT OF FILL MATERIALS, ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH AND DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 9" IN LOOSE DEPTH. COMPACT EACH LAYER AT OPTIMUM MOISTURE CONTENT OF FILL MATERIAL TO 95% OF MODIFIED PROCTOR DENSITY UNLESS SUBSEQUENT EXCAVATION FOR NEW WORK IS REQUIRED.

DEMOLITION LEGEND	
(A)	ITEM TO REMAIN, PROTECT DURING CONSTRUCTION
(B)	CURB REMOVAL
(C)	UTILITY REMOVAL
(D)	ITEM TO BE REMOVED
(E)	FULL-DEPTH ASPHALT PAVEMENT REMOVAL
(F)	SAWCUT LINE
(G)	PAVEMENT STRIPING REMOVAL

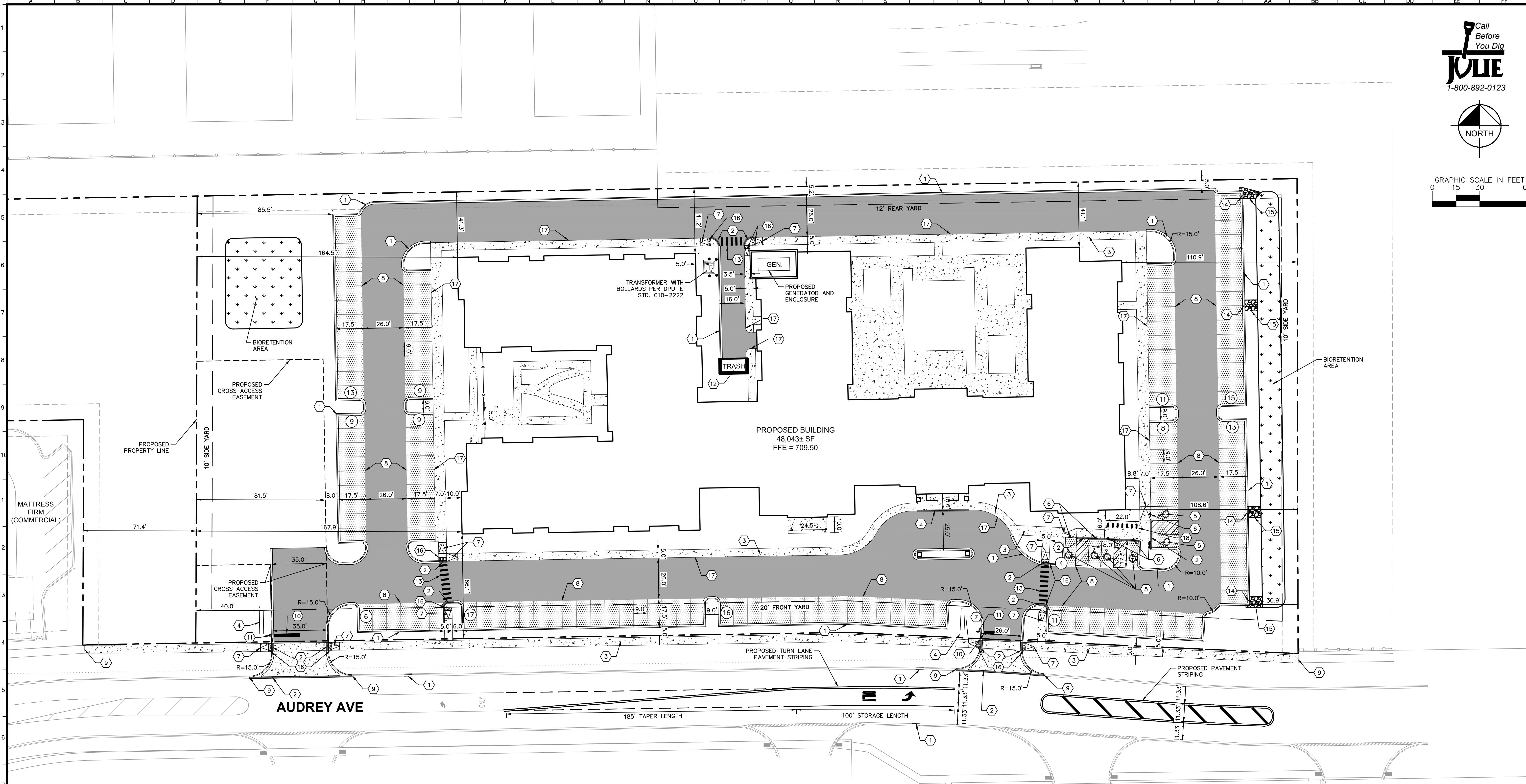
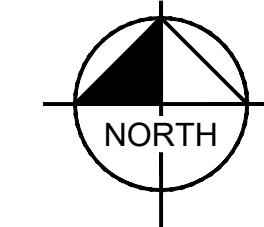
WARNING: CONTRACTOR TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

Drawing name: K:\CHS\LDV\168018020_Ryan_Senior_Living_Naperville_IL_2 Design\CAD\DWG\168018020.dwg C1.0 Mar 17, 2023 8:12am By: Taylor/Waterhoff
 This document, together with the concepts and designs presented herein, is an instrument of service, intended only for the specific purpose and client for which it was prepared. Reuse of any part of this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

SCALE:	AS NOTED	DESIGNED BY: TRE	DRAWN BY: TTK	CHECKED BY: TRE			
<p>© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINDFIELD ROAD, SUITE 600 NAPERVILLE, IL 60563 PHONE: 630-487-2550 WWW.KIMLEY-HORN.COM</p>					<p>3/17/2023 TRW 1/24/2023 TTK 12/22/2022 TTK</p>		
<p>EXISTING CONDITIONS & DEMOLITION PLAN</p>					<p>2839 AUDREY AVE NAPERVILLE, IL 60540</p>		
<p>ORIGINAL ISSUE: 11/04/2022 KHA PROJECT NO. 168018020</p>					<p>CITY COMMENTS CITY COMMENTS CITY COMMENTS</p>		
<p>SHEET NUMBER</p>					<p>REVISIONS</p>		
<p>C1.0</p>					<p>DATE</p>		

Drawing name: K:\CHS_LDEV\168018020_Ryan_Senior Living_Naperville_IL\2 SITE DIMENSION PLAN.dwg C2.0 Mar 17, 2023 8:17am By: Taylor Westendorf
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Call Before You Dig
Julie
1-800-892-0123



GENERAL NOTES

1. ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
2. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
3. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
4. RADII ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3'-FEET, TYPICAL.
5. REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS.
6. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.

ZONING SUMMARY

EXISTING ZONING: B-2 COMMUNITY SHOPPING CENTER DISTRICT
PROPOSED ZONING: OCI OFFICE, COMMERCIAL AND INSTITUTIONAL DISTRICT

EXISTING USE: VACANT LAND
PROPOSED USE: CONDITIONAL USE - CONVALESCENT HOME

PROPOSED LOT AREA: 4.56 AC
REQUIRED FAR: 1.5 MAX.
PROPOSED FAR: 1.0

REQUIRED SETBACKS: FRONT YARD: 20 FEET
SIDE YARD: 10 FEET
REAR YARD: 12 FEET*

PROPOSED BUILDING SETBACKS: FRONT: 66.1 FEET MIN.
SIDE: 108.6 FEET MIN.
REAR: 41.1 FEET MIN.

*WHERE ADJACENT TO R3A PUD

PROPOSED UNIT COUNT

INDEPENDENT LIVING: 44 - 1 BED UNITS 35 - 2 BED UNITS	79 UNITS
ASSISTED LIVING: 54 - 1 BED UNITS 9 - 2 BED UNITS	63 UNITS
MEMORY CARE: 26 - 1 BED UNITS 2 - 2 BED UNITS	28 UNITS
170 TOTAL UNITS PROPOSED 216 TOTAL BEDS PROPOSED	

PARKING SUMMARY

PARKING SPACES REQUIRED (PER CITY REQUIREMENTS)	= 140 SPACES
1 SPACE PER INDEPENDENT LIVING BED (114 BEDS)	
0.25 SPACES PER ASSISTED LIVING BED (72 BEDS)	
0.25 SPACES PER MEMORY CARE BED (30 BEDS)	
STANDARD PARKING SPACES PROVIDED	= 134 SPACES
ACCESSIBLE PARKING SPACES REQUIRED	= 5 SPACES
ACCESSIBLE PARKING SPACES PROVIDED	= 6 SPACES
TOTAL PARKING SPACES PROVIDED	= 140 SPACES
BICYCLE PARKING REQUIRED (10% OF VEHICLE PARKING REQUIREMENTS)	= 14 SPACES
BICYCLE PARKING PROVIDED	= 14 SPACES

PAVING AND CURB LEGEND

	STANDARD DUTY ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE SIDEWALK
	CONCRETE CURB AND GUTTER
	CONCRETE DEPRESSED CURB AND GUTTER
	BIORETENTION AREA
	RIP RAP
	HEAVY DUTY CONCRETE

KEY NOTES

- 1) B6.12 CONCRETE CURB AND GUTTER, TYP. (SEE DETAILS)
- 2) DEPRESSED CURB AND GUTTER
- 3) CONCRETE SIDEWALK, TYP. (SEE DETAILS)
- 4) MONUMENT SIGN (SEE ARCHITECTURAL PLANS FOR DETAILS)
- 5) ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS)
- 6) ACCESSIBLE PARKING SIGN, TYP. (MUTCD R7-8 & R7-101, SEE DETAILS)
- 7) ACCESSIBLE RAMP (SEE DETAILS)
- 8) 4" WIDE PAINTED SOLID LINE, TYP.
- 9) CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
- 10) 24" WIDE STOP BAR, TYP. (SEE DETAILS)
- 11) STOP SIGN, TYP. (MUTCD R1-1, SEE DETAILS)
- 12) TRASH ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS)
- 13) CROSSWALK STRIPING
- 14) CURB CUT
- 15) RIP RAP
- 16) ADA DETECTABLE WARNING STRIP
- 17) INTEGRAL CURB AND SIDEWALK
- 18) BIKE RACK

Kimley-Horn
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
4021 WINFIELD ROAD, SUITE 600
NAPERVILLE, IL 60563
PHONE: 630-487-2500
WWW.KIMLEY-HORN.COM

SCALE: AS NOTED
DESIGNED BY: TRE
DRAWN BY: TTK
CHECKED BY: TRE



SITE DIMENSION PLAN

AUDREY SENIOR RESIDENCES

2939 AUDREY AVE
NAPERVILLE, IL 60540

ORIGINAL ISSUE: 11/04/2022
KHA PROJECT NO. 168018020

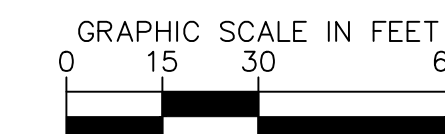
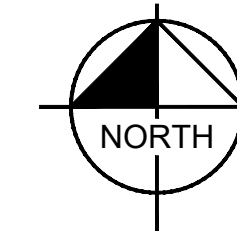
SHEET NUMBER

C2.0

DATE	BY	REVISIONS
12/22/2022	TTK	CITY COMMENTS
1/24/2023	TTK	CITY COMMENTS
3/17/2023	TRW	CITY COMMENTS

Drawing name: K:\GIS\DEV\168018020_Ryan_Senior_Living_Naperville_IL_2 Design\A\DW\PlanSheets\C3.0 - GRADING & DRAINAGE PLAN.dwg C3.0 Mar 17, 2023 8:10am By: Taylor Westendorf
This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Call Before You Dig
1-800-892-0123



DATE	BY	REVISIONS
12/22/2022	TKK	CITY COMMENTS
1/24/2023	TKK	CITY COMMENTS
3/17/2023	TRW	CITY COMMENTS

Kimley»Horn
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD ROAD, SUITE 600
NAPERVILLE, IL 60563
PHONE: 630-487-5550
WWW.KIMLEY-HORN.COM

SCALE: AS NOTED
DESIGNED BY: TRE
DRAWN BY: TTK
CHECKED BY: TRE

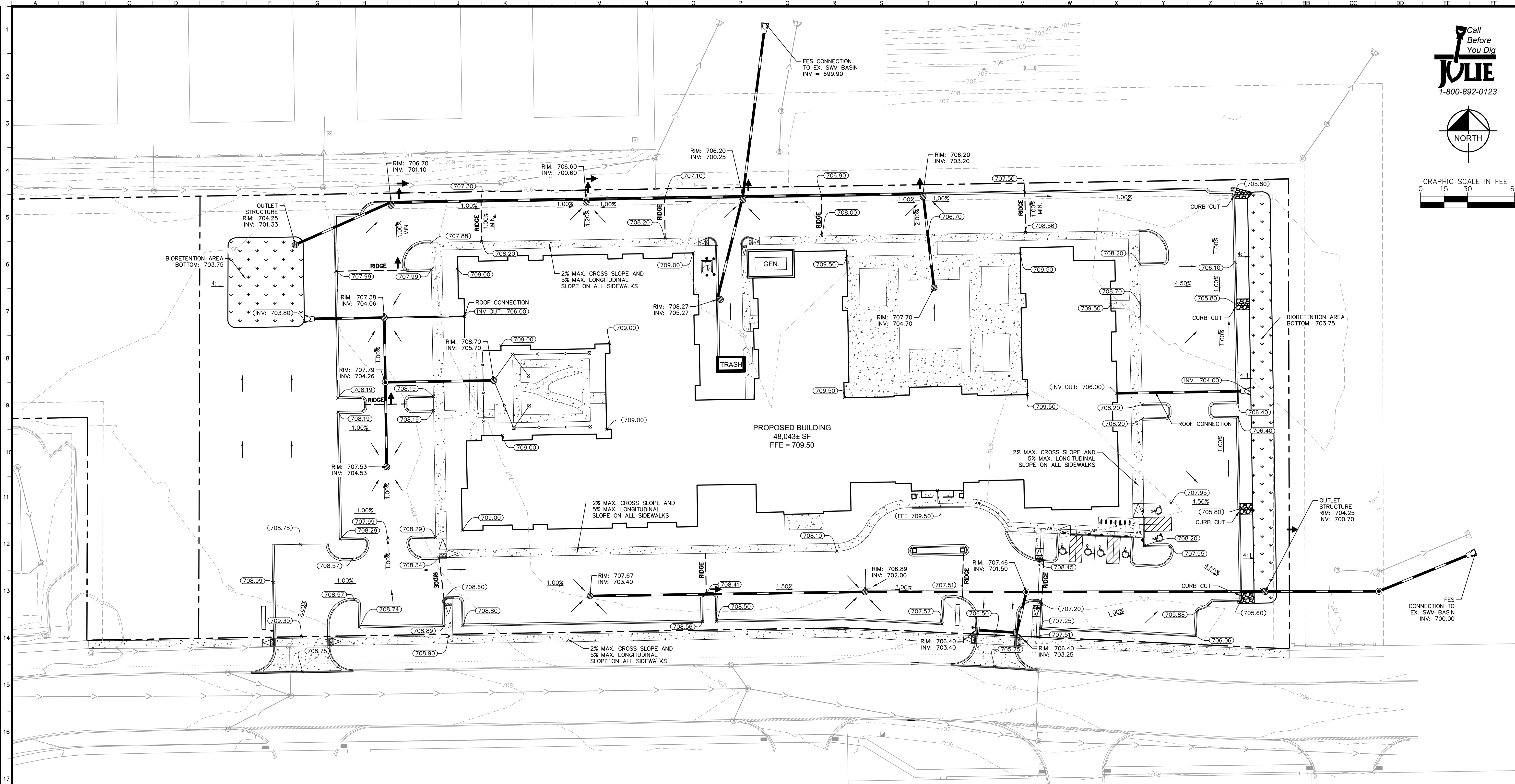


GRADING & DRAINAGE PLAN

AUDREY SENIOR RESIDENCES
2839 AUDREY AVE
NAPERVILLE, IL 60540

ORIGINAL ISSUE: 11/04/2022
KHA PROJECT NO. 168018020
SHEET NUMBER

C3.0



GRADING NOTES

- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
- ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
- NO EARTHEN SLOPE SHALL BE GREATER THAN 4:1, UNLESS OTHERWISE NOTED.
- MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
- MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
- WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
- MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.

GRADING LEGEND

—XXX—	FL = FLOW LINE
—XXX—	TC = TOP OF CURB
—RIDGE—	ME = MATCH ELEVATION
—	R = RIM ELEVATION
—XXX—	PROPOSED CONTOUR
—XXX—	EXISTING CONTOUR
—RIDGE—	RIDGE LINE
—	SLOPE AND FLOW DIRECTION
—	100-YEAR OVERLAND OVERFLOW ROUTE
—	PROPOSED SWALE
—	REVERSED PITCH CURB AND GUTTER
—	ACCESSIBLE ROUTE
—	RIP RAP (SEE DETAILS)

Drawing name: K:\GIS_DEVELOPMENT\168018020_Ryan_Senior Living_Naperville_IL2 Design\CAD\PlanSheets\C5.0 - STORMWATER PLAN.dwg CS:0 Mar 17, 2023 9:13am by Taylor Westenhofer
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Call Before You Dig
1-800-892-0123



NORTH

GRAPHIC SCALE IN FEET
0 15 30 60

DATE	BY	REVISIONS
12/22/2022	TKK	CITY COMMENTS
1/24/2023	TKK	CITY COMMENTS
3/17/2023	TRW	CITY COMMENTS

Kimley»Horn

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
4251 WINFIELD ROAD, SUITE 600
NAPERVILLE, IL 60563
PHONE: 630-487-5550
WWW.KIMLEY-HORN.COM

SCALE: AS NOTED
DESIGNED BY: TRE
DRAWN BY: TKK
CHECKED BY: TRE

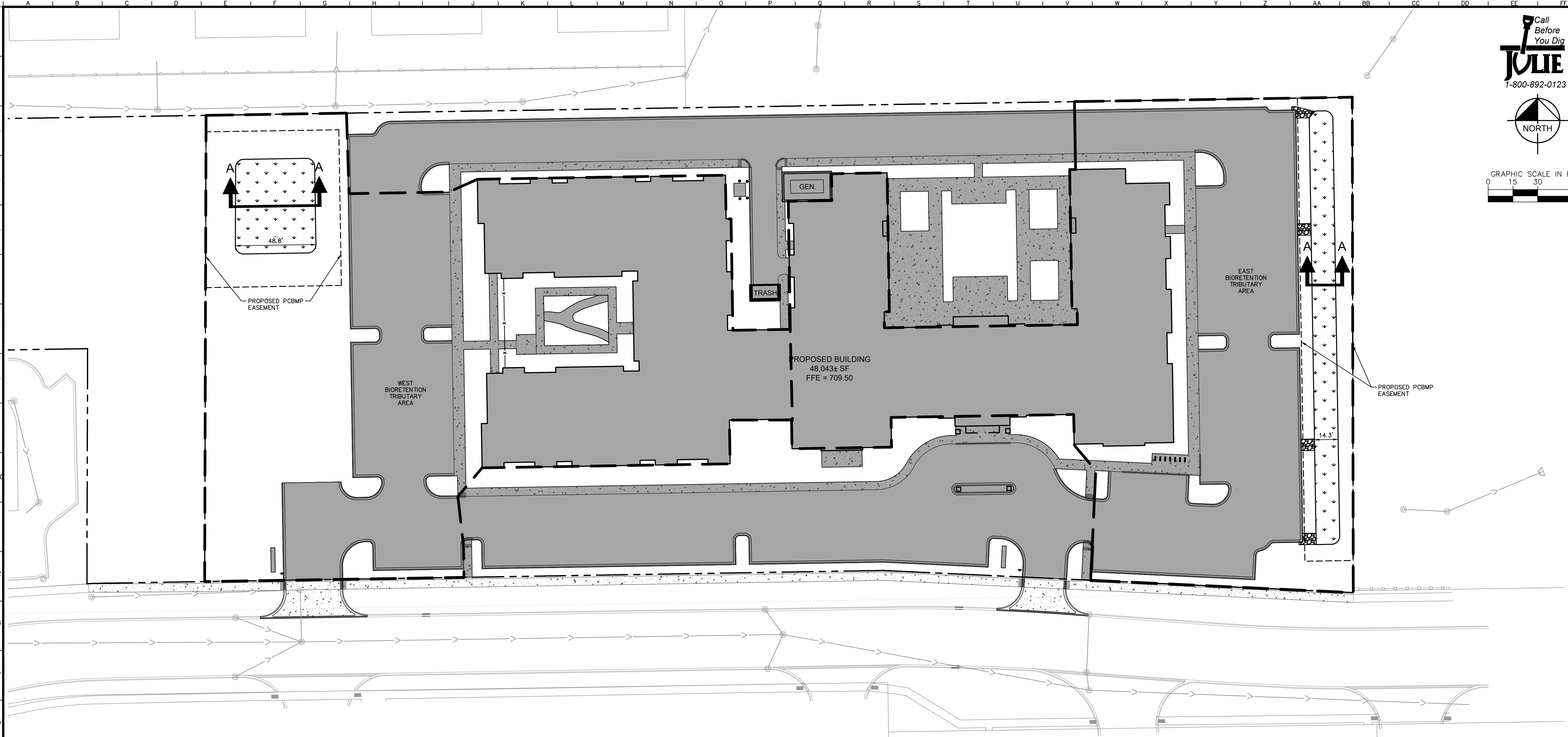


STORMWATER PLAN


AUDREY SENIOR RESIDENCES
2839 AUDREY AVE
NAPERVILLE, IL 60540


ORIGINAL ISSUE: 11/04/2022
KHA PROJECT NO. 168018020

SHEET NUMBER
C5.0



LEGEND

 NEW IMPERVIOUS AREA

 PROPOSED BIORETENTION AREA

SITE DATA

SITE AREA:	4.57 AC
EXISTING IMPERVIOUS AREA:	0 AC
PROPOSED IMPERVIOUS AREA:	3.12 AC
PROPOSED PERVIOUS AREA:	1.45 AC
MAXIMUM CURVE NUMBER ALLOWED:	92
PROPOSED CURVE NUMBER:	90.4
IMPERVIOUS AREA X 98	
PERVIOUS AREA X 74	

