

**PROPERTY ADDRESS:
VACANT PROPERTY EAST OF
1155 AURORA AVE
NAPERVILLE, IL 60540**

**P.I.N.S
07-24-100-015
07-23-208-013**

**RETURN TO/PREPARED BY:
CITY OF NAPERVILLE
CITY CLERK'S OFFICE
400 SOUTH EAGLE STREET
NAPERVILLE, IL 60540**

**OWNER'S ACKNOWLEDGEMENT AND ACCEPTANCE AGREEMENT
FOR CHARLESTON PLACE**

This Owner's Acknowledgement and Acceptance Agreement for Charleston Place Subdivision ("**Agreement**") located on vacant property east of 1155 Aurora Ave, Naperville, IL 60540, is entered into by and between the City of Naperville, a home rule unit of local government under the Constitution and laws of the State of Illinois ("**City**" or "**City of Naperville**"), with an address of 400 South Eagle Street, Naperville, Illinois 60540, and Charleston Investments, LLC an Illinois limited liability company ("**OWNER AND DEVELOPER**"), with offices at 933 E. Ogden Avenue, Naperville, IL 60563. The City and the OWNER AND DEVELOPER are together hereinafter referred to as the "**Parties**" and sometimes individually as "**Party**".

RECITALS

A. This Agreement pertains to certain real property located within the corporate limits of the City of Naperville located on vacant property east of 1155 Aurora Ave, Naperville, IL 60540, having parcel identification numbers of 07-24-100-015 and 07-23-208-013 and legally described on **Exhibit A** and depicted on **Exhibit B** (hereinafter referred as the "**SUBJECT PROPERTY**").

B. OWNER AND DEVELOPER has petitioned the City for approval of a Preliminary/Final Plat of Subdivision for the Charleston Place Subdivision ("**Preliminary/Final Subdivision Plat**") in order to subdivide the SUBJECT PROPERTY into thirty (30) single-family residential lots and one (1) outlot for stormwater management.

- C. The OWNER AND DEVELOPER also requests:
- i. rezoning of the SUBJECT PROPERTY from R1A (Low Density Single-Family Residence District) to TU (Transitional Use District) pursuant to Section 6-3-7 (Rezoning); and
 - ii. A deviation from Section 7-4-1 of the City's Design Manual for Public Improvements in order to permit a public right-of-way width of sixty feet (60') in lieu of sixty-six feet (66').

D. By entering into this Agreement, the City is acting pursuant to its home rule authority under the Constitution and laws of the State of Illinois.

NOW THEREFORE, in consideration of the mutual promises and agreements set forth herein, the parties agree as follows:

1. **Recitals Incorporated.** The foregoing Recitals are incorporated herein as though fully set forth in this Section 1.
2. **Ongoing Compliance.** In the development and operation of the SUBJECT PROPERTY, the OWNER AND DEVELOPER shall be subject to and shall fulfill all conditions set forth or referenced herein associated with the SUBJECT PROPERTY, including but not limited to: (i) the terms of this Agreement; (ii) the provisions of the Naperville Municipal Code, as amended from time to time; (iii) all ordinances and resolutions passed or adopted by the Naperville City Council related to the SUBJECT PROPERTY; and (iv) all applicable laws and regulations.
3. **Development of the SUBJECT PROPERTY.** OWNER AND DEVELOPER shall construct all improvements related to the development of the SUBJECT PROPERTY in compliance with final engineering plans prepared by Civil and Environmental Consultants, Inc., dated December 19, 2024, last revised March 18, 2025 (“**Final Engineering Plans**”) at its sole cost unless otherwise provided herein.
4. **School Donation:** OWNER AND DEVELOPER agrees to abide by the school donation provisions set forth in Section 7-3-5 (Dedication of Park Lands and School Sites or for Payments of Fees in Lieu of) of the Naperville Municipal Code, as amended from time to time. Further, OWNER AND DEVELOPER has elected to pay a cash-in-lieu of a contribution of land for the required school donation pursuant to the “Per Permit Payment” provisions set forth in Section 7-3-5:5.2.2 of the Naperville Municipal Code. Said Per Permit Payment shall be calculated based on the school donation table set forth in Section 7-3-5 of the Naperville Municipal Code in effect at the time of the building permit issuance and shall be made prior to issuance of the building permit. Payment of the required school donation shall not be paid under protest, or otherwise objected to.
5. **Park Donation:** OWNER AND DEVELOPER agrees to abide by the park donation provisions set forth in Section 7-3-5 (Dedication of Park Lands and School Sites or for Payments of Fees in Lieu of) of the Naperville Municipal Code, as amended from time to time. Further, OWNER AND DEVELOPER has elected to pay a cash-in-lieu of a contribution of land for the required park donation pursuant to the “Per Permit Payment” provisions set forth in Section 7-3-5:5.2.2 of the Naperville Municipal Code. Said Per Permit Payment shall be calculated based on the park donation table set forth in Section 7-3-5 of the Naperville Municipal Code in effect at the time of the building permit issuance and shall be made prior to

issuance of the building permit. Payment of the required park donation shall not be paid under protest, or otherwise objected to.

6. **WATERMAIN. OWNER AND DEVELOPER** intends to construct a U-shaped entryway to the development which will access Aurora Avenue at two points and shall be known as Cannon Circle. In order to provide sufficient water service for the SUBJECT PROPERTY, the OWNER AND DEVELOPER shall, at its sole cost, install the watermain located on the SUBJECT PROPERTY as depicted on the Final Engineering Plan (hereinafter referred to as the "**WATERMAIN**"). The WATERMAIN shall be constructed and installed strictly in accordance with the approved Final Engineering Plans for the SUBJECT PROPERTY attached hereto as **Exhibit C**. An approved copy of the Illinois Environmental Protection Agency permit shall be provided to the Director of the Transportation, Engineering, and Development Department (TED) and to the Director of the Department of Public Utilities-Water/Wastewater (DPU-W/WW) before issuance of a site permit for the SUBJECT PROPERTY. No occupancy permits will be issued for the SUBJECT PROPERTY until the WATERMAIN has been constructed, inspected and approved by TED and DPU-W/WW.
7. **OFF-SITE SANITARY SEWERMAIN.** In order to provide sufficient sanitary sewer service for the SUBJECT PROPERTY, the OWNER AND DEVELOPER shall, at its sole cost, install sanitary sewer main from the existing sanitary sewer main located west of the SUBJECT PROPERTY to the western boundary of the SUBJECT PROPERTY as depicted on the Final Engineering Plan (hereinafter referred to as the "**OFF-SITE SANITARY SEWERMAIN**"). The OFF-SITE SANITARY SEWERMAIN shall be constructed and installed strictly in accordance with the approved Final Engineering Plans for the SUBJECT PROPERTY. An approved copy of the Illinois Environmental Protection Agency permit shall be provided to the Director of the Transportation, Engineering, and Development Department (TED) and to the Director of the Department of Public Utilities-Water/Wastewater (DPU-W/WW) before issuance of a site permit for the SUBJECT PROPERTY. No occupancy permits will be issued for the SUBJECT PROPERTY until the OFF-SITE SANITARY SEWERMAIN has been constructed, inspected and approved by TED and DPU-W/WW.

A fifteen foot (15') wide public utilities and drainage easement shall be dedicated to the City along the length of the OFF-SITE SANITARY SEWERMAIN by plat of easement approved by the City Attorney ("**PLAT OF EASEMENT**"). The PLAT OF EASEMENT has been submitted to the City for review and has been approved by the City and will be recorded with the DuPage County Recorder's Office prior to the issuance of any building permits for the SUBJECT PROPERTY.

8. **ON-SITE SANITARY SEWERMAIN.** In order to provide sufficient sanitary sewer service for the SUBJECT PROPERTY, the OWNER AND DEVELOPER shall, at its sole cost, install the sanitary sewer line from the western boundary of the SUBJECT PROPERTY (connecting to the OFF-SITE SANITARY

SEWERMAIN) as shown on the Final Engineering Plan (hereinafter referred to as the "**ON-SITE SANITARY SEWERMAIN**"). The ON-SITE SANITARY SEWERMAIN shall be constructed and installed strictly in accordance with the approved Final Engineering Plans for the SUBJECT PROPERTY. An approved copy of the Illinois Environmental Protection Agency permit shall be provided to the Director of the Transportation, Engineering, and Development Department (TED) and to the Director of the Department of Public Utilities-Water/Wastewater (DPU-W/WW) before issuance of a site permit for the SUBJECT PROPERTY. No occupancy permits will be issued for the SUBJECT PROPERTY until the ON-SITE SANITARY SEWERMAIN has been constructed, inspected and approved by TED & DPU-W/WW.

9. **STORM SEWER.** The OWNER AND DEVELOPER agrees, at its sole cost, to provide storm sewer as shown on the Final Engineering Plans (hereinafter referred to as the "**STORM SEWER**"). The STORM SEWER shall be constructed and installed strictly in accordance with the approved Final Engineering Plans for the SUBJECT PROPERTY. No occupancy permits will be issued for the SUBJECT PROPERTY until the STORM SEWER has been constructed, inspected and approved by TED.

10. **AURORA AVENUE IMPROVEMENTS.** The OWNER AND DEVELOPER agrees, at its sole cost, to make the following improvements to Aurora Avenue ("**AURORA AVENUE IMPROVEMENTS**") as shown in the Final Engineering Plans for the SUBJECT PROPERTY within eighteen months of issuance of a site permit for the SUBJECT PROPERTY, or such other timeframe as may be agreed to in writing by the City Engineer:

- i. Mill to between a minimum of 1.5" to a varying depth of 4" and overlay the pavement on the north side of the Aurora Avenue right-of-way;
- ii. Add two foot (2') wide stop bars at the two (2) intersections of Cannon Circle and Aurora Avenue that extend across the full width of Aurora Avenue;
- iii. Modify the existing median, as well as add new pavement and pavement markings, to provide an east bound left turn lane into the SUBJECT PROPERTY; and
- iv. Install B6.12 curb and gutter along the north side of Aurora Avenue for the entire frontage of the SUBJECT PROPERTY.

11. PUBLIC IMPROVEMENTS AND ACCEPTANCE.

- 11.1 The City hereby agrees to accept the WATERMAIN, OFF-SITE SANITARY SEWERMAIN, ON-SITE SANITARY SEWERMAIN, STORM SEWERS, with the exception of Outlot A, AND THE AURORA AVENUE IMPROVEMENTS: (i) after the work associated with each has

been completed and approved (including but not limited passing all testing requirements) by the Director of TED and the Director of the DPU-W/WW; and (ii) upon issuance of a Bill of Sale to the City by the OWNER AND DEVELOPER for said improvements in a form approved by the City. Upon acceptance of said improvements, the City shall be the owner thereof and shall thereafter be responsible for their maintenance, repair and replacement. Upon acceptance by the City of Naperville City Council, the City shall become the owner thereof.

12. Fees Due. OWNER AND DEVELOPER shall pay all fees (which fees shall not be paid under protest or otherwise objected to) set forth herein and required by the Naperville Municipal Code as amended from time to time, including but not limited to the following:

12.1 Site Permit Review Fee: \$27,804.67 (1.5% of the approved engineer's cost estimate). This fee is due prior to issuance of the site permit.

12.2 Future Pavement Restoration Fee: \$4,070.18. This fee is due prior to issuance of the site permit.

12.3 Infrastructure Availability Charges and User Fees. Upon a request for connection and service to the City's water or sanitary system, OWNER AND DEVELOPER shall pay for all infrastructure availability charges and user fees in accordance with Title 8 of the Naperville Municipal Code as amended from time to time, as are applicable to that portion of the SUBJECT PROPERTY for which connection and service is requested.

12.4 Facility Installation Charges and User Fees. Upon a request for connection and service to the City of Naperville electric system, the OWNER AND DEVELOPER shall pay for all Facility Installation Charges (FIC) and user fees in accordance with Title 8 of the Naperville Municipal Code as amended from time to time, as are applicable to that portion of the SUBJECT PROPERTY for which connection and service is requested.

12.5 Other Fees. Any resubmission fees, or other applicable fees not listed in 12.1 through 12.4 above, shall be charged in accord with the provisions of the Naperville Municipal Code or applicable policies and regulations then in effect, including but not limited to the fee schedule in Section 1-9F (Municipal Finances: Development, Entitlement and Other Required Application Process Fees) and Section 1-9H (Municipal Finances: Fees for Construction and New Development).

13. Financial Surety. Financial surety in a form and from a source acceptable to the City Attorney, including a cash deposit, bond or letter of credit shall be provided and maintained in the amount of \$2,039,009.50 (110% of the approved engineer's cost estimate) which guarantees the completion of public improvements and soil

erosion and sedimentation control for the SUBJECT PROPERTY. Financial surety shall be received and approved prior to issuance of a site development permit. Notwithstanding provision of said surety, until the Public Improvements identified in Section 11.1 above have been accepted by the City, the OWNER AND DEVELOPER shall remain obligated for completion of said Public Improvements and/or (at the City's sole discretion) to pay any costs for said Public Improvements to the extent that the surety is not sufficient to pay for the costs of the Public Improvements, or in the event of any denial, or partial denial of coverage by the surety, or failure of the surety to timely respond to a demand for payment. Prior to acceptance of the Public Improvements by the City identified in Section 10.1 above, the OWNER AND DEVELOPER shall provide the City with a maintenance surety for the Public Improvements in a form approved by the City Attorney and in conformity with the Naperville Municipal Code then in effect.

As to any surety, or maintenance surety, provided by the OWNER AND DEVELOPER to the City hereunder, the OWNER AND DEVELOPER agrees that: (1) at no time shall the City be liable for attorneys' fees with respect thereto; (2) OWNER AND DEVELOPER shall be liable to pay the City's reasonable attorneys' fees and costs (in-house or outside counsel) in enforcement thereof; and (3) the list of circumstances set forth in such surety (including any exhibit thereto) as bases for default thereunder shall entitle the City to draw on said surety.

14. **Building Permits.** No building permits shall be issued for the SUBJECT PROPERTY until the Preliminary/Final Subdivision Plat has been recorded and until the City has determined that sufficient improvements have been installed and are functioning to protect the health, safety, and welfare of the public.

15. **General Conditions.**

- 15.1 **Binding Effect.** City and OWNER AND DEVELOPER acknowledge and agree that the terms contained herein shall be binding upon and inure to the benefit of the City and the OWNER AND DEVELOPER and their respective successors, assigns, and transferees, and any subsidiary, affiliate or parent of the OWNER AND DEVELOPER (whether their interest is in the SUBJECT PROPERTY as a whole or in any portion or aspect thereof).
- 15.2 **Severability.** It is mutually understood and agreed that all agreements and covenants herein are severable and that in the event any of them shall be held to be invalid by any court of competent jurisdiction, this Agreement shall be interpreted as if such invalid agreement or covenant were not contained herein.
- 15.3 **Amendment.** The agreements, covenants, terms and conditions herein contained may be modified only through the written mutual consent of the parties hereto. If a modification of this Agreement would result in an

amendment of the Annexation Agreement, the Annexation Agreement shall also be amended.

- 15.4 **Assignment.** This Agreement may not be assigned by either Party without the written consent of the other Party.
- 15.5 **Choice of Law and Venue.** This Agreement shall in all respects be subject to and construed in accordance with and governed by the laws of the State of Illinois. Venue for any action arising out of the terms or conditions of this Agreement shall be proper only in the Circuit Court for the Eighteenth Judicial Circuit, DuPage County, Illinois.
- 15.6 **Ambiguity.** If any term of this Agreement is ambiguous, it shall not be construed for or against any Party on the basis that the Party did or did not write it.
- 15.7 **Recordation.** This Agreement will be recorded by the City with the office of the DuPage County Recorder.
- 15.8 **Term.** This Agreement shall be effective upon the Effective Date set forth in Section 15.14 hereof and shall terminate, without further action by either Party, upon the later of ten (10) years from the Effective Date or issuance of all final certificates of occupancy for the SUBJECT PROPERTY.
- 15.9 **Automatic Expiration.** If the preliminary/final plat of subdivision for the SUBJECT PROPERTY is not recorded within five (5) years of the date of approval of the ordinance approving the preliminary/final plat of subdivision and this Agreement by the City Council, the preliminary/final plat of subdivision and this Agreement shall automatically lapse and become null and void without further action by the City.
- 15.10 **Survival.** The terms and conditions set forth in the following paragraphs of this Agreement shall survive the expiration or termination of this Agreement: 1 through 14 and 15.1, 15.2, 15.5, 15.6, 15.10, and 15.13.
- 15.11 **Authority to Execute/OWNER AND DEVELOPER.** The undersigned warrants that he/she is the OWNER AND DEVELOPER of the SUBJECT PROPERTY, or is the duly authorized representative of the OWNER AND DEVELOPER of the SUBJECT PROPERTY in the case of a corporation, partnership, trust, or similar ownership form which owns the SUBJECT PROPERTY and that the undersigned has full power and authority to sign this document and voluntarily agrees to the provisions set forth herein.
- 15.12 **Authority to Execute/City.** The undersigned City Manager warrants that he has been directed to, and has the authority to, execute this Agreement.

The undersigned City Clerk warrants that she has been directed to, and has the authority to, attest the signature of the City Manager on this Agreement.

15.13 **Exhibits.** All exhibits attached hereto or referenced herein are incorporated herein by reference and made part hereof.

15.14 **Effective Date.** The effective date of this Agreement ("**Effective Date**") shall be the date upon which it is fully executed by both Parties hereto.

/SIGNATURES ON FOLLOWING PAGES/

OWNER AND DEVELOPER/CHARLESTON INVESTMENTS LLC:

[Signature]

Erik Van Someren

[Printed name]

Manager

[Title]

State of Illinois)
) ss
County of DuPage)

The foregoing instrument was acknowledged before me by Erik Van Someren
this 31st day of March, 2025.

Notary Public

Vincent M. Rosanova

Print Name

Given under my hand and official seal this 31st day of March, 2025.

-Seal-

Notary Public

My Commission Expires: _____



CITY OF NAPERVILLE

By: _____
Douglas A. Krieger
City Manager

ATTEST:

By: _____
Dawn C. Portner
City Clerk

Date: _____

LEGAL DESCRIPTION

PARCEL 1:

THAT PART OF THE NORTHEAST 1/4 OF SECTION 23 AND OF THE NORTHWEST 1/4 OF SECTION 24, TOWNSHIP 38 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 24; THENCE SOUTHERLY ON THE WEST LINE OF SAID SECTION 24 A DISTANCE OF 742.5 FEET (RECORD) (MEASURED SOUTH 00 DEGREES 01 MINUTES 08 SECONDS EAST, 742.39 FEET) TO THE CENTER LINE OF AURORA ROAD (BEFORE PAVING) FOR A POINT OF BEGINNING; THENCE SOUTH 86 DEGREES 00 MINUTES WEST (RECORD) (MEASURED SOUTH 85 DEGREES 22 MINUTES 51 SECONDS WEST) ALONG SAID CENTER LINE A DISTANCE OF 146.0 FEET; THENCE NORTH 04 DEGREES 13 MINUTES 05 SECONDS WEST 707.38 FEET (RECORD) (MEASURED NORTH 04 DEGREES 41 MINUTES 51 SECONDS WEST A DISTANCE OF 707.02); THENCE NORTH 85 DEGREES 45 MINUTES 55 SECONDS EAST 551.0 FEET (RECORD) (MEASURED NORTH 85 DEGREES 20 MINUTES 47 SECONDS EAST, A DISTANCE OF 551.35 FEET); THENCE SOUTH 2 DEGREES 49 MINUTES 13 SECONDS EAST 193.68 FEET (RECORD) (MEASURED SOUTH 02 DEGREES 56 MINUTES 19 SECONDS EAST, A DISTANCE OF 192.91 FEET); THENCE SOUTH 8 DEGREES 12 MINUTES EAST 485.0 FEET (RECORD) (MEASURED SOUTH 08 DEGREES 46 MINUTES 44 SECONDS EAST, A DISTANCE OF 484.44 FEET); TO A POINT ON THE CENTER LINE OF AURORA ROAD (BEFORE PAVING); THENCE SOUTH 81 DEGREES 48 MINUTES WEST (RECORD) (MEASURED SOUTH 81 DEGREES 14 MINUTES 51 SECONDS WEST), ALONG SAID CENTER LINE, A DISTANCE OF 435.0 FEET TO THE POINT OF BEGINNING, IN DU PAGE COUNTY, ILLINOIS; EXCEPTING THEREFROM THAT PART LYING WITHIN JEFFERSON ESTATES SUBDIVISION RECORDED AS DOCUMENT R2004-171706 AND ALSO EXCEPTING THEREFROM THAT PART LYING WITHIN THE MAYOR ESTATE SUBDIVISION RECORDED AS DOCUMENT R2015-042314.

PARCEL 2:

THAT PART OF THE NORTHEAST 1/4 OF SECTION 23, TOWNSHIP 38 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DU PAGE COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 23; THENCE SOUTHERLY ALONG THE EAST LINE OF SAID SECTION 23, A DISTANCE OF 742.5 FEET (RECORD) (MEASURED SOUTH 00 DEGREES 01 MINUTES 08 SECONDS EAST, 742.39 FEET) TO THE CENTER LINE OF AURORA ROAD (BEFORE PAVING); THENCE SOUTH 86 DEGREES 00 MINUTES WEST (RECORD) (MEASURED SOUTH 85 DEGREES 22 MINUTES 51 SECONDS WEST), ALONG THE CENTER LINE OF SAID AURORA ROAD, A DISTANCE OF 146.0 FEET; THENCE NORTH 04 DEGREES 13 MINUTES 05 SECONDS WEST (RECORD) (MEASURED NORTH 04 DEGREES 41 MINUTES 51 SECONDS WEST) A DISTANCE OF 707.38 FEET (RECORD) (MEASURED 707.02) TO A POINT ON THE NORTHERLY LINE OF LAND DESCRIBED IN DOCUMENT NUMBER R2004-159734; SAID POINT BEING THE POINT OF BEGINNING; THENCE CONTINUING NORTH 04 DEGREES

41 MINUTES 51 SECONDS WEST, A DISTANCE OF 44.37 FEET TO A SOUTHERLY LINE OF JEFFERSON ESTATES SUBDIVISION RECORDED AS DOCUMENT R2004-171706; THENCE NORTH 87 DEGREES 10 MINUTES 34 SECONDS EAST, ALONG SAID SOUTHERLY LINE, DISTANCE OF 92.87 FEET TO THE WEST LINE THE MAYOR ESTATE SUBDIVISION RECORDED AS DOCUMENT R2015-042314; THENCE SOUTH 03 DEGREES 53 MINUTES 02 SECONDS EAST, ALONG SAID WEST LINE, A DISTANCE OF 41.41 FEET TO AFORESAID NORTHERLY LINE OF LAND DESCRIBED IN DOCUMENT NUMBER R2004-159734; THENCE SOUTH 85 DEGREES 20 MINUTES 47 SECONDS WEST (RECORD SOUTH 85 DEGREES 45 MINUTES 55 SECONDS WEST), ALONG SAID NORTH LINE, A DISTANCE OF 92.26 FEET TO THE POINT OF BEGINNING.

Underlying PINS: 07-24-100-015 and 07-23-208-013

Common Address: Vacant property east of 1155 Aurora Avenue, Naperville, Illinois 60540



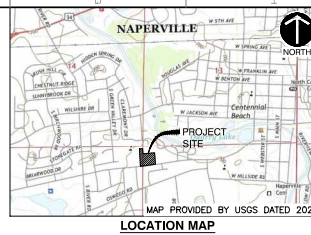
BASIS OF BEARINGS:
ILLINOIS STATE PLANE -
EAST ZONE

PRELIMINARY/FINAL PLAT OF SUBDIVISION OF CHARLESTON PLACE

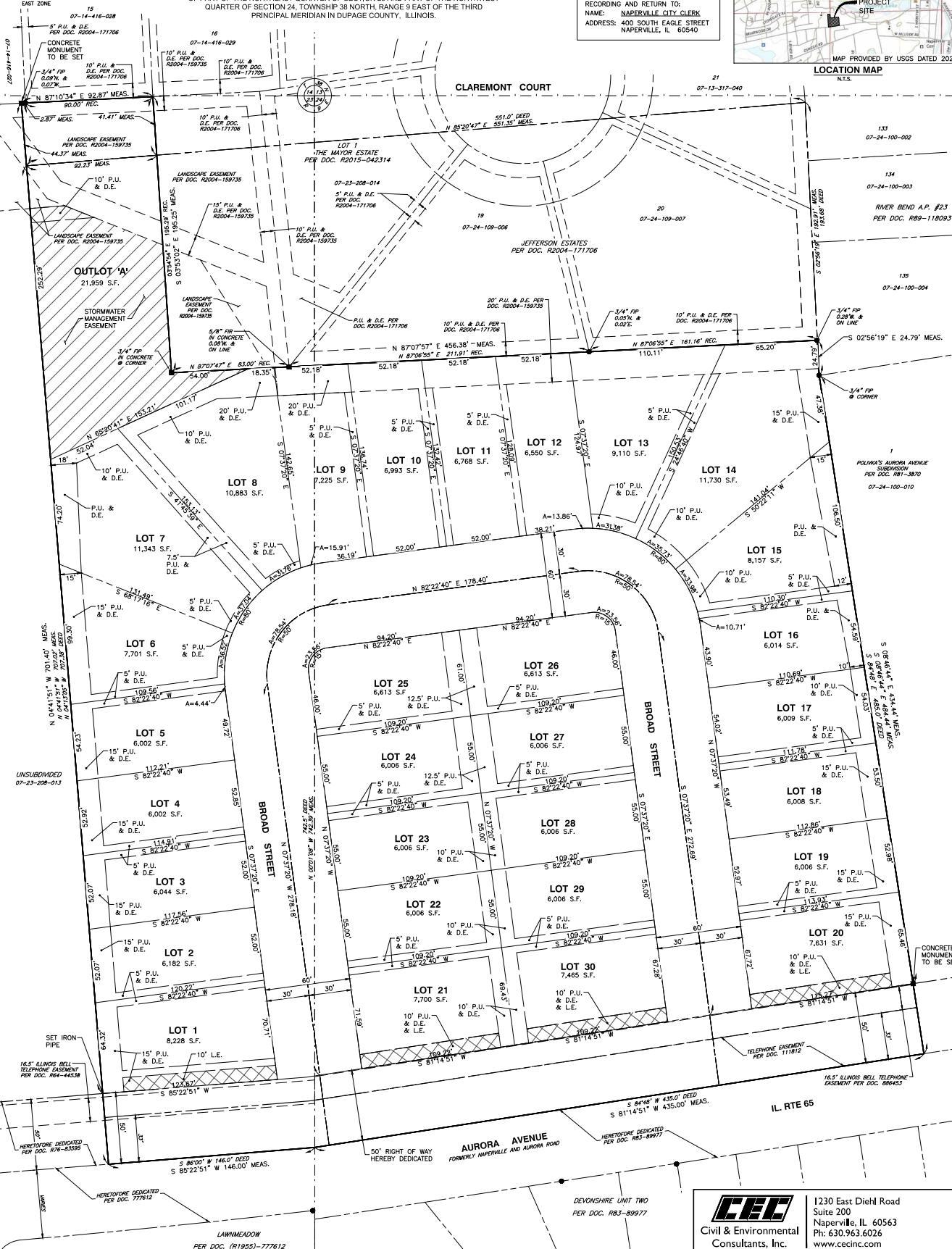
OF PART OF THE NORTHEAST QUARTER OF SECTION 23 AND PART OF THE NORTHWEST
QUARTER OF SECTION 24, TOWNSHIP 38 NORTH, RANGE 9 EAST OF THE THIRD
PRINCIPAL MERIDIAN IN DUPAGE COUNTY, ILLINOIS.

P.J.N.: ALL OF 07-24-100-015
PROPERTY ADDRESS: N/A (VACANT LAND)
NAPERVILLE, ILLINOIS 60540
P.J.N.: PART OF 07-23-208-013
PROPERTY ADDRESS: 1155 AURORA AVENUE
NAPERVILLE, ILLINOIS 60540

THIS PLAT HAS BEEN SUBMITTED FOR
RECORDING AND RETURN TO:
NAME: NAPERVILLE CITY CLERK
ADDRESS: 400 SOUTH EAGLE STREET
NAPERVILLE, IL 60540



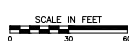
LOCATION MAP
N.T.S.



LEGEND & ABBREVIATIONS

BOUNDARY	SET CONCRETE MONUMENT
EXISTING LOT LINE	MONUMENTATION FOUND PER FIELD OBSERVATIONS
PROPOSED ROW LINE	MEASURED DATA
SECTION LINE	RECORD DATA
BUILDING SETBACK LINE	PUBLIC UTILITIES & DRAINAGE EASEMENT
PROPOSED SETBACK LINE	LANDSCAPE EASEMENT
EXISTING EASEMENT	PERMANENT INDEX NUMBER
PROPOSED EASEMENT	FOUND IRON PIPE
CENTER LINE	

STORMWATER MANAGEMENT EASEMENT
LANDSCAPE EASEMENT



CITY PROJECT NUMBER 24-10000142

EXHIBIT B

REVISION RECORD

NO.	DATE	DESCRIPTION
1	DECEMBER 19, 2024	ISSUED FOR RECORD



1230 East Diehl Road
Suite 200
Naperville, IL 60563
Ph: 630.963.6026
www.cecinc.com

PREPARED FOR:
CHARLESTON INVESTMENTS, LLC
933 EAST OGDEN AVENUE
NAPERVILLE, ILLINOIS 60563

PLAT OF SUBDIVISION
1103 AURORA AVENUE
NAPERVILLE, ILLINOIS 60540

SV02
SHEET 1 OF 3

SCHOOL DISTRICT BOUNDARY STATEMENT

STATE OF ILLINOIS } SS
COUNTY OF DUPAGE }

THE UNDERSIGNED, BEING DULY SWORN, UPON HIS/HER OATH DEPOSES AND STATES AS FOLLOWS:

- THAT THE PROPERTY LEGALLY DESCRIBED ON THIS PLAT OF SUBDIVISION, WHICH HAS BEEN SUBMITTED TO THE CITY OF NAPERVILLE FOR APPROVAL, WHICH LEGAL DESCRIPTION IS INCORPORATED HEREIN BY REFERENCE; AND
- TO THE BEST OF THE OWNERS' KNOWLEDGE, THE SCHOOL DISTRICT IN WHICH TRACT, PARCEL, LOT OR BLOCK OF THE PROPOSED SUBDIVISION LIES IS:
NAPERVILLE COMMUNITY UNIT DISTRICT 203
203 W. HILLSIDE ROAD
NAPERVILLE, ILLINOIS 60540-6589

OWNERS: _____

BY: _____ ATTEST: _____
SIGNATURE

ITS: _____ ITS: _____

SUBSCRIBED AND SWORN BEFORE ME THIS _____ DAY OF _____, 20____
DATE MONTH YEAR

NOTARY PUBLIC _____

CITY TREASURER'S CERTIFICATE

STATE OF ILLINOIS } SS
COUNTY OF DUPAGE }

I, TREASURER FOR THE CITY OF NAPERVILLE, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS, OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE ANNEXED PLAT.

DATED AT NAPERVILLE, ILLINOIS, THIS _____ DAY OF _____, 20____

CITY TREASURER/DIRECTOR, FINANCE DEPARTMENT

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS } SS
COUNTY OF DUPAGE }

APPROVED AND ACCEPTED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF NAPERVILLE, ILLINOIS, AT A MEETING HELD

THE _____ DAY OF _____, A.D., 20____

BY: _____ ATTEST: _____
MAYOR CITY CLERK

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS } SS
COUNTY OF DUPAGE }

APPROVED BY THE CITY OF NAPERVILLE PLAN COMMISSION AT A MEETING HELD THE _____ DAY OF _____, A.D., 20____

BY: _____ ATTEST: _____
CHAIRMAN SECRETARY

SURFACE WATER STATEMENT

STATE OF ILLINOIS } SS
COUNTY OF DUPAGE }

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THIS SUBDIVISION OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS ____ DAY OF _____, 20____

ILLINOIS LICENSED PROFESSIONAL ENGINEER NO. 46225
LICENSE VALID THROUGH NOVEMBER 30, 2025.

OWNER NAME: _____

BY: _____ ATTEST: _____
SIGNATURE SIGNATURE

PRINTED NAME AND TITLE PRINTED NAME AND TITLE

SURVEYOR'S NOTES:

- DISTANCES ARE MARKED IN FEET AND DECIMAL PLACES THEREOF. NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON.
- THIS SUBDIVISION MAY BE SUBJECT TO MATTERS OF TITLE, WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT. PRE-EXISTING EASEMENTS, EASEMENTS AND OTHER RESTRICTIONS HAVE BEEN SHOWN BASED ON THE FIDELITY NATIONAL TITLE INSURANCE COMPANY ORDER NUMBER DW24015499 DATED AUGUST 26, 2024.
- THE PROPERTY DEPICTED ON THIS PLAT MAY BE SUBJECT TO A CERTAIN DECLARATION OF PROTECTIVE COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED SEPARATELY FROM THIS PLAT.
- BEARINGS SHOWN HEREON ARE REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE. THESE COORDINATES HAVE BEEN ESTABLISHED UTILIZING A REAL TIME KINEMATIC (RTK) GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) AND ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 (2011 ADJUSTMENT).
- MONUMENTS SHALL BE SET AT ALL PROPERTY CORNERS AND POINTS OF GEOMETRIC CHANGE IN ACCORDANCE WITH 765 ILCS 205/1 UPON THE CITY RECORDATION OF THE FINAL PLAT OF SUBDIVISION. UNLESS OTHERWISE NOTED, MONUMENTS SET ARE 3/4" DIAMETER BY 24" LONG IRON PIPE.
- THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A SUBDIVISION SURVEY. CIVIL & ENVIRONMENTAL CONSULTANTS, INC., IS AN ILLINOIS PROFESSIONAL DESIGN FIRM, LICENSE NUMBER 194-004002, EXPIRES APRIL 30, 2025.
- NOTE REGARDING CITY OF NAPERVILLE REQUIRED LAND-CASH DONATION: THE LAND-CASH AMOUNT DUE FOR THE PROPERTY SHOWN HEREON PURSUANT TO THE LAND-CASH PROVISIONS OF THE NAPERVILLE MUNICIPAL CODE IS TO BE PAID ON A PER PERMIT BASIS PRIOR TO ISSUANCE OF EACH BUILDING PERMIT FOR A RESIDENTIAL UNIT WITHIN THE PLATTED AREA PER SECTION 7-3-5-5.2.2 OF THE NAPERVILLE MUNICIPAL CODE. NO CREDIT SHALL BE GIVEN FOR ANY EXISTING STRUCTURE.

LAND SURVEYOR AUTHORIZATION TO RECORD PLAT

STATE OF ILLINOIS } SS
COUNTY OF DUPAGE }

THIS IS TO STATE THAT TIMOTHY MURPHY, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, BEING THE SAME LAND SURVEYOR WHO PREPARED AND CERTIFIED THE PLAT OF SUBDIVISION HEREON DRAWN, TITLED "CHARLESTON PLACE," DO HEREBY AUTHORIZE THE CITY OF NAPERVILLE CITY CLERK OR AN EMPLOYEE OF THE CITY CLERK'S OFFICE TO PRESENT SAID PLAT OF SUBDIVISION TO THE DUPAGE COUNTY RECORDER OF DEEDS TO BE RECORDED.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, 202__.

TIMOTHY J. MURPHY
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-002870
LICENSE EXPIRES/RENEWES NOVEMBER 30, 2026
*HAND SIGNATURE ON FILE

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS } SS
COUNTY OF DUPAGE }

I, TIMOTHY MURPHY, AN ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT THE FOLLOWING DESCRIBED PROPERTY HAS BEEN SURVEYED AND SUBDIVIDED UNDER MY SUPERVISION AND THAT THE PLAT HEREON DRAWN IS AN ACCURATE REPRESENTATION OF SAID SURVEY AND SUBDIVISION. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.

PARCEL 1:
THAT PART OF THE NORTHEAST 1/4 OF SECTION 23 AND OF THE NORTHWEST 1/4 OF SECTION 24, TOWNSHIP 38 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 24; THENCE SOUTHERLY ON THE WEST LINE OF SAID SECTION 24 A DISTANCE OF 742.5 FEET (RECORD) (MEASURED SOUTH 00 DEGREES 01 MINUTES OR SECONDS EAST, 742.39 FEET) TO THE CENTER LINE OF AURORA ROAD (BEFORE PAVING) FOR A POINT OF BEGINNING; THENCE SOUTH 86 DEGREES 00 MINUTES WEST (RECORD) (MEASURED SOUTH 85 DEGREES 22 MINUTES 51 SECONDS WEST) ALONG SAID CENTER LINE A DISTANCE OF 146.0 FEET; THENCE NORTH 04 DEGREES 13 MINUTES 05 SECONDS WEST 707.38 FEET (RECORD) (MEASURED NORTH 04 DEGREES 41 MINUTES 51 SECONDS WEST A DISTANCE OF 707.02); THENCE NORTH 85 DEGREES 45 MINUTES 58 SECONDS EAST 551.0 FEET (RECORD) (MEASURED NORTH 85 DEGREES 20 MINUTES 47 SECONDS EAST, A DISTANCE OF 551.35 FEET); THENCE SOUTH 2 DEGREES 49 MINUTES 13 SECONDS EAST 193.68 FEET (RECORD) (MEASURED SOUTH 02 DEGREES 56 MINUTES 19 SECONDS EAST, A DISTANCE OF 192.91 FEET); THENCE SOUTH 8 DEGREES 12 MINUTES EAST 485.0 FEET (RECORD) (MEASURED SOUTH 08 DEGREES 46 MINUTES 44 SECONDS EAST, A DISTANCE OF 484.44 FEET); TO A POINT ON THE CENTER LINE OF AURORA ROAD (BEFORE PAVING); THENCE SOUTH 81 DEGREES 49 MINUTES WEST (RECORD) (MEASURED SOUTH 81 DEGREES 14 MINUTES 51 SECONDS WEST), ALONG SAID CENTER LINE, A DISTANCE OF 435.0 FEET TO THE POINT OF BEGINNING, IN DU PAGE COUNTY, ILLINOIS; EXCEPTING THEREFROM THAT PART LYING WITHIN JEFFERSON ESTATES SUBDIVISION RECORDED AS DOCUMENT R2004-171706 AND ALSO EXCEPTING THEREFROM THAT PART LYING WITHIN THE MAYOR ESTATE SUBDIVISION RECORDED AS DOCUMENT R2015-042314.

PARCEL 2:
THAT PART OF THE NORTHEAST 1/4 OF SECTION 23, TOWNSHIP 38 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DU PAGE COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 23; THENCE SOUTHERLY ALONG THE EAST LINE OF SAID SECTION 23, A DISTANCE OF 742.5 FEET (RECORD) (MEASURED SOUTH 00 DEGREES 01 MINUTES OR SECONDS EAST, 742.39 FEET) TO THE CENTER LINE OF AURORA ROAD (BEFORE PAVING); THENCE SOUTH 86 DEGREES 00 MINUTES WEST (RECORD) (MEASURED SOUTH 85 DEGREES 22 MINUTES 51 SECONDS WEST), ALONG THE CENTER LINE OF SAID AURORA ROAD, A DISTANCE OF 146.0 FEET; THENCE NORTH 04 DEGREES 13 MINUTES 05 SECONDS WEST (RECORD) (MEASURED NORTH 04 DEGREES 41 MINUTES 51 SECONDS WEST) A DISTANCE OF 707.38 FEET (RECORD) (MEASURED 707.02) TO A POINT ON THE NORTHERLY LINE OF LAND DESCRIBED IN DOCUMENT (INSERT PARCEL 1 VESTING DEED); SAID POINT BEING THE POINT OF BEGINNING; THENCE CONTINUING NORTH 04 DEGREES 41 MINUTES 51 SECONDS WEST, A DISTANCE OF 44.37 FEET TO A SOUTHERLY LINE OF JEFFERSON ESTATES SUBDIVISION RECORDED AS DOCUMENT R2004-171706; THENCE NORTH 81 DEGREES 10 MINUTES 34 SECONDS EAST, ALONG SAID SOUTHERLY LINE, DISTANCE OF 92.87 FEET TO THE WEST LINE THE MAYOR ESTATE SUBDIVISION RECORDED AS DOCUMENT R2015-042314; THENCE SOUTH 03 DEGREES 53 MINUTES 02 SECONDS EAST, ALONG SAID WEST LINE, A DISTANCE OF 41.41 FEET TO AFORESAID NORTHERLY LINE OF LAND DESCRIBED IN DOCUMENT (INSERT PARCEL 1 VESTING DEED); THENCE SOUTH 85 DEGREES 20 MINUTES 47 SECONDS WEST (RECORD SOUTH 85 DEGREES 45 MINUTES 58 SECONDS WEST), ALONG SAID NORTH LINE, A DISTANCE OF 92.26 FEET TO THE POINT OF BEGINNING.

I, FURTHER CERTIFY THAT THE PROPERTY SHOWN ON THE PLAT HEREON DRAWN IS SITUATED WITHIN THE CORPORATE LIMITS OF THE CITY OF NAPERVILLE, WHICH HAS ADOPTED AN OFFICIAL COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY THE STATE OF ILLINOIS ACCORDING TO 65 ILCS 5/11-12-6, AS HERETOFORE AND HEREAFTER AMENDED.

I, FURTHER CERTIFY THAT THE FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NUMBER 17043C0143J WITH AN EFFECTIVE DATE OF AUGUST 1, 2019 INDICATES THAT THE ABOVE DESCRIBED PROPERTY LIES WITHIN AN AREA DESIGNATED AS ZONE X (DEFINED AS AREAS OF MINIMAL FLOOD HAZARD). THIS DOES NOT GUARANTEE THAT THE SURVEYED PROPERTY WILL OR WILL NOT FLOOD.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, 202__.

TIMOTHY J. MURPHY
ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR NO. 035-002870
LICENSE EXPIRES/RENEWES NOVEMBER 30, 2026
*HAND SIGNATURE ON FILE



1230 East Diehl Road
Suite 200
Naperville, IL 60563
Ph: 630.963.6026
www.cecinc.com

PREPARED FOR:
CHARLESTON INVESTMENTS, LLC
933 EAST OGDEN AVENUE
NAPERVILLE, ILLINOIS 60563

DRAWN BY: ET CHECKED BY: JSC APPROVED BY: TMM
DATE: DECEMBER 19, 2024 [DWG SCALE: NOT TO SCALE] PROJECT NO: 333-044.2003
PLAT OF SUBDIVISION
1103 AURORA AVENUE
NAPERVILLE, ILLINOIS 60540
DRAWING NO:
SV02
SHEET 3 OF 3

EXHIBIT B

[illegible]

A map of the area around the proposed site. The map shows a network of roads, including Highway 101, Highway 1, and Highway 2. The site is marked with a black dot and labeled 'SITE'. The map also shows various landmarks, including the University of California, Berkeley, and the University of California, San Diego. A north arrow is located in the top right corner of the map.

Sheet Title

811
Know what's Below.
Call before you dig.

ILLINOIS LAW REQUIRES ANYONE DIGGING TO CALL JUNE 71-800-892-0123 AT LEAST 48 HOURS TWO WORKING DAYS PRIOR TO THE START OF EXCAVATION AND THE PROJECT MUST BEGIN WITHIN 14 CALENDAR DAYS FROM THE CALL.

1230 East Diehl Road
Suite 200
Naperville, IL 60563
Ph: 630.963.6026
www.cecinc.com



CEC
Environmental & Environment
Consultants, Inc.

EXHIBIT 5-19

CHARLES VINCENT GEORGE ARCHITECTS

CHARLES VINCENT GEORGE
1245 E. DIEHL ROAD, SUITE 1
NAPERVILLE, ILLINOIS 60563
PH: (630) 357-2023
CONTACT: BRUCE GEORGE

CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
4000 EAST DUELL ROAD SUITE 200

1230 EAST DIEHL ROAD, SUITE 200
NAPERVILLE, ILLINOIS 60563
PH: (630) 963-6026
CONTACT: JIM CANEFF, P.E.

1. EXISTING CONDITIONS ARE BASED ON CH2 & ENVIRONMENTAL, INC. FIELD DATA OBTAINED NOVEMBER 7-15, 2024.
2. FIELD DATA: ILLINOIS STATE PLANE MAPDS (2011) - U.S. SURVEY FOOT.
3. UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON FIELD OBSERVATIONS ON NOVEMBER 7-15, 2024 AND AVAILABLE UTILITY ADJUSTS.

SYMBOLS		DESCRIPTIONS	
	BOUNDARY PROPERTY LINE		RIGHT-OF-WAY
	UNDERLYING PROPERTY LINE		CENTER LINE
	EASEMENT LINE		SECTION LINE
	INDEX (MAP) CONTOUR		ELEVATION (MAP) CONTOUR
	INTENSIVE FILLING LINE		DELINEATION WOOD FENCE LINE
	DITCH OR DRAINAGE		DITCH OR DRAINAGE
	ROADWAY		ROADWAY
	STREAM OR WATERWAY		STREAM OR WATERWAY
	WATER LINE		WATER LINE
	SEWER LINE		SEWER LINE
	PROPOSED DRAINAGE		PROPOSED DRAINAGE
	GAS LINE		GAS LINE
	OVERHEAD WIRE		OVERHEAD WIRE
	ELECTRIC LINE		ELECTRIC LINE
	CABLE LINE		CABLE LINE
	FIBER OPTIC LINE		FIBER OPTIC LINE
	TELEPHONE LINE		TELEPHONE LINE
	TREE LINE		TREE LINE
	PROPOSED STRUCTURE		PROPOSED STRUCTURE
	PROPOSED STRUCTURE		PROPOSED STRUCTURE
	PROPOSED STRUCTURE		PROPOSED STRUCTURE
	PROPOSED STRUCTURE		PROPOSED STRUCTURE
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	PROPOSED STRUCTURE		PROPOSED STRUCTURE

1. EXISTING CONDITIONS ARE BASED ON CIVIL & ENVIRONMENTAL, INC. FIELD DATA OBTAINED NOVEMBER 7-15, 2024.
2. FIELD DATUM: ILLINOIS STATE PLANE NAD83 (2011) - U.S. SURVEY FOOT.
3. UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON FIELD OBSERVATIONS ON NOVEMBER 7-15, 2024 AND AVAILABLE UTILITY ALIUSES.

3. UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON FIELD OBSERVATIONS ON NOVEMBER 7-15, 2024 AND AVAILABLE UTILITY ATLASES.

STATE OF ILLINOIS
COUNTY OF COOK SS

I, ILINUS PROFESSIONAL, DANIEL JESSE GENTILE,
CONSULTING, HAS BEEN PREPARED BY ME, A DESIGNATED
CONSULTANT, AS ILINUS LICENSED PROFESSIONAL, DANIEL JESSE GENTILE,
FOR THE EXCLUSIVE USE OF THE CLIENT NOTED BELOW. REPRODUCTION OR
BY THIRD PARTIES IS STRICTLY PROHIBITED WITHOUT THE WRITTEN PERMISSION
OF THE USER OF THIS DOCUMENT.

ORDER DATED BY HAND AND DUL THIS 18TH DAY OF MARCH, 2025.

James T. Gentry

ILINUS 15-25225 PROFESSIONAL, DANIEL JESSE GENTILE, NO. 442225
REGISTRATION VALID THROUGH NOVEMBER 30, 2025
(NOT VALID WITHOUT ORIGINAL SIGNATURE)

STATE OF ILLINOIS
COUNTY OF DAUPHINE, I SS:
I, JAMES G. CINEFF, AN ILLINOIS PROFESSIONAL ENGINEER, HEREBY
CERTIFY THAT THESE PLOTS HAVE BEEN PREPARED BY CIVIL & ENVIRONMENTAL
ENGINEERS, INC. OF ILLINOIS, INC. AND THAT THE EXPIRATION DATE OF MY
184-04-00021 LICENSE EXPIRES APRIL 30, 2025, UNDER MY PERSONAL
SEAL. THIS DOCUMENT IS FOR THE EXCLUSIVE USE OF THE CLIENT NOTED BELOW. REPRODUCTION
OF THIS DOCUMENT IS STRICTLY PROHIBITED WITHOUT THE WRITTEN
PERMISSION OF THE UNDERSIGNED.
GIVEN UNDER MY HAND AND SEAL, THIS 18TH DAY OF MARCH, 2025.
James H. Cineff
ILLINOIS LICENSED PROFESSIONAL ENGINEER, NO. 446225
RENEWAL EXPIRATION DATE: APRIL 30, 2025
REGISTRATION VALID THROUGH NOVEMBER 30, 2025
(NOT VALID WITHOUT ORIGINAL SIGNATURE)

DATE:	DECEMBER 19, 2024	DRAWN BY:	MAJ/MEO
DWG SCALE:	NONE	CHECKED BY:	JGC
PROJECT NO:			333-244
APPROVED BY:			*JGC

DATE:	DECEMBER 19, 2024	DRAWN BY:	MAJ/MEO
DWG SCALE:	NONE	CHECKED BY:	JGC
PROJECT NO:			333-244
APPROVED BY:			*JGC

CITY PROJECT NO. 24-10000142

SHEET 1 OF 2

WATER/WASTEWATER GENERAL NOTES

- OTHER NOTES:

- # Standard Specifications for Water and Sewer Construction.

1. NO CONNECTION TO AN EXISTING PUBLIC STORM SEWER MAY BE MADE WITHOUT PERMISSION OF THE CITY ENGINEER.
2. THE CONTRACTOR SHALL REPAIR ANY EXISTING FIELD DRAINAGE OR DAMAGED DRAINAGE DURING CONSTRUCTION AND PROPERLY REROUT IT AND/OR CONNECT SAIL TILL TO THE NEAREST STORM DRAINAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DRAINAGE TIE SHALL BE PROPERLY INDICATED ON THE CONTRACTORS RECORD DRAWING.

PLANS

- CONFORM TO THE REQUIREMENTS OF AASHTO M 252 AND M

- EXCEEDING ASTM C 478-05 (OR LATEST EDITION) AND OSHA STANDARDS.

INDARI

- ADJUSTMENTS MAY BE NECESSARY TO ENSURE THE
OF THE FOLLOWING: A. ADJUSTMENT OF CREDIT

AT FR

1. THE CONTRACTOR SHALL MAINTAIN PROPER DRAINAGE

AL)

- A** **B** **C** **D** **E** **F** **G** **H** **I** **J** **K** **L** **M** **N** **O** **P** **Q** **R** **S** **T** **U** **V** **W** **X** **Y** **Z**

GENERAL

- APPLICABLE STANDARDS.

- DEPARTMENT OF PUBLIC UTILITIES - ELECTRIC GENERAL NO.

OTHER

74

2

C

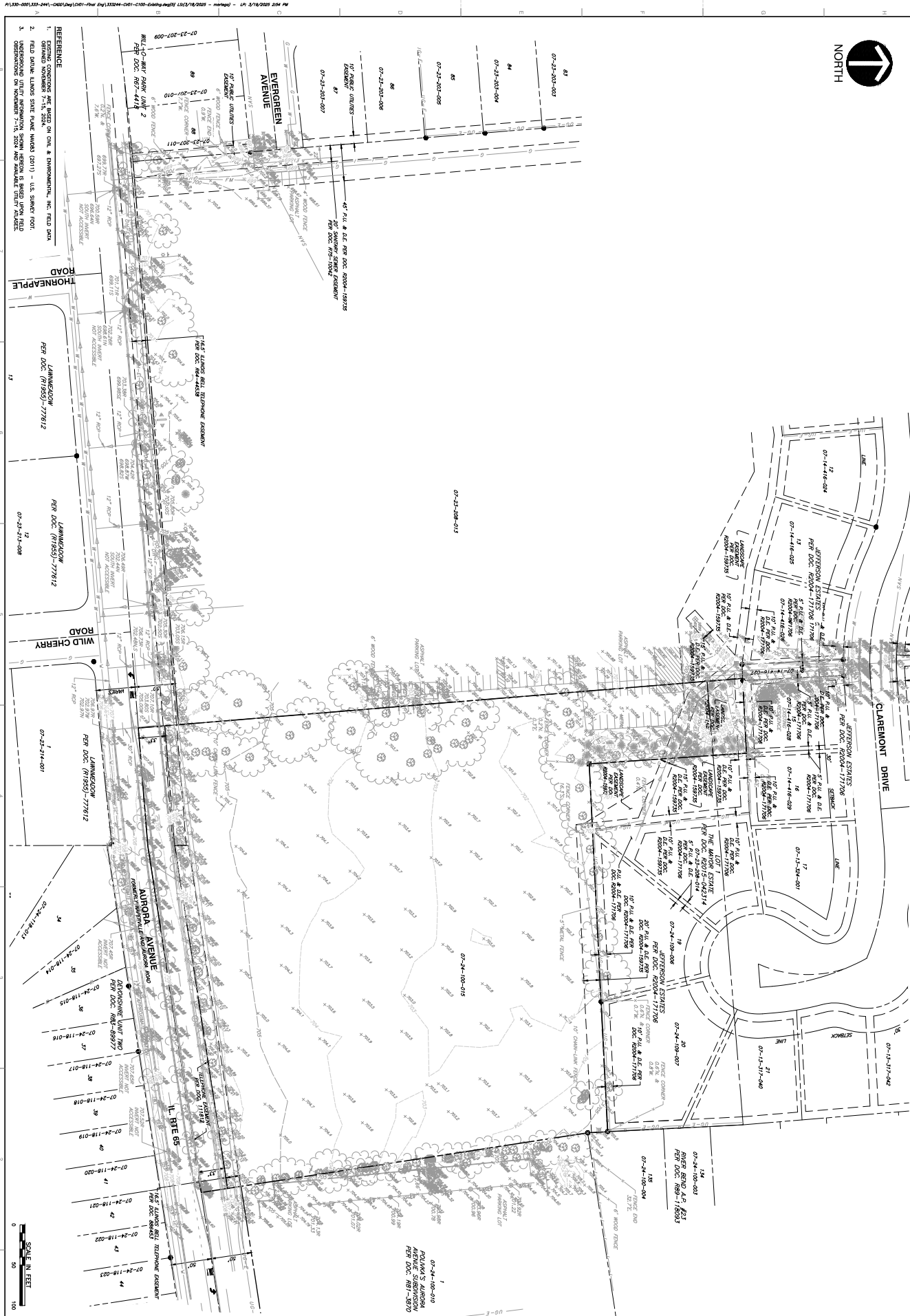
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CP

A



- REFERENCE
1. EXISTING CONDITIONS ARE BASED ON CIVIL & ENVIRONMENTAL, INC. FIELD DATA
 2. FIELD DATA: LANDS STATE PLAT MAPS (2011) - U.S. SURVEY FOOT OBSERVATIONS ON NOVEMBER 11, 2024 AND AVAILABLE UTILITY PLANS

DATE: DECEMBER 19, 2024 DRAWN BY: MAJ/MEO
DWG SCALE: 1"=50' CHECKED BY: JGC
PROJECT NO: 335-0244
APPROVED BY: JGC

C100

EXISTING CONDITIONS

CHARLESTON INVESTMENTS, LLC
CHARLESTON PLACE
1103 AURORA AVENUE
NAPERVILLE, ILLINOIS 60563

CEC
Environmental Consultants, Inc.

1230 East Diehl Road
Suite 200
Naperville, IL 60563
Ph: 630.963.6026
www.cecinc.com

REVISION RECORD		
NO	DATE	DESCRIPTION
1	08/07/2024	ISSUED FOR CITY REVIEW (CITY APPROVAL) - 100% PRELIMINARY REVIEW
2	08/07/2024	REVISED PER CITY REVIEW COMMENTS (CITY APPROVAL) - 100% PRELIMINARY REVIEW
3	08/07/2024	REVISED PER CITY REVIEW COMMENTS (CITY APPROVAL) - 100% PRELIMINARY REVIEW
4	08/07/2024	REVISED PER CITY REVIEW COMMENTS (CITY APPROVAL) - 100% PRELIMINARY REVIEW
5	08/07/2024	REVISED PER CITY REVIEW COMMENTS (CITY APPROVAL) - 100% PRELIMINARY REVIEW
6	08/07/2024	REVISED PER CITY REVIEW COMMENTS (CITY APPROVAL) - 100% PRELIMINARY REVIEW
7	08/07/2024	REVISED PER CITY REVIEW COMMENTS (CITY APPROVAL) - 100% PRELIMINARY REVIEW
8	08/07/2024	REVISED PER CITY REVIEW COMMENTS (CITY APPROVAL) - 100% PRELIMINARY REVIEW
9	08/07/2024	REVISED PER CITY REVIEW COMMENTS (CITY APPROVAL) - 100% PRELIMINARY REVIEW
10	08/07/2024	REVISED PER CITY REVIEW COMMENTS (CITY APPROVAL) - 100% PRELIMINARY REVIEW

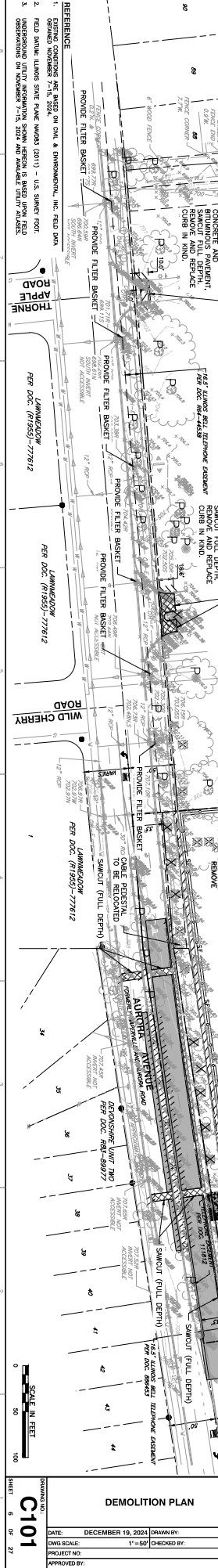
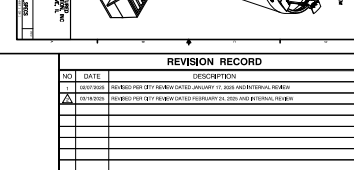
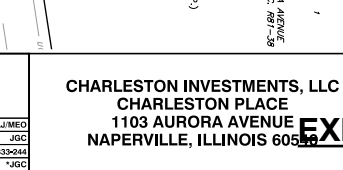
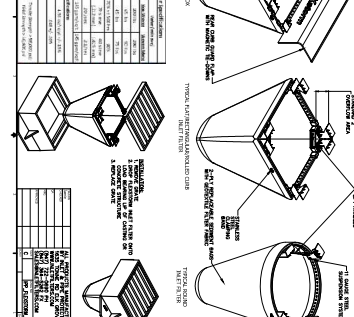
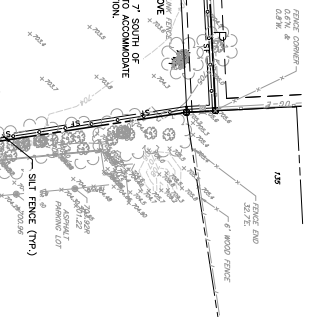
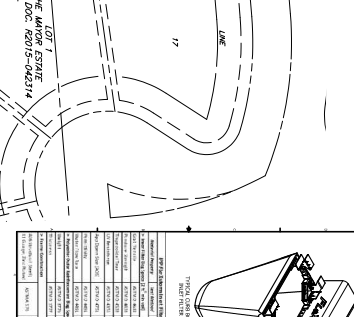
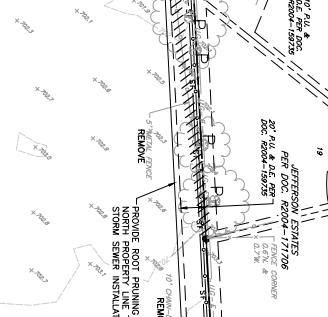
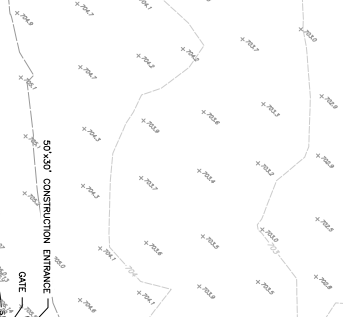
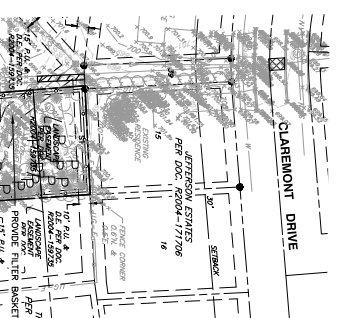
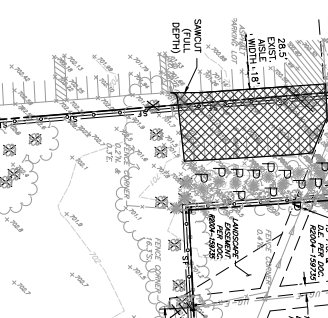
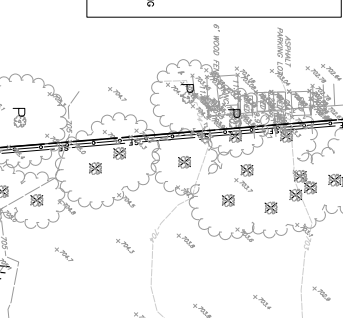
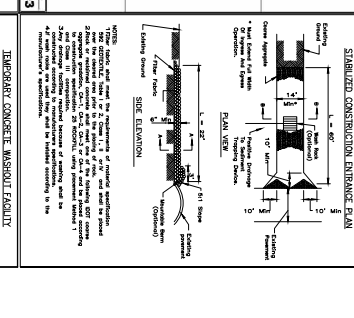
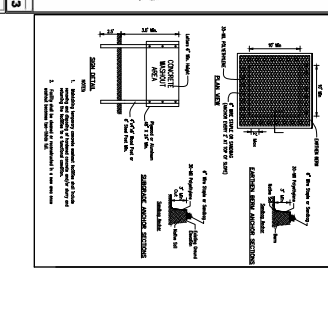
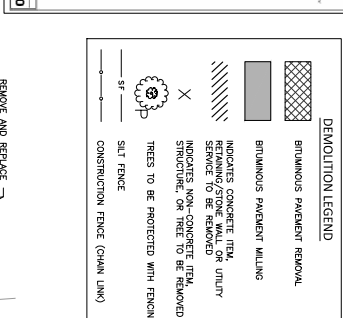
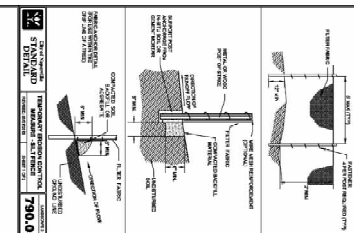
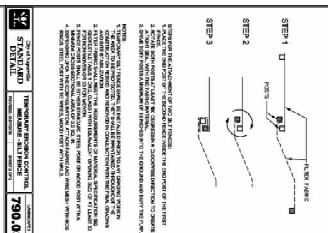
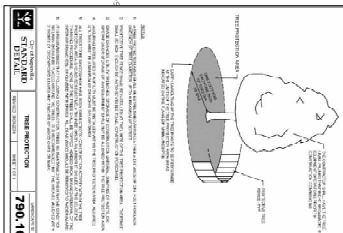


DEMOLITION NOTES:

1. ALL PAVERS, UTILITIES, TREES, ETC. WITHIN THE SUBJECT PROPERTY SHALL BE COMPLETELY REMOVED, RELOCATED, AND/OR MAY NOT BE NECESSARY TO CONSTRUCT THE PROPOSED ROADS, DRIVEWAYS, CURB & GUTTER, PUBLIC UTILITIES, ETC. SHALL BE STAKED BY THE CONTRACTOR WITH CONFORMANCE WITH THE CITY OF NAPERVILLE SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
2. TREES, WITHIN PROPOSED PAVED OR BUILDING PAD AREAS, RESULTING FROM THE REMOVAL OF EXISTING UTILITIES SHALL BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING UTILITIES OF AFT. 560.07 OF THE ILL. DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
3. ALL EXISTING PAVEMENT WITHIN THE CONSTRUCTION LIMITS, CURBS, AND DRIVEWAYS SHALL BE COMPLETELY REMOVED. APPROPRIATE SHOT-OR-SPALL SHALL BE FILL BY THE SOLS ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING UTILITIES OF AFT. 560.07 OF THE ILL. DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
4. ALL EXISTING UTILITIES, INCLUDING AND BEYOND WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED. TREE STUMPS AND/OR ROOT BALLS SHALL BE COMPLETELY REMOVED. TREE STUMPS AND/OR ROOT BALLS SHALL BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING UTILITIES OF AFT. 560.07 OF THE ILL. DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
5. EXISTING UTILITY LOCATIONS ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING UTILITIES OF AFT. 560.07 OF THE ILL. DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
6. ALL EXISTING UTILITIES, INCLUDING AND BEYOND WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED. TREE STUMPS AND/OR ROOT BALLS SHALL BE COMPLETELY REMOVED. TREE STUMPS AND/OR ROOT BALLS SHALL BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING UTILITIES OF AFT. 560.07 OF THE ILL. DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
7. ALL EXISTING UTILITIES, INCLUDING AND BEYOND WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED. TREE STUMPS AND/OR ROOT BALLS SHALL BE COMPLETELY REMOVED. TREE STUMPS AND/OR ROOT BALLS SHALL BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING UTILITIES OF AFT. 560.07 OF THE ILL. DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
8. EXISTING PAVERS, UTILITIES, TREES, ETC. WITHIN THE SUBJECT PROPERTY SHALL BE COMPLETELY REMOVED, RELOCATED, AND/OR MAY NOT BE NECESSARY TO CONSTRUCT THE PROPOSED ROADS, DRIVEWAYS, CURB & GUTTER, PUBLIC UTILITIES, ETC. SHALL BE STAKED BY THE CONTRACTOR WITH CONFORMANCE WITH THE CITY OF NAPERVILLE SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
9. ALL EXISTING UTILITIES, INCLUDING AND BEYOND WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED. TREE STUMPS AND/OR ROOT BALLS SHALL BE COMPLETELY REMOVED. TREE STUMPS AND/OR ROOT BALLS SHALL BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING UTILITIES OF AFT. 560.07 OF THE ILL. DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
10. A TYPICAL CONSTRUCTION LIMITS AND DATE ARE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING UTILITIES OF AFT. 560.07 OF THE ILL. DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

DEMOLITION LEGEND

- BRITANNIUS PAVEMENT MILLING
- BRITANNIUS PAVEMENT REMOVAL
- INDICATES CONCRETE ITEM REMAINING TO BE REMOVED
- INDICATES NON-CONCRETE ITEM, STRUCTURE, OR TREE TO BE REMOVED
- TREES TO BE PROTECTED WITH FENCING
- SIT FENCE
- CONSTRUCTION FENCE (CHAIN LINK)



DATE	DECEMBER 19, 2024
DRAWN BY	MAJ/MEC
CHECKED BY	JGC
PROJECT NO.	333-000000
APPROVED BY	[Signature]

CHARLESTON INVESTMENTS, LLC
CHARLESTON PLACE
1103 AURORA AVENUE
NAPERVILLE, ILLINOIS 60563

CEC Environmental Consultants, Inc.
1230 East Diehl Road
Suite 200
Naperville, IL 60563
Ph: 630.963.6026
www.cecinc.com

NO.	DATE	DESCRIPTION
1	12/19/2024	ISSUED FOR PERMIT REVIEW
2	12/19/2024	ISSUED FOR PERMIT REVIEW
3	12/19/2024	ISSUED FOR PERMIT REVIEW
4	12/19/2024	ISSUED FOR PERMIT REVIEW
5	12/19/2024	ISSUED FOR PERMIT REVIEW
6	12/19/2024	ISSUED FOR PERMIT REVIEW
7	12/19/2024	ISSUED FOR PERMIT REVIEW
8	12/19/2024	ISSUED FOR PERMIT REVIEW
9	12/19/2024	ISSUED FOR PERMIT REVIEW
10	12/19/2024	ISSUED FOR PERMIT REVIEW



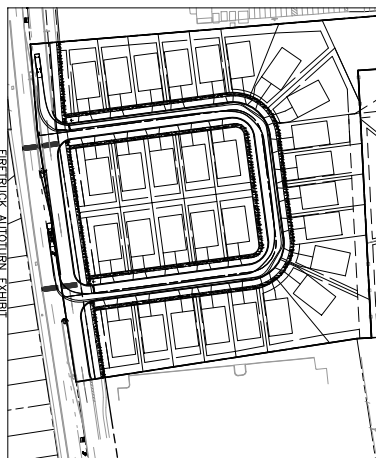
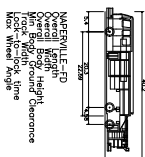
NORTH

SITE DATA

<p>GROSS BOUNDARY AREA = 314.91 SQUARE FEET (7.2884 ACRES)</p> <p>NET BOUNDARY AREA = 290.23 SQUARE FEET (6.6636 ACRES)</p> <p>PROPOSED ZONING = R-1 (LOW DENSITY SINGLE-FAMILY RESIDENTIAL)</p> <p>PROPOSED ZONING = TU (TRANSITIONAL USE DISTRICT)</p>	<p>FRONT YARD SETBACK = 15 FEET</p> <p>FRONT YARD SETBACK = 10 FEET</p> <p>FRONT YARD SETBACK = 25 FEET</p>
<p>PROPOSED SETBACKS:</p> <p>FRONT YARD SETBACK = 22 FEET</p> <p>FRONT YARD SETBACK = 6 FEET</p> <p>FRONT YARD SETBACK = 25 FEET</p>	<p>PROPOSED SINGLE-FAMILY LOTS = 30</p> <p>MINIMUM LOT FRONTAGE = 62.00 FEET</p> <p>MINIMUM LOT FRONTAGE (AT PROPOSED FRONT YARD) = 52.00 FEET</p>

DIMENSION NOTES:

1. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO THE BACK OF CURB, FACE OF BUILDING, EDGE OF WALK OR PROPERTY LINE.
2. FOR PAVEMENT SECTIONS, AIRPORT AVENUE DIMENSION PLAN, GRADING PLAN, PAVEMENT MARKINGS AND SIGNAGE PLAN SEE SHEETS C02 AND C03.
3. FOR CITY OF WAREHOUSING STANDARD DETAILS FOR PUBLIC WALK SEEWALK COMPOSITION AND INSTALLATION, SEE DETAIL 590.30, SHEET C003.
4. PROPOSED PAVEMENT PATCHING SHALL BE IN ACCORDANCE WITH CITY OF WAREHOUSING STANDARD DETAIL 590.35, TYPICAL FRENCH PAVING SECTION (TYPICAL PATCHMENTS).


$$1'' = 100$$


	Overall Length
	Overall Width
	Overall Body Height
	Min Body Ground Clearance
	Track Width
	Lock-to-lock time
	Max Wheel Angle

40.200
38.000ft
37.540ft
36.452ft
35.000ft
32.000

OUTLOT 'A'
17,862 S.F.

.....

2005-2006-1110

REVISION RECORD

[illegible]

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CHARLESTON INVESTMENTS, LLC
CHARLESTON PLACE
1103 AURORA AVENUE
NAPERVILLE, ILLINOIS 60563

EXHIBIT E

DIMENSION PLAN

DATE: DECEMBER 19, 2024	DRAWN BY: MAJ/ME
DWG SCALE: 1"=30'	CHECKED BY: JG
PROJECT NO:	333-24
APPROVED BY:	*JG

C200

C200

SHEET 7 OF 27



NORTH

DRAINAGE AND GRADING NOTES

- ELEVATIONS SHOWN FOR ALL CURB INTERS, CATCH BASINS, AND MANHOLES ARE TO THE TOP OF CURB.
- ALL CURBS SHALL BE BACKFILLED TO WITHIN SIX (6) INCHES OF THE TOP OF CURB.
- ALL BODY VERT STAKES SHALL BE SET ON FLEET SIX (6) INCHES BELOW FINISHED GRADE. ALL COMMON ADJACENT AREAS, INCLUDING THE STORMWATER MANAGEMENT AREA (OUTLOT A) SHALL RECEIVE A MINIMUM OF SIX (6) INCHES OF FULCREST TOPSOIL.
- TOPSOIL SHALL BE REMOVED FROM ALL AREAS THAT RECEIVE CLAY FILL.
- INDICATES PROPOSED TOP OF FOUNDATION ELEVATION AND THE LOCATION OF RAIN IN A CONVENTIONAL FOUNDATION. INDICATES THE PROPOSED GARAGE FLOOR ELEVATION. THE PLACEMENT OF THE GARAGE/DRIVEWAY IS SUGGESTED WHERE SHOWN ON WATER AND SANITARY SERVICE LOCATIONS.
- OF =
- ACCENTED SIDES OF PROPOSED HOUSE FOUNDATION INDICATES THAT SPECIAL CONSTRUCTION MEASURES MUST BE GRADIENTS (E.G. DROPPED SIDING, SLOPED SIDING, ETC.).
- THE TOP OF WINDOW WELLS SHALL BE CONSTRUCTED NO LOWER THAN SIX (6) INCHES BELOW THE TOP OF FOUNDATION ELEVATION (IF WINDOW WELLS ARE NOT REQUIRED, THE TOP OF WINDOW WELLS SHALL BE CONSTRUCTED NO LOWER THAN 205.6. WINDOW WELLS CAN NOT EXCEED THE PROPOSED SIDEWALK PUBLIC UTILITY AND DRAINAGE REQUIREMENTS.
- THE FINISHED TOPSOIL ELEVATION AT THE FOUNDATION SHOULD GENERALLY INDICATE THE TOP OF FOUNDATION ELEVATION, UNLESS INDICATED OTHERWISE.
- INDICATES THE LOCATION AND DIRECTION OF AN OVERLAND DRAINAGE SYSTEM.
- DRAINAGE WELLS SHALL NOT EXCEED 20 FEET WIDE AT THE POINT OF ENTRY AND 24 FEET WIDE AT THE BACK OF CURB (2 FOOT FLARE PER SIDE).
- FOR AURORA AVENUE PROPOSED PAVING GRADINGS, SEE SHEET C202.
- FOR OUTLOT A, GRADING AND PERMITS/PERMITS CALCULATIONS, SEE SHEET C201.



1. DESIGN CONSULTING INC. & ENGINEERING, INC. FIELD DATA

2. FIELD DATA: LAMAR STATE PLANNING BOARD (2011) - U.S. SHARP POINT

3. INTERSECTION UTILITY INFORMATION: SPAIN DESIGN & SURVEY, INC. FIELD OBSERVATIONS ON NOVEMBER 11, 2024 AND AVAILABLE UTILITY PLANS.

DATE: DECEMBER 19, 2024 DRAWN BY: MAJ/MEC

DWG SCALE: 1"=30' CHECKED BY: JGC

PROJECT NO: 333-0249

APPROVED BY: [Signature]

GRADING PLAN - SITE

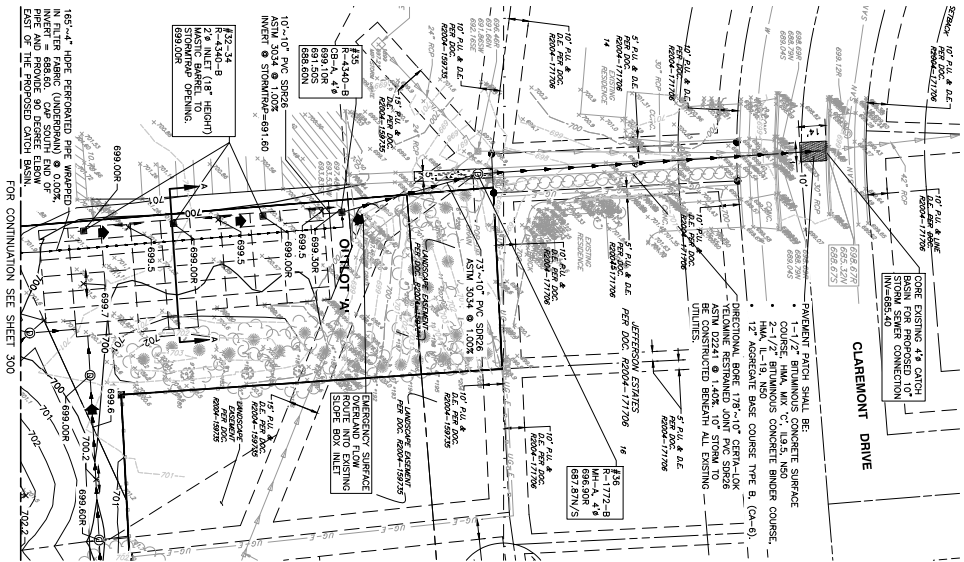
1230 East Diehl Road
Suite 200
Naperville, IL 60563
Ph: 630.963.6026
www.cecinc.com

CEC
Environmental
Consultants, Inc.

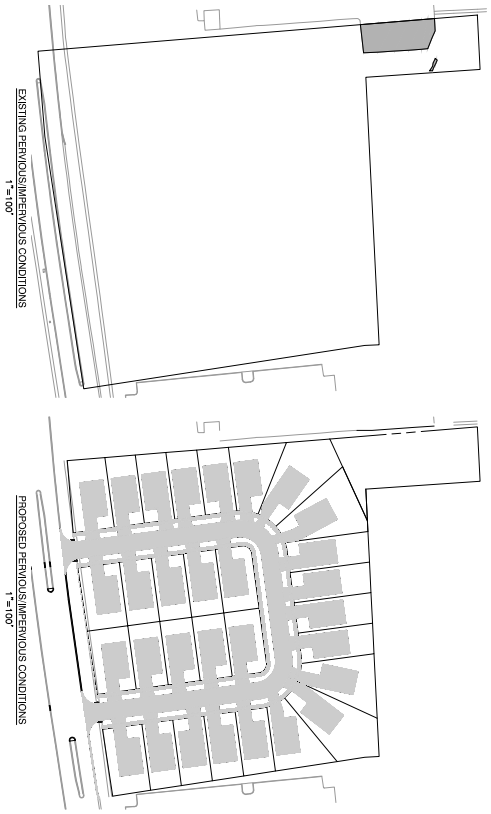
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2	12/19/2024	REVISIONS FOR PERMITS AND CONSTRUCTION



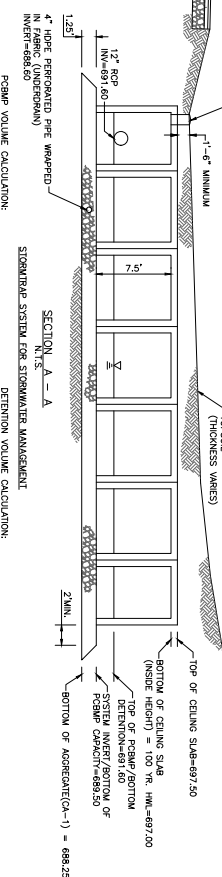
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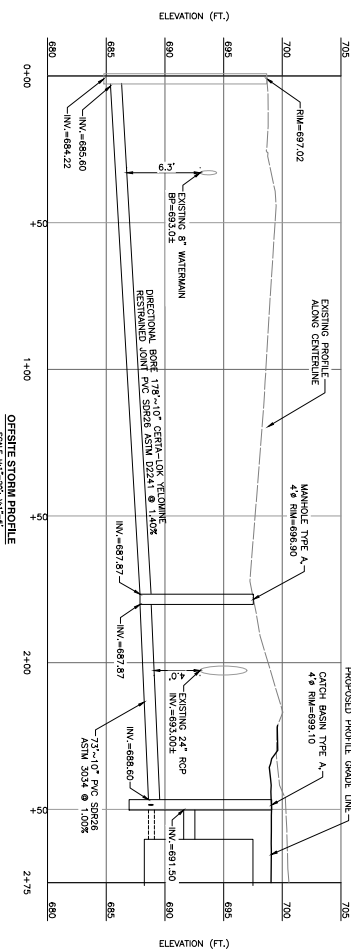
- REFERENCE
1. DESIGN CONDITIONS ARE BASED ON CHL & ENVIRONMENTAL, INC. FIELD DATA.
 2. FIELD DATA: LAMAR STATE PLANT, MARSH (2011) - U.S. SURVEY POINT.
 3. INTERSECTION UTILITY INFORMATION SPREADSHEET IS SHOWN UPON FIELD OBSERVATIONS ON NOVEMBER 11, 2024 AND AVAILABLE UPON REQUEST.



Pervious/Imperious Calculations			
	Imperious Area	Pervious Area	Project Area
EXISTING	6,075 S.F.	284,166 S.F.	290,241 S.F.
PROPOSED	130,130 S.F.	160,101 S.F.	290,231 S.F.
DIFFERENCE	124,055 S.F.		
130,130 S.F. x 1.25 IN. x (FT./24IN.) = 13,557 CU. FT. OF RUNOFF			
BASED ON THE INCREASE IN IMPERVIOUS AREA, POST CONSTRUCTION BEST MANAGEMENT PRACTICES AND DETENTION IS REQUIRED FOR THE PROPOSED DEVELOPMENT.			



- STORMWATER STORAGE FOR STORMWATER MANAGEMENT
- RETENTION VOLUME CALCULATION:
- TOTAL RUNOFF STORAGE REQUIRED = 35,284 CU. FT.
 - RUNOFF STORAGE PROVIDED = 35,237 CU. FT. (ELEV 697.00, 100% IN SYSTEM)
 - TOTAL RUNOFF STORAGE PROVIDED = 35,237 CU. FT.
- STORAGE VOLUME CALCULATION:
- TOTAL PUMP STORAGE REQUIRED = 13,557 CU. FT.
 - PUMP STORAGE PROVIDED = 13,557 CU. FT. (ELEV 697.00, 100% IN SYSTEM)
 - TOTAL PUMP STORAGE PROVIDED = 13,557 CU. FT.
- NOTE THAT NO CREDIT WAS TAKEN FOR VOLUMES IN THE AGGREGATE BASE.



SCALE IN FEET (HORIZONTAL)
SCALE IN FEET (VERTICAL)
SCALE IN FEET (VERTICAL)
SCALE IN FEET (VERTICAL)

REVISION RECORD

NO.	DATE	DESCRIPTION
1	12/19/2024	DESIGN FOR 10% INCREASE IN IMPERVIOUS AREA
2	12/19/2024	DESIGN FOR 10% INCREASE IN IMPERVIOUS AREA
3	12/19/2024	DESIGN FOR 10% INCREASE IN IMPERVIOUS AREA
4	12/19/2024	DESIGN FOR 10% INCREASE IN IMPERVIOUS AREA
5	12/19/2024	DESIGN FOR 10% INCREASE IN IMPERVIOUS AREA
6	12/19/2024	DESIGN FOR 10% INCREASE IN IMPERVIOUS AREA
7	12/19/2024	DESIGN FOR 10% INCREASE IN IMPERVIOUS AREA
8	12/19/2024	DESIGN FOR 10% INCREASE IN IMPERVIOUS AREA
9	12/19/2024	DESIGN FOR 10% INCREASE IN IMPERVIOUS AREA
10	12/19/2024	DESIGN FOR 10% INCREASE IN IMPERVIOUS AREA

GRADING AND UTILITY PLAN - OFFSITE

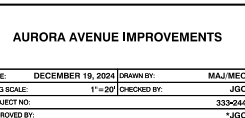
DATE: DECEMBER 19, 2024
DRAWN BY: MAJ/JMC
CHECKED BY: JMC
PROJECT NO: 333-024
APPROVED BY: JMC

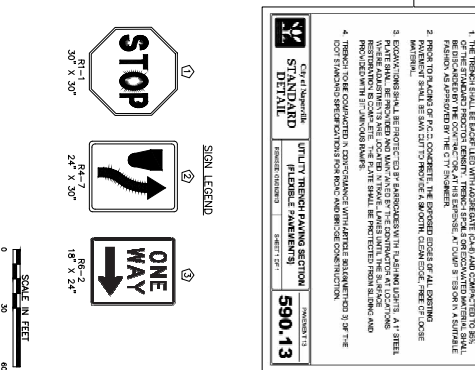
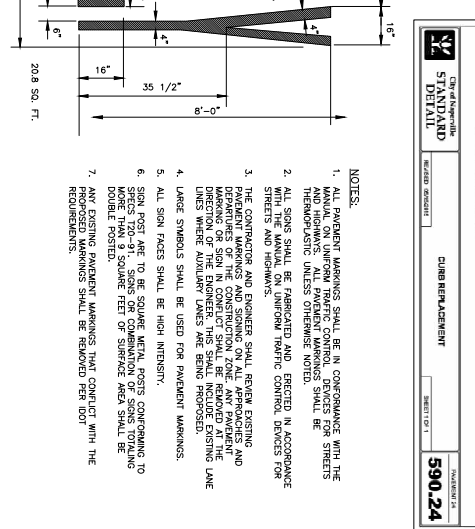
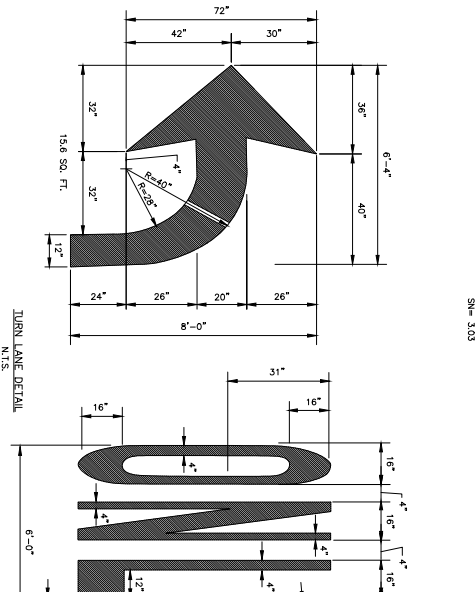
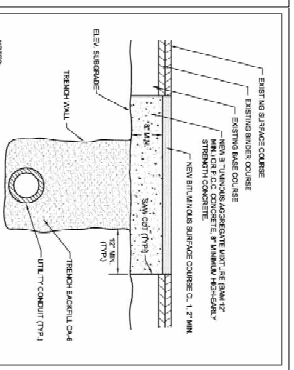
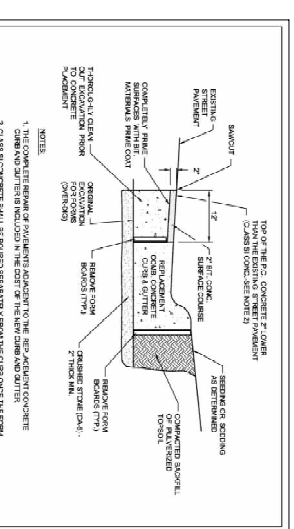
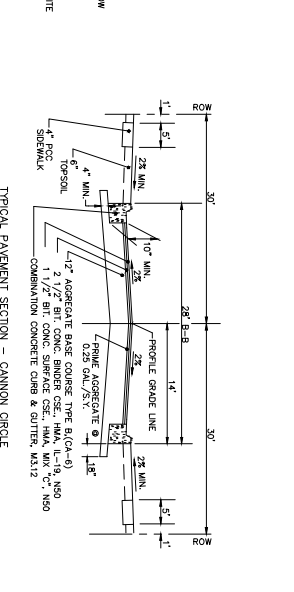
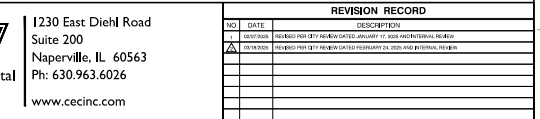
CHARLESTON INVESTMENTS, LLC
CHARLESTON PLACE
1103 AURORA AVENUE
NAPERVILLE, ILLINOIS 60563




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	AURORA AVE - PAVEMENT MARKING PLAN	
	DATE: DECEMBER 19, 2024	DRAWN BY: MAJ/MEEO
	DWG SCALE: 1"=30'	CHECKED BY: JGC
	PROJECT NO: 333-2446	
	APPROVED BY: *JGC	

CHARLESTON INVESTMENTS, LLC
CHARLESTON PLACE
1103 AURORA AVENUE
NAPERVILLE, ILLINOIS 60556

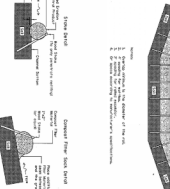


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Civil & Environmental
Consultants, Inc.

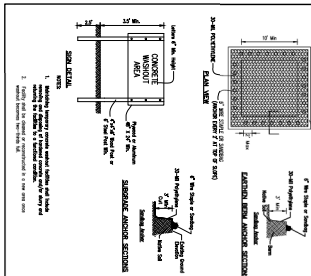
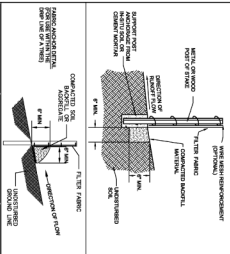
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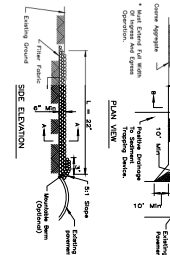
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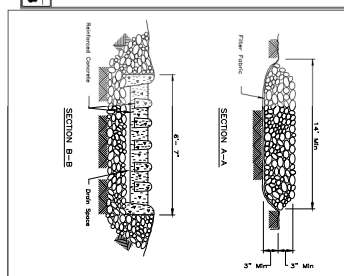
TEMPORARY CONCRETE WASHOUT FACILITY

STANDARD
DETAIL

STABILIZED CONSTRUCTION ENTRANCE PLATE



STABILIZED CONSTRUCTION ENTRANCE PLAN



SOIL PROJECTION CHART					
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PREPARATION TYPE	JUN	JUL	AUG	SEP	OCT	NOV	DEC
STRATIFICATION	1	1	1	1	1	1	1
DOMINANT SEEDING	1	1	1	1	1	1	1
TEMPORARY SEEDING	1	1	1	1	1	1	1
SOONING	1	1	1	1	1	1	1
WALCHING	1	1	1	1	1	1	1

PERMANENT LANDSCAPE

TREATMENT (TOPSOIL,
HYDROSEEDING, EROSION
BLANKET SEE LANDSCAPE PLAN
INLET PROTECTION/ FILTER
BASKETS

CONSTRUCTION FENCE
(CHAIN LINK)

----- SILT WORM

10'

420

2+00 2+50 3+00

NOT ACCESSIBLE

A map showing the location of the property relative to the intersection of Thorpe Road and the A10. The property is located on the north side of Thorpe Road, east of the A10 intersection.

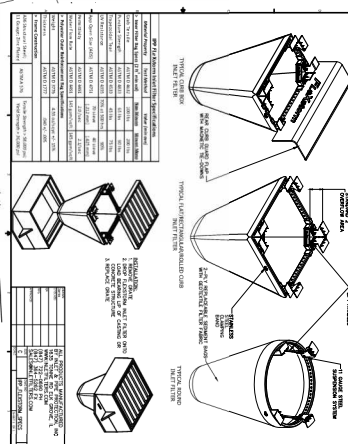
FOOT.

FIELD
ASFS.

1. SEE SHEET C002 FOR COMPLETE SOIL EROSION SEDIMENTATION CONTROL AND SITE RESTORATION MEASURES

2. ALL EXISTING CONCRETE AND ALL OTHER FOUNDATION MATERIALS SHALL BE REMOVED TO THE EXISTING GRADE.
3. THE CONTRACTOR SHALL MAINTAIN PROPER DRAINAGE AT ALL STORM WATER FLOW RUNNING AND/OR STANDING IN EXCAVATED AREAS.
4. DURING EXTENDED DRY PERIODS, THE CONSTRUCTION AGENTS SHALL BE REQUIRED TO WATER THE SITE.
5. DURING CONSTRUCTION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE UTILIZED TO MINIMIZE THE IMPACTS OF TRAFFIC ON THE EXISTING STREET. THE LOCATION OF THE STABILIZED ENTRANCE SHALL BE DETERMINED BY THE ENGINEER AND THE PUBLIC STREET SHALL BE RECLOSED THE SAME DAY.
6. PRIOR TO EXCAVATION, THE CONTRACTOR SHALL SUBMIT TO THE CITY ENGINEER A PROPOSED SITE SPECIFIC STORM WATER MANAGEMENT PLAN. ALL PROPOSED UTILITY ALIGNMENTS SHALL BE DETERMINED PRIOR TO THE LOCATION BEING EXCAVATED.

13 Change: 2004-04-01



REVISION RECORD

[illegible]

Landscaping Contractor Certification

(Company Name)
I certify under penalty of law that I understand the terms and conditions of the general National Pollutant Discharge Elimination System (NPDES) permit that authorizes the storm water discharges associated with the industrial activity from the construction site identified as part of this certification.

Paying Contractor Certification:

(Company name)

I certify under penalty of law that I understand the terms and conditions of the general National Pollution Discharge Elimination System (NPDES) permit that authorizes the water discharges associated with the industrial activities at the construction site identified as part of this certificate.

Underground Contractor Certification

(Company Name) _____
I certify under penalty of law that I understand the terms and conditions of the general National Pollutant Discharge Elimination System (NPDES) permit that authorizes the storm water discharges associated with the industrial activity from the construction site identified as part of this certification.

0400

C400 12 OF 2

CHARLESTON INVESTMENTS, LLC
CHARLESTON PLACE
1103 AURORA AVENUE
NAPERVILLE, ILLINOIS 60563



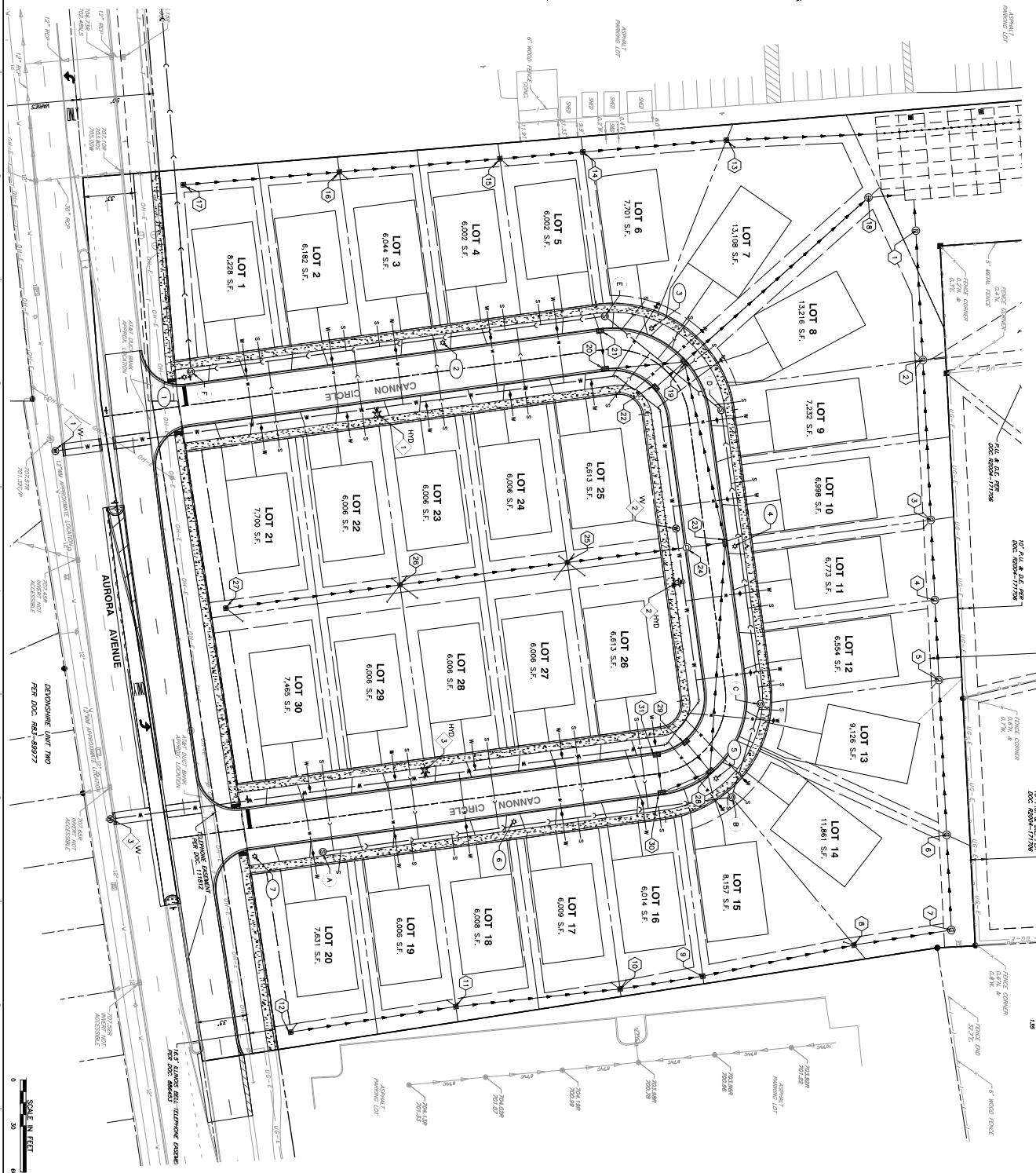
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Suite 200
Naperville, IL 60563
Ph: 630.963.6026

www.cecinc.com



- | | |
|----|-----------------|
| 1 | WATER STRUCTURE |
| 14 | STORM STRUCTURE |
| A | SEWER STRUCTURE |
| 5 | STREET LIGHT |

- [illegible]

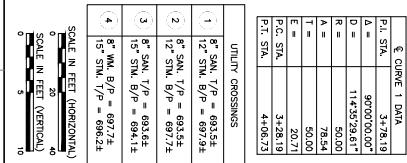
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CHARLESTON INVESTMENTS, LLC
CHARLESTON PLACE
1103 AURORA AVENUE
NAPERVILLE, ILLINOIS 60563



EXHIBIT E

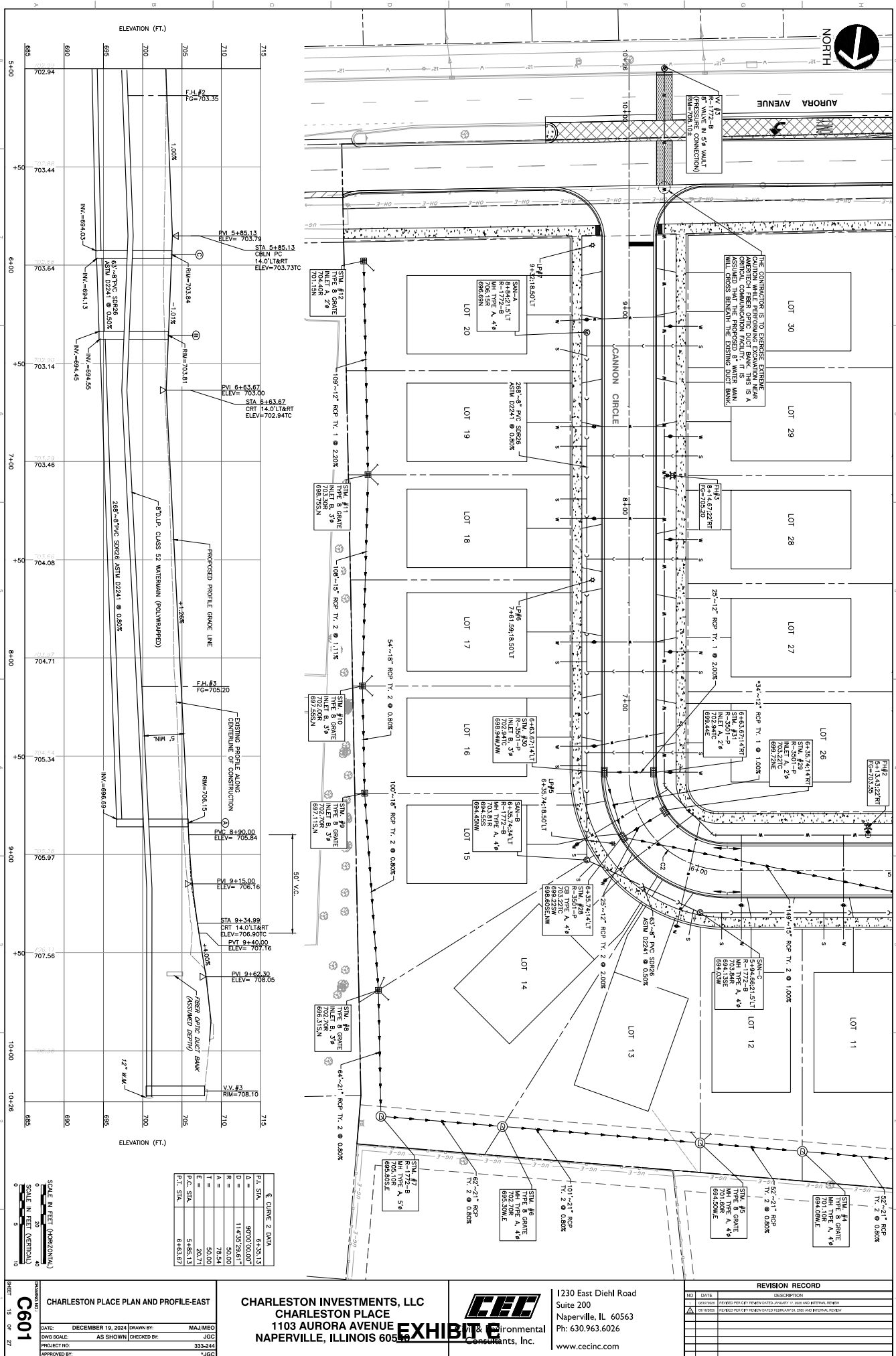


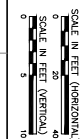
CHARLESTON INVESTMENTS, LLC
CHARLESTON PLACE
1103 AURORA AVENUE
NAPERVILLE, ILLINOIS 60563



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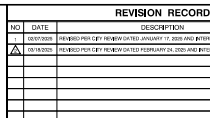


DATE: DECEMBER 19, 2024	DRAWN BY: MAJ/MEO
DWG SCALE: AS SHOWN	CHECKED BY: JGC
PROJECT NO:	333-244
APPROVED BY:	*JGC

CHARLESTON INVESTMENTS, LLC
CHARLESTON PLACE
1103 AURORA AVENUE
NAPERVILLE, ILLINOIS 60550

CEC
 Civil & Environmental
 Consultants, Inc.

EXHIBIT C

[illegible]



NORTH

PROPOSED 15" PUBLIC UTILITY AND DRAINAGE EASEMENT

1/2" MINIMUM CONCRETE COURSE SHALL BE

REINFORCED WITH 4" DIA. BARS

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AURORA AVENUE

CANNON CIRCLE

REVISION RECORD

NO.	DATE	DESCRIPTION
1	12/19/24	ISSUED FOR PERMIT REVIEW AND RECORD PREPARATION
2	12/19/24	ISSUED FOR PERMIT REVIEW AND RECORD PREPARATION
3	12/19/24	ISSUED FOR PERMIT REVIEW AND RECORD PREPARATION
4	12/19/24	ISSUED FOR PERMIT REVIEW AND RECORD PREPARATION
5	12/19/24	ISSUED FOR PERMIT REVIEW AND RECORD PREPARATION
6	12/19/24	ISSUED FOR PERMIT REVIEW AND RECORD PREPARATION
7	12/19/24	ISSUED FOR PERMIT REVIEW AND RECORD PREPARATION
8	12/19/24	ISSUED FOR PERMIT REVIEW AND RECORD PREPARATION
9	12/19/24	ISSUED FOR PERMIT REVIEW AND RECORD PREPARATION
10	12/19/24	ISSUED FOR PERMIT REVIEW AND RECORD PREPARATION

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Suite 200
Naperville, IL 60563
Ph: 630.963.6026
www.cecinc.com

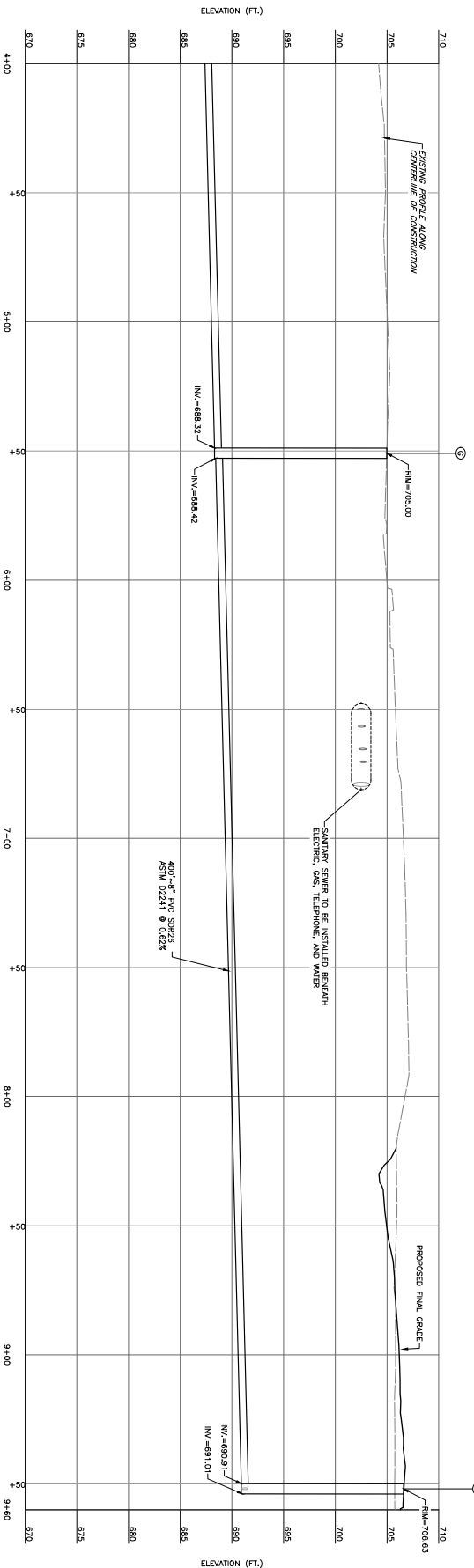


CHARLESTON INVESTMENTS, LLC
CHARLESTON PLACE
1103 AURORA AVENUE
NAPERVILLE, ILLINOIS 60563

EXHIBIT C

OFFSITE SANITARY PROFILE

SCALE: H=1"=200' V=1"=5'

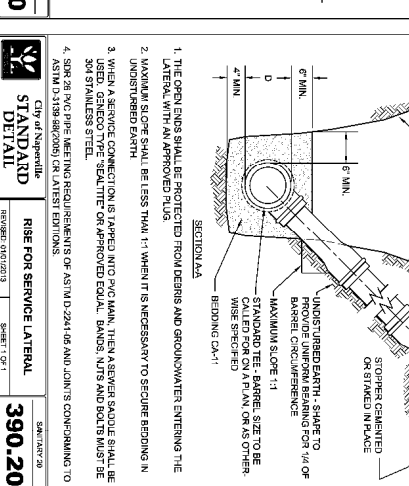
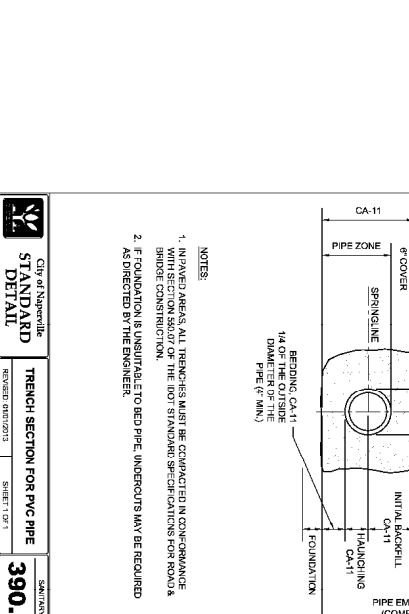
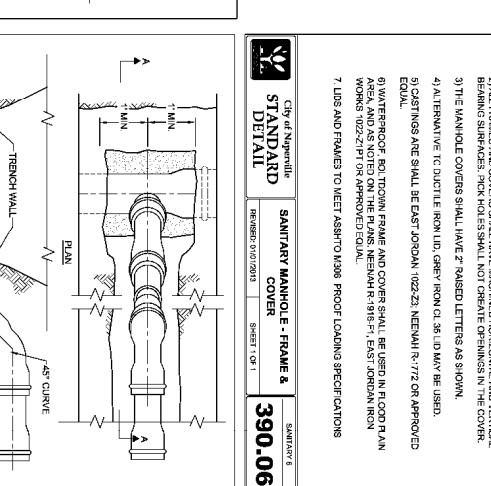
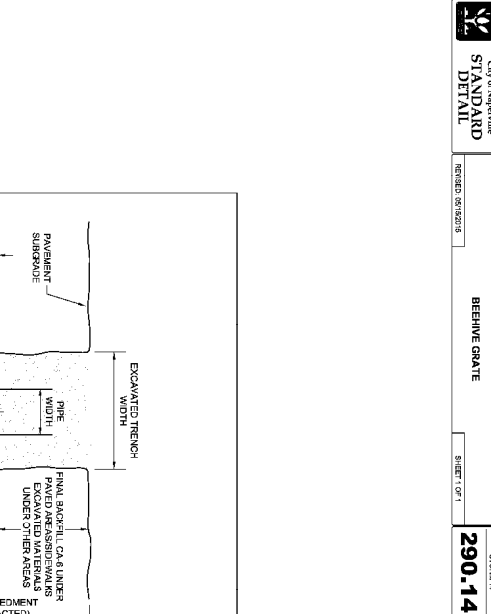
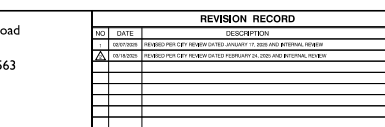
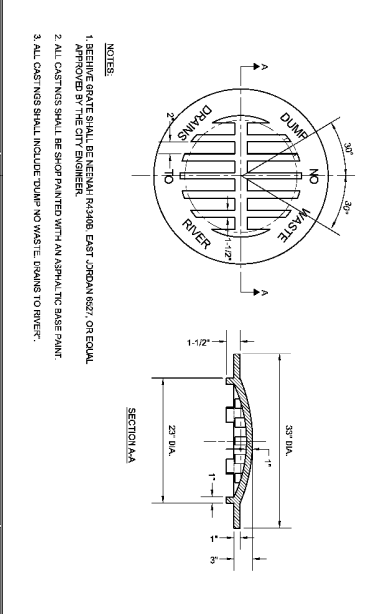


SCALE: H=1"=200' V=1"=5'

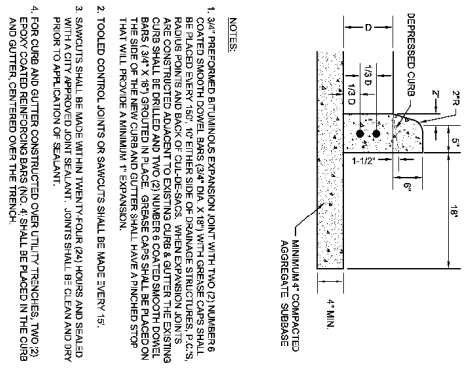
OFFSITE SANITARY - STA 5+00 TO 9+60	
DATE: DECEMBER 19, 2024	DRAWN BY: MAJ/MEO
DWG SCALE: AS SHOWN	CHECKED BY: JGC
PROJECT NO: 335-244	APPROVED BY:

C603

SHEET 17 OF 27

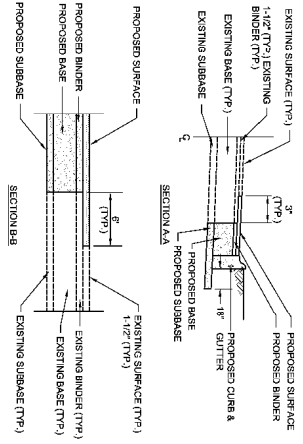


City of Naperville
STANDARD
DETAIL
TYPE B BARRIER CURB
REVISION: 2/10/2023
SHEET 1 OF 1
590.23



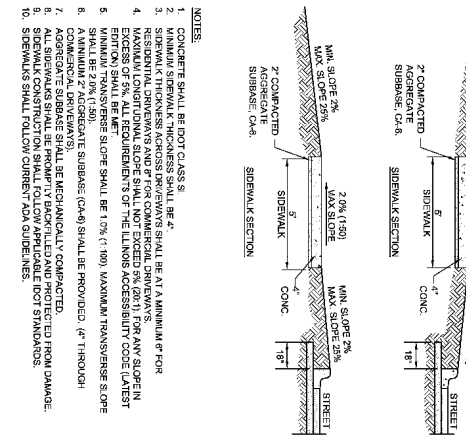
NOTES:
1. 3/4" PREFORMED BITUMINOUS EXPANSION JOINT WITH TWO (2) NUMBER 6 COATED SMOOTH DOWEL BARS (4" DIA. X 18") WITH GREASE CAPS SHALL BE PLACED EVERY 150' OR EITHER SIDE OF PAVING STRUCTURES, P.C.S. AND CONSTRUCTED ADJACENT TO EXISTING CURB & GUTTER. THE EXISTING CURB SHALL BE DRILLED AND TWO (2) NUMBER 6 COATED SMOOTH DOWEL BARS (3/4" X 18") SPACED 12" ON CENTER SHALL BE PLACED ON THE EXISTING CURB. GREASE CAPS SHALL BE PLACED ON THE SIDE OF THE NEW CURB AND GUTTER SHALL HAVE A PINCHED STOP THAT WILL PROVIDE A MINIMUM 1" EXPANSION.
2. TOoled CONTROL JOINTS OR SAWCUTS SHALL BE MADE EVERY 15'.
3. SAWCUTS SHALL BE MADE WITHIN TWENTY-FOUR (24) HOURS AND SEALED WITH A CITY APPROVED JOINT SEALANT. JOINTS SHALL BE CLEAN AND DRY PRIOR TO APPLICATION OF SEALANT.
4. FOR CURB AND GUTTER CONSTRUCTED OVER UTILITY TRENCHES, TWO (2) EPOXY COATED REINFORCING BARS (NO. 4) SHALL BE PLACED IN THE CURB AND GUTTER, CENTERED OVER THE TRENCH.

City of Naperville
STANDARD
DETAIL
BUTT JOINT DETAIL
REVISION: 06/10/2023
SHEET 1 OF 1
590.11



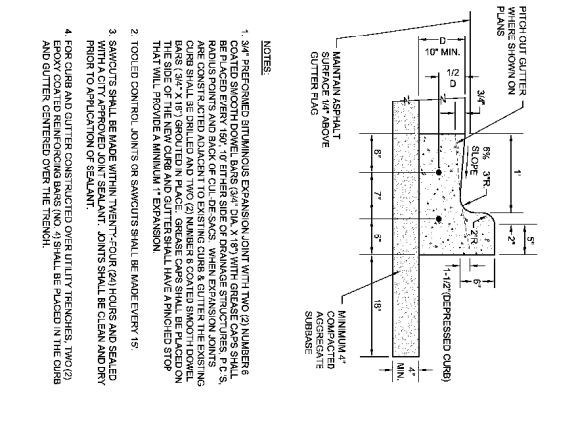
NOTES:
1. 3/4" PREFORMED BITUMINOUS EXPANSION JOINT WITH TWO (2) NUMBER 6 COATED SMOOTH DOWEL BARS (4" DIA. X 18") WITH GREASE CAPS SHALL BE PLACED EVERY 150' OR EITHER SIDE OF PAVING STRUCTURES, P.C.S. AND CONSTRUCTED ADJACENT TO EXISTING CURB & GUTTER. THE EXISTING CURB SHALL BE DRILLED AND TWO (2) NUMBER 6 COATED SMOOTH DOWEL BARS (3/4" X 18") SPACED 12" ON CENTER SHALL BE PLACED ON THE EXISTING CURB. GREASE CAPS SHALL BE PLACED ON THE SIDE OF THE NEW CURB AND GUTTER SHALL HAVE A PINCHED STOP THAT WILL PROVIDE A MINIMUM 1" EXPANSION.
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City of Naperville
STANDARD
DETAIL
SIDEWALK
REVISION: 07/20/2023
SHEET 1 OF 1
590.30

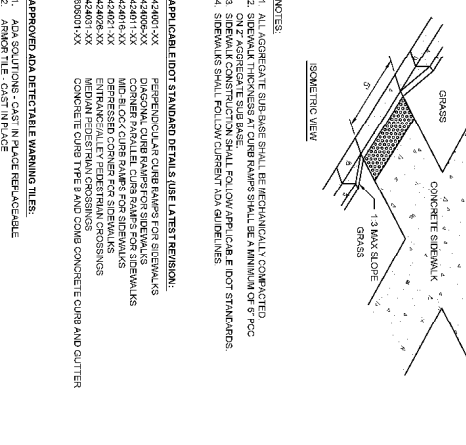


NOTES:
1. CONCRETE SHALL BE DOT CLASS 5.
2. MINIMUM SIDEWALK THICKNESS SHALL BE 4".
3. SIDEWALK THICKNESS ACROSS DRIVEWAYS SHALL BE AT A MINIMUM 6" FOR EXCESS OF 5% AND 8" FOR EXCESS OF 10% FOR ANY SLOPE IN EXCESS OF 5%. ALL REQUIREMENTS OF THE ILLINOIS ACCESSIBILITY CODE LATEST EDITION SHALL BE FOLLOWED.
4. MAXIMUM LONGITUDINAL SLOPE SHALL NOT EXCEED 5% (1:20) FOR ANY SLOPE IN EXCESS OF 5%. ALL REQUIREMENTS OF THE ILLINOIS ACCESSIBILITY CODE LATEST EDITION SHALL BE FOLLOWED.
5. MINIMUM TRANSVERSE SLOPE SHALL BE 1% (1:100). MAXIMUM TRANSVERSE SLOPE SHALL BE 2% (1:50).
6. A MINIMUM 7" AGGREGATE SUBBASE (C&A) SHALL BE PROVIDED. 4" THROUGH 7" AGGREGATE SUBBASE (C&A) SHALL BE PROVIDED. 4" THROUGH 7" AGGREGATE SUBBASE (C&A) SHALL BE PROVIDED.
7. ALL SIDEWALKS SHALL BE PROPERLY DRAINAGED AND PROTECTED FROM DAMAGE.
8. ALL SIDEWALKS SHALL BE PROPERLY DRAINAGED AND PROTECTED FROM DAMAGE.
9. ALL SIDEWALKS SHALL BE PROPERLY DRAINAGED AND PROTECTED FROM DAMAGE.
10. SIDEWALKS SHALL FOLLOW CURRENT ADA GUIDELINES.

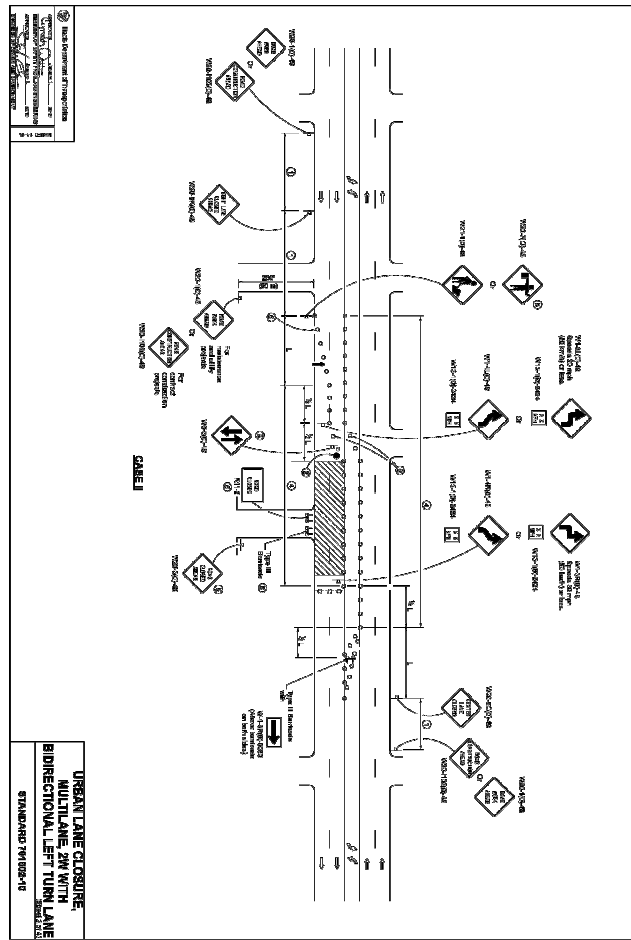
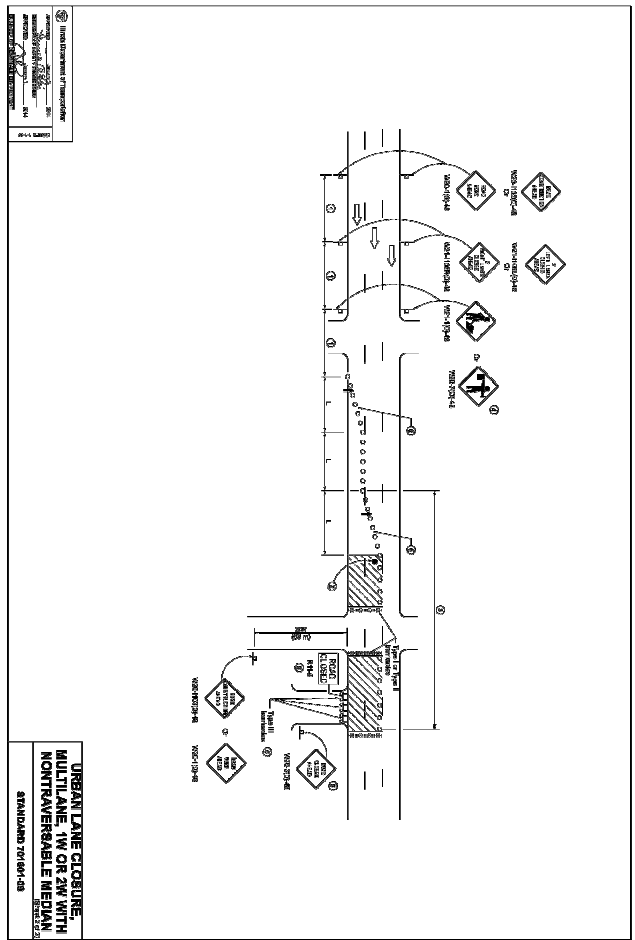
City of Naperville
STANDARD
DETAIL
B6.12 BARRIER CURB & GUTTER
REVISION: 07/20/2023
SHEET 1 OF 1
590.20



City of Naperville
STANDARD
DETAIL
CURB RAMPS
REVISION: 07/20/2023
SHEET 1 OF 1
590.32



NOTES:
1. ALL AGGREGATE SUBBASE SHALL BE MECHANICALLY COMPACTED.
2. SIDEWALK THICKNESS AT CURB RAMPS SHALL BE A MINIMUM OF 6" PCC ON 7" AGGREGATE SUBBASE.
3. SIDEWALK THICKNESS AT CURB RAMPS SHALL BE A MINIMUM OF 6" PCC ON 7" AGGREGATE SUBBASE.
4. SIDEWALKS SHALL FOLLOW CURRENT ADA GUIDELINES.

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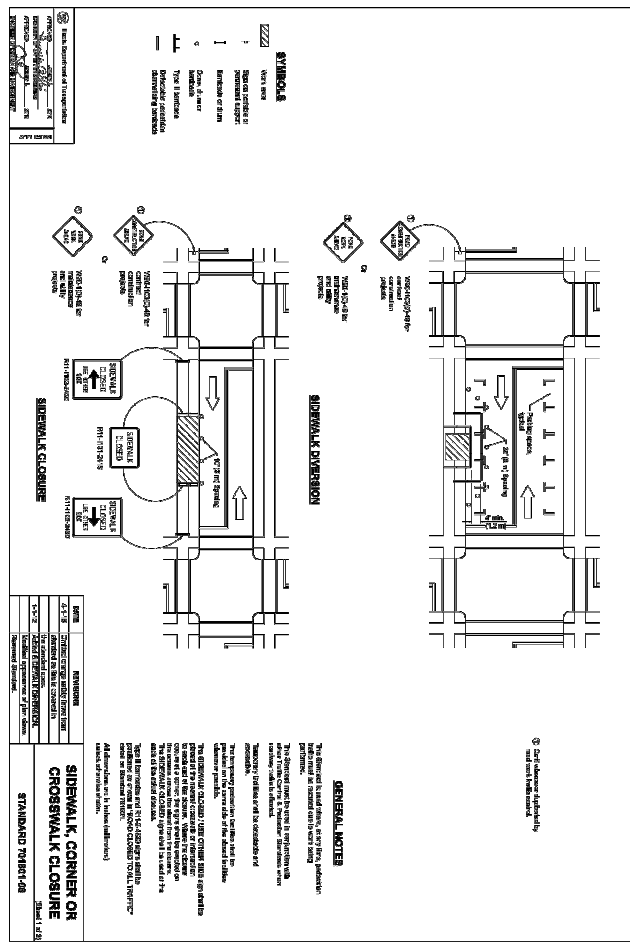
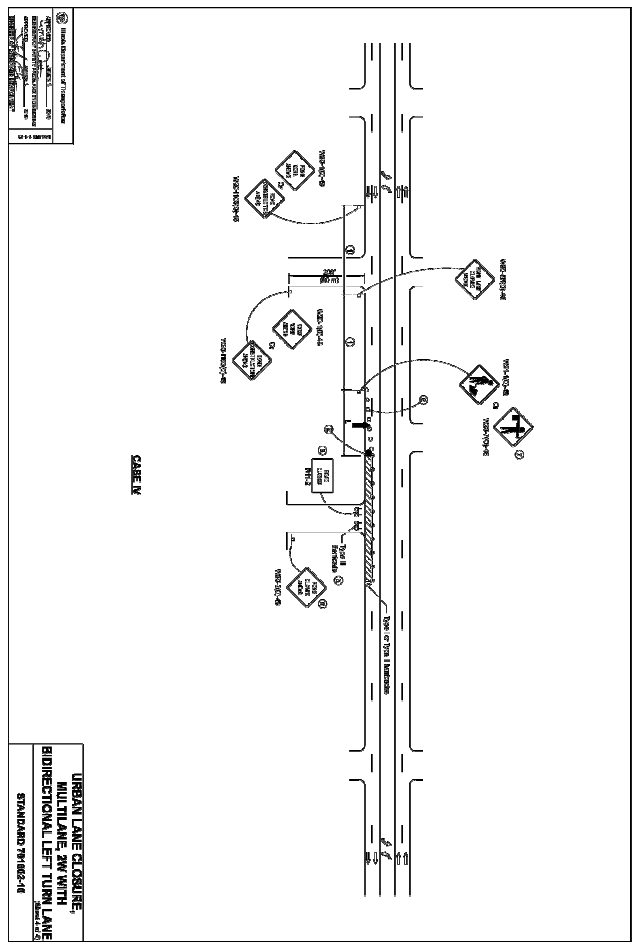


CEC
Civil & Environmental
Consultants, Inc.

CHARLESTON INVESTMENTS, LLC
CHARLESTON PLACE
1103 AURORA AVENUE
NAPERVILLE, ILLINOIS 60563

DETAILS - 6

DATE: DECEMBER 19, 2024	DRAWN BY: MAJ/MEC
DWG SCALE: AS SHOWN	CHECKED BY: JGO
PROJECT NO:	333-24
APPROVED BY:	*JGO



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Ph: 630.963.6026
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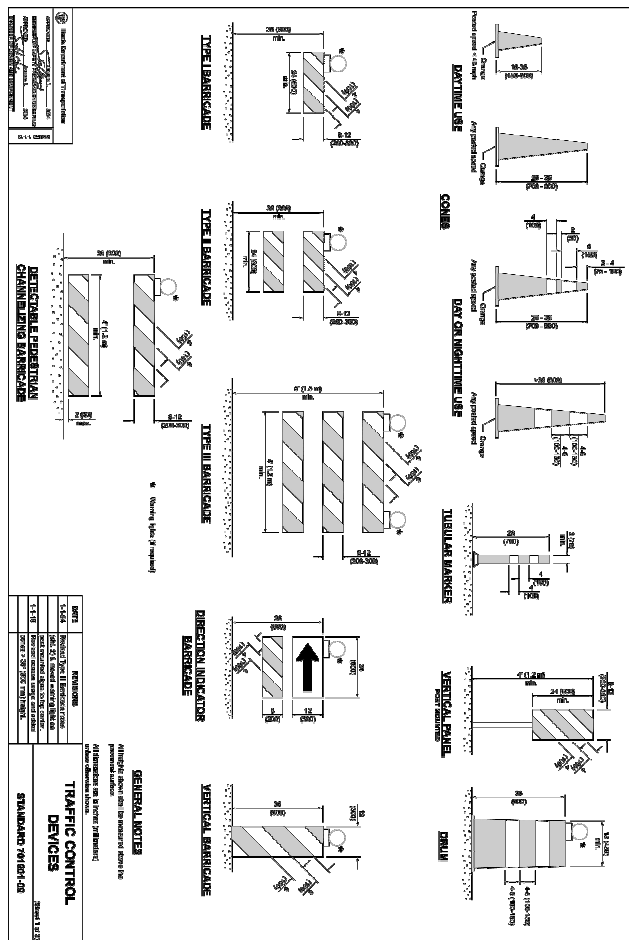
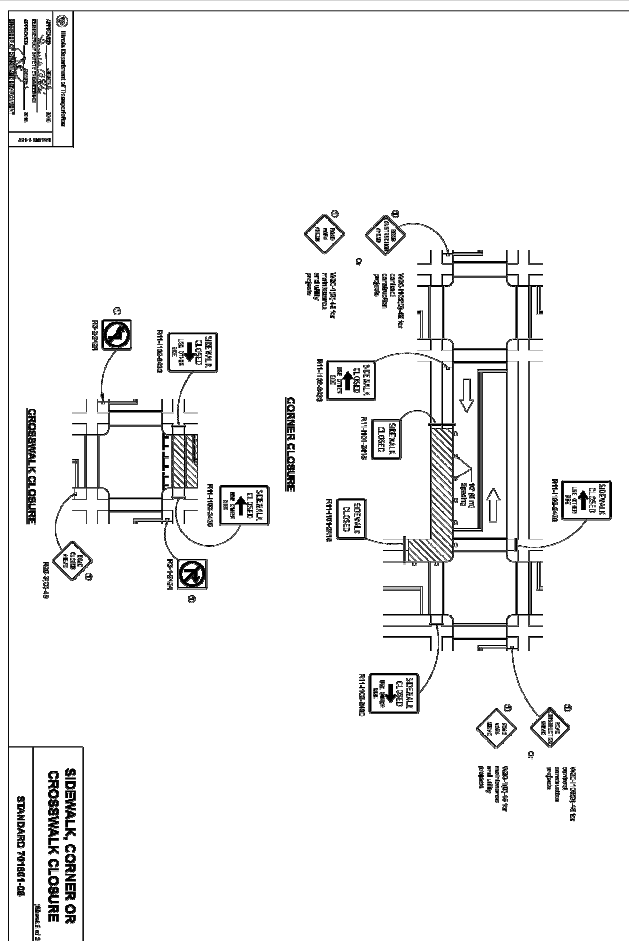
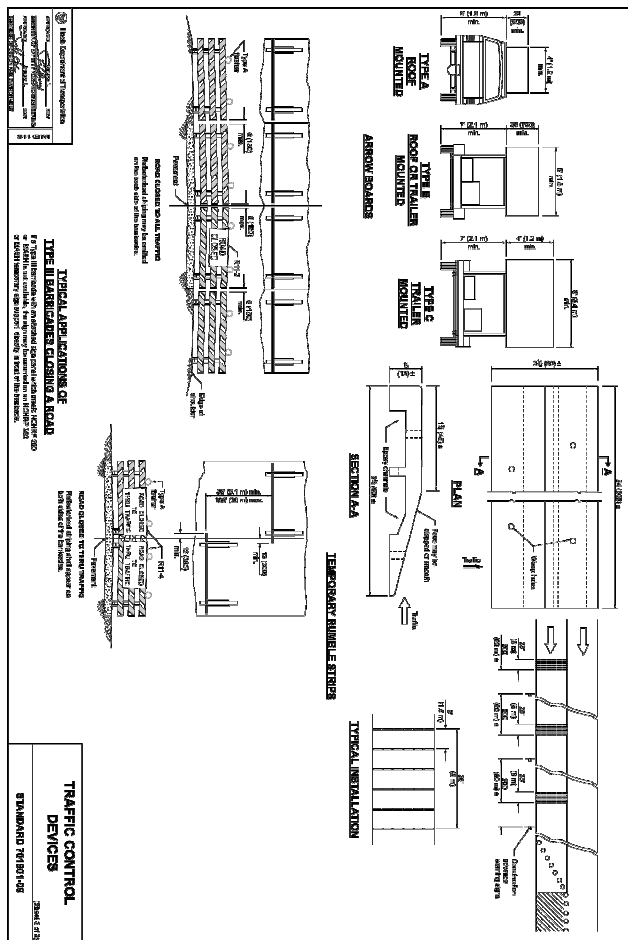
CEC
Civil & Environmental
Consultants, Inc.

CHARLESTON INVESTMENTS, LLC
CHARLESTON PLACE
1103 AURORA AVENUE
NAPERVILLE, ILLINOIS 60563

DETAILS - 7

DATE:	DECEMBER 19, 2024	DRAWN BY:
DWG. SCALE:	AS SHOWN	CHECKED BY:
PROJECT NO:		
APPROVED BY:		

C806

[illegible]

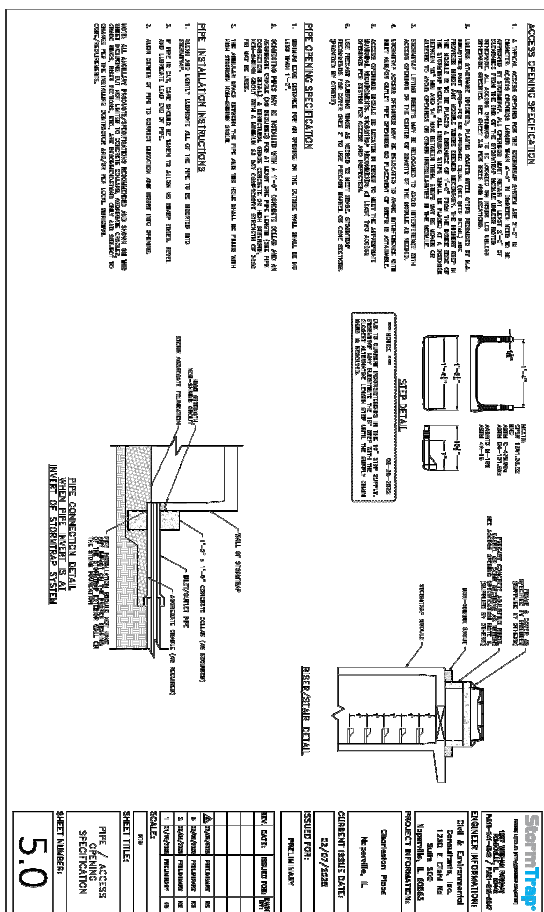
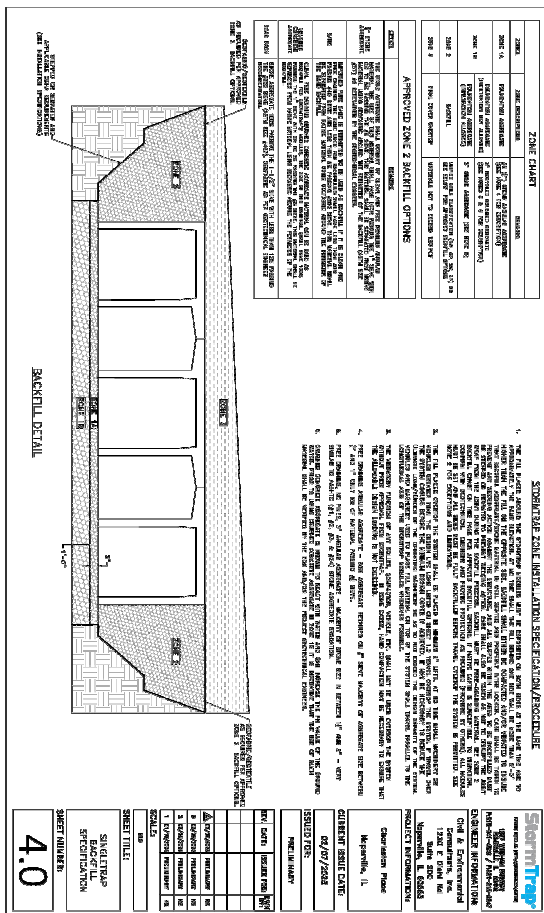
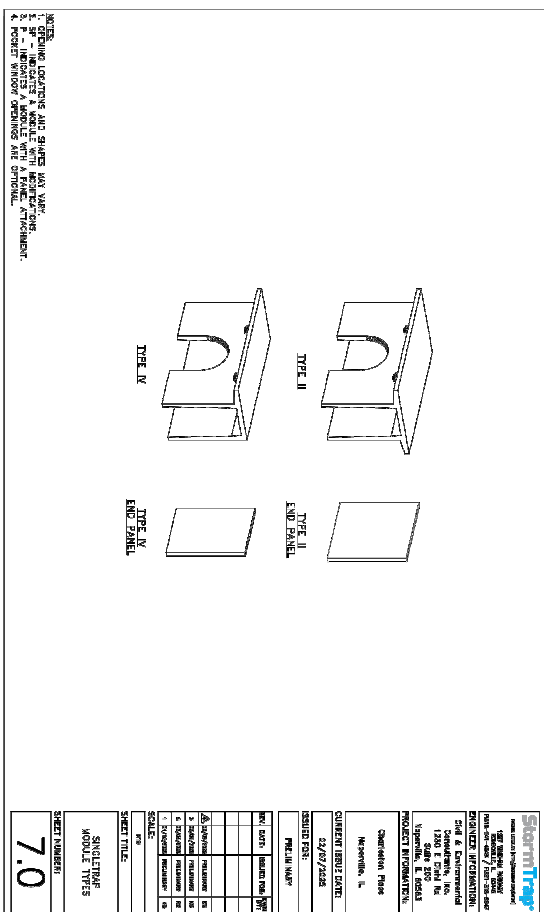
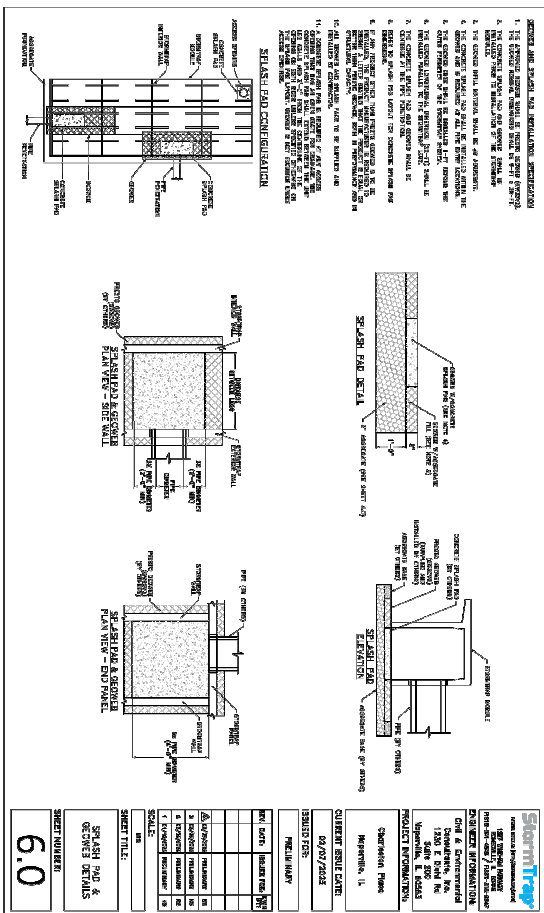
CHARLESTON INVESTMENTS, LLC
CHARLESTON PLACE
1103 AURORA AVENUE
NAPERVILLE, ILLINOIS 60563



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Naperville, IL 60563
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EXHIBIT E

[illegible]

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