

**SYMBOL AND LINE LEGEND**

|  |  |                            |  |                          |
|--|--|----------------------------|--|--------------------------|
|  |  | VALVE VAULT                |  | WATERMAIN PIPE           |
|  |  | WATER B-BOX                |  | STORM SEWER PIPE         |
|  |  | WATER VALVE BOX            |  | STORM UNDERDRAIN         |
|  |  | FIRE HYDRANT               |  | SANITARY SEWER PIPE      |
|  |  | WELL HEAD                  |  | IRRIGATION SLEEVE/PIPING |
|  |  | FIRE DEPARTMENT CONNECTION |  | ELECTRICAL DUCT BANK     |
|  |  | STORM INLET                |  | NATURAL GAS LINE         |
|  |  | STORM MANHOLE              |  | COMMUNICATIONS LINE      |
|  |  | CATCH BASIN                |  | CHILLED WATER SUPPLY     |
|  |  | STORM CLEANOUT             |  | CHILLED WATER RETURN     |
|  |  | DOWNSPOUT                  |  | TELEVISION CABLE         |
|  |  | FLARED END SECTION         |  | UNDERGROUND WIRE         |
|  |  | SANITARY MANHOLE           |  | TELEPHONE CABLE          |
|  |  | SANITARY CLEANOUT          |  | FIBER OPTIC CABLE        |
|  |  | LIGHT POLE                 |  | AERIAL WIRES             |
|  |  | TELEPHONE MANHOLE          |  | CONSTRUCTION LIMITS      |
|  |  | POWER POLE                 |  | PROPERTY LINE            |
|  |  | GAS VALVE                  |  | EASEMENT LINE            |
|  |  | GAS METER                  |  | VENT LINE                |
|  |  | HAND HOLE                  |  | HIGH WATER LINE          |
|  |  | MAIL BOX                   |  | NORMAL WATER LINE        |
|  |  | ELECTRICAL MANHOLE         |  | CHAIN LINK FENCE         |
|  |  | CABLE TV PEDESTAL          |  | ALUMINUM FENCE           |
|  |  | TELEPHONE PEDESTAL         |  | WOODEN FENCE             |
|  |  | TRAFFIC OR STREET SIGN     |  | SILT FENCE               |
|  |  | SOIL BORING                |  | DECIDUOUS TREE           |
|  |  | 21.56 SPOT ELEVATION       |  | SHRUB OR BUSH            |
|  |  | SURFACE FLOW               |  | EVERGREEN TREE           |
|  |  | 100-YEAR OVERFLOW          |  |                          |

# PRELIMINARY ENGINEERING PLANS

## PRIMROSE NAPERVILLE 471 E. 75TH STREET, NAPERVILLE, IL

**PETITIONER INFORMATION**

PRIMROSE SCHOOL FRANCHISING COMPANY  
3200 WINDY HILL ROAD SE, SUITE 1200E  
ATLANTA, GA 30339  
CONTACT: MIATT TAYLOR  
PH: 617-901-9015  
EM: MIATTAYLOR@PRIMROSESCHOOLS.COM

**NOTES**

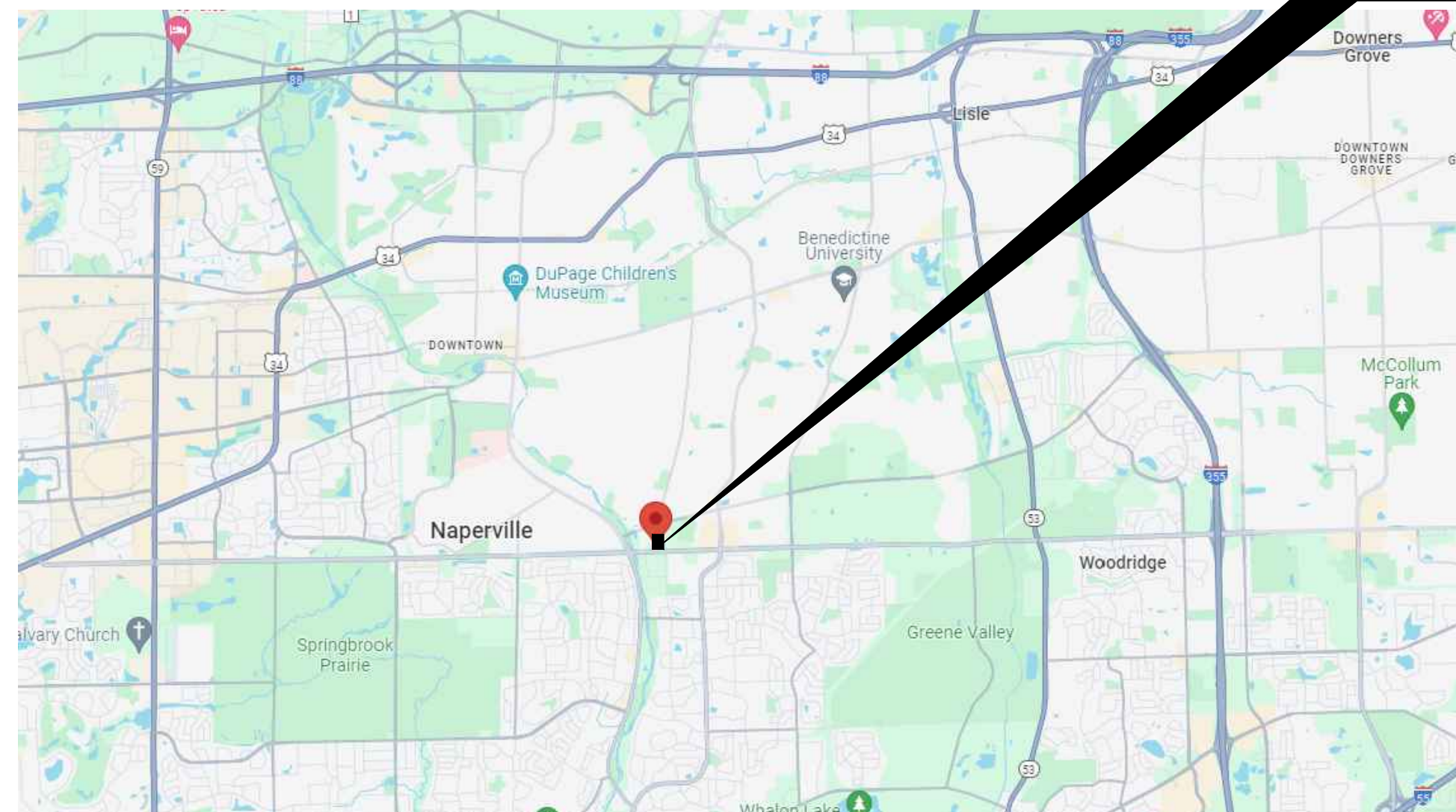
- SITE ACCESS CONTROL INCLUDING SAFETY FENCES AND TRAFFIC CONTROL, ALL CONSTRUCTION MEANS AND METHODS, AND SITE SAFETY ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTORS SHALL NOTIFY ALL UTILITY COMPANIES FOR FIELD LOCATIONS OF THEIR FACILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. ALL UTILITIES SHOWN IN THE PLANS ARE FROM RECORDS OR FIELD OBSERVABLE INFORMATION LOCATED BY SURVEYOR. ANY UTILITY LOCATIONS SHOWN SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD.
- THE SURVEY BASE PROVIDED HEREIN IS FOR INFORMATIONAL PURPOSES ONLY. THE OWNER, ARCHITECT & ENGINEER(S) ARE NOT RESPONSIBLE FOR ANY MISCHARTED OR UNCHARTED UTILITIES, OR OTHER DISCREPANCIES DETECTED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL SITE CONDITIONS, PLAN BACKGROUND AND UTILITIES AREA BASED UPON THE PLAT OF SURVEY AND TOPOGRAPHIC SURVEYS WHICH WERE PROVIDED TO RTM ENGINEERING CONSULTANTS. RTM ENGINEERING CONSULTANTS ASSUME NO RESPONSIBILITY FOR THEIR ACCURACY OR THOROUGHNESS.
- CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.
- THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES SHALL BE INVESTIGATED AND VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE STARTING WORK IN THE CONSTRUCTION AREA. EXCAVATION IN THE VICINITY OF EXISTING STRUCTURES AND UNDERGROUND UTILITIES SHALL BE PERFORMED BY HAND. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING FACILITIES, MAINTENANCE AND PROTECTION OF EXISTING UTILITIES AND STRUCTURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR IS TO UNCOVER ALL LINES BEING TIED INTO AND VERIFY SIZE AND ELEVATION BEFORE ANY CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL STREET AND SIDEWALK CLOSURES WITH THE MUNICIPALITY.
- CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS AND SPOILS TO INSURE MINIMAL INTERFERENCE WITH OWNER OPERATIONS.
- INSURE SAFE PASSAGE OF PERSONS AROUND AREAS OF DEMOLITION. REMOVE FROM SITE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION AND LAWFULLY DISPOSE OF SAME.
- ALL ITEMS TO BE REMOVED SHALL BE PROPERLY AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
- AT LOCATIONS OF UTILITY REMOVAL, ANY OPEN TRENCHES REQUIRED, SHALL BE BACKFILLED WITH COMPACTED TRENCH BACKFILL.
- NOTIFY UTILITY OWNER 72 HOURS IN ADVANCE OF ANY UTILITY SHUTDOWN.
- IF ANY ITEMS ARE ENCOUNTERED IN THE FIELD THAT ARE NOT SHOWN ON THE PLAN WHICH REQUIRE DEMOLITION OR RELOCATION, THE CONTRACTOR SHALL NOTIFY THE MUNICIPALITY IMMEDIATELY.
- THE CONTRACTOR WILL PROTECT ALL UTILITIES, STREETS, STRUCTURES, VEGETATION, AND ADJACENT PROPERTY DESIGNATED TO REMAIN. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES, STREETS, STRUCTURES, VEGETATION AND ADJACENT PROPERTY WILL BE REPLACED OR REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR WILL PAY ALL REQUISITE FEES TO THE MUNICIPALITY, AND ANY OTHER AGENCY REQUIRED, FOR COMPLETION OF DEMOLITION WORK.
- CONTRACTOR TO ADJUST RIMS OF EXISTING STRUCTURES WITHIN SCOPE OF WORK TO FINAL GRADE ELEVATIONS.
- EXISTING LATERAL CONNECTIONS FOR UTILITIES SHALL BE COORDINATED WITH THE CORRESPONDING UTILITY COMPANY FOR CAPPING AND CUT OFF WITHIN THE SCOPE OF WORK.
- TOPOGRAPHIC AND BOUNDARY SURVEY BY COMPASS SURVEYING LTD.

**DUTY TO INDEMNIFY**

THE CONTRACTOR SHALL DEFEND, INDEMNIFY, KEEP AND SAVE HARMLESS THE MUNICIPALITY, OWNER, AND ENGINEER, AND THEIR RESPECTIVE BOARD MEMBERS, REPRESENTATIVES, AGENTS AND EMPLOYEES, IN BOTH INDIVIDUAL AND OFFICIAL CAPACITIES, AGAINST ALL SUITS, CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY, GROWING OUT OF, OR INCIDENTAL TO, THE PERFORMANCE OF THE WORK UNDER THE CONTRACT BY THE CONTRACTOR OR ITS SUBCONTRACTORS TO THE FULL EXTENT AS ALLOWED BY THE LAWS OF THE STATE OF ILLINOIS AND NOT BEYOND ANY EXTENT WHICH WOULD RENDER THESE PROVISIONS VOID OR UNENFORCEABLE. THIS OBLIGATION INCLUDES BUT IS NOT LIMITED TO, THE ILLINOIS LAWS REGARDING STRUCTURAL WORK (IL. REV. STAT. CH. 48, PAR. 60 AT SEQ.), AND REGARDING THE PROTECTION OF ADJACENT LANDOWNERS (IL. REV. STAT. CH. 17 1/2 PAR. 51 ET. SEQ.), IN THE EVENT OF ANY SUCH INJURY (INCLUDING DEATH) OR LOSS OR DAMAGE, OR CLAIMS THEREFORE, THE CONTRACTOR SHALL GIVE PROMPT NOTICE TO THE OWNER.

| Sheet Number | Sheet Title         |
|--------------|---------------------|
| C0.0         | COVER SHEET         |
| C1.0         | EXISTING CONDITIONS |
| C2.0         | SITE PLAN           |
| C3.0         | GRADING PLAN        |
| C4.0         | UTILITY PLAN        |

**LOCATION MAP**



**LOCATION**

**BENCHMARKS**

**REFERENCE BENCHMARK:**

CITY OF NAPERVILLE BENCHMARK #227  
DATUM: NAVD 88  
ELEVATION = 739.48

CITY OF NAPERVILLE BENCHMARK #526  
DATUM: NAVD 88  
ELEVATION = 681.48

**SITE BENCHMARKS:**

SITE BENCHMARK #1  
NORTHWEST BOLT ON FIRE HYDRANT AT ENTRANCE TO SITE  
ELEVATION = 675.56

SITE BENCHMARK #2  
CUT BOX ON NORTHWEST CORNER OF TRANSFORMER PAD NEAR WEST SIDE OF BUILDING ON SITE  
ELEVATION = 676.80



Know what's below.  
Call before you dig.

CALL 48 HOURS BEFORE YOU DIG WITH THE FOLLOWING INFORMATION

COUNTY NAME: DUPAGE  
TOWNSHIP, RANGE: 38N, 9E  
SECTION NUMBER: 25



1833 N. Meacham Rd. #700 Schaumburg, Illinois 60173  
Phone: (847) 756-4180 www.rtmec.com  
IL Design Firm: 184006777-0002

PRIMROSE SCHOOLS:  
NAPERVILLE, IL  
471 E. 75TH STREET  
NAPERVILLE, IL 60566

**REVISIONS**

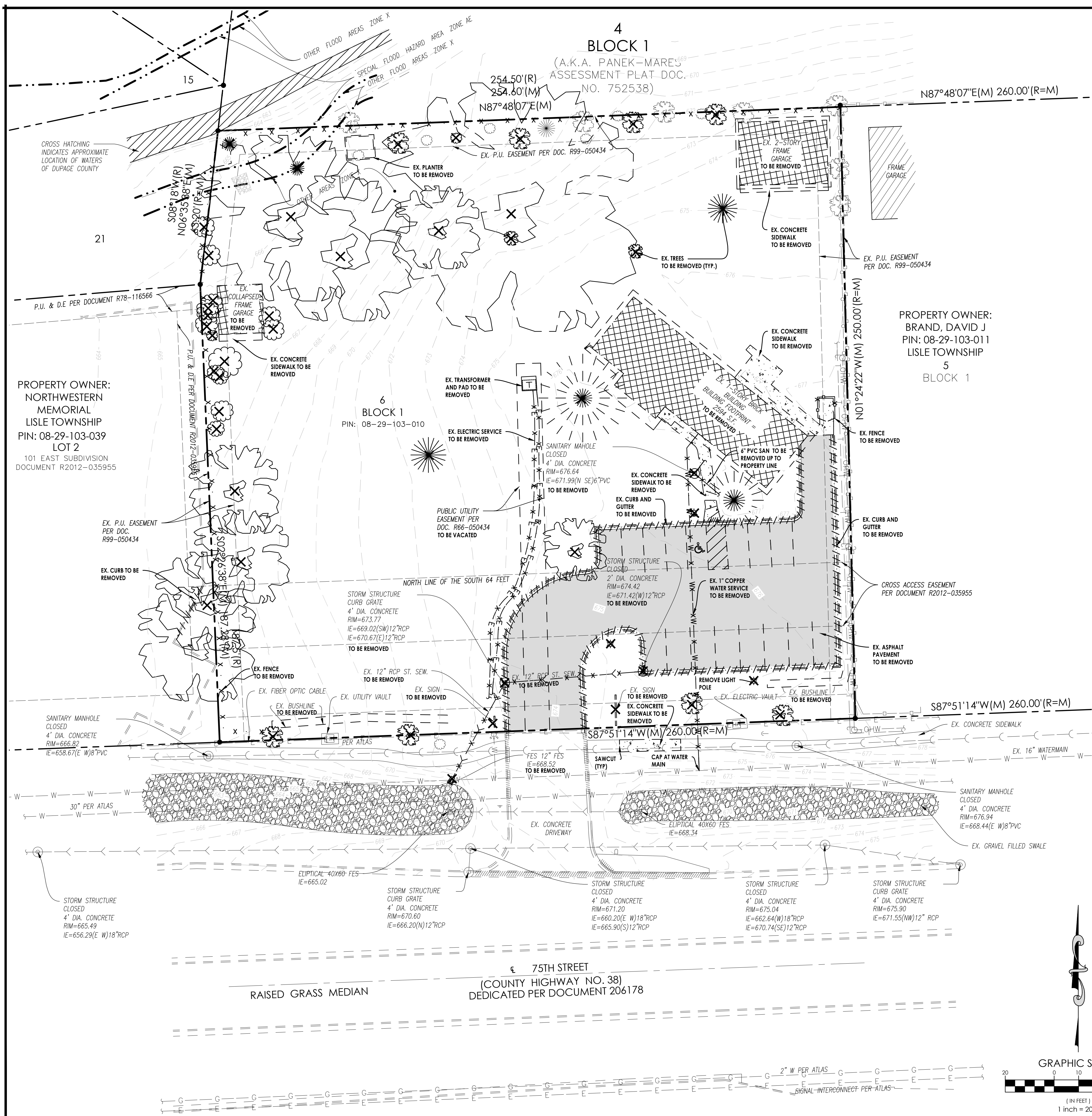
| # | DATE       | TYPE             |
|---|------------|------------------|
| 1 | 06/27/2024 | ZONING SUBMITTAL |
| 2 | 11/06/2024 | ZONING RESUB     |
| 3 | 12/16/2024 | ZONING RESUB     |
| 4 | 02/19/2025 | ZONING RESUB     |

**COVER SHEET**

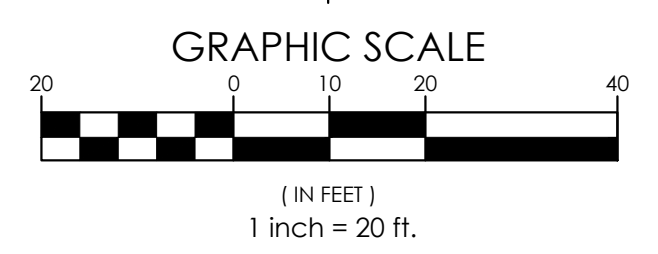
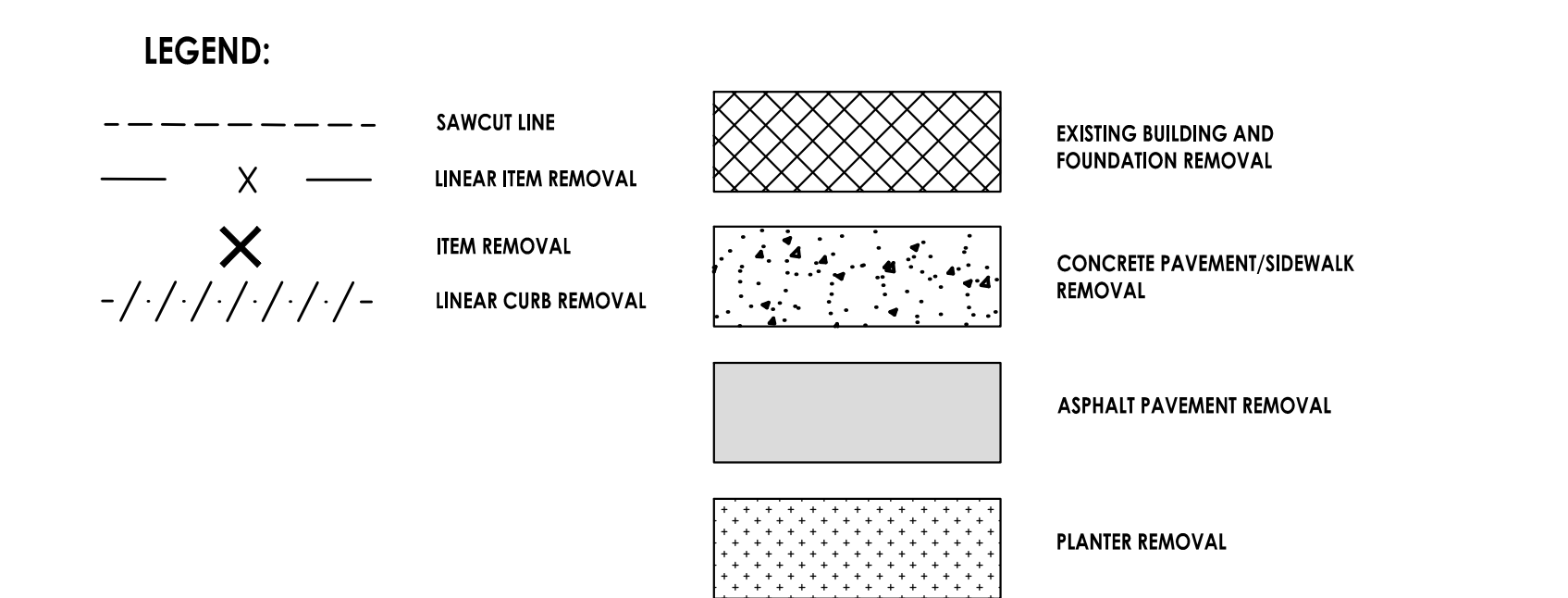
DATE: 1/07/2025

JOB NO.: 23529

**C0.0**  
SHEET NO.

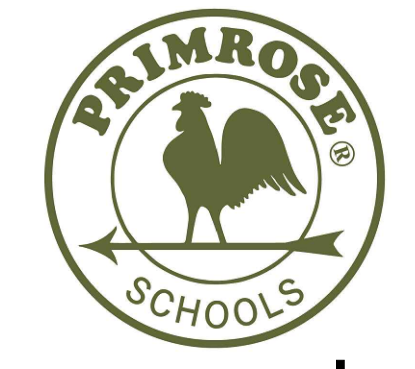


- NOTES:**
1. SITE ACCESS CONTROL INCLUDING SAFETY FENCES AND TRAFFIC CONTROL, ALL CONSTRUCTION MEANS AND METHODS, AND SITE SAFETY ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  2. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.
  3. ALL SITE CLEARING, TOPSOIL STRIPPING, EXCAVATION, EMBANKMENT, GRADING, COMPACTION, SUB GRADE PREPARATION AND OTHER WORK HEREIN CONTEMPLATED SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, ILLINOIS DEPARTMENT OF TRANSPORTATION, JANUARY 2016 EDITION, (HEREINAFTER REFERRED TO AS STANDARD SPECIFICATIONS) EXCEPT THAT PAYMENT WILL BE DEFINED AS DETAILED IN THE STANDARD SPECIFICATIONS FOR WATER AND SEWER SIXTH EDITION, 2009.
  4. THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES SHALL BE INVESTIGATED AND VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE STARTING WORK IN THE CONSTRUCTION AREA. EXCAVATION IN THE VICINITY OF EXISTING STRUCTURES AND UNDERGROUND UTILITIES SHALL BE PERFORMED BY HAND. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING FACILITIES, MAINTENANCE AND PROTECTION OF EXISTING UTILITIES AND STRUCTURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  5. THE CONTRACTOR IS TO UNCOVER ALL LINES BEING TIED INTO AND VERIFY SIZE AND ELEVATION BEFORE ANY CONSTRUCTION.
  6. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL STREET AND SIDEWALK CLOSURES WITH THE MUNICIPALITY.
  7. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS AND SPOILS TO INSURE MINIMAL INTERFERENCE WITH OWNER OPERATIONS.
  8. ENSURE SAFE PASSAGE OF PERSONS AROUND AREAS OF DEMOLITION. REMOVE FROM SITE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION AND LAWFULLY DISPOSE OF SAME.
  9. ALL ITEMS TO BE REMOVED SHALL BE PROPERLY AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
  10. AT LOCATIONS OF UTILITY REMOVAL, ANY OPEN TRENCHES REQUIRED, SHALL BE BACKFILLED WITH COMPACTED TRENCH BACKFILL.
  11. NOTIFY UTILITY OWNER 72 HOURS IN ADVANCE OF ANY UTILITY SHUTDOWN.
  12. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER ALL ITEMS DESIGNATED TO BE REMOVED OR RELOCATED.
  13. IF ANY ITEMS ARE ENCOUNTERED IN THE FIELD THAT ARE NOT SHOWN ON THE PLAN WHICH REQUIRE DEMOLITION OR RELOCATION, THE CONTRACTOR SHALL NOTIFY THE A/E IMMEDIATELY.
  14. THE SURVEY BASE PROVIDED HEREIN IS FOR INFORMATIONAL PURPOSES ONLY. THE OWNER, ARCHITECT & ENGINEER(S) ARE NOT RESPONSIBLE FOR ANY MISCHARTED OR UNCHARTED UTILITIES, OR OTHER DISCREPANCIES DETECTED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL SITE CONDITIONS.
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  16. THE CONTRACTOR WILL PAY ALL REQUISITE FEES TO THE MUNICIPALITY, AND ANY OTHER AGENCY REQUIRED, FOR COMPLETION OF DEMOLITION WORK.
  17. CONTRACTOR TO ADJUST RIMS OF EXISTING STRUCTURES WITHIN SCOPE OF WORK TO FINAL GRADE ELEVATIONS.
  18. EXISTING LATERAL CONNECTIONS FOR UTILITIES SHALL BE COORDINATED WITH THE CORRESPONDING UTILITY COMPANY FOR CAPPING AND CUT OFF WITHIN THE SCOPE OF WORK.
  19. THE CONTRACTOR IS TO COMPLY WITH FEDERAL, STATE, AND LOCAL ORDINANCES WITH REGARD TO REMOVAL AND DISPOSAL OF MATERIALS FOR ALL ITEMS TO BE DEMOLISHED. WORK INCLUDES THE COMPLETE REMOVAL AND LEGAL DISPOSAL OF ALL OBJECTS AND MATERIALS (REGARDLESS OF THEIR NATURE) INCLUDING BUT NOT LIMITED TO TREE ROOTS, ORGANIC SOIL, DRUMS, TIRES, WOOD, BROKEN CONCRETE PIECES, AND FENCES ABOVE THE REQUIRED ELEVATION.
  20. BURNING ON OWNERS PROPERTY IS NOT PERMITTED.
  21. FULL DEPTH SAWCUTS ARE REQUIRED FOR PAVEMENT REMOVALS, ADJACENT TO EXISTING PAVEMENT TO REMAIN.
  22. SAWCUT ALL TREE ROOTS ENCOUNTERED IN LIEU OF USING SHOVELS (HAND SHOVELS OR MECHANICAL). SEE LANDSCAPE PLANS FOR TREE PROTECTION REQUIREMENTS.
  23. POLES, BUILDING, FENCE, STORAGE, ETC. FOUNDATIONS SHALL BE COMPLETELY REMOVED BELOW GRADE TYP.
  24. UTILITIES TO BE CAPPED AND FILLED WITH CONTROLLED LOW STRENGTH MATERIAL



PROPERTY OWNER:  
NORTHWESTERN  
MEMORIAL  
LISLE TOWNSHIP  
PIN: 08-29-103-039  
LOT 2  
101 EAST SUBDIVISION  
DOCUMENT R2012-035955

PROPERTY OWNER:  
BRAND, DAVID J  
PIN: 08-29-103-011  
LISLE TOWNSHIP  
5  
BLOCK 1



1933 N. Meacham Rd. #700 Schaumburg, Illinois 60173  
Phone (847) 756-4180 www.rtmec.com  
IL Design Firm: 184006777-0002

**PRIMROSE SCHOOLS:**  
NAPERVILLE, IL  
471 E. 75TH STREET  
NAPERVILLE, IL 60566

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UNAUTHORIZED USE OF THESE DOCUMENTS IS EXPRESSLY PROHIBITED UNLESS AGREED UPON IN WRITING.

**REVISIONS**

| #          | DATE             | TYPE |
|------------|------------------|------|
| 06/27/2024 | ZONING SUBMITTAL |      |
| 11/06/2024 | ZONING RESUB     |      |
| 12/16/2024 | ZONING RESUB     |      |
| 02/19/2025 | ZONING RESUB     |      |

| EXISTING CONDITIONS |           |
|---------------------|-----------|
| DATE                | 1/07/2025 |
| JOB NO.             | 23529     |
| <b>C1.0</b>         | SHEET NO. |

PROPERTY OWNER: HENDREN, BRADLEY & SARA J  
 PIN: 08-29-103-007  
 LISLE TOWNSHIP  
 RANEK-MARES ASSMT. PLAT  
 4  
 BLOCK 1  
 (A.K.A. PANEK-MARES ASSESSMENT  
 PLAT DOC. NO. 752538)

PROPERTY OWNER:  
 HOBSON'S POND  
 HOME ASSOCIATION  
 LISLE TOWNSHIP  
 HOBSON'S POND SUB.  
 PIN: 08-30-213-007

PROPERTY OWNER:  
 NORTHWESTERN  
 MEMORIAL  
 LISLE TOWNSHIP  
 PIN: 08-29-103-039  
 LOT 2  
 101 EAST SUBDIVISION  
 DOCUMENT R2012-035955

PROPERTY OWNER:  
 BRAND, DAVID J  
 PIN: 08-29-103-011  
 LISLE TOWNSHIP  
 MCINTOSH, A.T., & CO.'S  
 RIVER GROVE SUB.  
 5  
 BLOCK 1

AREA SUMMARY:  
 IMPERVIOUS AREA = 39,697 SF (0.911 ACRES)  
 PERVIOUS AREA = 25,522 SF (0.586 ACRES)  
 TOTAL AREA = 65,219 SF (1.497 ACRES)  
 60.87% IMPERVIOUS  
 BUILDING AREA = 13,596 SF (0.312 ACRES)

±13,596 SF  
 PROPOSED CHILD  
 CARE FACILITY  
 FF 673.00

- NOTES:
- ALL DIMENSIONS ALONG CURB LINES ARE TO FACE OF CURB, UNLESS NOTED OTHERWISE.
  - BUILDINGS AND ADJACENT TO BUILDING IMPROVEMENTS SHOWN ON THESE PLANS ARE BASED UPON THE BUILDING PLANS PROVIDED BY OTHERS AT THE DATE OF THESE PLANS BEING PREPARED. BUILDING PLANS NORMALLY CONTINUE TO CHANGE AFTER SITE PLANS HAVE BEEN APPROVED. THEREFORE THE CONTRACTOR SHALL USE THE BUILDING PLANS FOR FINAL BUILDING IMPROVEMENTS, AND VERIFY THAT ALL ADJACENT IMPROVEMENTS ARE CONSISTENT WITH THE DESIGN INTENT AND REQUIREMENTS OF THE SITE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF CLARIFICATION IS NEEDED, OR IF CONFLICTS OR INCONSISTENCIES EXIST.
  - ADA DETECTIBLE WARNING STRIPS SHALL BE CAST INTO CONCRETE SURFACE PER MANUFACTURERS INSTALLATION RECOMMENDATIONS.
  - TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY COMPASS SURVEYING LTD. DATED FEBRUARY 2, 2024.
  - PLAYGROUND STRUCTURES SHALL NOT EXCEED 18" IN HEIGHT.

- (X) SIGNING AND STRIPING SCHEDULE
- 4" YELLOW STRIPING
  - YELLOW HANDICAP PARKING STRIPING (SEE DETAIL)
  - "ACCESSIBLE" PARKING STALL SIGN ASSEMBLY (#250 FINE)
  - 4" PAINTED CROSS STRIPING 4" C-C DIRECTIONAL ARROW

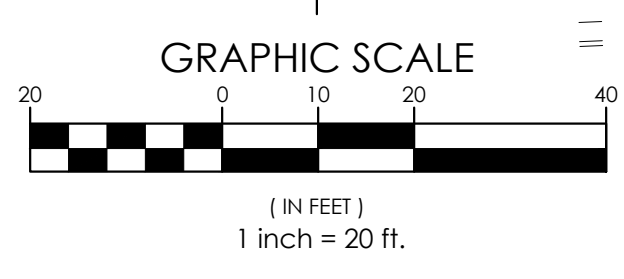
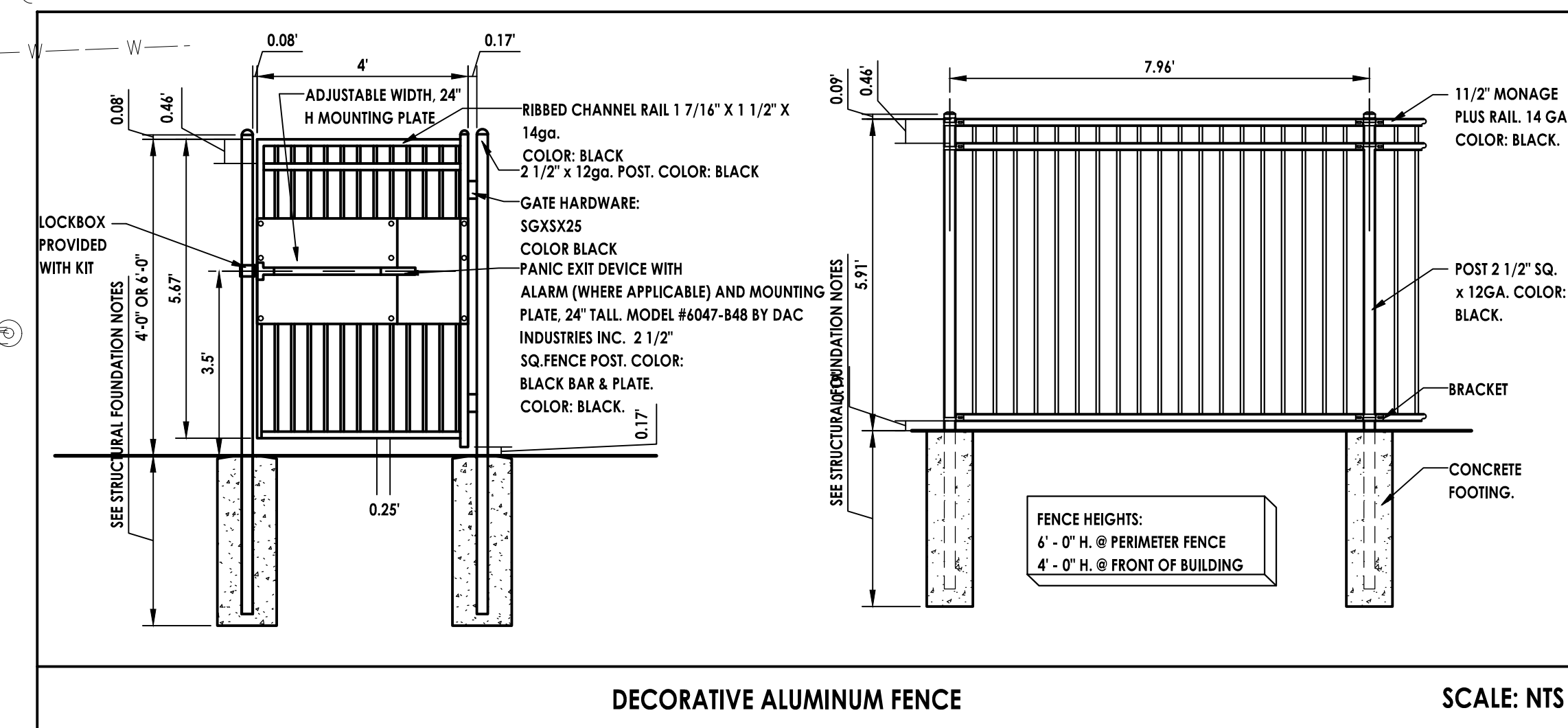
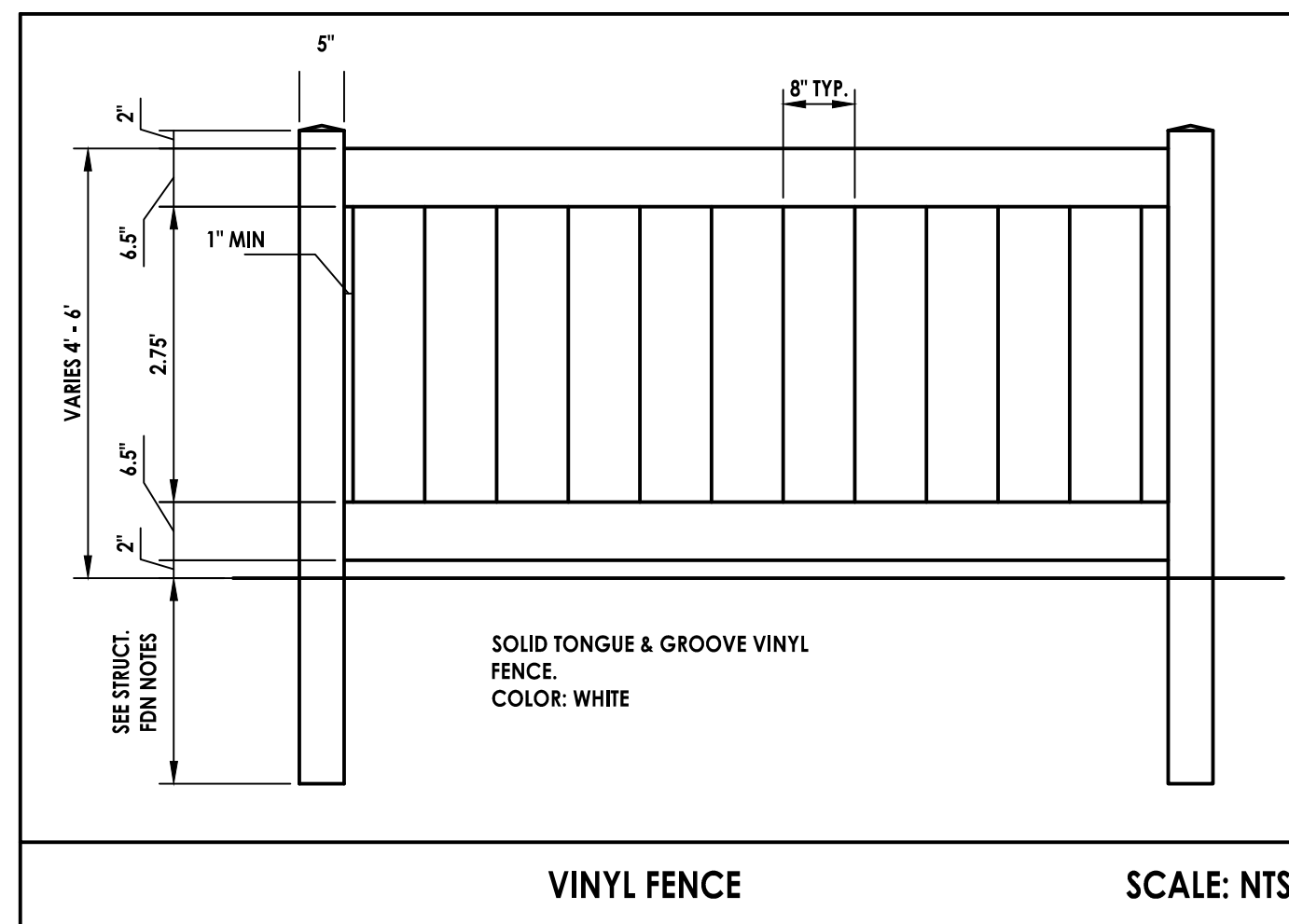
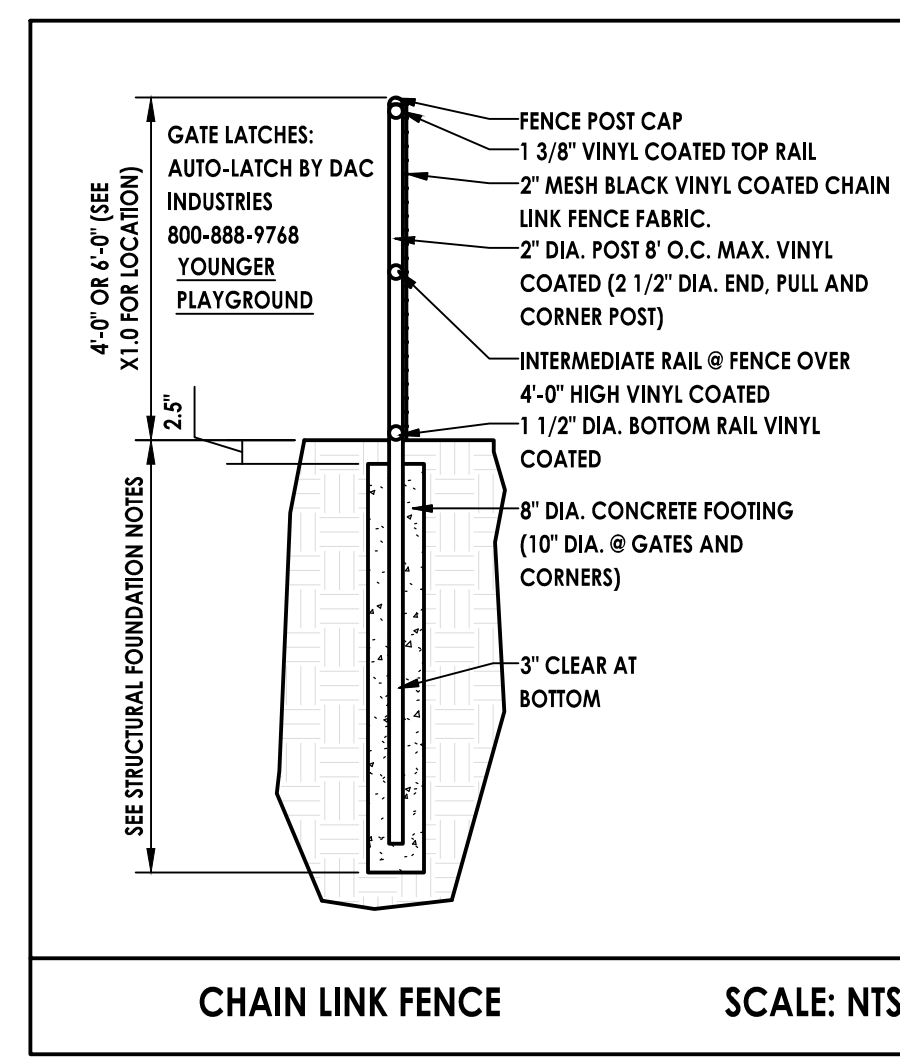
STRIPING NOTE: ON-SITE PAVEMENT MARKINGS AND GRAPHICS SHALL CONSIST OF TWO (2) COATS OF TRAFFIC-RATED PAINT APPLIED A MINIMUM OF 30 DAYS APART. STRIPING AND GRAPHICS AT ENTRY DRIVES SHALL BE THERMOPLASTIC AS NOTED. MATERIALS SHALL MEET ILLINOIS DEPARTMENT OF TRANSPORTATION STANDARDS.

(X) PARKING SUMMARY

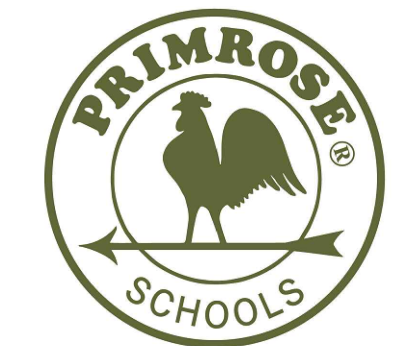
|                             | EXISTING | PROPOSED |
|-----------------------------|----------|----------|
| REGULAR STALLS (9'x18')     | 15       | 42       |
| ACCESSIBLE STALLS (16'x18') | 1        | 2        |
| TOTAL STALL COUNT           | 16       | 44       |

| SITE DATA            |  |                            |
|----------------------|--|----------------------------|
| ZONING DISTRICT      | OCI - OFFICE, COMMERCIAL, INSTITUTIONAL USE  | DAYCARE IS A PERMITTED USE |
| SETBACK REQUIREMENTS | FRONT BLDG SETBACK<br>REAR BLDG SETBACK<br>SIDE BLDG SETBACK   | 20'<br>15'<br>10'          |
| PARKING REQUIREMENTS | CHILD CARE REQUIREMENT: 4 FOR EVERY 1,000 SF OF GROSS AREA<br>TOTAL REQUIRED SPACES: CHILD CARE: 13,596/14(1000) = 54 TOTAL<br>PROVIDED SPACES: 44 SPACES (VARIANCE REQ'D) |                            |

- LEGEND:
- ADA TRUNCATED DOMES
  - EXISTING CURB AND GUTTER
  - EXISTING CURB AND GUTTER - DEPRESSED
  - B6.12 CURB AND GUTTER UNLESS NOTED OTHERWISE
  - B6.12 CURB AND GUTTER - DEPRESSED
  - B6.12 CURB AND GUTTER - TRANSITION (ZERO TO FULL HEIGHT)
  - BARRIER CURB UNLESS NOTED OTHERWISE
  - BARRIER CURB - DEPRESSED
  - B6.12 CURB - TRANSITION (ZERO TO FULL HEIGHT)
  - SAWCUT LINE
  - EASEMENT LINE
  - PROPERTY LINE
  - VINYL FENCE
  - ALUMINUM FENCE
  - CHAIN LINK FENCE
  - PROPOSED FULL-DEPTH REGULAR ASPHALT PAVEMENT. SEE DETAIL ON SHEET C6.2
  - PROPOSED FULL-DEPTH HEAVY-DUTY ASPHALT PAVEMENT. SEE DETAIL ON SHEET C6.2
  - PROPOSED CONCRETE PAVEMENT. SEE DETAIL ON SHEET C6.2
  - PROPOSED CONCRETE SIDEWALK. SEE DETAIL ON SHEET C6.2



75TH STREET  
 (COUNTY HIGHWAY NO. 38)  
 DEDICATED PER DOCUMENT 206178



PRIMROSE SCHOOLS:  
 NAPERVILLE, IL

471 E. 75TH STREET  
 NAPERVILLE, IL 60665

REVISIONS

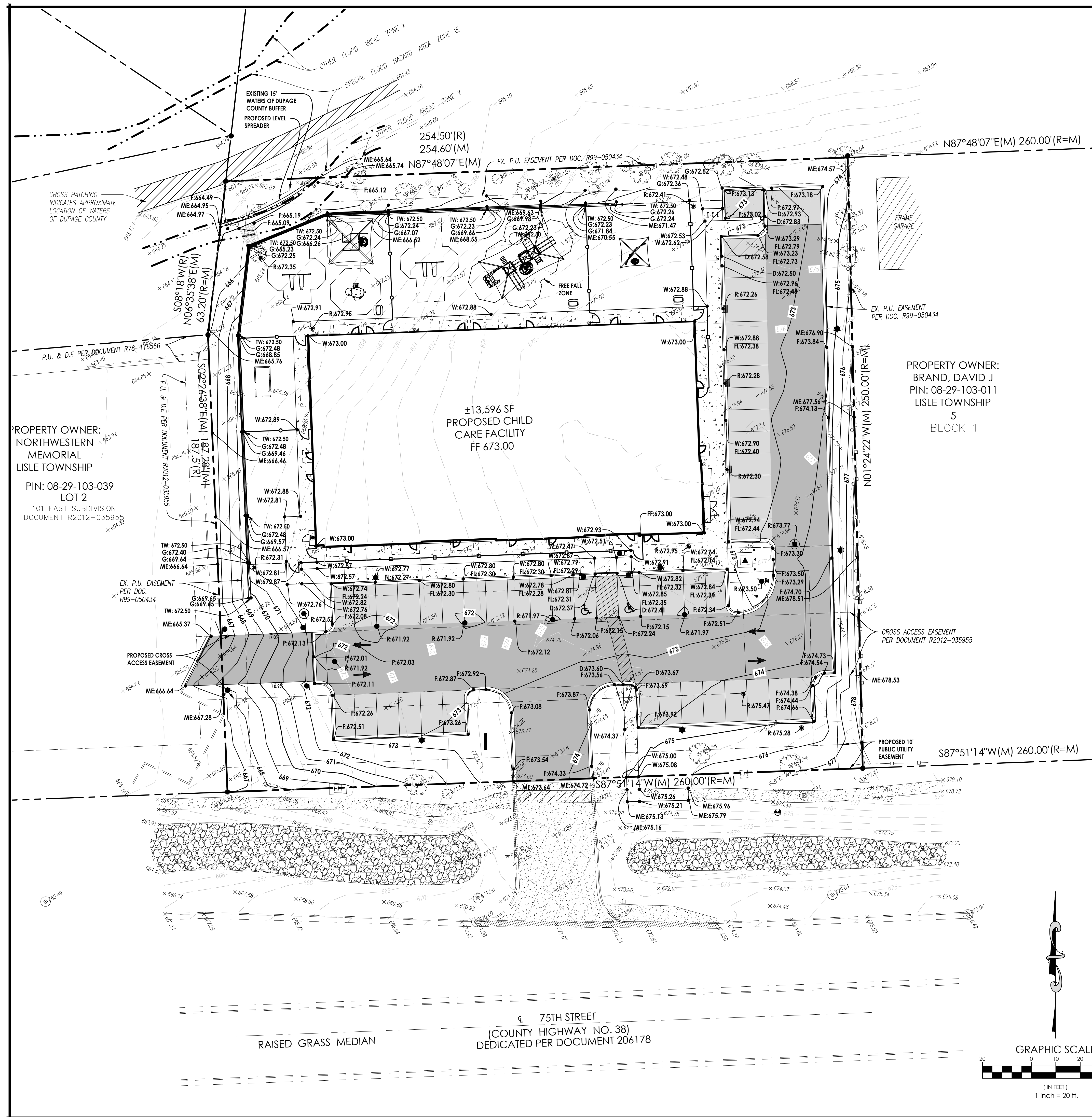
| #          | DATE         | TYPE | DESCRIPTION |
|------------|--------------|------|-------------|
| 06/27/2024 | ZONING RESUB |      |             |
| 11/06/2024 | ZONING RESUB |      |             |
| 12/16/2024 | ZONING RESUB |      |             |
| 02/16/2025 | ZONING RESUB |      |             |

SITE PLAN

DATE 1/07/2025

JOB NO. 23529

C2.0  
 SHEET NO.

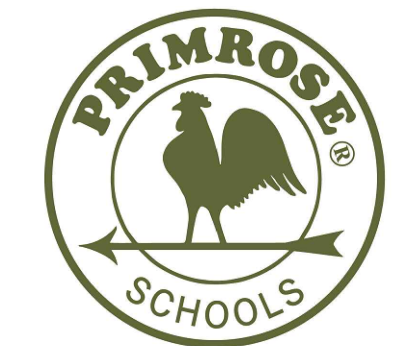


**NOTES:**

1. PROPOSED ELEVATIONS SHOWN ON PROPOSED CURB LINES ARE FLOW LINE ELEVATIONS UNLESS NOTED OTHERWISE. ADD 0.50' TO OBTAIN TOP OF CURB ELEVATIONS.
2. A CONSTANT SLOPE SHALL BE MAINTAINED BETWEEN SPOT GRADES.
3. 2% MINIMUM SLOPE AND 3:1 MAXIMUM SLOPE IN TURF AREAS AND 1% MINIMUM SLOPE AND 5% MAXIMUM SLOPE IN PAVED AREAS.
4. RIM GRADES ALONG CURBS ARE FLOW LINE ELEVATIONS.
5. TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY COMPASS SURVEYING LTD. DATED FEBRUARY 2, 2024.

**LEGEND:**

| EXISTING                   | PROPOSED |
|----------------------------|----------|
| 1 FOOT CONTOUR             |          |
| 5 FOOT CONTOUR             |          |
| GRADE                      | 0.00     |
| RIDGE LINE                 |          |
| TOP OF CURB                | C:XX.XX  |
| TOP OF WALK                | W:XX.XX  |
| TOP OF PAVEMENT            | P:XX.XX  |
| FLOW LINE @ DEPRESSED CURB | D:XX.XX  |
| FLOW LINE                  | F:XX.XX  |
| EDGE OF PAVEMENT           | E:XX.XX  |
| FINISHED GROUND            | R:XX.XX  |
| RIM GRADE                  | ME:XX.XX |
| MATCH EXISTING             | FF:XX.XX |
| FINISHED FLOOR             |          |



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 IL Design Firm: 184006777-0002

**PRIMROSE SCHOOLS:  
 NAPERVILLE, IL**

471 E. 75TH STREET  
 NAPERVILLE, IL 60566

PROPERTY OWNER:  
 BRAND, DAVID J  
 PIN: 08-29-103-011  
 LISLE TOWNSHIP  
 5  
 BLOCK 1

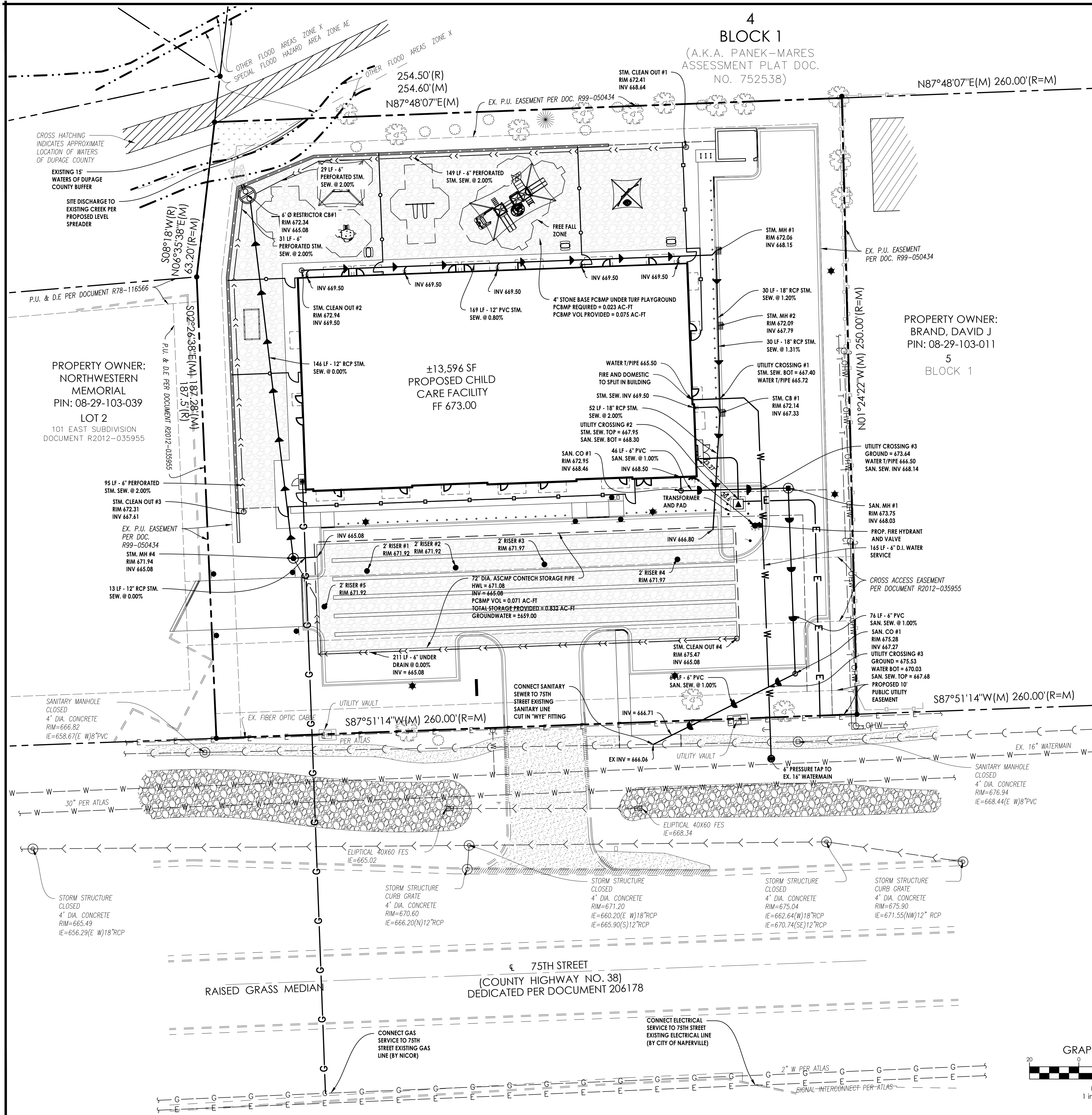
**REVISIONS**

| # | DATE       | TYPE             |
|---|------------|------------------|
| 1 | 06-27-2024 | ZONING SUBMITTAL |
| 2 | 11-06-2024 | ZONING RESUB     |
| 3 | 12-16-2024 | ZONING RESUB     |
| 4 | 02-16-2025 | ZONING RESUB     |

**GRADING PLAN**

DATE 1/07/2025  
 JOB NO. 23529

**C3.0**  
 SHEET NO.

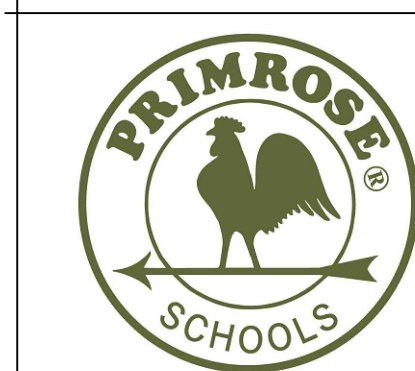
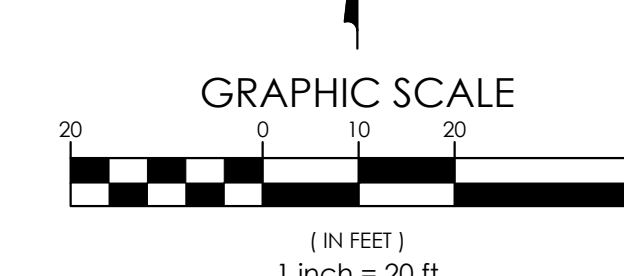


**4 BLOCK 1**  
 (A.K.A. PANEK-MARES  
 ASSESSMENT PLAT DOC.  
 NO. 752538)

**PROPERTY OWNER:**  
 BRAND, DAVID J  
 PIN: 08-29-103-011  
 5 BLOCK 1

**PROPERTY OWNER:**  
 NORTHWESTERN  
 MEMORIAL  
 PIN: 08-29-103-039  
 LOT 2  
 101 EAST SUBDIVISION  
 DOCUMENT R2012-035955

- NOTES:**
- EX. ITEMS SHALL BE FIELD VERIFIED. RELOCATION OR ADJUSTMENT MAY BE NEEDED. CONTRACTOR TO VERIFY.
  - CONTRACTOR SHALL VERIFY ALL WORK, INCLUDING BUT NOT LIMITED TO, SIZES, MATERIALS AND LOCATION, WITH UTILITY COMPANIES PRIOR TO INSTALLATION.
  - VERIFY SERVICE LOCATIONS WITH BUILDING PLANS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
  - RIM GRADES ALONG CURBS ARE FLOW LINE ELEVATIONS.
  - SEE SPECIFICATIONS SHEET FOR ALL STORM, SANITARY, AND WATER PIPE AND STRUCTURE SPECIFICATIONS.
  - ALL UTILITY DIMENSIONS ARE FROM CENTER OF UTILITY AND TO BACK OF CURB WHEN TIED TO CURB LINES, UNLESS OTHERWISE NOTED.
  - CONTRACTOR TO INSPECT EXISTING SEWER AT POINT OF CONNECTION. CONTRACTOR TO VERIFY THAT EXISTING PIPE IS IN GOOD WORKING CONDITION. CONTRACTOR TO REPAIR AS REQUIRED.
  - CONTRACTOR TO NOTIFY OWNER/ENGINEER IF CONFLICTS OCCUR.
  - NEW OPENING/CONNECTIONS TO EXISTING COMBINED AND SANITARY MANHOLE/STRUCTURES SHALL BE CORE-DRILLED AND UTILIZE RUBBER BOOTS CONFORMING TO ASTM C-923.
- DEPARTMENT OF PUBLIC UTILITIES - ELECTRIC GENERAL NOTES:**
- THE DEVELOPER SHALL SUPPLY THE DPU-E ENGINEER WITH CATALOG CUTS FOR ALL CT/METER EQUIPMENT (INCLUDING BUT NOT LIMITED TO METER SOCKETS, FT CABINET, CT CABINET, DISCONNECT CABINET) AND TRANSFORMER PAD/VAULT. THE CATALOG CUTS SHALL BE APPROVED BY DPU-E PRIOR TO PURCHASING.
  - THE CT/METER CABINET SHALL BE TOP FED.
  - CT/METER EQUIPMENT ARE LONG LEAD TIME ITEMS AND DPU-E SHALL NOT BE HELD RESPONSIBLE FOR DELAYS RESULTING FROM NON-COMPLIANT CT/METER EQUIPMENT.
  - PLEASE PROVIDE NAME AND CONTACT INFORMATION FOR ELECTRICAL CONTRACTOR FOR THIS PROJECT.
  - DPU-E WILL PROVIDE, INSTALL, AND MAINTAIN THE TRANSFORMERS, ALL PRIMARY (15KV) CABLE AND CONDUIT, AND THE METERS AND INSTRUMENT TRANSFORMERS. DPU-E WILL ALSO MAKE THE FINAL CONNECTIONS IN THE TRANSFORMERS ONCE THE INSPECTION IS COMPLETE AND THE BUILDING IS READY TO BE ENERGIZED.
  - THE DEVELOPER IS RESPONSIBLE FOR PROVIDING, INSTALLING, AND MAINTAINING THE TRANSFORMER PAD/VAULT, ALL SERVICE LATERAL (480V) CABLE AND CONDUIT, THE SERVICE ENTRANCE EQUIPMENT INCLUDING THE CT/METER CABINET AND ALL BANKED METER SOCKETS.
  - THE DEVELOPER SHALL COORDINATE SITE CONSTRUCTION WITH DPU-E TO ALLOW ELECTRICAL FACILITIES TO BE INSTALLED PRIOR PAYING AND CURBING. DPU-E REQUIRES 30 WORKING DAYS ADVANCE WRITTEN NOTICE PRIOR TO PAVEMENT INSTALLATION TO ALLOW FOR THE INSTALLATION OF ELECTRICAL FACILITIES. GRADE ELEVATION MUST BE WITHIN 4" OF FINAL GRADING BEFORE ELECTRICAL FACILITIES CAN BE INSTALLED.
  - ELECTRIC FACILITIES SHALL BE INSTALLED PURSUANT TO SECTION 8-1C-3 OF THE CITY OF NAPERVILLE MUNICIPAL CODE, WHICH REQUIRES A CONSTRUCTION FEE PAYMENT FOR INSTALLATION OF ELECTRICAL FACILITIES.
  - AT ALL TIMES, THE CUSTOMER SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING A SUITABLE APPROACH TO THE METER LOCATION, WITH NO OBSTRUCTIONS WITHIN FOUR (4) FEET OF THE FRONT AND TWO (2) FEET OF THE SIDES OF THE METER. PER NAPERVILLE SERVICE RULES AND POLICIES 22.2.F.
  - CLEARANCE TO TRANSFORMER PAD SHALL BE 5' FROM ALL SIDES, 10' FROM FRONT, AND THE AREA ABOVE MUST BE COMPLETELY CLEAR OF OBSTRUCTION, NO TREES, SHRUBS, OR OTHER OBSTACLES WILL BE ALLOWED WITHIN THIS AREA. TRANSFORMER PAD SHALL MAINTAIN MINIMUM CLEARANCE OF 20' FROM EGRESS POINTS. PER DPU-E SPECIFICATIONS C10-2130 AND C30-0016.
  - DPU-E REQUIRES A MINIMUM 5' OF SEPARATION BETWEEN ITS ELECTRIC FACILITIES AND ANY FIRE HYDRANTS, STORM DRAINS, STORM SEWERS, WATER MAINS, GAS MAINS, ETC. THAT RUN PARALLEL TO ITS FACILITIES.
  - TO HAVE AN EXISTING SERVICE DISCONNECTED CALL THE CITY DISPATCH OFFICE AT 630-420-6187. PLEASE ALLOW AT LEAST 24 HOURS NOTICE. METERS AND METER SEALS ARE TO BE REMOVED ONLY BY DPU-E PERSONNEL. THE LOCATION AND TYPE OF NEW OR REPLACEMENT METER RELATED EQUIPMENT MUST BE PRE-APPROVED IN WRITING BY DPU-E. AN ELECTRICAL SERVICE MUST BE INSPECTED BY THE DEVELOPMENT SERVICES TEAM ELECTRICAL INSPECTOR PRIOR TO CONNECTION.
  - LABEL ALL METER SOCKETS WITH THE COMPLETE ADDRESS IN 1" LETTERS USING PERMANENT STICKERS. IN MULTIPLE METER BANKS, THE COMPLETE ADDRESS MAY BE ON THE DISCONNECT SWITCH AND THE SITE NUMBERS ON THE METER SOCKETS. THE ELECTRICAL SERVICE EQUIPMENT WILL NOT PASS INSPECTION WITHOUT APPROPRIATE ADDRESS LABELING.
  - APPROVAL OF METERING EQUIPMENT BY DPU-E DOES NOT REMOVE YOUR RESPONSIBILITY TO COMPLY WITH THE LATEST VERSION OF THE NATIONAL ELECTRICAL CODE AS ADOPTED BY THE CITY OF NAPERVILLE. DETERMINATION OF COMPLIANCE WITH THE NATIONAL ELECTRICAL CODE WILL BE MADE BY THE TRANSPORTATION, ENGINEERING AND DEVELOPMENT DEPARTMENT.
  - A CUSTOMER'S GROUNDING CONDUCTOR SHALL NOT BE CONNECTED TO DPU-E DISTRIBUTION EQUIPMENT.
  - DUE TO SUPPLY CHAIN ISSUES DPU-E IS EXPERIENCING LONG LEAD TIMES (+900 DAYS) ON TRANSFORMERS. PLEASE TAKE THIS INTO CONSIDERATION WHEN PLANNING CONSTRUCTION.
  - THE TRANSFORMER MUST BE SHOWN ON THE SITE PLAN AND SHOULD BE LOCATED BETWEEN 8' AND 50' FROM COMMERCIAL BUILDINGS. METERS, INSTRUMENTAL TRANSFORMERS, AND MAIN DISCONNECT SHALL BE LOCATED WITHIN 50' OF THE TRANSFORMER AND SHALL BE INSTALLED ON THE EXTERIOR OF THE BUILDING. IF THE TRANSFORMER WILL BE LOCATED AT A DISTANCE GREATER THAN 50', THEN THE METERING CABINET AND MAIN DISCONNECT MUST BE FREE STANDING AND LOCATED BETWEEN 10' AND 15' OF THE TRANSFORMER. THE INSTRUMENT TRANSFORMERS AND MAIN DISCONNECT MAY BE INSTALLED INSIDE THE BUILDING IF THE SERVICE ENTRANCE CAPACITY IS 1200 AMPS OR GREATER. METERS SHALL BE INSTALLED ON THE BUILDING EXTERIOR.
  - THE DEVELOPER IS RESPONSIBLE FOR THE CONSTRUCTION AND INSTALLATION OF A TRANSFORMER PAD AND VAULT. THE DPU-E ENGINEER MUST BE INFORMED PRIOR TO THE INSTALLATION OF THE PAD AND VAULT. A MAIN DISCONNECT OR CIRCUIT BREAKER IS REQUIRED FOR DPU-E ACCESS IN CASE OF A NEED FOR SERVICE OR IN AN EMERGENCY. DPU-E SHALL MAKE THE FINAL CONNECTIONS OF THE CUSTOMER'S SERVICE TO THE TRANSFORMER TERMINALS. A MINIMUM OF EIGHT FEET OF ADDITIONAL CONDUCTOR LENGTH MUST BE LEFT ON THE CUSTOMER'S SERVICE CABLES.
  - THE TRANSFORMER IS LOCATED NEAR VEHICULAR TRAFFIC. DEVELOPER IS RESPONSIBLE FOR PROVIDING AND INSTALLING 8" BOLLARDS PER DPU-E SPECIFICATION C10-2222.



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 471 E. 75TH STREET  
 NAPERVILLE, IL 60566

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| 02-19-2025 | ZONING RESUB     |      |

**UTILITY PLAN**

DATE 1/07/2025

JOB NO. 23529

**C4.0**  
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