PROPERTY ADDRESS: VACANT PROPERTY EAST OF 1155 AURORA AVE NAPERVILLE, IL 60540

P.I.N.S 07-24-100-015 07-23-208-013

RETURN TO/PREPARED BY: CITY OF NAPERVILLE CITY CLERK'S OFFICE 400 SOUTH EAGLE STREET NAPERVILLE, IL 60540

OWNER'S ACKNOWLEDGEMENT AND ACCEPTANCE AGREEMENT FOR CHARLESTON PLACE

This Owner's Acknowledgement and Acceptance Agreement for Charleston Place Subdivision ("Agreement") located on vacant property east of 1155 Aurora Ave, Naperville, IL 60540, is entered into by and between the City of Naperville, a home rule unit of local government under the Constitution and laws of the State of Illinois ("City" or "City of Naperville"), with an address of 400 South Eagle Street, Naperville, Illinois 60540, and Charleston Investments, LLC an Illinois limited liability company ("OWNER AND DEVELOPER"), with offices at 933 E. Ogden Avenue, Naperville, IL 60563. The City and the OWNER AND DEVELOPER are together hereinafter referred to as the "Parties" and sometimes individually as "Party".

RECITALS

- A. This Agreement pertains to certain real property located within the corporate limits of the City of Naperville located on vacant property east of 1155 Aurora Ave, Naperville, IL 60540, having parcel identification numbers of 07-24-100-015 and 07-23-208-013 and legally described on **Exhibit A** and depicted on **Exhibit B** (hereinafter referred as the "**SUBJECT PROPERTY**").
- B. OWNER AND DEVELOPER has petitioned the City for approval of a Preliminary/Final Plat of Subdivision for the Charleston Place Subdivision ("**Preliminary/Final Subdivision Plat**") in order to subdivide the SUBJECT PROPERTY into thirty (30) single-family residential lots and one (1) outlot for stormwater management.
 - C. The OWNER AND DEVELOPER also requests:
 - i. rezoning of the SUBJECT PROPERTY from R1A (Low Density Single-Family Residence District) to TU (Transitional Use District) pursuant to Section 6-3-7 (Rezonings); and
 - ii. A deviation from Section 7-4-1 of the City's Design Manual for Public Improvements in order to permit a public right-of-way width of sixty feet (60') in lieu of sixty-six feet (66').

D. By entering into this Agreement, the City is acting pursuant to its home rule authority under the Constitution and laws of the State of Illinois.

NOW THEREFORE, in consideration of the mutual promises and agreements set forth herein, the parties agree as follows:

- 1. **Recitals Incorporated.** The foregoing Recitals are incorporated herein as though fully set forth in this Section 1.
- 2. **Ongoing Compliance.** In the development and operation of the SUBJECT PROPERTY, the OWNER AND DEVELOPER shall be subject to and shall fulfill all conditions set forth or referenced herein associated with the SUBJECT PROPERTY, including but not limited to: (i) the terms of this Agreement; (ii); the provisions of the Naperville Municipal Code, as amended from time to time; (iii) all ordinances and resolutions passed or adopted by the Naperville City Council related to the SUBJECT PROPERTY; and (iv) all applicable laws and regulations.
- 3. **Development of the SUBJECT PROPERTY.** OWNER AND DEVELOPER shall construct all improvements related to the development of the SUBJECT PROPERTY in compliance with final engineering plans prepared by Civil and Environmental Consultants, Inc., dated December 19, 2024, last revised March 18, 2025 ("**Final Engineering Plans**") at its sole cost unless otherwise provided herein.
- 4. **School Donation:** OWNER AND DEVELOPER agrees to abide by the school donation provisions set forth in Section 7-3-5 (Dedication of Park Lands and School Sites or for Payments of Fees in Lieu of) of the Naperville Municipal Code, as amended from time to time. Further, OWNER AND DEVELOPER has elected to pay a cash-in-lieu of a contribution of land for the required school donation pursuant to the "Per Permit Payment" provisions set forth in Section 7-3-5:5.2.2 of the Naperville Municipal Code. Said Per Permit Payment shall be calculated based on the school donation table set forth in Section 7-3-5 of the Naperville Municipal Code in effect at the time of the building permit issuance and shall be made prior to issuance of the building permit. Payment of the required school donation shall not be paid under protest, or otherwise objected to.
- 5. **Park Donation:** OWNER AND DEVELOPER agrees to abide by the park donation provisions set forth in Section 7-3-5 (Dedication of Park Lands and School Sites or for Payments of Fees in Lieu of) of the Naperville Municipal Code, as amended from time to time. Further, OWNER AND DEVELOPER has elected to pay a cash-in-lieu of a contribution of land for the required park donation pursuant to the "Per Permit Payment" provisions set forth in Section 7-3-5:5.2.2 of the Naperville Municipal Code. Said Per Permit Payment shall be calculated based on the park donation table set forth in Section 7-3-5 of the Naperville Municipal Code in effect at the time of the building permit issuance and shall be made prior to

issuance of the building permit. Payment of the required park donation shall not be paid under protest, or otherwise objected to.

- 6. WATERMAIN. OWNER AND DEVELOPER intends to construct a U-shaped entryway to the development which will access Aurora Avenue at two points and shall be known as Cannon Circle. In order to provide sufficient water service for the SUBJECT PROPERTY, the OWNER AND DEVELOPER shall, at its sole cost, install the watermain located on the SUBJECT PROPERTY as depicted on the Final Engineering Plan (hereinafter referred to as the "WATERMAIN"). The WATERMAIN shall be constructed and installed strictly in accordance with the approved Final Engineering Plans for the SUBJECT PROPERTY attached hereto as Exhibit C. An approved copy of the Illinois Environmental Protection Agency permit shall be provided to the Director of the Transportation, Engineering, and Development Department (TED) and to the Director of the Department of Public Utilities-Water/Wastewater (DPU-W/WW) before issuance of a site permit for the SUBJECT PROPERTY. No occupancy permits will be issued for the SUBJECT PROPERTY until the WATERMAIN has been constructed, inspected and approved by TED and DPU-W/WW.
- 7. **OFF-SITE SANITARY SEWERMAIN.** In order to provide sufficient sanitary sewer service for the SUBJECT PROPERTY, the OWNER AND DEVELOPER shall, at its sole cost, install sanitary sewer main from the existing sanitary sewer main located west of the SUBJECT PROPERTY to the western boundary of the SUBJECT PROPERTY as depicted on the Final Engineering Plan (hereinafter referred to as the "OFF-SITE SANITARY SEWERMAIN"). The OFF-SITE SANITARY SEWERMAIN shall be constructed and installed strictly in accordance with the approved Final Engineering Plans for the SUBJECT PROPERTY. An approved copy of the Illinois Environmental Protection Agency permit shall be provided to the Director of the Transportation, Engineering, and Development Department (TED) and to the Director of the Department of Public Utilities-Water/Wastewater (DPU-W/WW) before issuance of a site permit for the SUBJECT PROPERTY. No occupancy permits will be issued for the SUBJECT PROPERTY until the OFF-SITE SANITARY SEWERMAIN has been constructed, inspected and approved by TED and DPU-W/WW.

A fifteen foot (15') wide public utilities and drainage easement shall be dedicated to the City along the length of the OFF-SITE SANITARY SEWERMAIN by plat of easement approved by the City Attorney ("PLAT OF EASEMENT"). The PLAT OF EASEMENT has been submitted to the City for review and has been approved by the City and will be recorded with the DuPage County Recorder's Office prior to the issuance of any building permits for the SUBJECT PROPERTY.

8. **ON-SITE SANITARY SEWERMAIN.** In order to provide sufficient sanitary sewer service for the SUBJECT PROPERTY, the OWNER AND DEVELOPER shall, at its sole cost, install the sanitary sewer line from the western boundary of the SUBJECT PROPERTY (connecting to the OFF-SITE SANITARY

SEWERMAIN) as shown on the Final Engineering Plan (hereinafter referred to as the "ON-SITE SANITARY SEWERMAIN"). The ON-SITE SANITARY SEWERMAIN shall be constructed and installed strictly in accordance with the approved Final Engineering Plans for the SUBJECT PROPERTY. An approved copy of the Illinois Environmental Protection Agency permit shall be provided to the Director of the Transportation, Engineering, and Development Department (TED) and to the Director of the Department of Public Utilities-Water/Wastewater (DPU-W/WW) before issuance of a site permit for the SUBJECT PROPERTY. No occupancy permits will be issued for the SUBJECT PROPERTY until the ON-SITE SANITARY SEWERMAIN has been constructed, inspected and approved by TED & DPU-W/WW.

- 9. STORM SEWER. The OWNER AND DEVELOPER agrees, at its sole cost, to provide storm sewer as shown on the Final Engineering Plans (hereinafter referred to as the "STORM SEWER"). The STORM SEWER shall be constructed and installed strictly in accordance with the approved Final Engineering Plans for the SUBJECT PROPERTY. No occupancy permits will be issued for the SUBJECT PROPERTY until the STORM SEWER has been constructed, inspected and approved by TED.
- 10. **AURORA AVENUE IMPROVEMENTS**. The OWNER AND DEVELOPER agrees, at its sole cost, to make the following improvements to Aurora Avenue ("AURORA AVENUE IMPROVEMENTS") as shown in the Final Engineering Plans for the SUBJECT PROPERTY within eighteen months of issuance of a site permit for the SUBJECT PROPERTY, or such other timeframe as may be agreed to in writing by the City Engineer:
 - i. Mill to between a minimum of 1.5" to a varying depth of 4" and overlay the pavement on the north side of the Auora Avenue right-of-way;
 - ii. Add two foot (2') wide stop bars at the two (2) intersections of Cannon Circle and Aurora Avenue that extend across the full width of Aurora Avenue;
 - iii. Modify the existing median, as well as add new pavement and pavement markings, to provide an east bound left turn lane into the SUBJECT PROPERTY; and
 - iv. Install B6.12 curb and gutter along the north side of Aurora Avenue for the entire frontage of the SUBJECT PROPERTY.

11. PUBLIC IMPROVEMENTS AND ACCEPTANCE.

11.1 The City hereby agrees to accept the WATERMAIN, OFF-SITE SANITARY SEWERMAIN, ON-SITE SANITARY SEWERMAIN, STORM SEWERS, with the exception of Outlot A, AND THE AURORA AVENUE IMPROVEMENTS: (i) after the work associated with each has

been completed and approved (including but not limited passing all testing requirements) by the Director of TED and the Director of the DPU-W/WW; and (ii) upon issuance of a Bill of Sale to the City by the OWNER AND DEVELOPER for said improvements in a form approved by the City. Upon acceptance of said improvements, the City shall be the owner thereof and shall thereafter be responsible for their maintenance, repair and replacement. Upon acceptance by the City of Naperville City Council, the City shall become the owner thereof.

- 12. **Fees Due.** OWNER AND DEVELOPER shall pay all fees (which fees shall not be paid under protest or otherwise objected to) set forth herein and required by the Naperville Municipal Code as amended from time to time, including but not limited to the following:
 - 12.1 **Site Permit Review Fee:** \$27,804.67 (1.5% of the approved engineer's cost estimate). This fee is due prior to issuance of the site permit.
 - 12.2 **Future Pavement Restoration Fee: \$4,070.18.** This fee is due prior to issuance of the site permit.
 - 12.3 **Infrastructure Availability Charges and User Fees.** Upon a request for connection and service to the City's water or sanitary system, OWNER AND DEVELOPER shall pay for all infrastructure availability charges and user fees in accordance with Title 8 of the Naperville Municipal Code as amended from time to time, as are applicable to that portion of the SUBJECT PROPERTY for which connection and service is requested.
 - 12.4 **Facility Installation Charges and User Fees.** Upon a request for connection and service to the City of Naperville electric system, the OWNER AND DEVELOPER shall pay for all Facility Installation Charges (FIC) and user fees in accordance with Title 8 of the Naperville Municipal Code as amended from time to time, as are applicable to that portion of the SUBJECT PROPERTY for which connection and service is requested.
 - 12.5 **Other Fees**. Any resubmission fees, or other applicable fees not listed in 12.1 through 12.4 above, shall be charged in accord with the provisions of the Naperville Municipal Code or applicable policies and regulations then in effect, including but not limited to the fee schedule in Section 1-9F (Municipal Finances: Development, Entitlement and Other Required Application Process Fees) and Section 1-9H (Municipal Finances: Fees for Construction and New Development).
- 13. **Financial Surety.** Financial surety in a form and from a source acceptable to the City Attorney, including a cash deposit, bond or letter of credit shall be provided and maintained in the amount of \$2,039,009.50 (110% of the approved engineer's cost estimate) which guarantees the completion of public improvements and soil

erosion and sedimentation control for the SUBJECT PROPERTY. Financial surety shall be received and approved prior to issuance of a site development permit. Notwithstanding provision of said surety, until the Public Improvements identified in Section 11.1 above have been accepted by the City, the OWNER AND DEVELOPER shall remain obligated for completion of said Public Improvements and/or (at the City's sole discretion) to pay any costs for said Public Improvements to the extent that the surety is not sufficient to pay for the costs of the Public Improvements, or in the event of any denial, or partial denial of coverage by the surety, or failure of the surety to timely respond to a demand for payment. Prior to acceptance of the Public Improvements by the City identified in Section 10.1 above, the OWNER AND DEVELOPER shall provide the City with a maintenance surety for the Public Improvements in a form approved by the City Attorney and in conformity with the Naperville Municipal Code then in effect.

As to any surety, or maintenance surety, provided by the OWNER AND DEVELOPER to the City hereunder, the OWNER AND DEVELOPER agrees that: (1) at no time shall the City be liable for attorneys' fees with respect thereto; (2) OWNER AND DEVELOPER shall be liable to pay the City's reasonable attorneys' fees and costs (in-house or outside counsel) in enforcement thereof; and (3) the list of circumstances set forth in such surety (including any exhibit thereto) as bases for default thereunder shall entitle the City to draw on said surety.

14. **Building Permits.** No building permits shall be issued for the SUBJECT PROPERTY until the Preliminary/Final Subdivision Plat has been recorded and until the City has determined that sufficient improvements have been installed and are functioning to protect the health, safety, and welfare of the public.

15. General Conditions.

- 15.1 **Binding Effect.** City and OWNER AND DEVELOPER acknowledge and agree that the terms contained herein shall be binding upon and inure to the benefit of the City and the OWNER AND DEVELOPER and their respective successors, assigns, and transferees, and any subsidiary, affiliate or parent of the OWNER AND DEVELOPER (whether their interest is in the SUBJECT PROPERTY as a whole or in any portion or aspect thereof).
- 15.2 **Severability**. It is mutually understood and agreed that all agreements and covenants herein are severable and that in the event any of them shall be held to be invalid by any court of competent jurisdiction, this Agreement shall be interpreted as if such invalid agreement or covenant were not contained herein.
- 15.3 **Amendment**. The agreements, covenants, terms and conditions herein contained may be modified only through the written mutual consent of the parties hereto. If a modification of this Agreement would result in an

- amendment of the Annexation Agreement, the Annexation Agreement shall also be amended.
- 15.4 **Assignment**. This Agreement may not be assigned by either Party without the written consent of the other Party.
- 15.5 **Choice of Law and Venue.** This Agreement shall in all respects be subject to and construed in accordance with and governed by the laws of the State of Illinois. Venue for any action arising out of the terms or conditions of this Agreement shall be proper only in the Circuit Court for the Eighteenth Judicial Circuit, DuPage County, Illinois.
- 15.6 **Ambiguity**. If any term of this Agreement is ambiguous, it shall not be construed for or against any Party on the basis that the Party did or did not write it.
- 15.7 **Recordation**. This Agreement will be recorded by the City with the office of the DuPage County Recorder.
- 15.8 **Term.** This Agreement shall be effective upon the Effective Date set forth in Section 15.14 hereof and shall terminate, without further action by either Party, upon the later of ten (10) years from the Effective Date or issuance of all final certificates of occupancy for the SUBJECT PROPERTY.
- 15.9 **Automatic Expiration.** If the preliminary/final plat of subdivision for the SUBJECT PROPERTY is not recorded within five (5) years of the date of approval of the ordinance approving the preliminary/final plat of subdivision and this Agreement by the City Council, the preliminary/final plat of subdivision and this Agreement shall automatically lapse and become null and void without further action by the City.
- 15.10 **Survival.** The terms and conditions set forth in the following paragraphs of this Agreement shall survive the expiration or termination of this Agreement: 1 through 14 and 15.1, 15.2, 15.5, 15.6, 15.10, and 15.13.
- 15.11 **Authority to Execute/OWNER AND DEVELOPER.** The undersigned warrants that he/she is the OWNER AND DEVELOPER of the SUBJECT PROPERTY, or is the duly authorized representative of the OWNER AND DEVELOPER of the SUBJECT PROPERTY in the case of a corporation, partnership, trust, or similar ownership form which owns the SUBJECT PROPERTY and that the undersigned has full power and authority to sign this document and voluntarily agrees to the provisions set forth herein.
- 15.12 **Authority** to Execute/City. The undersigned City Manager warrants that he has been directed to, and has the authority to, execute this Agreement.

The undersigned City Clerk warrants that she has been directed to, and has the authority to, attest the signature of the City Manager on this Agreement.

- 15.13 **Exhibits.** All exhibits attached hereto or referenced herein are incorporated herein by reference and made part hereof.
- 15.14 **Effective Date.** The effective date of this Agreement ("**Effective Date**") shall be the date upon which it is fully executed by both Parties hereto.

/SIGNATURES ON FOLLOWING PAGES/

Owner's Acknowledgement & Acceptance Agreemen Charleston Place Subdivision Page 9 of 10	t	
OWNER AND DEVELOPER/CHARLES	STON INVESTMENTS LLC:	
[Signature] Erik Van Soneren		
[Printed name] [Title]		
State of Illinois) ss County of DuPage)		
The foregoing instrument was acknowledge this _3 day of	d before me by <u>Erik Van Someren</u>	1
Vinent M. R Print Name	blance	VINCENT ROSANOVA Official Seal
Given under my hand and official seal this	1 St day of March , 2025.	Notary Public - State of Illinois My Commission Expires Nov 10, 2022
-Seal-	Notary Public My Commission Expires:	

Owner's Acknowledgement & Acceptance Agreement Charleston Place Subdivision Page 10 of 10

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By:		
<i>-</i>	Douglas A. Krieger	
	City Manager	
ATTI	ST:	
By:		
_	Dawn C. Portner	
	City Clerk	
Date:		

LEGAL DESCRIPTION

PARCEL 1:

THAT PART OF THE NORTHEAST 1/4 OF SECTION 23 AND OF THE NORTHWEST 1/4 OF SECTION 24, TOWNSHIP 38 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 24: THENCE SOUTHERLY ON THE WEST LINE OF SAID SECTION 24 A DISTANCE OF 742.5 FEET (RECORD) (MEASURED SOUTH 00 DEGREES 01 MINUTES 08 SECONDS EAST, 742.39 FEET) TO THE CENTER LINE OF AURORA ROAD (BEFORE PAVING) FOR A POINT OF BEGINNING: THENCE SOUTH 86 DEGREES 00 MINUTES WEST (RECORD) (MEASURED SOUTH 85 DEGREES 22 MINUTES 51 SECONDS WEST) ALONG SAID CENTER LINE A DISTANCE OF 146.0 FEET: THENCE NORTH 04 DEGREES 13 MINUTES 05 SECONDS WEST 707.38 FEET (RECORD) (MEASURED NORTH 04 DEGREES 41 MINUTES 51 SECONDS WEST A DISTANCE OF 707.02); THENCE NORTH 85 DEGREES 45 MINUTES 55 SECONDS EAST 551.0 FEET (RECORD) (MEASURED NORTH 85 DEGREES 20 MINUTES 47 SECONDS EAST, A DISTANCE OF 551.35 FEET); THENCE SOUTH 2 DEGREES 49 MINUTES 13 SECONDS EAST 193.68 FEET (RECORD) (MEASURED SOUTH 02 DEGREES 56 MINUTES 19 SECONDS EAST, A DISTANCE OF 192.91 FEET); THENCE SOUTH 8 DEGREES 12 MINUTES EAST 485.0 FEET (RECORD) (MEASURED SOUTH 08 DEGREES 46 MINUTES 44 SECONDS EAST, A DISTANCE OF 484.44 FEET); TO A POINT ON THE CENTER LINE OF AURORA ROAD (BEFORE PAVING); THENCE SOUTH 81 DEGREES 48 MINUTES WEST (RECORD) (MEASURED SOUTH 81 DEGREES 14 MINUTES 51 SECONDS WEST), ALONG SAID CENTER LINE, A DISTANCE OF 435.0 FEET TO THE POINT OF BEGINNING, IN DU PAGE COUNTY, ILLINOIS; EXCEPTING THEREFROM THAT PART LYING WITHIN JEFFERSON ESTATES SUBDIVISION RECORDED AS DOCUMENT R2004-171706 AND ALSO EXCEPTING

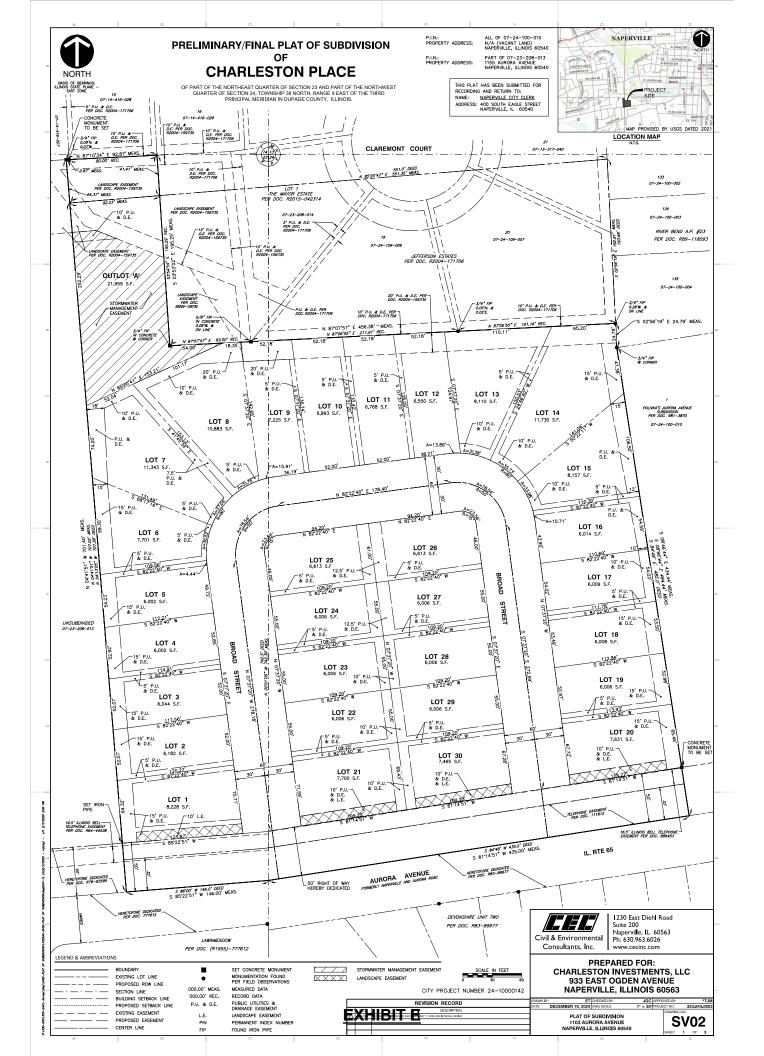
THEREFROM THAT PART LYING WITHIN THE MAYOR ESTATE SUBDIVISION RECORDED AS DOCUMENT R2015-042314.

PARCEL 2:

THAT PART OF THE NORTHEAST 1/4 OF SECTION 23, TOWNSHIP 38 NORTH, RANGE 9. EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DU PAGE COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 23: THENCE SOUTHERLY ALONG THE EAST LINE OF SAID SECTION 23, A DISTANCE OF 742.5 FEET (RECORD) (MEASURED SOUTH 00 DEGREES 01 MINUTES 08 SECONDS EAST, 742.39 FEET) TO THE CENTER LINE OF AURORA ROAD (BEFORE PAVING): THENCE SOUTH 86 DEGREES 00 MINUTES WEST (RECORD) (MEASURED SOUTH 85 DEGREES 22 MINUTES 51 SECONDS WEST), ALONG THE CENTER LINE OF SAID AURORA ROAD, A DISTANCE OF 146.0 FEET: THENCE NORTH 04 DEGREES 13 MINUTES O5 SECONDS WEST (RECORD) (MEASURED NORTH 04 DEGREES 41 MINUTES 51 SECONDS WEST) A DISTANCE OF 707.38 FEET (RECORD) (MEASURED 707.02) TO A POINT ON THE NORTHERLY LINE OF LAND DESCRIBED IN DOCUMENT NUMBER R2004-159734; SAID POINT BEING THE POINT OF BEGINNING; THENCE CONTINUING NORTH 04 DEGREES 41 MINUTES 51 SECONDS WEST, A DISTANCE OF 44.37 FEET TO A SOUTHERLY LINE OF JEFFERSON ESTATES SUBDIVISION RECORDED AS DOCUMENT R2004-171706; THENCE NORTH 87 DEGREES 10 MINUTES 34 SECONDS EAST, ALONG SAID SOUTHERLY LINE, DISTANCE OF 92.87 FEET TO THE WEST LINE THE MAYOR ESTATE SUBDIVISION RECORDED AS DOCUMENT R2015-042314; THENCE SOUTH 03 DEGREES 53 MINUTES 02 SECONDS EAST, ALONG SAID WEST LINE, A DISTANCE OF 41.41 FEET TO AFORESAID NORTHERLY LINE OF LAND DESCRIBED IN DOCUMENT NUMBER R2004-159734; THENCE SOUTH 85 DEGREES 20 MINUTES 47 SECONDS WEST (RECORD SOUTH 85 DEGREES 45 MINUTES 55 SECONDS WEST), ALONG SAID NORTH LINE, A DISTANCE OF 92.26 FEET TO THE POINT OF BEGINNING.

Underlying PINS: 07-24-100-015 and 07-23-208-013

Common Address: Vacant property east of 1155 Aurora Avenue, Naperville, Illinois 60540



315,223 S.F. (7.237 AC.) 3,969 S.F. (0.091 AC.) 319,192 S.F. (7.328 AC.) PARCEL 1 AREA: PARCEL 2 AREA:

EXISTING EASEMENTS:

PUBLIC UTILITIES AND DRAINAGE EASEMENT LANDSCAPE EASEMENT TELEPHONE EASEMENT ILLINOIS BELL TELEPHONE EASEMENT 10,319 S.F. (0.237 AC.) 5,227 S.F. (0.120 AC.) 18,836 S.F. (0.432 AC.) 9,535 S.F. (0.219 AC.)

PROPOSED EASEMENTS:

 PUBLIC UTILITIES AND DRAINAGE EASEMENT
 51,746
 S.F. (1.188 AC.)

 STORMWATER MANAGEMENT EASEMENT
 14,092
 S.F. (0.324 AC.)

 LANDSCAPE EASEMENT
 4,070
 S.F. (0.093 AC.)

PROPOSED STREET RIGHT-OF-WAY:

BROAD STREET DEDICATION 53,091 S.F. (1.219 AC.)

PUBLIC UTILITIES AND DRAINAGE EASEMENT PROVISIONS

ESSENEITS ARE HEREST RESERVED FOR AND GRANNEE TO THE CITY OF MAPERAILE, LILNIOS ("CITY") AND TO THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHES OR GONTRACT WITH THE CITY, OR OTHERMSE AUTHORIZED BY THE CITY, OR OTHER AUTHORIZED BY THE CITY, OR OTHER AUTHORIZED AUTHORIZED TO THE PLAT FOR THE PERPETUAL, RICHT, PRIVILEE AND DRAINGE AND AUTHORITY OR INSTALL, SIRVEY, CONSTRUCT, RECONSTRUCT, REPORTABLE, REPORT, RISPECT, COMMUNITY ANTENNAE TILLVISION, STETIMS AND INCLUDING STORM AND/OR SANTARY SERVEYS, TOCKTHER WITH HAY AND ALL NICESSARY MANHOLES, CATCH BASING, CONNECTIONS, APPLIANCES AND OTHER STRUCTURES AND APPLICATIONS, AND STRUCTURES AND APPLICATIONS, AND AUTHORIZED AUTHORIZED AUTHORIZED AND AUTHORIZED AUTHORIZED AUTHORIZED AUTHORIZED AND AUTHORIZED AUTHORIZ

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THE RIGHT IS ALSO GRANTED TO TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE SEMENS OF COTHER UTILITIES. NO PERMANNEN BULLIDIES SHALL BE PLACED ON SAO OF THE PLANT OF THE PLA

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RIGHT OF ACCESS ON, OWER, ALONG AND AGROSS THE PROPERTY DESCRIBED HEREN

FOR THE LIMITED PURPOSE OF READING, EXAMINING, INSPECTION, INSTALLING,

OPERATING, MANITANING, EXCHANGING, REPAIRING, TESTING, AMO/OR

REPLOCING OTT OWNED UTILITY COUPNET AND METERS WHICH SERVE AND

PROPERTY, INCLUDING NECESSARY PERSONNEL AND EQUIPMENT TO DO ANY OF THE

ABOVE WORK.

STORMWATER MANAGEMENT EASEMENT AND COVENANT PROVISIONS - OUTLOT 'A'

THE OWNER, OR THE PROPERTY OWNERS ASSOCIATION (POA) IN THE CASES WHERE MULTIPLE OWNERS ARE INVOLVED, SHALL HAVE FULL RESPONSIBILITY FOR MAINTENANCE OF THE STORMATER MANAGEMENT DETENTION/RETENTION SHOWN AS A HATCHED AREA ON OUTLOT 'A', HERETOFORE REFERRED TO AS OUTLOT 'A'.

THE OWNER, OR THE POA, SHALL HAVE THE PERPETUAL DUTY AND OBLIGATION TO PERFORM OR HAVE PERFORMED ALL MAINTENANCE ON SAID OUTLOT "A 'AND ALL MAINTENANCE OF THE STORMARTER MANAGEMENT DESTRICTION AFEAS SO THE STORMARTER MANAGEMENT DESTRICTION AFEAS SO THE STANDARD OF THE S

NEITHER THE OWNER, THE POA, NOR ANY OF THEIR AGENTS OR CONTRACTORS SHALL DESTROY OR MODIFY THE GRADES OR SLOPES WITHOUT THE PRIOR WRITTEN APPROVAL OF THE CITY POSMERER OF THE CITY OF NAPEVALLE OR OTHER COMERNMENTAL ENTITY HAVING JURISDICTION OVER DRAINAGE OR STORMMATER FACILITIES ON QUILLOT A'.

THE POA MAY ASSESS ITS MEMBERS ON A YEARLY BASIS FOR A PRORATED SHARE OF THE COST TO MAINTAIN THE STORMWATER MANAGEMENT DETENTION /RETENTION AREAS ON OUTLOT 1'A.

PERETUAL PUBLIC STORMMATER AND DRAINAGE EASEMENTS ARE HEREBY GRANTED TO THE CUTY OF NAMERICALLE ITS AGENTS, SUCCESSIONS AND ASSIGNS ON ANY FACULITIES, OVER, ON, ACROSS AND UNDER ALL OF THE AREAS MARKED STORMMATER MANAGEMENT EASEMENT OR (S.M.E.) ON THE PLAT FOR THE RIGHT, PRIVILEGE, AND AUTHORITY FOR THE RIGHT,

SURVEYING, CONSTRUCTING, RECONSTRUCTING, REPAIRING, INSPECTING, ITANING, AND OPERATING ALL STORMWATER MANAGEMENT FACILITIES, STRUCTURES, DES, AND SLOPES ON OUTLOT 'A'.

ENTERING ONTO OUTLOT 'A' OR ANY ADJOINING LOT TO PERFORM THE WORK SPECIFIED IN PARAGRAPH 1 TOGETHER WITH THE RIGHT OF ACCESS FOR NECESSARY PERSONNEL AND EQUIPMENT TO DO ANY OF THE REQUIRED WORK

3. CUTTING DOWN, TRIMMING, OR REMOVING TREES, SHRUBS, PLANTS, MULCH, LANDSCAPING STRUCTURES, RETAINING WALLS OR ANY OTHER MATERIALS ON OUTLOT "A WHICH INTERFERE WITH THE OPERATIONS OF THE STORMWATER FUNCTIONS.

"A WHICH HITERTERE WITH THE OPERATIONS OF THE STORMWATER FUNCTIONS.

ON PERMANENT BULLDINGS, OR UTILITY FACULITIES SMALL BE CONSTRUCTED ON OUTLOT "A BY THE OWNER, OR THE OWNERS SUCCESSORS IN INTEREST BUT SAID OUTLOT "A MAY BE USED FOR OTHER PURPOSES THAT DO NOT NOW OR LATER INTERFERE OR CONFLICT WITH THE AFORESAID USES OR RIGHTS OR IN ANY WAY AFFECT OR MIPPED THE STORMAGE OF RETE FUND OF STORMWATER ON AND OVER AFFECT OF MIPPED THE STORMAGE OF RETE FUND OF STORMAGE ON AND OVER STORMAGE ON ADDITION OF THE STORMAGE OF THE FUND OF STORMAGE ON ADDITION OF THE STORMAGE OF STORMAGE FACILITIES ON OUTLOT "A.S ERQUIED, THE CITY OF PAMPEMENT OF OR THE PROPERTY TO PERFORM MANIFORM OF THE OWN THE O

THE OWNER OF THE LOT CREATED BY THE FINAL PLAT OF SUBDIVISION, OR THEIR HERS, LEGATES, ASSIGNS, OR SUCCESSORS IN INTEREST, SHALL BE JOINTLY AND SEVERALLY LIBEL FOR ALL COSTS INCURRED BY THE CITY OR OTHER OPERALITIES ON QUICTOT AT IN PREVIOUS OF STORMASTER PACIFICS ON QUICTOT AT, IN PREVIOUS OF STORMASTER PACIFIC ON QUICTOT AT, IN PROVIDE CONTROL OF STORMASTER PACIFIC OF STORMASTER PACI

THE ACTUAL COSTS OF THE CITY OR OTHER GOVERNMENTAL ENTITY HANNED JURISDICTION, 100 PREFORM ANY MECESSARY WORK, AS DETERMAND BY THE CITY, OR SUCH OTHER GOVERNMENTAL ENTITY, PLUS TWENTY (2015) PERCENT AND ALL ATTORNEYS FEES, SHALL CONSTITUTE A LEIK ABROST THE INDIVIDUAL LOTS, WHICH LIEN MAY BE FORELUSED BY AN ACTION BROUGHT IN A COURT OF COMPETENT BUTTON.

THE PROVISIONS OF THESE COVENINTS AND DECLARATIONS RELATING. TO STORMARTER OBLICATIONS SMALL NOT BE AMERICED, MODIFED, OR ABROCATED WITHOUT THE PRIOR WHITTEN APPROVAL OF THE CLTY OR OTHER COVERNMENTAL ENTITY HAVING JURISDICTION OVER DRAWAGE OR STORMWATER FACILITIES ON OUTLOT IN.

ALL OF THE ABOVE-STATED OBLIGATIONS SHALL ALSO BE CLEARLY REFERENCED IN ANY COVENANTS, CONDITIONS, DECLARATIONS, AND RESTRICTIONS RECORDED AGAINST ANY OF THE COTS CREATED BY THIS FIRM LPAT OF SUBDIVISION, AND IN ANY DEEDS OR TITLE DOCUMENTATION REQUIRED FOR THE CONVEYANCE OF ANY OF SUCH INDIVIDUAL LOTS OR UNITS.

THE LOT OWNER OF OUTLOT "A SHALL HAVE THE PERPETUAL DUTY AND OBLIGATION TO FUNNISH OR TO CAUSE TO BE FURNISHED, TO THE CITY OF IMPERVILLE, ILLINOIS, AN ANNUAL INSECTION REPORT FOR THE STORMARTER FACILITIES (PREPARED BY AN ANNUAL INSECTION OF THE LIND OF THE

LANDSCAPE EASEMENT PROVISIONS

A PEPPETUAL EASEMENT IS HEREFOR GONTEO ON, UNDER AND ABOVE THOSE AREAS AS IDENTIFIED AS TAMOSCAPE EASEMENT ON THIS PLAT OF SUBDIVISION. THE EASEMENT SHE REPORT OF THE CHARLESTON PLACE ONDECONDENS AS IDENTIFIED AS TAMOSCAPE EASEMENT ON THE BENEFIT OF THE CHARLESTON PLACE ONDECONDENS ASSOCIATION (THE ASSOCIATION, ITS SUCCESSORS AND ASSIGNS, TO MAINTENA ASSOCIATION, ITS SUCCESSORS AND ASSIGNS, TO MAINTENA ASSOCIATION, ITS SUCCESSORS AND ASSIGNS, TO MAINTENA ASSOCIATION, THE ASSOCIATION AND RESTRICTIONS FOR THE CHARLESTON PLACE HOMEOWHERS ASSOCIATION (THE DECLARATION). THE ASSOCIATION SHALL BE SOLICELY RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF ALL TREES, SHRIUBS, FENOING AND MOMENTS INDUSED. LOCATED IN THE LANDSCAPE EASEMENT. THEO OWNERS OF ANY THESE OR SHRIUBS LOCATED IN THE LANDSCAPE EASEMENT AND MAY MAKE MODIFICATIONS OF OTHER IMPROVIDENTS WITHIN THE LANDSCAPE EASEMENT AND MAY MAKE MODIFICATIONS OF OTHER IMPROVIDENTS WITHIN THE LANDSCAPE EASEMENT HOW THE PLACE ASSOCIATION. NOTHING IN THIS FOR ADDITIONAL THE EXPRESS WRITTEN CONSIDET OF THE ASSOCIATION. NOTHING IN THIS FOR ADDITIONAL THE LANDSCAPE EASEMENT DENOTED ON THIS FOR ADDITIONAL THE LANDSCAPE EASEMENT DENOTED ON THIS FOR AND STATE OF THE MAINTENANCE EASEMENT. THE PLACE ASSESSED AND ADDITIONAL THE PART OF THE EASEMENT SHOWN LOT ENCOURAGED OF THE LANDSCAPE EASEMENT SHOWN FALL FOR THE PLACE EASEMENT.

DUPAGE COUNTY CLERK'S CERTIFICATE

STATE OF ILLINOIS SS

I, ..., COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMBLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.

I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT WHEATON, ILLINOIS, THIS _____ DAY OF ______, A.D., 20__.

COLINTY CLERK

DUPAGE COUNTY RECORDER'S CERTIFICATE

STATE OF ILLINOIS COUNTY OF DUPAGE SS		
THIS INSTRUMENT	WAS FILED	FOR RECORD
IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS		
ON THE DAY OF		, 20,
AT 0'CLOCKM,		

RECORDER OF DEEDS

STATE OF ILLINOIS COUNTY OF DUPAGE SS

STATE OF ___

THIS IS TO CERTIFY THAT OF THE PROPERTY DESCRIBED ABOVE AND AS SUCH OWNERS, HAVE CAUSED THE SAME TO BE PLATTED AS SHOWN HEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH AND AS ALLOWED AND PROVIDED BY STATUTES, AND SAID OWNERS, DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STILE AND THE APPORESAID.

DATED AT,	ILLINOIS,	THIS	DATE	DAY	OF	MONTH	20 YEAR	
BY:SIGNATURE		_ A	TTEST:			SIGNATURE		-
PRINTED NAME AND TO	TIF				P	RINTED NAME	AND TITLE	

OWNER'S CERTIFICATE

NOTARYS CERTIFICATE

STATE OF ILLINOIS COUNTY OF DUPAGE SS
I,, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY
PRINT NAME IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT
. AND
TITLE PRINT NAME TITLE SAID OWNER, WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES
ARE SUBSCRIBED TO THE FORGOING INSTRUMENT AS SUCH AND
TITLE RESPECTFULLY, APPEARED BEFORE ME THIS DAY IN PERSON AND
ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT OF SAID OWNER FOR THE USES AND PURPOSES THEREIN SET FORTH.
GIVEN UNDER MY HAND AND NOTARIAL SEAL
THIS DAY OF, 20, DATE MONTH YEAR
NOTARY PUBLIC SIGNATURE
PRINT NAME
MY COMMISSION EXPIRES ON ZO MONTH DATE YEAR

COUNTY OF }
, AS MORTGAGEE, UNDER THE PROVISIONS OF A CERTAIN MORTGAGE
DATED, A.D., 20 AND RECORDED IN THE RECORDER'S OF DEEDS
OFFICE OF COUNTY, ILLINOIS ON THE DAY
OF, A.D., 20_ AS DOCUMENT NO HEREBY CONSENTS TO AND APPROVES THE SUBDIVISION OF THE LAND AND THE GRANTING OF THE EASEMENT(S) DEPICTED HEREON.
DATED THIS DAY OF A.D., 20
PRINT MORTGAGEE NAME:
BY: ATTEST:
ITS: ITS:
MORTGAGEE NOTARY'S CERTIFICATE
STATE OF
THE UNDERSIGNED, A NOTARY PUBLIC IN THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT
(NAME) (TITLE)
OF AND (NAME)
(TITLE) OF
WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH

(TITLE)

AND (TITLE)

RESPECTIVELY, APPEARED BEFORE ME. THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT.

_____ DAY OF ___

GIVEN UNDER MY HAND AND SEAL

THIS

NOTARY PUBLIC ___

Civil & Environmental
Consultants Inc

__, AS MORTGAGEE, FOR THE USES AND

1230 East Diehl Road Suite 200 Naperville, IL 60563 Ph: 630.963.6026

PREPARED FOR: CHARLESTON INVESTMENTS, LLC 933 EAST OGDEN AVENUE NAPERVILLE, ILLINOIS 60563

PLAT OF SUBDIVISION

EXHIBIT E

SV02

SCHOOL DISTRICT BOUNDARY STATEMENT

STATE OF ILLINOIS COUNTY OF DUPAGE SS

THE UNDERSIGNED, BEING DULY SWORN, UPON HIS/HER OATH DEPOSES AND STATES AS FOLLOWS:

- 1. THAT

 ARE THE OWNERS OF
 THE PROPERTY LEGALLY DESCRIBED ON THIS PLAT OF SUBDIVISION, WHICH HAS BEEN
 SUBMITTED TO THE CITY OF NAPERVILLE FOR APPROVAL, WHICH LEGAL DESCRIPTION IS
 INCORPORATED HEREIN BY REFERENCE; AND
- 2. TO THE BEST OF THE OWNERS' KNOWLEDGE, THE SCHOOL DISTRICT IN WHICH TRACT, PARCEL, LOT OR BLOCK OF THE PROPOSED SUBDIVISION LIES IS:

: NAPERVILLE COMMUNITY UNIT DISTRICT 203 203 W. HILLSIDE ROAD NAPERVILLE, ILLINOIS 60540-6589

OWNERS:	
BY:SIGNATURE	ATTEST:
ITS:	
SUBSCRIBED AND SWORN BEFORE ME THIS	S DAY OF, 20_ DATE MONTH YEAF
NOTARY PUBLIC	

CITY TREASURER'S CERTIFICATE

STATE OF ILLINOIS SS

I, TREASURER FOR THE CITY OF NAPERVILLE, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS, OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE ANNEXED PLAT.

DATED AT NAPERVILLE, ILLINOIS, THIS _____ DAY OF____

CITY TREASURER/DIRECTOR, FINANCE DEPARTMENT

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS SS

APPROVED AND ACCEPTED BY THE MAYOR AND CITY COUNCIL OF THE THE CITY OF NAPERVILLE, ILLINOIS, AT A MEETING HELD

THE	DAY OF	, A.D., 20
BY:	MAYOR	ATTEST:

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS SS COUNTY OF DUPAGE

APPROVED BY THE CITY OF NAPERVILLE PLAN COMMISSION
AT A MEETING HELD THE ______ DAY OF ______, A.D., 20____,

BY:	CHAIRMAN	ATTEST:	SECRETARY

SURFACE WATER STATEMENT

STATE OF ILLINOIS SS

PRINTED NAME AND TITLE

DATED THIS __ DAY OF ______, 20__.

ILLINOIS LICENSED PROFESSIONAL ENGINEER NO. 46225 LICENSE VALID THROUGH NOVEMBER 30, 2025.

OWNER NAME:	
BY:SIGNATURE	ATTEST:SIGNATURE
PRINTED NAME AND TITLE	PRINTED NAME AND TITL

SURVEYOR'S NOTES:

- DISTANCES ARE MARKED IN FEET AND DECIMAL PLACES THEREOF. NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON.
- THIS SUBDIVISION MAY BE SUBJECT TO MATTERS OF TITLE, WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT. PRE-EXISTING EASEMENTS, SETBACKS AND OTHER RESTRICTIONS HAVE BEEN SHOWN BASED ON THE PIDELITY NATIONAL TITLE INSURANCE COMPANY ORDER NUMBER DWZ4015499 DATED AUGUST 26, 2024.
- 3. THE PROPERTY DEPICTED ON THIS PLAT MAY BE SUBJECT TO A CERTAIN DECLARATION OF PROTECTIVE COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED SEPARATELY FROM THIS PLAT.
- 4. BEARINGS SHOWN HEREON ARE REFERENCED TO THE ILLINOIS STATE PLANE COORDINATE SYSTEM, EAST ZONE. THESE COORDINATES HAVE BEEN ESTABLISHED UTILIZING A REAL TIME KINEMATIC (RTIX) GLOBAL NAVIGATION SATELLIE SYSTEM (GNSS) AND ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 (2011 ADJUSTMENT).
- MONUMENTS SHALL BE SET AT ALL PROPERTY CORNERS AND POINTS OF GEOMETRIC CHANGE IN ACCORDANCE WITH 765 LICS 205/1 UPON THE RECORDATION OF THE FINAL PLAT OF SUBDOMISON. UNLESS OTHERWISE NOTED, MONUMENTS SET ARE 3/4" DIAMETER BY 24" LONG IRON PIPE.
- THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLIMOIS MINIMUM STANDARDS FOR A SUBDIVISION SURVEY. CIVIL & ENVIRONMENTAL CONSULTANTS, INC., IS AN ILLIMOIS PROFESSIONAL DESIGN FIRM, LICENSE NUMBER 184.004002, EXPIRES APRIL 30, 2025.
- 7. NOTE RECARDING CITY OF NAPERVILLE REQUIRED LAND-CASH DONATION: THE LAND-CASH AMOUNT DUE FOR THE PROTESTY SHOWN HEREON PURSUANT TO PLAND ON A FER PERMIT BASE PRIOR TO ISSUANCE OF EACH BUILDING PERMIT FOR A RESIDENTIAL UNIT WITHIN THE PLATTED AREA PER RECTION 77-3-55.22 COSTING STRUCTURE.
 PERMIT WITHIN THE PLATTED AREA PER RECTION 77-3-55.22 COSTING STRUCTURE.

LAND SURVEYOR AUTHORIZATION TO RECORD PLAT

STATE OF ILLINOIS SS

THIS IS TO STATE THAT TRADITY MURPHY, AN ILLINGS PROTESSIONAL LAND SURPCIOR BROWN PREPARED AND CERTIFIED THE PLAT OF SUBDIVISION FERSON DRAWN, THILD 'CHARLESTON PACCE' DO HEREBY ALTHORIEST THE OFFO OF MARPHOLE OFFO CERTOR OFF THE OTTY CLERK'S OFFICE TO PRESENT SAID PLAT OF SUBDIVISION TO THE DUPAGE COUNT RECORDER OF DEEDS TO BE RECORDED.

GIVEN UNDER MY HAND AND SEAL THIS ___ DAY OF _____, 202_

TIMOTHY J. MURPHY
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-002870
LICENSE EXIPERS/RENEWS NOVEMBER 30, 2026
**HAND SIGNATURE ON FILE

SURVEYOR'S CERTIFICATE

I, TIMOTHY MURPHY, AN ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT FOLLOWING DESCRIBED PROFERTY HAS BEEN SURVEYED AND SUBDIVIDED UNIDER MY SUPPRISSION AND THAT THE PLAT HEREON DRAWN IS AN ACCURATE REPRESENTATION OF SAID SURVEY AND SUBDIVISION. ALL DIMENSIONS ARE GIVEN IN TEAT AND DECIMALS THEREOY.

AN ACQUIANT REFERENTIATION OF SAID SURVEY AND SUBDIVISION. ALL

DIMENSIONS ARE GIVEN IN FEET AND ECOMAS THEREOF.

PARCEL 1:

OF THE INDIFFLACT I/A OF SECTION 23 AND OF THE NORTHWEST I/A

OF SECTION 24. TOWNSHIP 38 MORTH RANGE 9, LEAST OF THE THERIPO PRINCIPAL

MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF

SAID SECTION 24. THENCE SOUTHERY ON THE WEST LINE OF SAID SECTION 24.

DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF

SAID SECTION 24. THENCE SOUTHERY ON THE WEST LINE OF SAID SECTION 24.

DESCRIPTION OF SAID SECTION 25.

DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF

OMINITIES WEST (RECORD) (MEASURED SOUTH 85 DEGREES 22 MINUTES 51

SECONDS EAST, 742, 30 FEET) TO THE CENTER LINE OF AMERICA ROAD

MINUTES WEST (RECORD) (MEASURED SOUTH 85 DEGREES 22 MINUTES 51

SECONDS WEST) AND/S SAID CENTER LINE AS DEFENCE OF 146, 60

(MEASURED NORTH 60 DEGREES 41 MINUTES 51 SECONDS WEST A DISTINCE OF

70.70.2): THENCH NORTH 85 DEGREES 20 MINUTES 51 SECONDS EAST, 51.0

FEET STANCE OF THE NORTH 85 DEGREES 20 MINUTES 13 SECONDS EAST SAID FEET

(RECORD) (MEASURED NORTH 85 DEGREES 20 MINUTES 51 SECONDS EAST 51.0

FEET STANCE OF SAID SECTION SECONDS EAST AD DISTINCE OF

70.02): THENCH SOUTH 50.0

MINUTES EAST EAST. FEET), THENCE SOUTH 9 DEGREES 44 MINUTES 13

SECONDS EAST, A DISTANCE OF 192.9 I FEET); THENCE SOUTH 9 DEGREES 12

MINUTES EAST ABOUT AND ADDITION OF 484.4 FEET); TO A POINT ON THE CENTER

44 SECONDS EAST, A DISTANCE OF 192.9 I FEET); THENCE SOUTH 9 DEGREES 12

MINUTES EAST ABOUT AND ADDITION OF 485.4 FEET) TO THE POINT OF THE MEAN OF THE SAID SECONDS

MINUTES EAST AND SAID CENTER LINE, A DISTANCE OF 455.0 FEET TO THE POINT OF THE MEAN OF THE SAID SECONDS WEST), ADDITION OF THE CENTER THE MEAN OF THE POINT OF THE MEAN OF THE SAID SECONDS WEST), ADDITION OF THE MEAN OF THE POINT OF THE MEAN OF THE SAID SECONDS WEST), ADDITION OF THE MEAN OF THE SAID SECONDS WEST), ADDITION OF THE MEAN OF THE SAID SECONDS WEST), ADDITION OF THE MEAN OF THE SAID SECONDS WEST), ADDITION OF

PART LYMG WITHIN THE MAYOR ESTATE SUBDIVISION RECORDED AS DOCUMENT AND TO THE NORTHEAST 1/4 OF SECTION 23, TOWNSHIP 58 NORTH, RANGE PARCEL 21:

PARCEL 21:

THE THE PRINCE PRINCE PRINCE PARCEL METERS AND THE NORTHEAST CORNER OF SAID DESCRIBED AS FOLLOWS: COMMENCION AT THE NORTHEAST CORNER OF SAID SECTION 23, THE THE CREEK SOUTHERY ADARD THE EAST LIME OF SAID SECTION 23, ADDITION 23, ADDITION 24, ADDITION 24, ADDITION 25, ADDITION 24, ADDITION 25, ADDITION 2

I, FURTHER CERTIFY THAT THE PROPERTY SHOWN ON THE PLAT HEREON DRAWN IS STILLATED WITHIN THE CORPORATE LIMITS OF THE CITY OF NAPERVILLE, WHICH HAS ADOPTED AN OFFICIAL COMPREDENSE PLAN AND IS EXERCISMED THE SPECIAL POWERS AUTHORIZED BY THE STATE OF ILLINOIS ACCORDING TO 65 ILCS 5/11-12-6, AS HERETFORCE AND HEREATTER MEMORED.

I, FURTHER CERTIFY THAT THE FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NUMBER 17043:0143J WITH AN EFFECTIVE DATE OF AUDUST 1, 2019 INDICATES THAT THE ABOVE DESCRIBLED PROPERTY LIES WITHIN AN AREA DESIGNATED AS ZONE X (DEFINED AS AREAS OF MINIMAL FLOOD HAZARD). THIS DOES NOT GUARANTEE THAT THE SURVEYED PROPERTY WILL OR WILL NOT FLOOD.

GIVEN UNDER MY HAND AND SEAL THIS ____ DAY OF ___

TIMOTHY J. MURPHY ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR NO. 035-002870 LICENSE EXPIRES/YERNEWES NOVEMBER 30, 2026 *HAND SIGNATURE ON FILE



1230 East Diehl Road Suite 200
Naperville, IL 60563
Ph: 630.963.6026

PREPARED FOR: CHARLESTON INVESTMENTS, LLC 933 EAST OGDEN AVENUE NAPERVILLE, ILLINOIS 60563

PLAT OF SUBDIVISION

SV02

REFERENCE

1. DEPUM CHARTEN AFE MEZO NI CHI, & DIMERAMENTIAL, MC. PELD DAN

1. DEPUM CHARTEN AFE MEZO NI CHI, & DANGAMENTIAL, MC. PELD DAN

2. PELD DANNE LLUXOS STRIF PAME MANDS (2011) – U.S. SAMEY POST.

3. MACERSONANO CHIR ANGAMINNI SAMM PEREDI KS BESCH JAVA RED

OBERNATORS CHI NOMEMER 7-15, 2021 AND MANUALE UTILITY ATLASES.

2000 A 30.00 EINE
ADDOSED TRENCH BACKFILL
PRODSED CONCRETE
PRODSED PARADRIT
PRODSED FREHAP
PRODSED STREPHO LECTION CONTROL CARRETT (ABOVE

THE PROPAGE

THE TOTAL THE CONTROL CARRETT (ABOVE

THE TOTAL THE CARRETT (ABOVE

THE TOTAL THE CONTROL CARRETT (ABOVE

THE TOTAL THE CAR INDEX (MAJOR) CONTOUR
INTERNEDIATE (MINOR) CONTOUR
DOSTING FENCE LINE
EXISTING WOOD FENCE LINE CABLE MANHOLE
PIBER OFTIC BOX/CABINET (ABOVE GRACE)
PIBER OFTIC MANHOLE
GAS LINE MANGER
MANHOLE (UNKNOWN) EDGE OF PAVEMENT EDGE OF GRAVEL PAVEMENT SHOULDER UNDERLYING PROPERTY LINE CENTER LINE PROPOSED SLOPE LABEL
PROPOSED SPOT ELEVATION
TOP OF WALL ELEVATION
TOP OF CHAR ELEVATION
TOP OF CHAR ELEVATION
FLORLINE ELEVATION
SANITARY MANHOLE STORM PIPE STORM LINE WATER LINE TRANSFORMER ELECTRIC METER TELEPHONE LINE TELEPHONE BOX/CABINET (ABOVE GRADE) TARY SEWER LINE

CHARLESTON PLACE NAPERVILLE, ILLINOIS 60540 FINAL ENGINEERING PLANS 1103 AURORA AVENUE,

BOUNDARY PROPERTY LINE PROPERTY LINE RIGHT-OF-WAY



C000 C001

EXISTING CONDITIONS SITE SPECIFICATIONS - 2 SITE SPECIFICATIONS - 1

DEMOLITION PLAN

SITE SPECIFICATIONS - 3

Sheet Number

COVER SHEET

Sheet List Table

Sheet Title

SITE MAP

C100 C100 C200 C300 C300 C302 C302 C302 C303 C2400 C500 C500

AURORA AVE - PAVEMENT MARKING PLAN
STORMWATER POLLUTION PREVENTION PLAN

UTILITY PLAN - SITE

GRADING AND UTILITY PLAN - OFFSITE AURORA AVENUE IMPROVEMENTS

GRADING PLAN - SITE DIMENSION PLAN

OFFSITE SANITARY - STA 5+00 TO 9+60

OFFSITE SANITARY - STA 0+00 TO 5+00 CHARLESTON PLACE PLAN AND PROFILE-EAST CHARLESTON PLACE PLAN AND PROFILE-WEST

REFERENCE BENCHMARK:

BERNTSEN 3D TOP SECURITY MONUMENT IN 6" PVC PIPE WITH BMAC 6" ALUMINUM ACCESS COVER SOUTH SIDE OF AURORA AVENUE (STATION #19) ELEVATION=707.72 (NAVD88)

'X' IN TO SOUTH SIDE OF AURORA AVENUE $\pm 3^{\prime}$ WEST OF EASTERLY PROPERTY LINE OF SUBJECT SITE EXTENDED. ELEVATION=708.34 (NAVD88)

 $^\prime \mathrm{X}^\prime$ in TC south side of aurora avenue $\pm 58^\prime$ east of Westerly Property line of subject site extended. ELEVATION=707.94 (NAVD88)

C809

DETAILS 10 STORMTRAP

C3001 C3002 C3003 C3004 C3005	DETAILS - 2 DETAILS - 3 DETAILS - 4 DETAILS - 6
C801	DETAILS - 2 DETAILS - 3
C803	DETAILS - 4
C804	DETAILS - 5
C805	DETAILS - 6
C806	DETAILS - 7
C807	DETAILS - 8
C808	DETAILS 9 STORMTRAP

PROJECT TEAM

CHARLESTON DEVELOPMENT GROUP, INC. PO BOX 226 NAPERVILLE, ILLINOIS 60566 PH; (630) 414-1480 CONTACT: ERIK VAN SOMEREN

CIVIL & ENVIRONMENTAL CONSULTANTS, INC. 1230 EAST DIEHL ROAD, SUITE 200 NAPERVILLE, ILLINOIS 60563 PH. (830) 983-8026 CONTACT: JIM CANEFF, P.E.

CIVIL ENGINEER

CHARLES VINCENT GEORGE ARCHITECTS
1245 E. DIEHL ROAD, SUITE 101
1246 E. DIEHL ROAD, SUITE 501
12

GIVEN UNDER MY HAND AND SEAL THIS 18TH DAY OF MARCH, 2025. I, JAMES G, OARTE M, ILLINGS BROETSONAL DRIVERS HERRY CERTIFY THAT HERS FLAKS HAVE BEEN PERSAND BY ONLY E THORNOLUSING CONSULTANTS, INC., ILLINGS LECKSED PROFESSONAL CERSON FROM NO CERTIFY OF THE DESCRIPTION OF THE WORLD WITHOUT THE WORTHEN FOR THE OFFICE AND THE WORTH AND THE WORT James J. Can

STATE OF ILLINOIS SS

DIS LICENSED PROFESSIONAL ENGINEER NO. 46225 TRATION VALID THROUGH NOVEMBER 30, 2025 VALID WITHOUT ORIGINAL SIGNATURE)

© COPYRIGHT 2025 CIVIL & ENVIRONMENTAL CONSULTANTS, INC. ALL

CITY PROJECT NO. 24-10000142 C000

COVER SHEET

1230 East Diehl Road Suite 200 Naperville, IL 60563 Ph: 630.963.6026

REVISION RECORD

ILLINOIS LAW REQUIRES ANYONE DIGGING
TO CALL JULIE AT 1-800-892-0123
AT LEAST 48 HOURS/TWO WORKING DAY
PRIOR TO THE START OF EXCANATION
AND THE PROJECT MUST BEGIN WITHIN
14 CALENDAR DAYS FROM THE CALL

Interpretation of the control of the control

CHARLESTON INVESTMENTS, LLC
CHARLESTON PLACE
1103 AURORA AVENUE 1103 AURORA AVENUE EXHIBITA Pironmental NAPERVILLE, ILLINOIS 605

www.cecinc.com

PROJECT TECHNICAL SPECIFICATIONS

- activities and improvements shall be in accordance with the Governing Agency regulations. In the even with these Project Technical Specifications, or the indicated Reference Specifications, the Governing utations shall apply.

- ral. State, and local requirements, together uding employees) and property. It is the II safety requirements, precautions, and

- wrett the issue:
 Some the issue, and testing shall be performed by an independent testing agency/laboratory with
 toos underproprieme. The testing entity shall be resined by Commator or Owner, as required or as
 Contract Documents.

EXISTING CONDITIONS & SITE PREPARATION

- s reset by a licenses surveyor at Contractor expense.

 5, and features to remain. Any items to remain that have been be repaired or replaced at Contractor expense.

- TRAMPARANY CONSTRUCTION FENCING.

 In some indicated as the Plans and where regarded by the Engineer to send one construction and control where the control was a sub-free control from control was and force a deal for manufactured where a law work activities are completed.

 In temperary contentions forces shall consist of disactivity plansing their, must laterile, would link force the control dispersed by the planting time for the softening almost the sub-free read to produce the control of the con
- TREE AND LANDSCAPE PROTECTION

 (1) Highly visible temporary fences shall be placed around trees and landscape areas designate Vehicles, equipment, and material storage shall not be allowed within the protection zone.

- cofessional engineer and/or authorized of the project work. or licensed professional engineer and/or with the principles, properties and behavior of

- wher and Engineer for any and all injuries and/or damages ing in the course of the site improvement construction Specifications. mits in accordance with local, state, and federal

- 1. TORSOIL AND ROOTHAT RELOVAN.
 (1) Distanting beard that the removal from proposed parameter and building at successful fill care. Sufficient examing legard shall be accessfully for failure and the proposed parameter for the proposed selected by Outser, to acceptable create for further use. Such place parameter for the proposed selected by Outser, to acceptable create which the number of the proposed parameter for the proposed parameter f

- develop a stability satisfactory to the material or any material which, by decay

- tals removed from existing pavement areas may be used as , and compaction control by Geotechnical Engineer. a used of fine-gained solls within the CL classification that have a content greater than optimum and are free of stones bigger than 1

EARTHWORK OPERATIONS

- Owner's Guare use. I retermore, remerces, not removed the control of the control

- I. GARDING TOLERANCES

 (1) Surface devation ship within the following inclinated internaces.
 (1) Surface devations ship within the following inclinated internaces.
 (1) In these vehicle, perfection, and definings control powereds, and building floor slabes -0.08 to -0.04

 (a) Thomatogerated and automorater behaves (1.00 to -0.0)

 (b) Eminingerated and internated and follower of the finite power and the finite and follower of the finite power and finite power and slapes entered and finite and within the limits of floridings, instrumer, or powerent shall be graded to 6 minutes below the fundanced deviations of house for the proposite power motions of three the charter of the Finite fundament of the finite power of the following the follo

- Il placement and construction of berms shall be removed irected by the Owner to stockpile on-site for future use.

- material from off-site sources as necessary to dicated on the Plans. Structural fill materials tractor shall provide the Geotechnical valuate materials.

- which so what dispegar matures shall be sampled and teach to determine the theoromy of what of the material. In closure tests shall be performed to determine the control values for each type and source. One set of theoremy materials makes any and agramm measure content shall be performed to determine any of the performed control of the material, and when any oftenge in material seven that may offer the opposition of the control of the material, and when any oftenge in material seven that may offer the opposition of the control of the contro
- NewSorization Artism. The top 40 brokes of schristing subgrade and all types of contents cold and settlempted granular fill materials hall be compacted to all sets of fire maximum by findings, as determined by the Standard December (ASTM DESIGN, 1998). These design and an intention (ASTM DESIGN, 1998) are subjected and a intention (ASTM DESIGN, 1998). The Standard December (ASTM DESIGN, 1998) are subjected and intention (ASTM DESIGN, 1998). The Standard December (ASTM DESIGN, 1998) are subjected to the subject of the size of the size of the Standard December (ASTM DESIGN, 1998). The Standard December (ASTM DESIGN, 1998) for the Standard December (ASTM DESIGN, 1998) for cold managing propagation and an intention (ASTM DESIGN, 1998).
- subgrade and all layers of cohesive soil and well-graded granular fill maximum dry density, as determined by the Standard Proctor Methor soil materials (ASTM D4253 & D4254) shall be placed and
- washer, Daring manable washer, moissine content asts alls be performed as determined by Gorcechinad 100. White present area, see in picked stempt set alls be performed for each (A100 quant field, or furnish a flowerfor of each fill of manufall placed during sold day.

 (c) Daries that sing meanture proud about a first administration, once p-place cleanity set adult be performed for each 3100 quant feet, or flimition showed of each fill of manufall placed during sold day.

 It is not also that the properties of the content placed during sold day.

 It is not also that the properties of the content placed during sold day.

 It is not provided that the properties of the content placed during sold day.

 It is not provided of each fill mentand placed during sold feet, and the performed for each footing, of each lift of mentand placed during sold day.

- . SANITARY SEWERS SYSTEMS

 (1) See City of Naperville Department of Public Utilities

- E. WATER SUPPLY SYSTEMS (1) See City of Naperville De
- A GRYREAL.

 (1) All neathers, threeway, parking area, atorage area, and sidernall, powements (minding carbs and doublers) shall be countered in accordance with the maniful and installation requirements of the current eithers of the 100T Samulad Sportfalization, except when such a questionness are considered by the following Protest Technical Sportfalizations.

 (2) Proventum unkeign and markers and traffic control signs and devices, shall be provided, installed, and emoved in accordance with the equipments of the 100T Samulad Sportfalizations, except where said requirements are modified by the following Protest Technical Sportfalizations.
- C001

to and strength of material in place.

so assumation by the (two-technical Engineer to obtain the required to such and well-graded appropriate matters shall be sampled and tested to determine the theorate y indicately and optimum most second countred when you of the material. The test method shall be ten manded to indicate below.

TOPSOIL PLACEMENT

(1) Topsoil shall be placed on all of the following areas. Minimum topsoil depth shall be 6 inches unless otherwise indicated on the Plans. Topsoil placement shall include grading and shaping to required final contours and indicated on the Plans. Topsoil placement shall include grading and shaping to required final contours and

(a) All project green, landerings, or don't repetated areas infeated on the Plans.

(b) All improved office near managed by insulfations of proposal resoluted inflience of powerounds.

(b) All improved office near deservice by project associated activities.

(c) All improved office near deservice by project associated activities.

(c) All improved office near deservice by project associated activities or poweround activities of the relativistic of the Plans. The placed manual shall be chance as inflience of the Plans. The placed manual shall be chanced as the plans, as welface as part to daing allies of the plans. The plans of the plans, as welface as the daing all plans of the plans o

SANITARY SEWERS, STORM DRAINAGE AND WATER SUPPLY SYSTEMS

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de, to-colaritating, informad brimations united in timed it. Created 1021 or approved require were the course of the transition and be influenting in A. Alick board of sometime, in SEN COSI, 1 yes S. Codes SS, shall be upplied that in the colaritation colorium in the SEN COSI, 1 yes S. Codes SS, shall be upplied that in the part and revenue the admitted in the solid transition. The section of remained and that in the colorium is the section of the colorium and the colorium and

location of sewer stubs and building services shall tahall stand aboveground. The top 6 inches of the orange; storm - yellow; water - blue), the cost of sewer and water main construction.

SEPARATION OF WATER MAINS AND SEWERS
(1) HORIZONTAL SEPARATION
(a) Water mains shall be located at least 10 feet hori-

impossible to meet (i) or (ii) above, the sewer shall be encased in a water-light pipe or constructed type meeting water main standards. The sewer shall also be pressure tested to maximum expected head before backfilling, in the sewer shall also be pressure tested to maximum expected head before backfilling.

(b) Whenever a water main consect analysty sover or a stem sever, the water main still be superated from the career to shall be belong of the sever. This water main is always to the factor of the factor of the sever that he belong of the water than its always to the sever that he belong of the water than its analyst that the propositional confect electrons of the O.D. of the sever cround. Insulant which it follows the control of the object of the sever cround be maintained between a sever much as water main, the water man shall be produced by means of easy of the delaying probable.
Whenever the copied by the present of easy of the delaying probable.
In the control of the object of the copied by the copied of the copie (measured perpendicular) of the O.D of the water main.

(ii) local clader the sever or care main within a warright using pipe for a distance of 10 feet each side of

(iii) local clader the sever or care main within a warright casing pipe). Sail both made of the

ten crossing (measured perpendicular with line not provided with the ensing pipe). Sail both made of the

casing with hybratic gain considerate with line not provided with the ensingency of

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1230 East Diehl Road Suite 200 Naperville, IL 60563

REVISION RECORD

SITE SPECIFICATIONS - 1

CHARLESTON INVESTMENTS, LLC
CHARLESTON PLACE
1103 AURORA AVENUE EXHIBITE Concurrental
NAPERVILLE, ILLINOIS 605

ans. All signs shall conform to applicable size, of Uniform Traffic Control Devices and IDOT to IDOT Standards 720011 and 729001 and IDOT mensions and spacing specified in the Illinois mediad 780001.

shown on the Plans. Marker materials and installation pacing specified in the Illinois sodded, and planted surfaces I and erosion potential has n measures shall be subject to required by the Governing activities within the time.

Second the control was a control seading of excussed, filled, graded, or otherwise disturbed. Observations to be useful for interpretable properties are controlled as the control of the c DRAINAGE CHANNELS AND SWALES

(1) Drainage channel and swales shall be stabilized and protectlular confinement system, seeding, and/or turf reinfor

rized for topsoil replacement will be considered by construction operations shall be sodded and

with Sections 250 and 251 of the IDOT Standard

opinjemen to be used in preferencing this wisk, page in sturning any such work.

After repeated required have been pleased and good and many to be could adult to the required of all the repeated to the property of the repeated property and the repeated and the send post and good and the repeated to the property of the repeated to the repeated to the property of the repeated to the property of the repeated to th

and the control of th

protected in accordance with the Plans.

In activities, but not within the Project disturbed limits,

I sacely unless a different type of seed mixture is

se sected areas shall be protected with a wood /

ded chemical tackfire.

I seed with turf grass sod to match original conditions.

ROSION CONTROL BLANKETS
 Seeded areas shall be covered with erc
 required by Engineer. These blankess of these project Technical Specifications

REVISION RECORD

C002 SITE SPECIFICATIONS - 2

PERMANNET IT BE REINVERCHEMENT MAYS.

(1) As a temporal of permanent mension procedus, open seed and temporal with und reinforcement man (postprosphere fiber manny product) where tokended on the fiber and where required by Engineer. There mans a shall be produced by the fiber of the control of the fiber of the control of the fiber of the fib

lising) shall be in accordance with Section 252 of the IDOT Sandard Specifications, as If and as specified herein. Sod material shall be in accordance with Article 1081.03. It is old grown on soll high in originic material such as peut will not be acceptable.

(3) Contractor shall be res established.

Type 4: Knitted coconut fiber blanker and top and bottom UV stabilized polypropylene nets; North Au

Type 2: Mat of wood fiber m Excelsior Company Curlex II or equivalent.

whicle pavements shall be given a linseed of rate of not more than 50 S.Y. per gallon of

1230 East Diehl Road Suite 200 Naperville, IL 60563 Ph: 630.963.6026

CHARLESTON INVESTMENTS, LLC
CHARLESTON PLACE
1103 AURORA AVENUE
NAPERVILLE, ILLINOIS 605

CHARLESTON INVESTMENTS, LLC

CHARLESTON PLACE

1103 AURORA AVENUE

NAPERVILLE, ILLINOIS 605

WATER/WASTEWATER GENERAL NOTES

r scheduling, ampleted by the contracto r on the plans shall be o r 2 adjusting rings shall b

re fitness abille to fash with faul grade. It is refined to the first of the property of the control feeders, undustry powers, the madded a minimum of the (x) ject bordenninly from undergrand electrical feeders, under suitable property of the property of encased in polyethylene film Polyethylene

Notif Chiefs, and wasters, Type 24 or better, will be copiuted on all water main installations. This thans, suppling devers, where, fittings, retaining, and other appurencesses borded on in valve waste, and retained gloads require. 244 sanities used if Toolas. An anti-science compound shall be faceopy one—any damage in this constrained shall be require with field applied approved anti-science compound that see labricatis. Boards News-Sector approved equal.

water shall be constructed, tested, and placed into service in n and Specifications for Water and Sewer Main Construction in is, hydranis, and manholes shall not be covered with construction ance with City of Naperville , Latest Edition. is and shall remain accessible

with less than 4 feet or more than 25 feet of cover shall be constructed of ductile iron piping (Class 50,

installed a minimum of 5 feet from any water or suitary mains when maining parallel with them. Bled reassing water or suitary mains, the posts she he located to have the maining parallel with the post should be located to have the maining parallel may promote them. Sometimes are suitary maintenance with NSF 61 and NSF 372 and identified to be lead free in compliance with NSF 61 and NSF 372 and identified to be lead free in compliance with NSF 61 and NSF 372 and identified to be lead free in compliance with NSF 61 and NSF 372 and identified to be lead free in compliance. . Where

e Main - Force man shall be tested a minimum of 1 hour at 1.5 the shut off head of the pump, 2.5 times sume, or 20 pis whichever is greatest. Allowable tealuage shall be in accordance with section 41-2.14C of finations for water and sewer construction.

Manholes shall be finnished with a self-senting frame and solid cover (Neemsh Foundry R-1772-K). Hast Jordan from Works 1022-3, or equal approved by the City Engineer) with the word "Smaltery" imprinted on the cover in missel letters (see Sanachan Detail SAN 3). Frames and idea shall meet or exceed AASHTO H-2D loading specifications.

Boll-down frames and covers shall be Neenah Foundry R-1916-F1. East Jordan from Work by the City Engineer. Frames are to be bolted to cone. Boll-down frames shall be used w ks 1040 ZPT or equal approvo

to or fiberized rings. Brick or concrete a will be with a roadway area. Final th Sections 602 and 603 of Standard next of Transportation, latest edition.

and NSF 372 and id-

our at 1.5 times the shut off head of the pump, 2.5 times the leakage shall be in accordance with section 41-2.14C of the

retain to the Class St. All decide non-piec is to be extended in polychylete film P, annalided in accordance with ASSA/AWA/CIGGAL 2455.

SHORT AND ASSA/AWA/CIGGAL 2455.

SHORT ASSA/AWA/CIGGA

pattern, gate valves and shall have the name or mark of the manufactures of letters on the valve body. Valves may be approved from one of the folk

c Utilities does not guarantee that my valve or drostatic-leakage test. The Contractor is solely be provisions around existing valves and fittings. "NOT IN SERVICE" until all testing and disint

is the market wind T shall be tops. K copper, If Justice are required does to length of service, that only tops continged shall be permissed, to solvedoor of large type solver all between the control of solvedoor of large type solver all between manabets shall be used for leadage by sovenin noting. The number models frame and adjusting rings shall be in testing. Any back shall be regarded from excepts of members, pushing used of massive shall not recovered for the number of the control of the stream of the control of the cont

nol diameter. 26 seconds
and second
and second

EULLY GALVANIZED CORRUGATED STEEL PIPE - FULLY GALVANIZED CORRUGATED STEEL PIPE MAY BE URED FOR RESIDENTIAL DRIVEWAY CROSSINGS ONLY WHEN A DITCH SECTION IS PRESENT THE MINIMUM CULVERT SIZE IS 12" DIAMETER.

IEDDING, OTHER THAN CONCRETE EMBELMENT, SHALL CONSIST OF GRAVEL, CRUSHED GRAVEL, OR CRUSHED STOME 14 HOLT TO I INCHE MISCE, AS A MUMMUM, THE MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF IDOT STANDARD SPECIFICATIONS. THE GRADATION SHALL CONFORM TO GRADATION CA-7 OR CA-1 OF THE STANDARD SPECIFICATIONS.

BACKFILL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF IDOT STANDARD SPECIFICATIONS. THE GRADATION SHALL CONFORM TO GRADATION SCA-GO THE STANDARD SPECIFICATIONS. BACKFILL MATERIAL SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.

NOWS CONSECTIVE DESIGNATE HE MATERIALS SHALL HE MADE WITH SWEET CLAPE NAV-SHELA.
THE CORT LINKS, CASCA DATE WAS THE MATERIALS SHALL HE STANDAY OF THE THE MADE OF THE MADE OF

MANIOLES FOR STORM SEWERS SHALL HAVE A MINIMUM INSIDE BIAMETER OF 48 INCHES AND SHALL BE CONSTRUCTED OF PRECAST COME RETE UNITS IN ACCORDANCE WITH ASTIM CAPAGI (OR LATEST EDITION) AND SHALL CONSPAND TO THE CITY OF AMERIKELL SHANDARD DEFIAL INCAMANIOLES SHALL DE WATER-FORIFI ALL VISIBLE LEANS SHALL BE SEALED IN A MANNER. ACCEPTARALE TO THE CITY ENGINEER.

MANDLES SIALL HE LEWISHID WITH, SELES SELESTE RAW AND SHIP OF THE USE IN SHAP WHICH AND SHIP OF THE COURT IN SHIP OF THE COURT IN SHOP LETTERS, ALL PANES AND LINES SHALL MEET OF EXCELS AND AND HE COURT IN SHAP AND SHAP AND HE COURT AND THE COURT IN SHAP AND THE COURT AND THE COURT IN SHAP AND THE COURT IN S

MANOJE EPIS OMAZNAM JO KAJEVIES BAJAL BEJENSEND WITH EACHAMHOLE.
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BEGUERLY AMENDED IN JAGE TER 10 VERTICAL ALLAMBENET, IN ACCORDANCE WITH THE
AMENDALIS FANDAD DETAILS STEPS SHALL BE COPPLY MER PAL PROPRIEDE BENEVORCED WITH
L'INCHAIN STANDAD DETAILS STEPS SHALL BE COPPLY MER PAL PROPRIEDE BENEVORCED.
L'INCEDING ASSIG C'REAS (DE LATES TEDITON) AND OSHA STANDARDS.

GENERAL NOTES

THE OWNER OR HISHERTHEIR REPRESENTATIVE IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED BY APPLICABLE GOVERNMENTAL AGENCIES.

ALL WORK SHALL BE PERCORMED IN ACCORDANGE WITH THE CITY OF NAPEGULLE DESIGN ANAMA.
AND STANDARD SPECIFICATIONS (CHERENT EDITION) AND WHITH THE LIMIOSS EPERAPHICATION OF TRANSPORT OF TRANSPORTATIONS "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (CURRENT EDITION).

ALL CONTRACTORS DOING WORK IN THE PUBLIC RIGHT-OF-WAY MUST BE LICENSED (WHEN APPLICABLE) TO MAKE PUBLIC IMPROVEMENTS WITHIN THE NAPERVILLE CORPORATE LIMITS

THE CONTRACTOR/DEVELOPER ASSUMES ALL RESPONSIBILITY AND LIABILITY FOR ANY ACTION RESULTING FROM THEIR WORK WITHIN THE PUBLIC RIGHT-OF-WAY.

PRODA TO COMMENCEMENT OF ANY OFF-SITE CONSTRUCTION, THE CONTRACTION SHALL SECURED PRODA TO COMMENCEMENT OF ANY OFF-SITE CONSTRUCTION, AND ALL OFF-SITE EASEMENTS HAVE BEEN SECURED AND THAT PREMISSION HAS BEEN GRANTED TO ENTER ONTO PRIVATE PROPERTY. THE CONTRACTOR/DEVELOPER SHALL INDEMNIFY AND HOLD HARMLESS THE CITY OF NAPERVILLI

HE CONTRACTOR AND THER ON-SITE REPRESENTATIVES WILL BE REQUIRED TO ATTEND A PREACONSTRUCTION METETING WITH THE OTTOP E NAREPULLE PROB TO ANY WORKS BEINS GYBTED A PREACONSTRUCTION MEETING WILL NOT BE SCHEDULED LUVILL THE PRODECT HAS BEEN APPROVED BY THACTORY MATERVILLE DEVELOPMENT REVIEW THAM AND THE REQUIRED SUREIT HAS BEEN POSTED.

A MINIMUM OF 48 HOURS NOTICE SHALL BE GIVEN TO THE CITY OF NAPERVILLE TED BISINESS GROUP (GG42D-GB2) PRIOR TO STARTING WORK OR RESTARTING WORK AFTER SOME ABSENCE OF WORK FOR ANY REASON.

IT SHALL BE HE CONTRACTORS RESPONSIBILITY TO ADEQUARLY IDENTIFY AND LOCATE ALL EXISTING UTILITIES ROPE TO EXCHANGING BEDNET HANTING CONSTRUCTION, THE CONTRACTOR SHALL CONTRACTOR HE LOCATION OF ANY AND ALL UTILITIES, THE TOLL-RECE NUMBER IS SUGGREDULD IT OF THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ANY PRIVATE FACILITIES ON NON-JULE MEMBER FACILITIES.

THE CONTRACTOR CAN SCHEDULE ALL NECESSARY SITE INSECTIONS WITH THE CITY OF MADERIC LIGHTS OF SOME AND JOING MICHAEL SHOWN AND SAME ACCUSED LORDY NAMES WILLE BY CALLING (600 DELANGE SETWINEN THE MINISTER OF SOME AND JOING MICHAEL SHOWN AND JOING MICHAEL SHOWN AND JOING MICHAEL SHOWN WHEN THE CITY IS OPEN FOR BLISNESS THE CONTRACTOR WILL HE REQUIRED TO PROVIDE THE SITE PERMIT NUMBER FOR THE PROJECT IN ORDER TO SCHEDULE THE SITE PERMIT NUMBER FOR THE PROJECT IN ORDER TO SCHEDULE THE SITE PERMIT NUMBER FOR THE PROJECT IN ORDER TO SCHEDULE THE SITE PERMIT NUMBER FOR THE PROJECT IN ORDER TO SCHEDULE THE SITE PERMIT NUMBER FOR THE PROJECT IN ORDER TO SCHEDULE THE SITE PERMIT NUMBER FOR THE PROJECT IN ORDER TO SCHEDULE THE SITE PERMIT NUMBER FOR THE PROJECT IN ORDER TO SCHEDULE THE SITE PERMIT NUMBER FOR THE PROJECT IN ORDER TO SCHEDULE THE SITE PERMIT NUMBER FOR THE PROJECT IN ORDER TO SCHEDULE THE SITE PERMIT NUMBER FOR THE PROJECT IN ORDER TO SCHEDULE THE SITE PERMIT NUMBER FOR THE PROJECT IN ORDER TO SCHEDULE THE SITE PERMIT NUMBER FOR THE PROJECT IN ORDER TO SCHEDULE THE SITE PERMIT NUMBER FOR THE PROJECT IN ORDER TO SCHEDULE THE SITE PERMIT NUMBER FOR THE PROJECT IN ORDER TO SCHEDULE THE SITE PERMIT NUMBER FOR THE PROJECT IN ORDER TO SCHEDULE THE SITE PERMIT NUMBER FOR THE PROJECT IN ORDER TO SCHEDULE THE SITE PERMIT NUMBER FOR THE PROJECT IN ORDER TO SCHEDULE THE SITE PERMIT NUMBER FOR THE PROJECT IN ORDER TO SCHEDULE THE SITE PERMIT NUMBER FOR THE PROJECT IN ORDER TO SCHEDULE THE SITE PERMIT NUMBER FOR THE PROJECT THE SITE PERMIT NUMBER FOR THE SITE PERMIT NUMBER FOR THE PROJECT THE SITE PERMIT NUMBER FOR TH

RECORD DRAWINGS ARE REQUIRED TO BE SUBMITTED AND APPROVED BY THE CITY OF NAPERVILLIPRIOR TO FINAL OCCUPANCY BEING GRANTED.

L PARLA ACCEPTANCE OF RULL (NEW CHEMEN SHALL BE GRANTED ONLY AFTER A HANA.

INSPECTION HAS BEEN COMBETED AND HAS REPEALED INTO ALL HERWINSTEN HAS BEEN ACCORDANCE WITH HE NAFEMLE STANDARD SECTED HE SEEN ACCORDANCE WITH HE NAFEMEL SEEN AND AND SECTED HE CITY OUT HERE AND FROM SECTED HE CITY OUT HERE AND FROM A HANAL CODE.

STORM SEWER NOTES (GENERAL)

THE CONTRACTOR SHALL REPAIR ANY EXISTING HELD DRAINAGE TILE DAMAGED DURING CONSTRUCTION AND PROPERLY REPORTED AND OR CONNECT SAID TILE TO THE NEAREST STORM SEWER OUTLET, ALL OCATIONS OF EXOLUTIVEED HELD DRAINAGE TILE SHALL BE PROPERLY INDICATED ON THE CONTRACTOR'S RECORD DRAININGS. NO CONNECTION TO AN EXISTING PUBLIC STORM SEWER MAY BE MADE WITHOUT PERMISSION OF THE CITY ENGINEER.

STORM SEWER NOTES (STORM SEWER WORK IN PLANS) THE POLLOWING MATERIALS ARE PERMITTED FOR STORMA SEWER AND PIPE CULVERTS. WHERE A PRATICULAR MATERIAL IS SPECIFIED IN THE PLANS OR SPECIAL PROVISIONS, NO OTHER KIND OF MATERIAL WILL BE PERMITTED.

BURNORED CONCRETE PER SEQ", BENNORED CONCRETE PER SEAL CONFROM TO ANY DISCONDING SECTION CONCRETE PER SEAL AND SEA PER LANGUAGE DE THE CONCRETE PER SEAL AND SEA PER LANGUAGE DE THE CONCRETE PER SEAL AND SEA PER LANGUAGE DE THE CONCRETE PER SEAL AND SEA PER LANGUAGE DE THE CONCRETE PER SEAL AND SEA PER LANGUAGE DE THE CONCRETE PER SEAL AND SEA PER LANGUAGE DE THE CONCRETE PER SEAL AND SEA PER LANGUAGE DE THE SEAL AND SEAL A

MON-REBINGED DOURSETE BUTE, "AND-REFNORED CONCRETE BUTE SHALL BE ALLOWED FOR BUTES WHITE A BINATURE WAS ANALLER MANETER MOVERNING CONCRETE BUTES SHALL CONTROL TO ASTAM DESIGNATION C 14 CLASS, SETUMMOSS SINCES SHALL CONTROL TO ASTAM DESIGNATION C 14 CLASS, SETUMMOSS SINCES SHALL CONTROL TO ASTAM DESIGNATIONS C1 ABOVE THE AND SETUMMOSS SINCES MAY BE ANALLER MANETER AND SETUMMOSS METERS AND SETUMMOSS DESIGNATION OF SHALL CONTROL OF SHALL SHALL CONTROL OF SHALL CON

MONYNING CHILORIDE PIER EWO , POLY VINYI CHILORIDE RWO, PIER SHALL CONRORA TO ANNO DUAL TIPRE ISAN THE ANNIMANIANA JANANDO DUALSIONE ARTHO O SINS HALL BE SA THE PIER SHALL HE MADE OF PICY ELASTIC HAVING A MINIMAN CHLI CLASSIFICATION OF 1254-CE, AND SHALL HAVEA, ANNIMALE METASTORITIES COS FORT NOSIGNED BY RAINCH (SIT KPA), JOHN'S FOR FVIC PIER SHALL BE FILIZHBE LASTORITIES CALAS PER SANTO DE 212.

CHEST, BATCHEST AND CHESTORY STREET HER STREET, STREET HER STREET, STR

ALL OPEN GRATE STRUCTURES SHALL HAVE EROSION CONTROL PROTECTION IN ACCORDANCE WITH THE APPROVED BOSION CONTROL PLANS. INLET BASKETS ARE THE PREFERRED METHOD, STRAW BALES SHALL NOT BE USED.

THE DEVELOPER AND CONTRACTOR SHALL HAVE THE REPONSIBILITY TO ADRIQUATELY PROTECT THE PAYEMENT NAN DEPORETY, CHEM AND GUTTER AND GITHE REGIT—PAWN DIREPONEDENTS. WHICH THE PAYEMENT AND THE REGIT OF THE CONTRACTOR TO PROTECT AGAINST SUCH DAMAGE SUFFICIENT MEANS SHALL BEEARFOUND BY THE CONTRACTOR TO PROTECT AGAINST SUCH DAMAGE TO THE SATISFACTION OF THE CONTRACTOR TO PROTECT AGAINST SUCH DAMAGE TO THE

CTORODEVELOPER WILL BE RESPONSIBLE POR BRINGING PAVEMENTS STREET, CIRB. . SIDEWALK, DRIVEWAY YOU THE PROPERTY UP TO CITY STANDARDS NOUDING ANY BUBSTANDARD PAVEMAY STATT EXISTED PROP TO OR OCCURRED DURING

GRATES SHALL MEET OR EXCEED AASHTO H-20 LOADING SPECIFICATIONS, FRAMES SHALL BE SHOP PAINTED WITH ASPHALTIC BASE PAINT.

BARRIER CURB AND GUTTER: EAST JORDAN IRON WORKS 7220 FRAME WITH TYPE MI GRATE AND TI CURB BOX, OR APPROVED EQUAL.

d. MOUNTABLE CURB: EAST JORDAN IRON WORKS 7525 FRAME AND GRATE, OR APPROVED EQUAL

NON-PAVED AREAS EAST ORDAN IRON WORKS 657 REHIVE GRATE. OR APPROVED EQUAL ALTERNATELY, IN AREAS WHERE THERE IS THE LIKELIHOOD OF PEDISTRIAN TRAFFIC EAST ORDAN IRON WORKS 1022 FRAME WITH TYPE MI RADIAL FLAT GRATE. OR APPROVED EQUAL MAY BE USED.

FOR SPECTURES COLVED NEVED MERS, A MINIMAN OF FOUR LANCE DAMFIER HOLES SHALL BOUNDED FOR THE PROPERTY OF THE A FROM SHALL HE SPECIAL FOR THE A FROM SHALL BE OFFICE OF THE ANABOLE WITH MASTIC MATERIAL TO PREVENT SLIPPACE DIENCY DEACHLLANG. ALL PRE SAIALL BE LAID TRUE TO LINE AND GAME. DIRT AND OTHER POREIGN MATERIAL SHALL BE REVEYEDED FROM THE PROJECT OF THE TOTAL SHALL BE SALLD WITH SHITT AND ALL TO DESIDE AND ALL TO HONG TO THE SALL BE SALLD WITH SHITT AND ALL TO DESIDE AND ALL TO HONG TO THE SALL BE SALLD WITH SHITT AND ALL TO DESIDE AND ALL TO HONG THE PROJECT OF THE SALL TO THE SALL BE WITH SHITT AND ALL THE SALLD SHALL BE SALLD WITH SHITT AND ALL THE SALL BE SALLD WITH SHITT AND ALL THE SALLD SHALL BE SALLD WITH SHITT AND ALL THE SALLD SHALL BE SALLD WITH SHITT AND ALL THE SALLD SHALL BE SALLD WITH SHITT AND ALL THE SALLD SHALL BE SALLD WITH SHITT AND ALL THE SALLD SHALL BE SALLD WITH SHITT AND ALL THE SALLD SHALL BE SALLD WITH SHITT AND ALL THE SALLD SHALL BE SALLD WITH SHITT AND ALL THE SALLD SHALL BE SALLD WITH SHITT AND ALL THE SALLD SHALL BE SALLD SHALL BE SALLD WITH SHITT AND ALL THE SALLD SHALL BE SALLD WITH SHITT AND ALL THE SALLD SHALL BE SALLD WITH SHITT AND ALL THE SALLD SHALL BE SALLD WITH SHITT AND ALL THE SALLD SHALL BE SALLD WITH SHITT AND ALL THE SALLD SHALL BE SALLD WITH SHITT AND ALL THE SALLD SHALL BE SALLD WITH SHITT AND ALL THE SALLD SHALL BE SALLD WITH SHITT AND ALL THE SALLD SHALL BE SALLD WITH SHITT AND ALL THE SALLD SHALL BE SALLD SHALLD SHALL BE SALLD SHALL BE SALLD SHALL BE SALLD SHALL BE SALL

ADJESTMENSIMAY BE NECESSARY TO ENSURE THAT FRAMES AND GRATES MATICITIES LEVATIC OF THE SURROUNDING A EVANENTY OR GOOD VIOLS WERE DEFECONED ADJISTING OR GOOS OF THE REPORTED INDEXIONS NEEDED TO GALTE THE FRAME TO THE PRECAST STRUCTURE SHALL BE USED. NO MORE THAN 12 NORSOF OF VERTICAL ADJUSTMENT MAY BE MADE USING THE MINIMUM PRACTICAL NUMBER OF INDIVIDUAL ENGOS.

ALL BROOS SHALL BE HIGH DENSITY MOLYFINH EAN FLASTIC HIPPES, BECYCLED BILBBER, HIGH DENSITY EXPANDING ON YET REME. EXPANDED ON YET REME. EXPANDED ON THE MATCHER AND ADMINISTRANCE SHOULD HER MATCHER AND THE CITY ENGLISH, BECAST CONCRETE BLOCKS, BROCKS, SHALS, OR CONCRETE BLOCKS WILL, NOT BE ALLOWED. LAPRED ADJUSTING BROCKS, BOCKS, SHALS, OR THE BRACHER BLOCKS WILL, NOT BE ALLOWED. LAPRED ADJUSTING BROCKS, BROCKS, BOCKS, SHALS, OR THE BRACHER BLOCKS WILL, NOT BE ALLOWED. LAPRED ADJUSTING BROCKS, BROCKS, BOCKS, SHALL DE REQUIRED WHEN THE BRACHE WILL, NEED TO MATCH. THE SHAPE ADJUSTING BROCKS.

A REMUENT, EXTRIE, NOM-HARDSNA, PREPONEDS BITUMNOODS MASTE MATERIAL, CONSIAL ARE BORN ARROYDED EVIL, AUGULTA EN ESSA MERINET HEE CONSI OF PROMERET SETTION OF THE BORN ARROYDED EVIL, AUGULTA EN ESSA MENTER HEE CONSIGNATION FOR PROMERE SETTION OF THE MASTE CALLED AND ARROYDED AND AREA OF THE SERVICE AND AREA OF THE SAME IT HE SERVICE THE SERVICE AND AREA OF THE SAME THE SERVICE AND AREA OF THE SAME THE SERVICE AND AREA OF THE SAME TH

FRAME ADECIMENTS SHALL BE COMPLETED IN ACCORDANCE WITH SECTIONS 602 AND 603 OF STANDARD SECTIONS OR ROAD AND BRIDGE CONSTRUCTION, PERPARED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION, LATEST EDITION, EXCEPT AS NOTED HEREIN. ALL STORM SEWER STRUCTURE FRAMES WITHOUT INSIDE FLANCES SHALL BE SHAPED WITH HYDRAULIC CEMENT OR ELASTOMERIC JOINT SHALANT TO FORM A FILLET TO THE STRUCTURE OR ADJUSTING RINGS AND TO MAINTAIN WATER-TIGHTNUSS.

ROSION CONTROL AND DRAINAGE NOTES (GENERAL)

THE CONTRACTOR SHALL MANTAIN PROPEE DRAINAGE AT ALL TIMES DIRING THE COURSE OF CONSTRUCTION AND PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.

DURING EXTENDED DRY PERIODS, THE CONSTRUCTION AREA(S) MAY NEED TO BE WATERED DOWN TO PREVIENT THE BLOWING OF SOIL FROM THE SITE.

DIRNAS CONSTRUCTION A STABILIZED CONSTRUCTION ENTRANCE SHALL BE UTILIZED TO MINANZE THE TRACKING OF BRIF CONTON THE PUBLIC STREETS IT SHE CONTRACTIONS RESONNISHILITY TO KEEP PUBLIC STREET IN AVENDAY CLEAN OF BRIF AND DEBRIS. ANY DRET THAT IS TRACKED ON TO THE PUBLIC STREETS SHALL BE REMONED THE SAME DAY. IT THE AMODIST FRACKED ON THE PUBLIC STREET IS EXCESSIVE, CLEANED MAY BE REQUIRED MORE PREQUENTLY.

EROSION CONTROL AND DRAINAGE NOTES (PROJECT SPECIFIC)

ALL EROSON CONTROL MEASURES SHALL BE PROPERLY INSTALLED, AS PERMITTED, PRIOR TO AN LAND DISTURBANCE ACTIVITIES, ALL EROSION CONTROL SHALL BE MAINTAINED UNTIL TURF IS ESTABLISHED.

. STOCKPILES NOT BEING DISTURBED FOR MORE THAN 14 DAYS SHALL BE SEEDED.

IT IS THE RESPONSIBILITY OF THE OWNER OR HIS DESIGNEE TO INSPECT ALL TEMPORARY EROSION CONTROL MEASURES PER THE REQUIREMENTS OF THE NPDES PERMIT AND CORRECT ANY DEFICIENCIES AS NEEDED. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY, AFTER ANY 0.5 INCH RAINFALL OR MORE FREQUENTLY AS NECESSARY TO MAINTAIN THEIR FUNCTION.

GEOMETRIC AND PAVING NOTES (GENERAL)

ANY NEW OR EXISTING IMPROVEMENTS THAT ARE DAMAGED SHALL BE REPAIRED OR REPLACED IN ℓ MANNER THAT IS SATISFACTORY TO THE CITY ENGINEER.

THE CONTRACTOR ANDOR REPELOPER SHALL SECURE ALL NECESSARY ISLENTS AND PERMISSONS TO PERSONAL NAW DOKK ON PRIVATE REQUESTATO WHICH THE CONTRACTOR AND RESIDENCE OF THE SHALL HEAR THE SOLE RESPONSIBILITY FOR ADMAGES THAT MAY OCCUE AS A RESULT OF WORK PERFORMED POWER CONTRACTS THEY UNITATE.

WHERVER NIN WORK WILL MEIT DIXTING CONDITIONS OTHER THAN LAWN AREA, SECANDLESS OF WHERTHER THE NEW DESTRICTIONS OTHER THAN LAWN AREA, SECANDLESS OF WHERTHER THE NEW DESTRICTIONS OF WHERE A THE SENDENCY DESTRICTIONS OF WHERE THE DESTRICTION OF WHICH THE NEW COTT DESTRICTION OF WHICH THE NEW COTT DESTRICTION OF WHICH THE NEW COTT DESTRICTION OF WHICH OF WHICH THE NEW COTT DESTRICTION OF WHICH AND THE COTT OF WHICH THE NEW COTT DESTRICTION OF WAS THE PREVIOUS OF WHICH THE NEW COTT DESTRICTION OF WHICH THE NEW THE PREVIOUS OF WHICH THE NEW COTT DESTRICTION OF WHICH THE NEW THE PREVIOUS OF WHICH THE NEW COTT DESTRICTION OF WHICH THE NEW THE PREVIOUS OF WHICH THE NEW COTT DESTRICTION OF WHICH THE NEW COTT DESTRICTION

TRANSPORTATION, ENGINEERING AND DEVELOPMENT BUSINESS GROUP STANDARD
CONSTRUCTION PLAN NOTES FOR DEVELOPMENT PROJECTS

CATCH BASINS AND NUTES SHALL HAVE ANIMANIA RISHE DAMETER OF E MORIES AND SHALL HE CONSTRUCTION OF REACTS CONSETTE CHIEF AND SHALD HE CONSTRUCTION OF REACTS CONSETTE CHIEF AND SHAD CHIEF AND SHALL HAVE AND SHALL HAVE AND THE CHIEF AND SHAD CHIEF AND SHALL HAVE A

PAVEMENT: EAST JORDAN IRON WORKS 1022 FRAME WITH TYPE NI RADIAL FLAT GRATE, OR APPROVED EQUAL.

DEPRESSED CURB: EAST JORDAN IRON WORKS 5120 FRAME AND GRATE, OR APPROVED EQUAL

ANY WORK THAT IMPACTS A TRAFFIC LANE ON AN ARTERIAL ROADWAY REQUIRES AN ARROWBOARD AS PART OF THE TRAFFIC CONTROL.

DEPARTMENT OF PUBLIC UTILITIES - ELECTRIC GENERAL NOTES

THE EMPELOPES SALL COORDINATE SITE CONSTRUCTION WITH DULY TO ALLOW BLEFTRE.
FACILITIES TO BE INSTALLED PROJE PAVADE AND CHRISKO, DULY BROQUESTS ON WORKING DAYS
ADVANCE WENT THE NOTICE PROJE TO THE MEDICAL STATULATION TO ALLOW FOR THE
UNITAL ATTROO OF BLEFT CHAUTIES COMD ELEVATION MIST BE WITHIN 4" OF FINAL
GRADING BEFORE ELECTRIC FACILITIES CAN BE INSTALLED.

1230 East Diehl Road Suite 200 Naperville, IL 60563

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ALL DEVILOPES AND CONTRACTORS SHALL PROVIDE SITUAL IT RAFFIC CONTRACTOR SHIPE CONTRACTOR SHALL PROVIDE SITUAL IT RAFFIC CONTRACTOR SHIPE CONTR

PEDISTRAVAS MIST BE PROVIDED WITH A SAFE ALTERANTE POUTE IF PEDISTRAVA FACILITIES ARE TO BE CLOSED AS A RESULT OF CONSTRUCTION ACTIVITIES, GIIDANCE MIST BE PROVIDED TO PEDISTRAVAS OF THAT THEY MAY AVOID THE WORK ZONE SAID PEDISTRAVA DETOUR IT.AAV GWITH SMOVAGE) IST OB BEVURVED AND ACCEPTED BY THE CITY IN WAITING, PRIOR TO THE COMMINCENET OF THE WORK.

REVISION RECORD

THE CONTRACTOR SHALL EMELTY THE APROPRIATE METHODS OF TRAFFIC CONTROL IN ACCORDANCE WITH THE FAMS. SPECIFIC FUNDS AND THE MANIAL ON UNIDED WITH THE FAMELY OF PEHICLES, AND PEDESTRIANS IS RECEIVED AT JALL TIMES. HITHER SHETY OF PEHICLES, AND PEDESTRIANS IS RECEIVED AT JALL TIMES. HITHER SHETY OF PEHICLES, AND PEDESTRIANS IS RECEIVED AT JALL TIMES. HITHER SHETY OF THE FAMILY CONTRACTION.

A MUNMIM 72 HOUR NOTICE IS REQUIRED FOR TRAFFIC CONTROL THAT REDUCES THE MIDTH OF A TRAVEL LAVE LESS THAN 12 FEBT OR CLOSES A LAVE. APPROVAL ROOM THE CITY ENGINEER WILL B REQUIRED PRIOR TO THE IMPLEMENTATION OF SUCH TRAFFIC CONTROL LAYOUT. ANY TEMPORARY OPEN HOLES SHOULD BE BARRICADED AND PROTECTED IN ACCORDANCE WITH APPLICABLE STANDARDS.

LANK CLOSIESSON AREBALK ROADWAYS WITHIN THE CITY OF AMERICALE ARE NOT PERMITTED BETWEEN THE HOR SON EAAMAMA AND SPAT WHO NOTAL THE HOR SON EXTREME STREAM THE PART TH

ATTHE END OF EACH DAY OF WORK, THE ROADWAY MUST BE COMPLETELY REOPENED TO TRAFFIC ANY OPEN HOLES MISS HE PLATED OR COLD PATCHED, THE CITY WILL NOT ALLOW THE HOLES TO B FILLED WITH GRAVEL.

LECTRIC FACILITIES SHALL BE INSTALLED PURSUANT TO SECTION S-IC-3 OF THE CITY OF NAPERVILLE MUNICIPAL CODE, WHICH REQUIRES A CONSTRUCTION FEE PAYMENT FOR INSTALLATION OF ELECTRIC FACILITIES.

AT ALL TIMES, THE CUSTOMER SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING A SUITABLE APPROACH TO THE METER LOCATION, WITH NO OBSTRUCTIONS WITHIN FOUR 4) FEET OF THE FRONT AND TWO (2) FEET OF THE METER, PER NAPERVILLE SERVICE RULES AND FOLICIES 22.2.F.

CLEARANCE OT TRANSFORMER PAD SUALL HE ? FROM ALL SIDES OF FROM FRONT, AND HE AREA AND VEMENT AND THE AREA AND VEMENT AND THE AREA AND VEMENT AND THE AREA AND AND THE AREA AND AND THE AREA TRANSFORMER PAD SUALL MANYAN MINMAIN AND AND THE AREA TRANSFORMER PAD SUALL MANYAN MINMAIN AND AND THE AREA TRANSFORMER PAD SUALL MANYAN MINMAIN AND AND THE AREA TRANSFORMER PAD SUALL MANYAN AND AND THE AREA TRANSFORMER PAD SUALL MANYAN AND AND THE AREA TRANSFORMER PAD SUALL MANYAN AND THE AREA TRANSFOR

DPU-E REQUIRES A MINIMUM. 5' OF SEPARATION BETWEEN ITS ELECTRIC FACILITIES AND ANY FIRE HYDRAM'S STORM DRAINS, STORM SEWERS, WATER MAINS, GAS MAINS, ETC. THAT RUN PARALLEL TO ITS FACILITIES.

APROVAL OF METERING EQUIPMENT BY DPU-E DOES NOT REMOVE YOUR RESPONSIBILITY TO COMPLY WITH HIE LATEST YERSION OF THE NATIONAL ELECTRICAL CODE A ADDITED BY THE CITY OF APERILLE, DETERMINATION OF COMPLIANCE WITH HE MATONAL ELECTRICAL CODE WILL BE MADE BY THE TRANSPORTATION, ENGINEERING AND DEVELOPMENT DEPARTMENT.

C003

SITE SPECIFICATIONS - 3

CHARLESTON PLACE 1103 AURORA AVENUE

CHARLESTON INVESTMENTS, LLC

1103 AURORA AVENUE EXHIBITA Pironmental NAPERVILLE, ILLINOIS 605

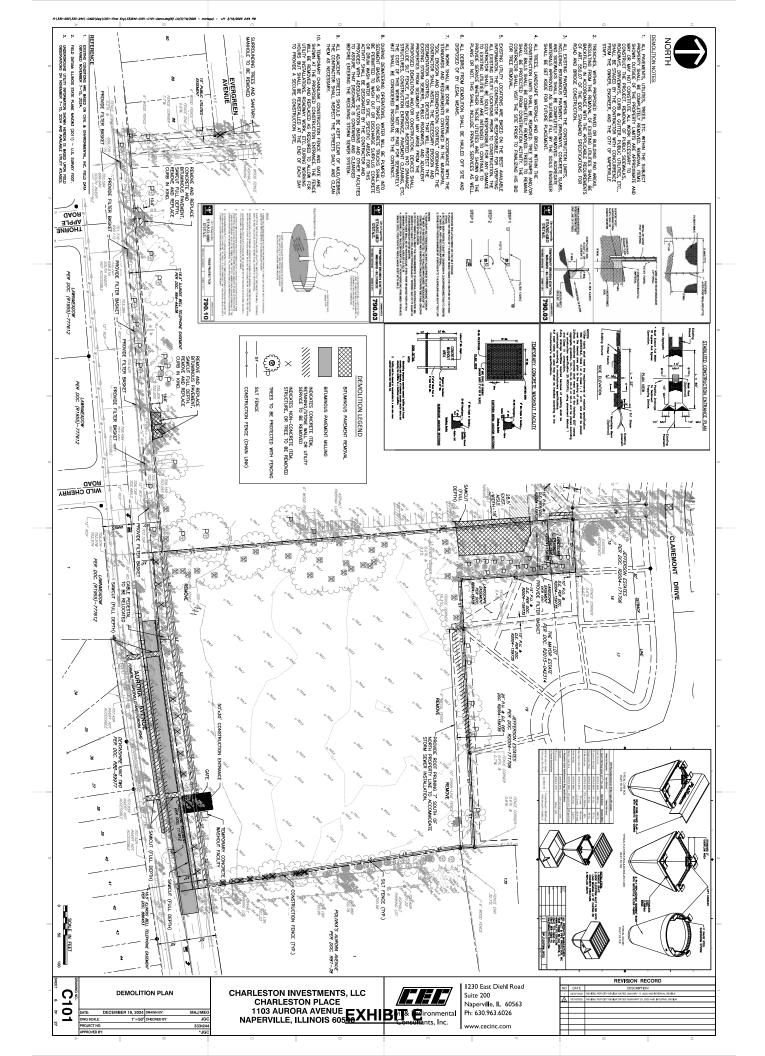
DUCTILE IRON PIPE (DIP) - DUCTILE IRON PIPE SHALL CONFORM TO ANSI A:
CLASS THEICKNESS DESIGNED PER ANSI A 21.50 (AWWA C.150, TAR (SELL.) CO
LINED PER ANSI A 21.4 (AWWA C.140, WITH MEICHANICAL OR RIDBER RINGO
ON) JOINTS. ALL DUCTILE IRON PIPE SHALL BE WRAPPED WITH POLYETHYL TO ANSI A 21.51 (AWWA C-151), R (SEAL) COATED AND CEMENT 3BER RING (SLIP SEAL OR PUSH DLYETHYLENE.

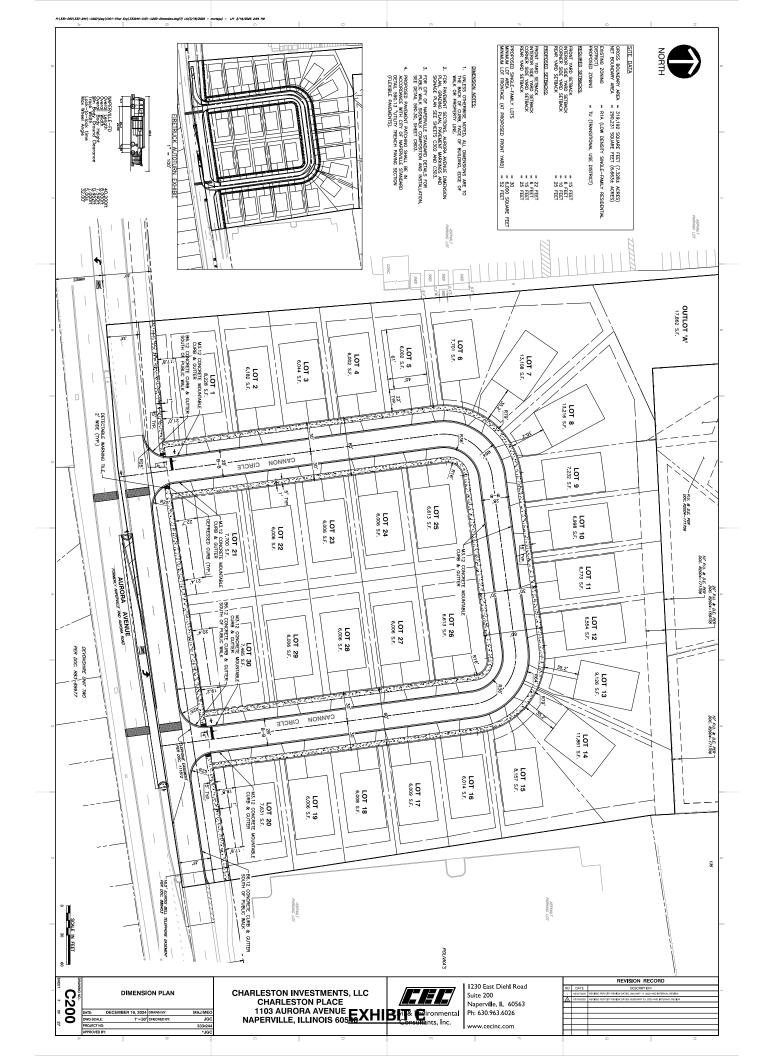
ACCEPTABLE PERIMETER EROSION CONTROL INCLUDES SILT FENCE, SILT WORM AND ANY OTHER APPLICATION APPROVED BY THE CITY ENGINEER.

REFERENCE

1. DEFINE CHAPTER AFE 1852 ON ONL & DIMENANDITAL INC. FELD DATA
1. DEFINED INCREME 7-15, 20%.

2. FELD DATA CHAPTER FOR MARSS (2011) – U.S. SIMPLY FORT.
2. FELD DATA CHAPTER FOR THE MARSS (2011) – U.S. SIMPLY FORT.
2. INCRESSORAN CHAPTER FORMANDA SCHAPTER SEGON IS USED INFO MEDICAL CHAPTER TO DESERVATIONS ON MANUFACT THE TAX TAXES. DOC. R67-44) EVERGREEN U. & D.E. PER DOC. R2004-15973 -20' SANTARY SEWER EASEMENT PER DOC. R75-10042 THORNEAPPLE LAWNMEADOW DOC: (R1955)-777612 12 07-23-213-008 LAWNMEADOW DOC. (R1955)-777612 WILD CHERRY CLAREMONT DRIVE 8 (3) LAWNMEADOW PER DOC. (R1955)-777612 83 0.5% #10' P.U. & D.E. PER 7 07-13-317-042 9 0 134 07-24-100-003 RIVER BEND A.P. #23 PER DOC. RB9-118093 REVISION RECORD 1230 East Diehl Road Suite 200 Naperville, IL 60563 Ph: 630.963.6026 CHARLESTON INVESTMENTS, LLC
CHARLESTON PLACE
1103 AURORA AVENUE EXHIBITA Circomental
NAPERVILLE, ILLINOIS 605 C100 EXISTING CONDITIONS





REFERENCE

REFERENCE

REPART CONTINUE AND COME & EMPERAMENTAL INC. FELL DATA.

2. FELD PAUME LIANCE STORT, PANY IMPOSED, (1001.) — U.S. SAMPLY TOST.

3. VALENGEROUND CHILD REPORTATION SHOWN HERGER IS BEED UPWARED GREENWISHED OF CONTINUES.

3. VALENGEROUND CHILD REPART SHOWN HERGER IN THE STORT AND RESERVED AND CONTINUES.

3. VALENGEROUND CHILD REPART SHOWN AND ADMINISTRATION OF CONTINUES. 13. FOR OUTLOT 'A' GRADING AND PERVIOUS/IMPERVIOUS CALCULATIONS, SEE SHEET C301. driveway width shall not exceed 20 feet wide at the right of way line, and 24 feet wide at the back of curb (2 foot flare per side). ALL CURBS SHALL BE BACKFILLED TO WITHIN SIX (6) INCHES OF THE TOP OF CURB. FOR AURORA AVENUE PROPOSED PAVING GRADES, SEE SHEET C302. THE FINISHED TOPSOIL ELEVATION AT THE FOUNDATION SHOULD GENERALLY BE SIX (6) INCHESS BELOW THE TOP OF FOUNDATION ELEVATION, UNLESS INDICATED OTHERWISE. THE TOP OF WINDOW WILLS SHALL BE CONSTRUCTED NO LOWER THAN SIX (5) NOVELS BELOW HE TOP OF FOUNDATION EDWINDOW IT WINDOW WILL DEALMONS FOR LOT A 15, 30 AUGUSTAN LOT BE SHALL NOT BE LOWER THAN TOSA SHANDOW MELLS CAN NOT DEPOCACION INTO THE PROPOSED SIDEYARD PUBLIC UTILITY AND DRAINAGE EASEMENTS. TOPSOIL SHALL BE REMOVED FROM ALL AREAS THAT RECEIVE CLAY FILL ALL BACK YARD SWALES SHALL BE CJIT OR FILLED SIX (6) NICHES BELOW FINISHED GRADE. ALL COMMON UNDSCAPED MREAS, INCLUDING THE STORMWATER MANGALENT RASK (OUTLOT A) SHALL RECEIVE A MINIMUM OF SIX (6) INCHES OF PULYERIZED TOPSOIL. ELEVATIONS SHOWN FOR ALL CURB INLETS, CATCH BASINS, AND MANHOLES ARE TO THE TOP OF CURB. DROP SIDING SHOULD BE PROVIDED WHERE PROPOSED GRADE AT FOUNDATION IS GREATER THAN 6" *-Slope between any two points marked on grading Plan Muste be uniform. There should not be any Change in slope or reversal of slope between any Two Marked Points on the grading Plan WHEN TOP OF FOUNDATION IS MORE THAN 6"± ABOVE FINISHED GRADE, SIDING MATERIAL SHALL BE EXTENDED DOWN TO WITHIN 6" OF FINISHED GRADE. FOUNDATION INDICATES THE LOCATION AND DIRECTION OF AN OVERLAND DRAINAGE ROUTE THAT MUST BE RESERVED IN ALL FINAL GRADING OPERATIONS. ACCENTED SIDES OF PROPOSED HOUSE FOUNDATION NUCLAIES THAT SPECIAL CONSTRUCTION NEASURES MUST BE EMPLOYED IN ORDER TO MINIMIZE SIDE YARD AND REAR YARD GRADIENTS (E.G. DROPPED SIDING, SLOPED SIDING, ETC.) INDICATES THE PROPOSED GARAGE FLOOR ELEVATION. THE PLACEMENT OF THE GARAGE/DRIVEWAY IS SUGGESTED WHERE SHOWN ON THE PLAN BASED ON REDUCED DRIVEWAY SLOPES OR WATER AND SANITARY SERVICE LOCATIONS. INDICATES PROPOSED TOP OF FOUNDATION ELEVATION AND THE LOWEST OPENING IN A CONVENTIONAL FOUNDATION WHERE SURPACE RUNOFF CAN ENTER THE FOUNDATION. DRAINAGE AND GRADING NOTES SECTION AT SIDEYARD XXX.XXP -SLOPE 5% MIN. 4:1 MAX. FOUNDATION TOP OF CURB ELEVATION PROPOSED DRIVEWAY LOCATION LOT NUMBER OVERLAND DRAINAGE ROUTE -704.1 IF=705.6 GF=705.1 -705.3 LOT 7 TF=704.0 703.5-GF=703.5 3 LOT 3 × 3 TE=706.3 oF=705.8 ∠ 703.5⊋¢ 706.5 706.2 706-706.0 **F** 703.5 699.60R ИОИИАЭ (1) X 703.7 706.61TC 706.36FL 706.36FL 706.36FL 702.00P 701.94TC 701.69FL 707 701.40FL 7.13 1.33 1.30 1 × 703.4 705.0 704.5-05.0 705.0 LOT 24 TF=705.5 GF=705.0 704.5 705.5 706.5 \ 706.5 706.2 705 705.8 LOT 10 IF=704.7 GF=704.2 AUBORA ℃701.2 703.2-704.2 70,000 AVENUE 704.8 703.3 103.4 103.4 708.83TC 708.33FL 708.39EP 705.6 705.1 704.1 704.1 ± 703.73IC 703.48FL LOT 29 TF=707.4 GF=706.9 705.9 706.9 701.9 DEVONSHIRE UNIT TWO PER DOC. R83_T89977 704.8 703.286 LOT 13 TF=705.7 GF=705.2 -705.2 705.2-706.86IDC 706.82FL LOT 14 TF=706,1 GF=705.6 TF=705.6 705.6 V LOT 15 TF=706.1 GF=705.6 705.6 V 705.6 LOT 16 TF=706.1 GF=705.6 705.6 708.42TC 707.92FL 707.98EP 63 89 89 708.35TC 707.85FL 707.91EP REVISION RECORD 1230 East Diehl Road CHARLESTON INVESTMENTS, LLC
CHARLESTON PLACE
1103 AURORA AVENUE EXHIBITE Circomental
NAPERVILLE, ILLINOIS 605 C300 GRADING PLAN - SITE Suite 200 Naperville, IL 60563 Ph: 630.963.6026

REFERENCE

1. DEPART OPERATE SEE SEES OF ONL & DARROWNERS, MC. FELD DAN.

2. FELD DANNE LINDES STORE FANCE WORDS (2011) - U.S. SUMPEY FOOT,

3. VALUESCOMOD CHITA PORMANDO SOMM FERSON ES DESCRIVENCE DESCRIVENCE OF ORSERVANDES ON MOMENTE 7-15, 2024 AND AMAJAET UTILITY ATJASTS. 165"-4" HDPE PERFORATED PIPE WRAPPED IN FILTER FABRIC (UNDERDIANI) © 0.00%, INVERT = 68.60. CAP SOUTH END OF PIPE AND PROVIDE 90 DEGREE ELBOW EAST OF THE PROPOSED CATCH BASIN. ETBACH 10' P.U. & D.E. 10'~10" PVC SDR26 ASTM 3034 @ 1.00% INVERT @ STORMTRAP=691.60 D.E. PER DOC. R2004-171706 5' P.U. & D.E. PER DOC. R2004-171706 #35 R-4340-B CB-A, 4'ø 699.10R 691.50S 688.60N FOR CONTINU 5' P.U. & D.E. PER DOC. R20045171706 73'~10" PVC SDR26 ASTM 3034 @ 1.00% CORE EXISTING 4'8 CATCH
BASIN FOR PROPOSED 10"
STORM SEWER CONNECTION
INV=685.40 ✓ DIRECTIONAL BORE 178.~10° CERTA-LOK

~ YELOMINE RESTRAINED JOINT PVC SDR26

ASTIM D2241 @ 1.40%, 10° STORM TO

BE CONSTRUCTED BENEATH ALL EXISTINGUTILITIES. -TANGUENT PATCH SHALL BE:
1-1/2' BITUMHOUS CONCRETE SURFACE
COURSE, HAM, MAY C'. (1.9.5, MS)
2-1/2' BITUMHOUS CONCRETE BHOERE COURSE.
HAM, (1.-19, MS)
12' AGSREGATE BMSE COURSE TYPE B. (2A-6). JEFFERSON ESTATES
PER DOC. R2004-171706 CLAREMONT DRIVE EMERGENCY SURFACE OVERLAND FLOW ROUTE INTO EXISTING SLOPE BOX INLET D.E. PER DOC. R2004-159735 5' P.U. & D.E. PER DOC. R2004-171706 PER DOC. R2004-159735 0.E. PER DOC. R2004-171706 #36 R-1772-B MH-A, 4.6 696.90R 687.87N/S EXISTING PERVIOUS/IMPERVIOUS CONDITIONS
1"=100" ELEVATION (FT.) 0+00 4" HDPE PERFORATED PIPE WRAPPED IN FABRIC (UNDERDRAIN) INVERT=688.60 ~INV.=685.60 -INV.=684.22 PCBMP VOLUME CALCULATION:

TOTAL PCBMP STORAGE REQUIRED = 13,555 CU. FT. TOTAL PCBMP STORAGE PROVIDED = 13,557 CU. FT. PCBMP STORAGE PROVIDED = 13,557 CU. FT. (ELEV 689.50 - ELEV 691.60, 100% IN SYSTEM) EXISTING 8" WATERMAIN BP=693.0± ^{1′−6}" MINIMUM *NOTE THAT NO CREDIT WAS TAKEN FOR VOIDS IN THE AGGREGATE BASE TOTAL STORAGE PROVIDED = 13,557 + 35,327 = 48,884 (1.12 AC. FT.) RESTRAINED JOIN PVC SDR26 ASTM D2241 @ 1,40% EXISTING PROFILE -STORMTRAP SYSTEM FOR STORMWATER MANAGEMENT 7.5 1+00 SECTION A - A PROPOSED PERVIOUS/IMPERVIOUS CONDITIONS
1"=100" OFFSITE STORM PROFILE
SCALE H:1"=20"; V:1"=5" DETENTION VOLUME CALCULATION:

TOTAL RUNOFF STORAGE REQUIRED = 35,284 CU. FT. TOTAL RUNOFF STORAGE PROVIDED = 35,327 CU. FT. RUNOFF STORAGE PROVIDED = 35,327 CU. FT. (ELEV 691.58 - ELEV 697.00, 100% IN SYSTEM) MANHOLE TYPE A.-4'¢ RIM=696.90 (THICKNESS VARIES) INV.=687.87-2+00 2 MIN. CATCH BASIN TYPE A. 4 9 RIM=699.10 ROPOSED PROFILE GRADE LINE EXISTING 24" RCP INV.=693.00± INV.=688.60 —BOTTOM OF CEILING SLAB (INSIDE HEIGHT) = 100 YR. HWL=697.00 -73"~10" PVC SDR26 ASTM 3034 @ 1.00% -TOP OF CEILING SLAB=697.50 BASED ON THE INCREASE IN IMPERVIOUS AREA, POST CONSTRUCTION BEST MANAGEMENT FRACTICES AND DETENTION IS REQUIRED FOR THE PROPOSED DEVELOPMENT. ►BOTTOM OF AGGREGATE(CA-1) = 688.25 -SYSTEM INVERT/BOTTOM OF PCBMP CAPACITY=689.50 TOP OF PCBMP/BOTTOM DETENTION=691.60 130,130 S.F. 160,101 S.F. 290,231 S.F. PERVIOUS/IMPERVIOUS CALCULATIONS IMPERVIOUS AREA PROJECT AREA 6,075 S.F. 2+75 695 284,156 S.F. ELEVATION (FT.) 290,231 S.F. REVISION RECORD 1230 East Diehl Road CHARLESTON INVESTMENTS, LLC
CHARLESTON PLACE
1103 AURORA AVENUE
NAPERVILLE, ILLINOIS 605

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CHARLESTON GRADING AND UTILITY PLAN - OFFSITE C301 Suite 200 Naperville, IL 60563 Ph: 630.963.6026 w.cecinc.com

REFERENCE

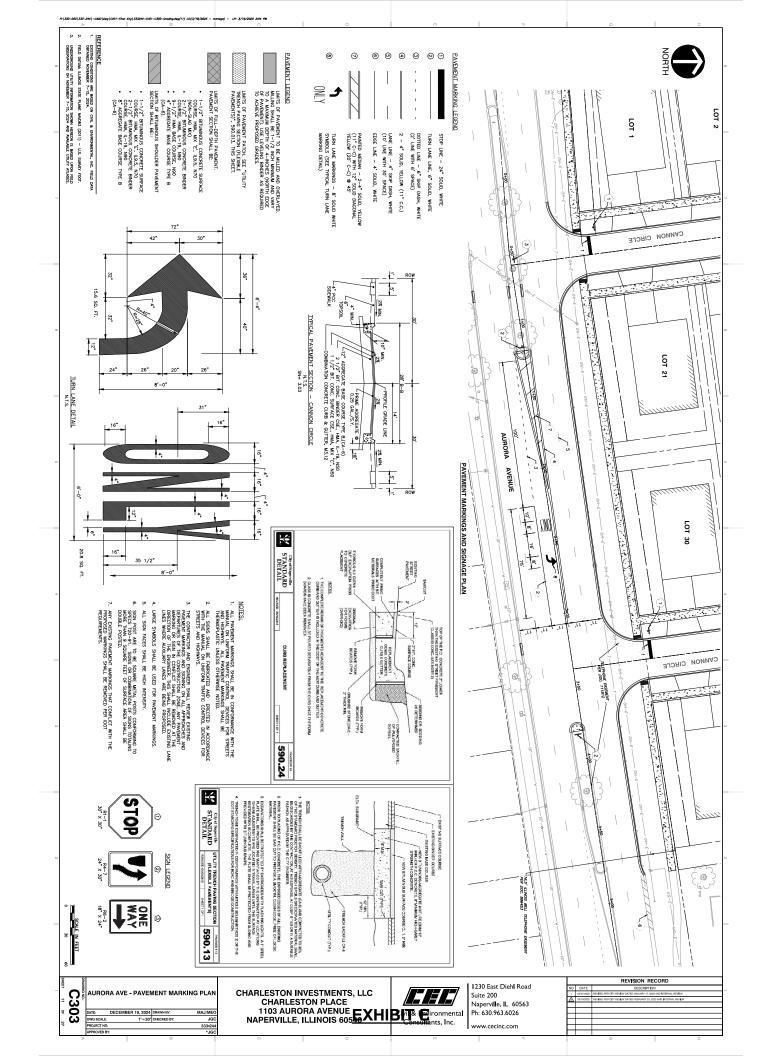
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TH OF PUBLIC WALK ᄗ LOT 1 (1-1/2" DEPTH) 708.70±IC / 708.22±FC 708.22±EP CANNON CIRCLE CANNON CIRCLE (FULL DEPTH) 83 83 _DETECTABLE WARNING 2' WIDE (TYP.) LOT 21 LOT 21 AURORA AURORA AVENUE DIMENSION PLAN B6.12 CONCRETE CURB & GUTTER SOUTH OF PUBLIC WALK AWCUT (1-1/2" DEPTH) LOT 30 ᄗ DEPTH) CANNON CIRCLE TANGED OF THE CONTROL CANNON CIRCLE -3' WIDE BUTT JOINT.
SEE CITY OF NAPERVILLE STANDARD
DETAIL 590,11—BUTT JOINT DETAIL P.C. CONCRETE MEDIAN, 10" CONCRETE BASE HEIGHT VARIES FROM 0" TO 6". (TYP.) NOTES:
1 FOR PAYMENT SETTING AND PAYMENT MARKNOS
AND SONAGE PLAN SEE SHEET COO.
2 SEE DAY OF MARENALE SYNAPAD DELIA. CURB
ENTACEMENT FOR NOTIN SIZE OF AURORA APPLIE
ENTACEMENT FOR NOTIN SIZE OF AURORA AND AURORA
ENTE DANNING NO. COO. OF PUBLIC WALK (3) PER DOC. 886453 EFF DOC. 886453 SAWCUT (1-1/2" DEPTH) AT PAVEMENT CROWN REVISION RECORD 1230 East Diehl Road CHARLESTON INVESTMENTS, LLC
CHARLESTON PLACE
1103 AURORA AVENUE
NAPERVILLE, ILLINOIS 605

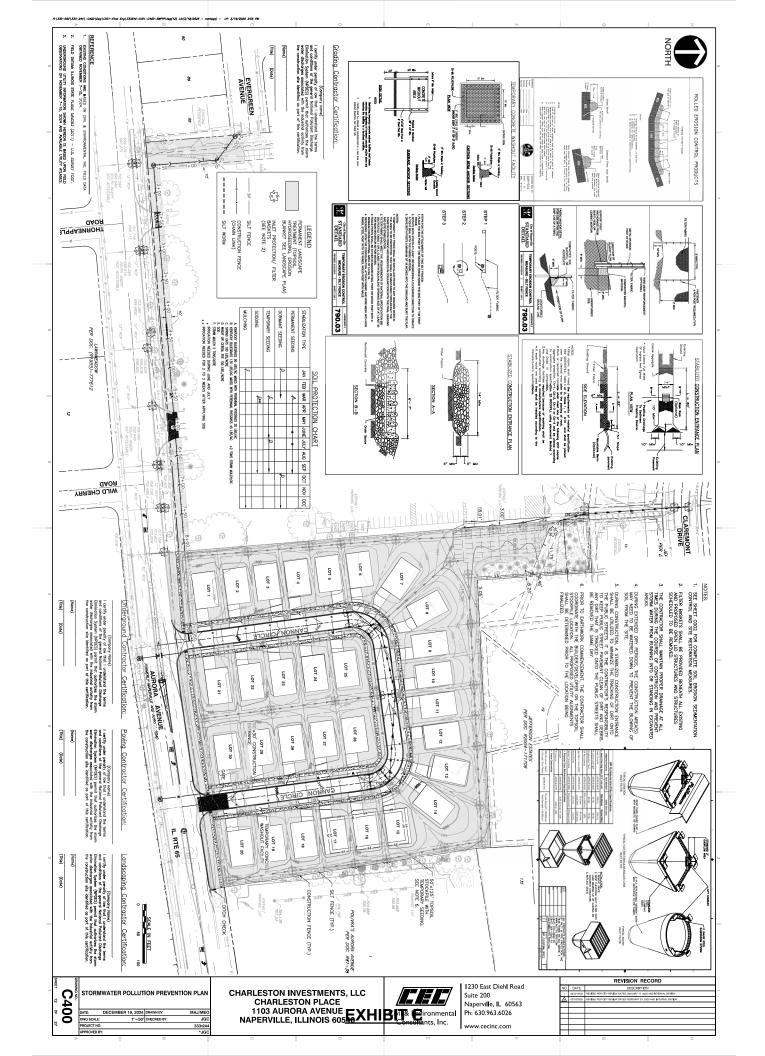
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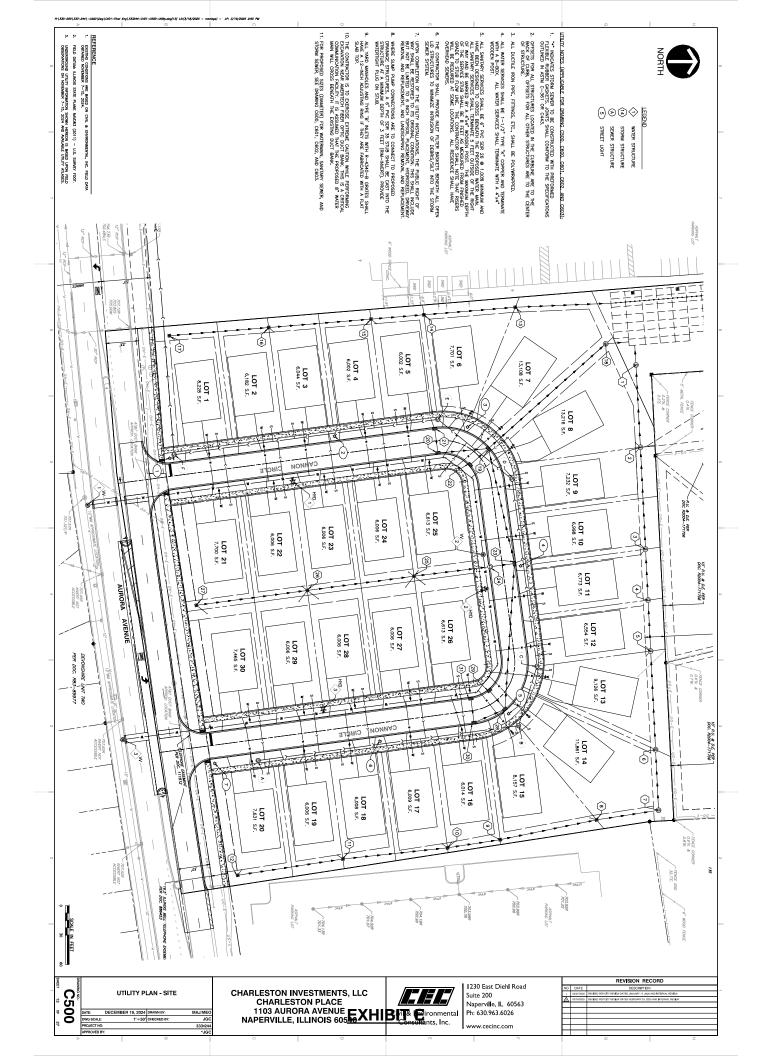
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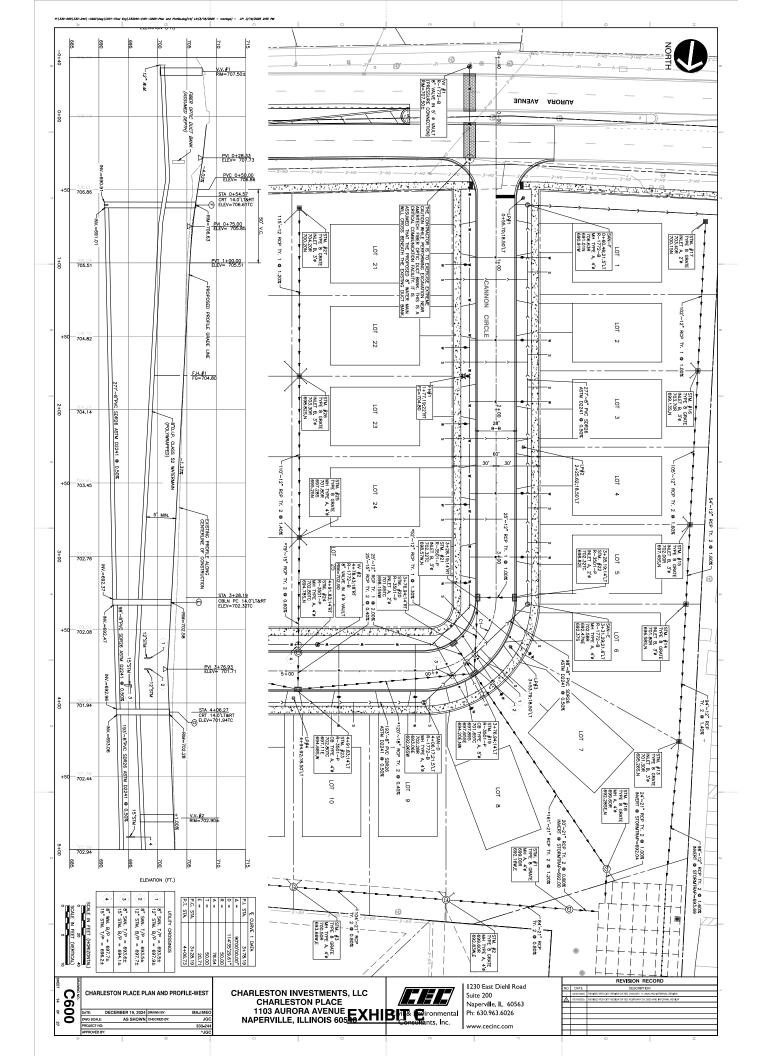
1103 AURORA AVENUE

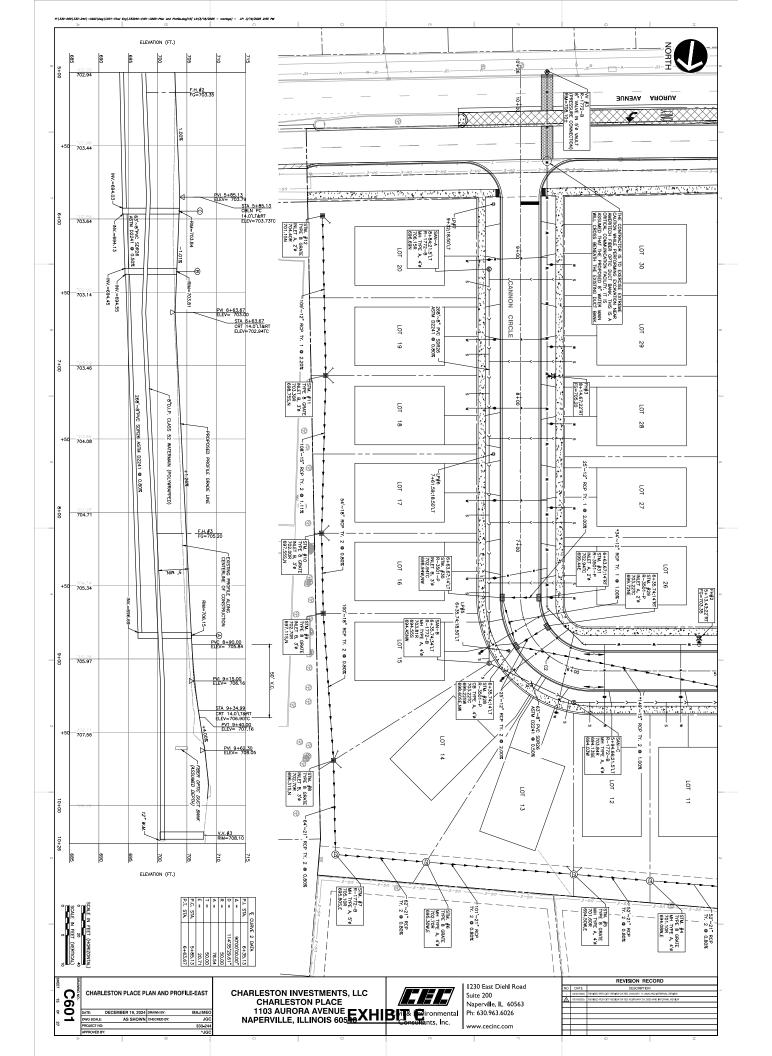
NAPERVILLE, ILLINOIS 605 C302 AURORA AVENUE IMPROVEMENTS Suite 200 Naperville, IL 60563 Ph: 630.963.6026











685 700 SAM-J

READER AND REPLACE

READER OF READER

READER AND REPLACE

READER AND READER

READE 0+00 MAN .50'~8" PVC SDR26 ASTM D2241 @ 1.00% CINV.=685.10 685.37NE 3 -RIM=699.90 PVC D2241 1+00 ABMOOND 24" SMITHER FORCE MAN AS SHOWN PER HER FINAL IDMOSTRATE FORCE MAN REPURCIBENT, MURDEN AND METERS RESIDED AND METERS RESIDED AND METERS. RESIDED AND METERS, RESIDED AND METERS, RESIDED AND METERS. RESIDED AND METERS FORCE MAN REPURCIBEND PARK THE FINAL EDISERRAND FAMIS THERE METERS AND METERS FORCE MAN REPURCIBENT FORCE METERS. RESIDED AND METERS FOR FAMILY OF METERS AND METERS. RESIDED AND METERS AND METERS. RESIDED AND METERS AND METERS. RESIDED AND METERS. 45' PUBLIC UTILITY AND DEMINACE
EASEMENT PER DOC. R2004-159735

20' SANITARY SEWER EASEMENT
PER DOC. R75-10042 8" SAN. T/P=685.4± 24" ABANDONED FM BOT/P (ASSUMED)=688.0± -109'~8" PVC SDR26 ASTM D2241 @ 0.62% SEE NOTE 1 8" SAN. T/P=685.7± 24" FM BOT/P (ASSUMED)=688.0± 1+59 R-1772-8 MH TYPE A, 4'6 700.60R 685.78N 685.88E ⊕ -RIM=700.60 -INV.=685.88 AURORA AVENUE 2+00 OFFSITE SANITARY PROFILE
SCALE H:1"=20'; V:1"=5' REQUOE AND REPLACE EXISTING CONCRETE DRIVERILY AND
BELTZ CONCRETE CUBB AND CHITTER. PARKEURET SECTION
SHALL BE 6" P.C. CONKRETE OVER 4" COMPACTED.
AGREEGATE DASE COURSE TYPE B (CA-9), TYPER CUBB
HEIGHT OF NORTH 1" OF BE.12 CACE FROM 6" TO 0". 391~8" PVC SDR26 ASTM D2241 @ 0.62% (FULL DEPTH) 16.5' ILLINOIS BELL TELEPHONE EASEMENT PER DOC. R64-44538 3+00 CENTERLINE OF CONSTRUCTION PROPOSED 15' PUBLIC UTILITY AND DRAINAGE EASEMENT P -1991'--8" POC SIDEGE ASTM D2241 @ 0.62%
THE CONTRACTOR SHALL AUGER A 20" STELL CASING PIPE BENATH THE ENSTING SIGN (CENTERED).
SPACERS SHALL BE USED TO MANTON SLOPE ON THE PROPOSED B'S SWAITARY SEMER. +00 20"~20" STEEL CASING PIPE %P ROOT PRUNE LIMITS--20'~20" STEEL CASING PIPE 5+00 685 700 ELEVATION (FT.) REVISION RECORD CHARLESTON INVESTMENTS, LLC
CHARLESTON PLACE
1103 AURORA AVENUE EXHIBITA Circomental
NAPERVILLE, ILLINOIS 605 1230 East Diehl Road C602 OFFSITE SANITARY - STA 0+00 TO 5+00 Suite 200 Naperville, IL 60563 Ph: 630.963.6026 www.cecinc.com

9 ELEVATION (FT.) 4+00 -EXISTING PROFILE ALONG CENTERLINE OF CONSTRUCTION % TO P & P 16.5' ILLINOIS BELL TELEPHONE EASEMENT PER DOC. R64-44538 5+00 P INV.=688.32-_RIM=705.00 SAN-G 5+50 R-1772-B MH TYPE A, 4'ø 705.00R 688.32W 688.32W 6+00 AURORA AVENUE REINSTALL SIGNS ONCE INSTALLATION IS COMPLETED. REMOVE AND REPLACE EXISTING BITUMINOUS DRIVEWAY AND B6 CONCRETE CURB. PAVEMENT SECTION SHALL BE: 1-1/2" BITUMINOUS CONCRETE SURFACE COURSE HMA, MIX 'C', N50 2-1/2" BITUMINOUS CONCRETE BINDER COURSE HMA, IL-19, N50 8" COMPACTED AGGREGATE BASE COURSE TYPE B (CA-6). 7+00
OFFSITE SANITARY PROFILE
SCALE H:1"=20"; V:1"=5" P 400'~8" PVC SDR26 ASTM D2241 @ 0.62% SEWER TO BE INSTALLED BENEATH
GAS, TELEPHONE, AND WATER ASTM D2241 SEE NOTE 1 DNLY U T (3) 8+00 ROOT PRUNE i× PROPOSED FINAL GRADE T (3) LOT 1 9+00 INV.=690.91-9+60 675 680 690 695 CANNON CIRCLE ELEVATION (FT.) REVISION RECORD 1230 East Diehl Road CHARLESTON INVESTMENTS, LLC
CHARLESTON PLACE
1103 AURORA AVENUE EXHIBITA Circomental
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